

# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
info@ci.ham-lake.mn.us

## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, OCTOBER 7, 2024

- 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance**
- 2.0 PUBLIC COMMENT**
- 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS**
  - 3.1 6:01 P.M. – Public Hearing – to consider the vacation of a portion of roadway easement on Swedish Drive NE (within the plat of Swedish Chapel Estates) and adoption of a Resolution
  - 3.2 6:01 P.M. – Public Hearing – to consider the vacation of a portion of an alley easement at 2129 158<sup>th</sup> Lane NE (Sunset Shore) and adoption of a Resolution
- 4.0 CONSENT AGENDA**

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

  - 4.1 Approval of minutes of September 16, 2024
  - 4.2 Approval of claims
  - 4.3 Approval of a Lawful Gambling eligibility requirements waiver for Minnesota Youth Athletic Services (MYSA)
  - 4.4 Approval of hiring Absentee Voting Election Staff
  - 4.5 Approval of a Resolution appointing Election Judges for the General Election on November 5, 2024 and allowing the City Clerk to appoint additional judges as needed
  - 4.6 Approval of a Resolution accepting an \$8,500 donation from the Ham Lake Chamber of Commerce
  - 4.7 Approval of a Resolution accepting a \$10,000 donation from State Farm’s Good Neighbor and National Volunteer Fire Council (NVFC)
  - 4.8 Approval of a Resolution denying the request for the subdivision through a Minor Plat of Magnuson Estates (2 lots) in Section 9
  - 4.9 Approval of accepting the Minnesota DNR VFA Matching Grant in the amount of \$5,000
  - 4.10 Approval of the Outdoor Lighting Energy and Maintenance Agreement for street lights in Swedish Chapel Estates
  - 4.11 Approval of an amendment to the Anoka Conservation District mitigation plan
- 5.0 PLANNING COMMISSION RECOMMENDATIONS**
  - 5.1 Jeff Stalberger, MN Developments LLC, requesting Final Plat approval of the plat of Swedish Chapel Estates located at 2506 Swedish Drive NE (47 Single Family Residential lots and 3 outlots) in Section 4 and adoption of a Rezoning Ordinance
- 6.0 ECONOMIC DEVELOPMENT AUTHORITY – None**
- 7.0 APPEARANCES – None**
- 8.0 CITY ATTORNEY**
- 9.0 CITY ENGINEER**
- 10.0 CITY ADMINISTRATOR**

**11.0 COUNCIL BUSINESS**

11.1 Committee Reports

11.2 Discussion of the request for a variance to the 200-foot frontage road requirement for a lot split at 2509 Bunker Lake Boulevard NE

11.3 Announcements and future agenda items

**CLOSED MEETING** - Pursuant to Minn. Stat. §13D.05, Subd. 3(c)(3) to discuss the purchase of real property identified as PIN #17-32-23-21-0017 (during a recess of the regularly scheduled City Council meeting)

**CLOSED MEETING** - Pursuant to Minn. Stat. §13D.05, Subd. 3(c)(3) to discuss the purchase of real property identified as PIN #21-32-23-14-0020 (during a recess of the regularly scheduled City Council meeting)

RESOLUTION NO. 24-XX

WHEREAS, a public hearing was held before the Ham Lake City Council on the 7th day of October, 2024 at 6:01 p.m. to consider the proposed vacation of certain lands within the City of Ham Lake;

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, that a portion of the following described property be vacated;

**SWEDISH DRIVE NE VACATION DESCRIPTION**

That part of Swedish Drive NE, within the Northeast Quarter of Section 4, Township 32 North, Range 23 West, Anoka County, Minnesota, which lies easterly of the west 15 acres thereof and which lies westerly of the westerly right of way line of Xylite Street NE (also known as County Road No 68). Except for those portions of Swedish Drive NE which fall within the following described tracts of land:

1. A plot of ground, commencing at a point 23.49 chains South and 5.15 chains East (Variation 8 degrees 51 minutes in 1887) of Quarter corner on North side of Section 4, Township 32, Range 23; thence South 29 degrees East (Variation 8 degrees 51 minutes in 1887) 9 1/2 rods, to a tamarac stake; thence North 64 degrees East, 14 1/2 rods; thence North 29 degrees West, 10 1/2 rods; thence South 60 1/2 degrees West, 14 1/2 rods to point of commencement, containing 1 acres, more or less, being a part of the Southwest Quarter of Northeast Quarter of Section 4, Township 32, Range 23.
2. That part of the Northeast Quarter of Section 4, Township 32, Range 23, described as follows: Commencing at a point 289 feet East and 732 feet North of the Southwest corner of said Northeast Quarter; thence Northeasterly along the center of the road 424 feet; thence Northwesterly 701 feet to the point, which is 289 feet East of the West line of the said Northeast Quarter; thence South to the point of beginning.
3. Commencing at a point 1550.34 feet (23.49 chains) South and 339.9 feet (5.15 chains) East of the Quarter corner on the North side of Section 4; thence South 29 degrees East for 156.75 feet; thence South 64 degrees West for 187.4 feet; thence North, parallel with and 247.5 feet East of the Quarter Section line for 142.15 feet to the Southerly line of a public road; thence North 50 degrees 10 minutes East along said Southerly road line to the point of beginning, also all right of title in said adjacent public road to the center line thereof, Anoka County, Minnesota.

Adopted by the City Council of the City of Ham Lake this 7th day of October 2024.

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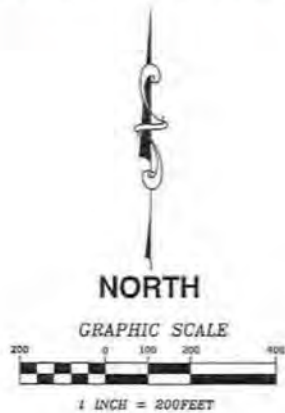
Brian Kirkham, Mayor

---

Denise Webster, City Clerk

# SKETCH AND DESCRIPTION

~for~ SWEDISH CHAPEL ESTATES  
 ~of~ SWEDISH DRIVE NE VACATION



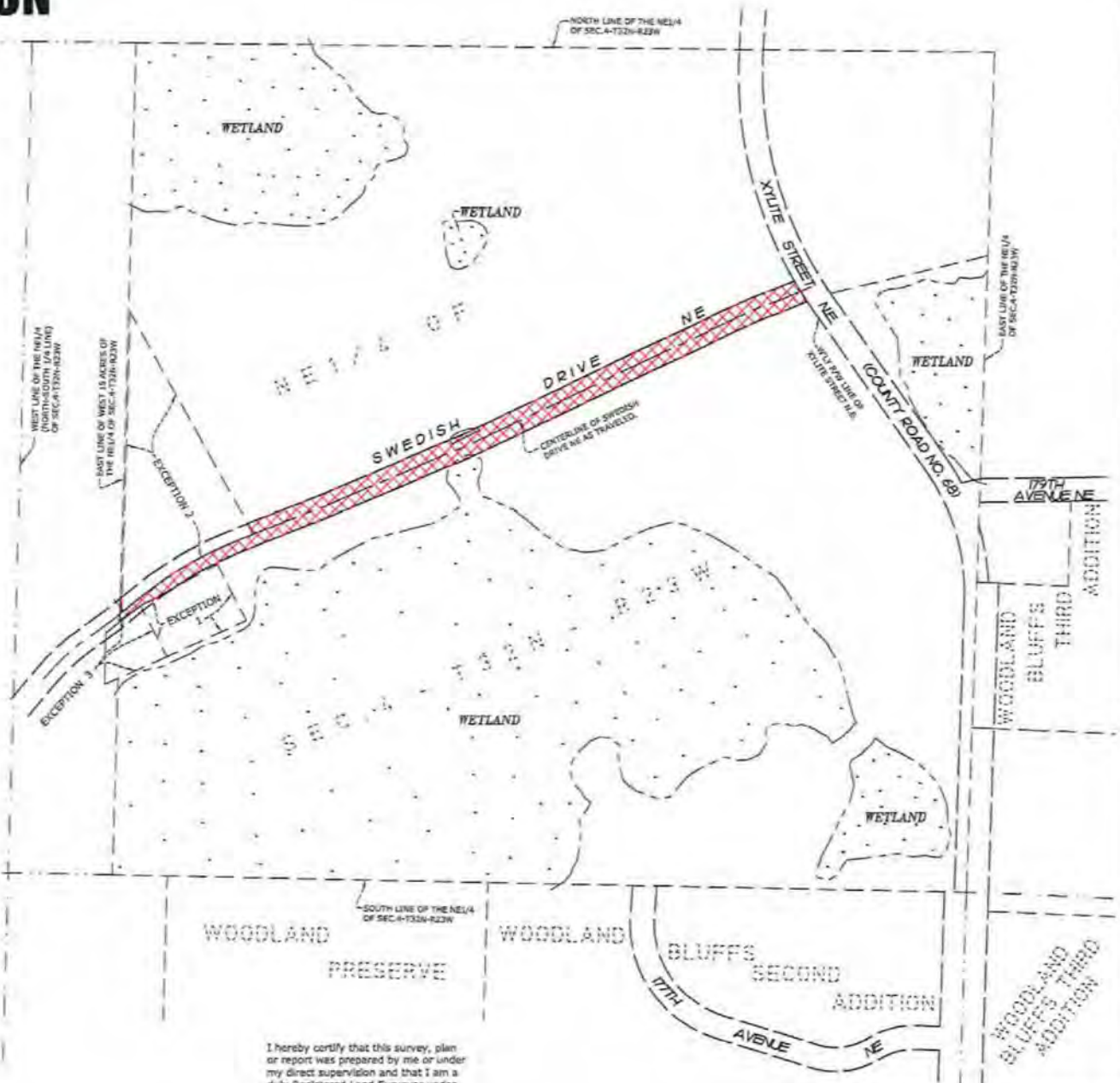
**LEGEND**  
 SWEDISH DRIVE NE VACATION

**NOTES**  
 - The width of Swedish Drive's right-of-way shading is approximate.  
 - The vacation proposed is a blanket vacation over the entire property.


**SWEDISH DRIVE NE VACATION DESCRIPTION**

That part of Swedish Drive NE, within the Northeast Quarter of Section 4, Township 32 North, Range 23 West, Anoka County, Minnesota, which lies easterly of the west 15 acres thereof and which lies westerly of the westerly right of way line of Xylite Street NE (also know as County Road No 68). Except for those portions of Swedish Drive NE which fall within the following described tracts of land:

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2. That part of the Northeast Quarter of Section 4, Township 32, Range 23, described as follows: Commencing at a point 289 feet East and 732 feet North of the Southwest corner of said Northeast Quarter; thence Northwesterly along the center of the road 424 feet; thence Northwesterly 701 feet to the point, which is 289 feet East of the West line of the said Northeast Quarter; thence South to the point of beginning.
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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

  
 JASON RUD  
 Date: 08-27-24 License No. 41578

 **E.G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY:	JEN	DSE NO.:	23-0743	DATE:	08/14/24
CHECK BY:	JER	FIELD CREW:	DT-CT		
1	08/27/24	ADD NOTES PER CITY COMMENTS	JRN		
2					
3					
NO.	DATE	DESCRIPTION		BY	



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
info@ci.ham-lake.mn.us

## NOTICE OF PUBLIC HEARING VACATION OF PUBLIC LAND

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held before the Ham Lake City Council on Monday, October 7, 2024 at 6:01 p.m. in the City Council Chambers, City Hall, 15544 Central Avenue NE, Ham Lake, Minnesota 55304, to hear comments and questions concerning the proposed vacation of the following described land within the City of Ham Lake, Minnesota:

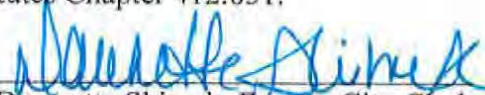
### **SWEDISH DRIVE NE VACATION DESCRIPTION**

That part of Swedish Drive NE, within the Northeast Quarter of Section 4, Township 32 North, Range 23 West, Anoka County, Minnesota, which lies easterly of the west 15 acres thereof and which lies westerly of the westerly right of way line of Xylite Street NE (also known as County Road No 68). Except for those portions of Swedish Drive NE which fall within the following described tracts of land:

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2. That part of the Northeast Quarter of Section 4, Township 32, Range 23, described as follows: Commencing at a point 289 feet East and 732 feet North of the Southwest corner of said Northeast Quarter; thence Northeasterly along the center of the road 424 feet; thence Northwesterly 701 feet to the point, which is 289 feet East of the West line of the said Northeast Quarter; thence South to the point of beginning.
3. Commencing at a point 1550.34 feet (23.49 chains) South and 339.9 feet (5.15 chains) East of the Quarter corner on the North side of Section 4; thence South 29 degrees East for 156.75 feet; thence South 64 degrees West for 187.4 feet; thence North, parallel with and 247.5 feet East of the Quarter Section line for 142.15 feet to the Southerly line of a public road; thence North 50 degrees 10 minutes East along said Southerly road line to the point of beginning, also all right of title in said adjacent public road to the center line thereof, Anoka County, Minnesota.

Said hearing is conducted pursuant to Minnesota Statutes Chapter 412.851.

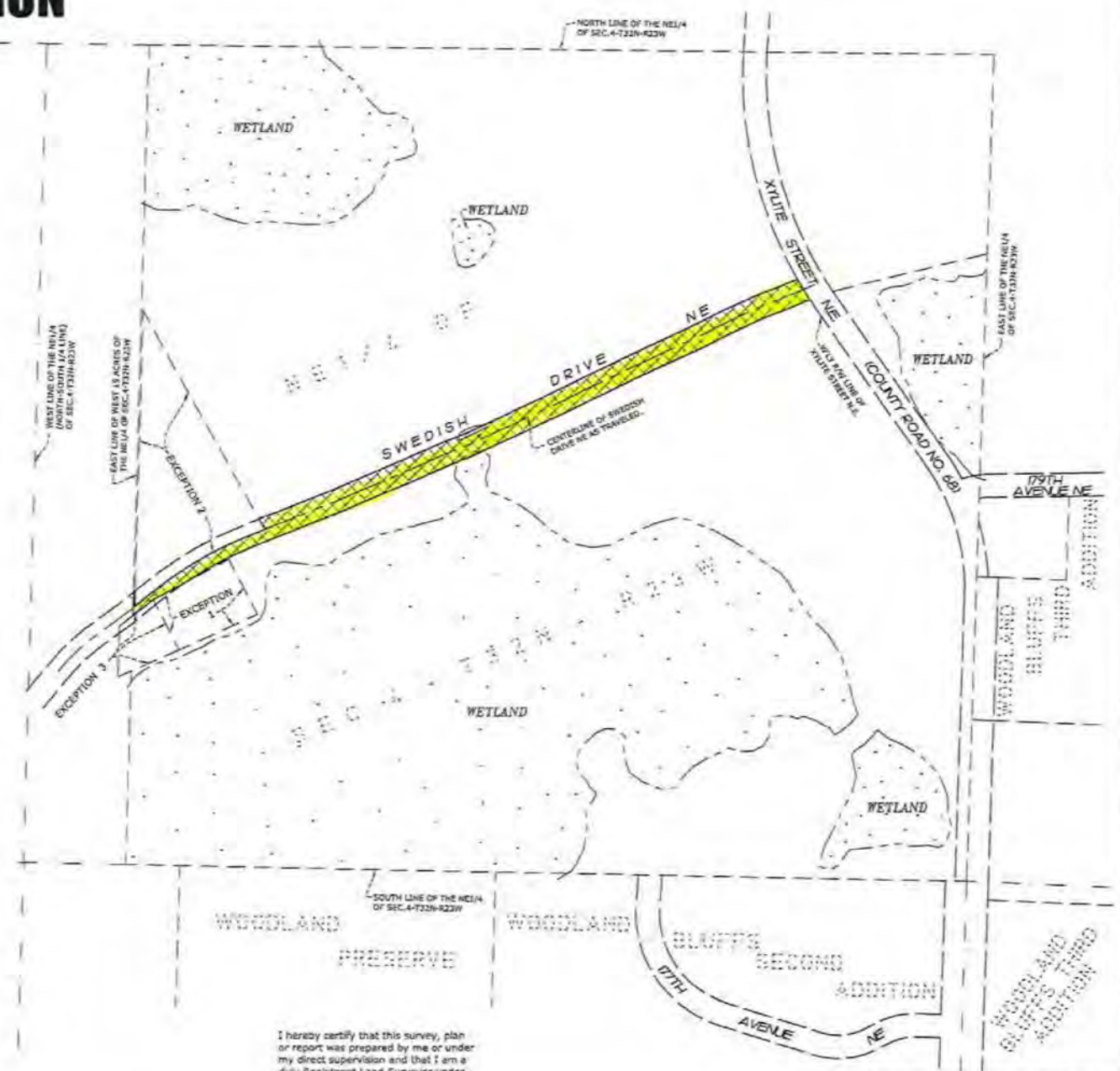
Dated: September 3, 2024

  
Dawnette Shimek, Deputy City Clerk

Posted at City Hall between the dates of September 20, 2024 and October 7, 2024.  
Published in the Star Tribune on September 20, 2024 and September 27, 2024

# SKETCH AND DESCRIPTION

~for~ SWEDISH CHAPEL ESTATES  
~of~ SWEDISH DRIVE NE VACATION



## SWEDISH DRIVE NE VACATION DESCRIPTION

That part of Swedish Drive NE, within the Northeast Quarter of Section 4, Township 32 North, Range 23 West, Anoka County, Minnesota, which lies easterly of the west 15 acres thereof and which lies westerly of the westerly right of way line of Xylite Street NE (also known as County Road No. 581). Except for those portions of Swedish Drive NE which fall within the following described tracts of land:

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**E. G. RUD & SONS, INC.**  
EST. 1977  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
JASON E. RUD

Date: 08-14-24 License No. 41578

DRAWN BY: JEN	JOB NO: 23.0743	DATE: 08/14/24
CHECK BY: JER	FIELD CREW: DT-CT	
1		
2		
3		
NO. DATE DESCRIPTION		BT

BENNETT REBECCA A  
PIN: 04-32-23-11-0001  
17943 XYLITE ST NE  
HAM LAKE, MN 55304

BRENK, SARA J  
PIN: 04-32-23-41-0009  
2458 177TH AVE NE  
HAM LAKE, MN 55304

CHAIKA, KEITH A  
PIN: 33-33-23-34-0037  
2140 DEERWOOD LN NE  
EAST BETHEL, MN 55092

ECKERT ROBERT J & GRACE A  
PIN: 04-32-23-41-0010  
2444 177TH LN NE  
HAM LAKE, MN 55304

EDGERTON TRUSTEE MELISSA S  
PIN: 03-32-23-23-0019  
2618 178TH LN NE  
HAM LAKE, MN 55304

ENGELMEYER, PHILIP  
PIN: 04-32-23-42-0005  
2321 176TH AVE NE  
HAM LAKE, MN 55304

FRIDAY LOWELL G  
PIN: 33-33-23-44-0003  
18215 GREENBROOK DR NE  
WYOMING, MN 55092

GEISLER JAMIE  
PIN: 04-32-23-42-0006  
2305 176TH AVE NE  
HAM LAKE, MN 55304

GOIFFON MARISSA LEE  
PIN: 04-32-23-42-0007  
2257 176TH AVE NE  
HAM LAKE, MN 55304

GUTIERREZ ESEQUIEL TORRES  
PIN: 33-33-23-43-0004  
18114 GREENBROOK DR NE  
EAST BETHEL, MN 55092

HAM LAKE HOLDINGS LLC  
PIN: 04-32-23-21-0001  
2195 SILVER LAKE RD  
NEW BRIGHTON, MN 55112

HANSMANN ZACHARY  
PIN: 33-33-23-43-0007  
2282 182ND AVE NE  
EAST BETHEL, MN 55092

HISH, ELIZABETH  
PIN: 03-32-23-23-0020  
2629 178TH LANE NE  
HAM LAKE, MN 55304

JONES TRUSTEE JEFFREY A  
PIN: 04-32-23-41-0005  
2449 177TH AVE NE  
HAM LAKE, MN 55304

JORGENSON COLIN  
PIN: 04-32-23-13-0003  
2217 SWEDISH DR NE  
HAM LAKE, MN 55304

JUREK RICHARD A & L E  
PIN: 33-33-23-43-0008  
2212 182ND AVE NE  
WYOMING, MN 55092

KURTH MATTHEW R  
PIN: 04-32-23-41-0011  
2438 177TH AVE NE  
HAM LAKE, MN 55304

LUTH CH SOCIETY OF HAM LAKE  
PIN: 04-32-23-13-0005  
19001 JACKSON ST. NE.  
EAST BETHEL, MN 55011

MARTY KIMBERLY S  
PIN: 33-33-23-44-0006  
2454 182ND AVE NE  
WYOMING, MN 55092

MN DEVELOPMENTS LLC  
PIN: 04-32-23-14-0001  
17404 WARD LAKE DR NW  
ANDOVER, MN 55304

MN STATE OF IN TRUST  
PIN: 03-32-23-23-0023  
2100 3RD AVE  
ANOKA, MN 55303

MORSE II STEVEN D  
PIN: 04-32-23-24-0004  
2159 SWEDISH DR NE  
HAM LAKE, MN 55304

NEWMAN GUY  
PIN: 33-33-23-43-0005  
2362 182ND LN NE  
EAST BETHEL, MN 55092

NEWPORT DANIEL A & ANDREA M  
PIN: 03-32-23-23-0018  
2630 178TH AVE NE  
HAM LAKE, MN 55304

OLSEN DANIEL C  
PIN: 33-33-23-43-0006  
2352 182ND AVE NE  
EAST BETHEL, MN 55092

PARKER, SEAN M  
PIN: 04-32-23-31-0001  
2126 SWEDISH DR NE  
HAM LAKE, MN 55304

PAUTSCH, GERRIT C  
PIN: 03-32-23-23-0021  
2645 178TH LANE  
HAM LAKE, MN 55304

PETERSON TRUSTEE, FAITH H  
PIN: 03-32-23-23-0002  
17833 XYLITE ST NE  
HAM LAKE, MN 55092

PETERSON, JEFFREY LEROY  
PIN: 03-32-23-32-0003  
17735 XYLITE ST NE  
HAM LAKE, MN 55092

PETERSON, LESLIE JO  
PIN: 03-32-23-23-0005  
17735 XYLITE ST NE  
HAM LAKE, MN 55092

PISHCHIK ALEKSANDR S & ALLA  
PIN: 03-32-23-23-0022  
17834 DUNKIRK ST NE  
HAM LAKE, MN 55304

SCHULTZ, THOMAS H  
PIN: 04-32-23-41-0002  
2553 177TH AVE NE  
HAM LAKE, MN 55304

SORMAN, JAMES R  
PIN: 04-32-23-41-0004  
2511 177TH AVE NE  
HAM LAKE, MN 55304

VAN STEEN DEBORAH J  
PIN: 33-33-23-34-0038  
18121 DEERWOOD LN NE  
WYOMING, MN 55092

WILLIAMS TRUSTEE MICHAEL  
PIN: 04-32-23-41-0003  
2531 177TH AVE NE  
HAM LAKE, MN 55304



RESOLUTION NO. 24-XX

WHEREAS, a public hearing was held before the Ham Lake City Council on the 7<sup>th</sup> day of October 7, 2024 at 6:01 p.m. to consider the proposed vacation of certain lands within the City of Ham Lake;

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, that the following described property be vacated;

**VACATION DESCRIPTION**

That portion of the alley as dedicated on the plat of SUNSET SHORE, Anoka County, Minnesota which lies northerly of the easterly extension of the South line of Lot 7, AUDITOR'S SUBDIVISION NO. 125, Anoka County, Minnesota.

Reserving a public easement for public roadway purposes over the South 16 feet thereof.

Adopted by the City Council of the City of Ham Lake this 7th day of October, 2024.

---

Brian Kirkham, Mayor

---

Denise Webster, City Clerk



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
info@ci.ham-lake.mn.us

## NOTICE OF PUBLIC HEARING VACATION OF PUBLIC LAND

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held before the Ham Lake City Council on October 7, 2024 at 6:01 p.m. in the City Council Chambers, City Hall, 15544 Central Avenue N.E. Ham Lake, Minnesota 55304, to hear comments and questions concerning the proposed vacation of the following described land within the City of Ham Lake, Minnesota:

### VACATION DESCRIPTION

That portion of the alley as dedicated on the plat of SUNSET SHORE, Anoka County, Minnesota which lies northerly of the easterly extension of the South line of Lot 7, AUDITOR'S SUBDIVISION NO. 125, Anoka County, Minnesota.

Reserving a public easement for public roadway purposes over the South 16 feet thereof.

Said hearing is conducted pursuant to Minnesota Statutes Chapter 412.851.

Dated: September 19, 2024

  
Dawnette Shimek, Deputy City Clerk

Posted at City Hall between the dates of September 19, 2024 and October 7, 2024.

Published in the Star Tribune on September 19, 2024 and September 26, 2024.

# SKETCH AND DESCRIPTION

~for~ DERK SCHOLTZ  
 ~of~ 2129 158TH LANE NE  
 HAM LAKE, MN

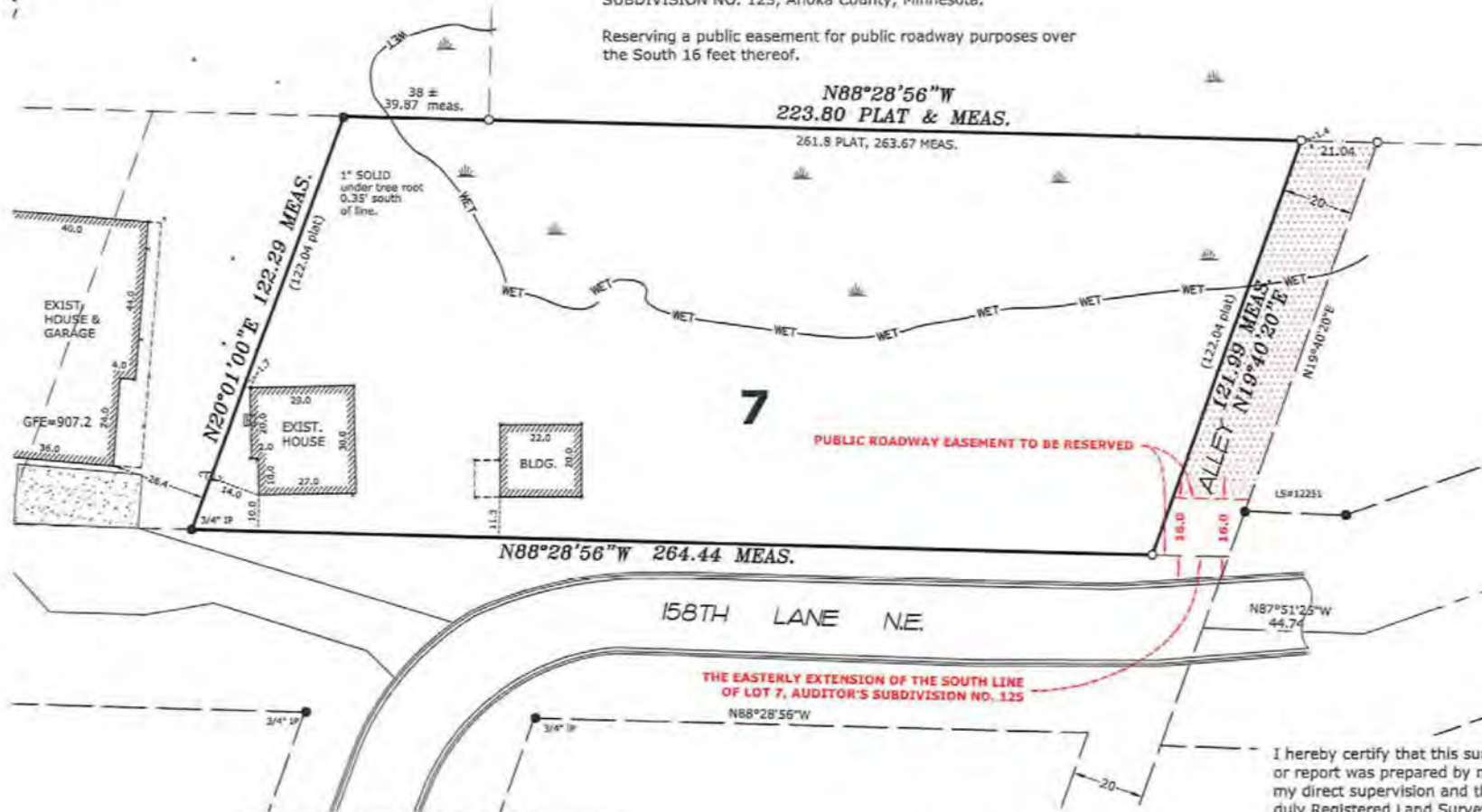
# VACATION DESCRIPTION

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Reserving a public easement for public roadway purposes over the South 16 feet thereof.



VACATION AREA = 2,103 S.F.



7

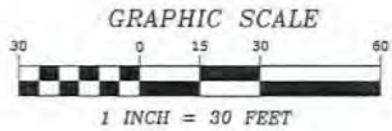
PUBLIC ROADWAY EASEMENT TO BE RESERVED

THE EASTERLY EXTENSION OF THE SOUTH LINE OF LOT 7, AUDITOR'S SUBDIVISION NO. 125

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD

Date: 09-06-24 License No. 41578



DRAWN BY:	CMB	JOB NO:	2102608T	DATE:	08/06/24
CHECK BY:	JER	FIELD CREW:	N/A		
1	9-06-24	CITY COMMENTS		CMB	
2					
3					
NO.	DATE	DESCRIPTION		BY	

**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrud.com

DOWD DANIEL T & ROBERTA M  
PIN: 16-32-23-34-0029  
15810 E HAM LAKE DR NE  
HAM LAKE, MN 55304

HALLAWAY JR DONALD HERBERT  
PIN: 16-32-23-34-0026  
15766 E HAM LAKE DR  
HAM LAKE, MN 55304

HALLAWAY SHARON G  
PIN: 16-32-23-34-0043  
15766 E HAM LK DR  
HAM LAKE, MN 55304

HAM LAKE BAPTIST CAMP ASSOC  
PIN: 16-32-23-43-0007  
15140 XYLITE ST NE  
HAM LAKE, MN 55304

HANSON, LINDSEY M  
PIN: 16-32-23-34-0039  
2134 158TH LN NE  
HAM LAKE, MN 55304

HERMAN, JOANN  
PIN: 16-32-23-34-0030  
15820 E HAM LAKE DR NE  
HAM LAKE, MN 55304

ILLETSCHKO FRED & MARILYN  
PIN: 16-32-23-34-0034  
2117 158TH LN NE  
HAM LAKE, MN 55304

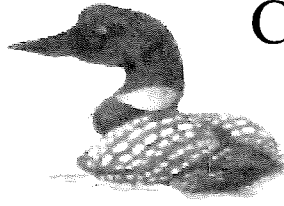
ITSKOVICH MICHAEL  
PIN: 16-32-23-34-0007  
15807 E HAM LAKE DR NE  
HAM LAKE, MN 55304

KIRKEIDE GARY W & JANELLE D  
PIN: 16-32-23-34-0011  
2152 158TH LN NE  
ANOKA, MN 55304

LEHMAN, ASHELY MARIE  
PIN: 16-32-23-34-0037  
15739 E HAM LAKE DR NE  
HAM LAKE, MN 55304

SCHOLTZ HEIDI K  
PIN: 16-32-23-34-0038  
2408 34TH AVE S  
MINNEAPOLIS, MN 55406

TRAVEL RESORTS AT HAM LAKE LLC  
PIN: 16-32-23-42-0002  
1930 N POPLAR ST STE 21  
SOUTHERN PINES, NC 28387



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## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES MONDAY, SEPTEMBER 16, 2024

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, September 16, 2024 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Acting Mayor Jesse Wilken, Jim Doyle, and Gary Kirkeide

**MEMBERS ABSENT:** Mayor Brian Kirkham and Councilmember Al Parranto

**OTHERS PRESENT:** City Attorney, Mark Berglund; City Engineer, Tom Collins; City Administrator, Denise Webster; Finance Director, Andrea Murff; and Deputy City Clerk, Dawnette Shimek

### 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Acting Mayor Wilken called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

### 2.0 PUBLIC COMMENT

Jim Malvin, the Developer of Evergreen Estates was present and requested to speak during agenda Items 8.1 and 8.2.

### 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

3.1 Lt. Anthony Mendoza, Anoka County Sheriff's Office Monthly Report

3.2 PUBLIC HEARING – 6:01 p.m. – to consider the assessment roll for 2025 Street Light Fees and adoption of Resolution No. 24-43

**Acting Mayor Wilken opened the public hearing for public comment at 6:01 p.m.**

Finance Director Murff explained that each year there is a street light assessment fee for properties that have street light's in their development, which is required by the Short-Form Development Agreement. Finance Director Murff stated that currently the fee is \$45.00 a year for those properties and they can pre-pay by November 15, 2024 or have the amount go onto their 2025 property taxes. Finance Director Murff stated that the fee is to cover the yearly cost of the electricity. Finance Director Murff stated that some of the street lights are over 20 years old and are going to need some repairs made to them, which could increase fees in the future.

John Minotti, 16908 Leyte Street NE, was present. Mr. Minotti questioned what Ordinance or Law exists that binds him to pay this fee. Finance Director Murff stated that an Ordinance was passed in 2010, which requires \$3.75 a month fee be charged for street lighting, which would equal \$45.00 a year.

Engineer Collins explained that the Short-Form Development Agreement shows which Developments are required to pay for street lights. Engineer Collins stated that the Short-Form Development Agreement is filed with the County and once the title company does a search for a particular property, it would show that a development has street lights that need to be paid for.

Finance Director Murff stated that there is a Special Revenue Fund for street lights, and it is the goal of the City to only cover the costs of the street lights.

Attorney Berglund stated that if the street light fees were to increase, a public hearing would be required.

**Acting Mayor Wilken closed the public hearing at 6:07 p.m.**

**Motion by Kirkeide, seconded by Doyle, to adopt Resolution No. 24-43 approving the assessment roll for the 2025 Street Light Fees. All present in favor, motion carried.**

#### **4.0 CONSENT AGENDA**

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of September 3, 2024 and Workshop minutes of September 3, 2024
- 4.2 Approval of claims in the amount of \$201,210.65
- 4.3 Approval of Resolution No. 24-44 accepting a \$200 donation for the Ham Lake Fire Department
- 4.4 Approval of the Final Upper Rum River Watershed Management Organization Joins Powers Agreement (JPA) and adoption of Resolution No. 24-45
- 4.5 Approval of Resolution No. 24-46 scheduling a public hearing to vacate a portion of an alley easement at 2129 158<sup>th</sup> Lane NE

**Motion by Doyle, seconded by Kirkeide, to approve the Consent Agenda as written. All present in favor, motion carried.**

#### **5.0 PLANNING COMMISSION RECOMMENDATIONS**

- 5.1 Roger and Sue Haugen, S & R Developers LLC, requesting Preliminary Plat approval for Enchanted Estates 4<sup>th</sup> Addition (9 Single Family Residential lots) in Section 14

**Motion by Doyle, seconded by Kirkeide, to concur with the recommendation of the Planning Commission and approve the Preliminary Plat of Enchanted Estates 4<sup>th</sup> Addition in Section 14, as presented by Roger and Sue Haugen of S & R Developers LLC, subject to updating the survey to show all existing accessory building sizes before submission of the Final Plat for approval and updating the survey to show that the southerly building on proposed Lot 8 will be demolished, updating the exterior finish of the accessory building on 16207 Austin Street NE to match the color, texture and style of the like surfaces on the existing dwelling unit, meeting all requirements of the City Engineer and Building Official and meeting all City, County, and State requirements. All present in favor, motion carried.**

The Haugen's thanked the City Council and staff for all their help during the process of completing their development and stated that Ham Lake is a great place to live.

5.2 Gary Magnuson requesting approval of a subdivision through a Minor Plat of Magnuson Estates (2 lots) in Section 9

**Motion by Wilken, seconded by Doyle, to concur with the Planning Commission and deny Gary Magnuson's Sketch Plan approval request for the minor Plat of Magnuson Estates (2 lots) in Section 9, due to the owner not willing to remove the building located within the front yard set-back and direct Attorney Berglund to prepare findings of fact for the denial. All present in favor, motion carried. Discussion followed.**

6.0 **ECONOMIC DEVELOPMENT AUTHORITY – None**

7.0 **APPEARANCES – None**

8.0 **CITY ATTORNEY**

8.1 Discussion of acting on the Letter of Credit (LOC) in the amount of \$167,460 for Evergreen Estates and adoption of Resolution No. 24-47

Attorney Berglund explained that a Letter of Credit (LOC) in the amount of \$167,460 was received from the developer of Evergreen Estates, which is set to expire on November 1, 2024. Attorney Berglund explained that when the preliminary plat was approved, it was indicated that certain lots were required to have trail easements given to the City. Attorney Berglund stated that some lots were sold before the easements were acquired and currently Lot 8, Block 5, Evergreen Estates, is the only lot where the easement has not been acquired. Attorney Berglund stated that the developer has been working with the property owner to obtain the trail easement, but the property owner is not willing give the trail easement. Attorney Berglund stated that acquiring the easement is the responsibility of the developer and at no fault of the City.

Jim Malvin, Developer of Evergreen Estates, stated that the Development Agreement and the Short-Form Development Agreement stated what lots he needed to obtain the trail easements from and Lot 8, Block 5, was not listed. Mr. Malvin stated that he feels he met his obligation and doesn't feel this is right. Mr. Malvin stated that there should be a compromise between him and the City.

Engineer Collins stated that the 2021 plans were approved, and his memo stated which trail easements were needed, which included Lot 5, Block 8, Evergreen Estates. Engineer Collins stated that there were three correct lots and two incorrect lots listed in the Development Agreement and when the Development Agreement was prepared the lots were superimposed. Attorney Berglund stated that the developer was able to obtain one of the trail easements, but not the other one. Attorney Berglund stated that the Resolution before the City Council would be to act on the Letter of Credit to obtain an appraisal of the trail easement to determine the cost to purchase it. Attorney Berglund stated that any money remaining would be refunded to the Developer. Councilmember Kirkeide questioned if there were parkland dedication fees. Engineer Collins stated that the trail easement was part of the parkland dedication agreement. **Motion by Wilken, seconded by Doyle, to approve Resolution No. 24-47 acting on the Letter of Credit (LOC) in the amount of \$167,460 for Evergreen Estates, if deemed necessary. All present in favor, motion carried.**

8.2 Discussion of obtaining an appraisal for a 15-foot wide trail easement located on Lot 8, Block 5, Evergreen Estates

**Motion by Kirkeide, seconded by Doyle, to direct Attorney Berglund to obtain an appraisal for a 15-foot wide trail easement located on Lot 8, Block 5, Evergreen Estates. All present in favor, motion carried.**

9.0 CITY ENGINEER – None

10.0 CITY ADMINISTRATOR – None

11.0 COUNCIL BUSINESS

11.1 Committee Reports – None

11.2 Discussion of the request for a variance to the 200-foot frontage road requirement for a lot split at 2509 Bunker Lake Boulevard NE

**Motion by Kirkeide, seconded by Doyle, to table the request for a variance to the 200-foot frontage road requirement for a lot split at 2509 Bunker Lake Boulevard NE until the full City Council is present. All present in favor, motion carried.**

11.3 Announcements and future agenda items – None

**Motion by Kirkeide, seconded by Wilken, to adjourn the meeting at 6:24 p.m. All present in favor, motion carried.**

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Dawnette Shimek, Deputy City Clerk



**CITY OF HAM LAKE**  
**CLAIMS SUBMITTED TO COUNCIL**  
October 7, 2024

**CITY OF HAM LAKE**

<b>EFTS, CHECKS, AND BANK DRAFTS</b>		<b>09/17/24 - 10/07/24</b>	
EFT	# 2135 - 2145		\$ 156,157.25
REFUND CHECKS	# 66504 - 66508 & 66510 - 66515		\$ 13,650.00
CHECKS	# 66509 & 66516 - 66563		\$ 313,578.15
BANK DRAFTS	DFT0002774 - DFT0002781		\$ 32,396.09
<b>TOTAL EFTS, CHECKS, AND BANK DRAFTS</b>			<u>\$ 515,781.49</u>
<b>PAYROLL CHECKS</b>			
09/20/24	Direct Deposits		\$ 50,807.26
10/04/24	Direct Deposits		\$ 40,438.28
<b>TOTAL PAYROLL CHECKS</b>			<u>\$ 91,245.54</u>
<b>VOID CHECKS</b>			
<b>CHECKS</b>			
ZERO CHECKS	#66559, 66560		\$ -
ZERO EFT			\$ -
BANK DRAFTS			\$ -
<b>TOTAL VOIDS</b>			<u>\$ -</u>
<b>TOTAL OF ALL PAYMENTS</b>			<u><u>\$ 607,027.03</u></u>

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 7TH DAY OF OCTOBER 2024

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER



Packet: ARPKT01196 - 09/16/24 TRUST REFUNDS

## Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00337	SHADE TREE CONSTRUCTION	9/16/2024	66504	2,500.00
00465	PREMIER CUSTOM HOMES	9/16/2024	66505	2,500.00
00527	TJB HOMES	9/16/2024	66506	2,500.00
00548	PREMIER CUSTOM HOMES	9/16/2024	66507	5,100.00
00584	NORTHERN LIGHT HOMESCHOOL ASSOCIATION	9/16/2024	66508	150.00
Total Refund Amount:				12,750.00

## Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	12,750.00
Revenue Totals:	12,750.00

## General Ledger Distribution

Posting Date: 09/16/2024

Account Number	Account Name	Posting Amount	IFT
<b>Fund: 890 - TRUST FUND</b>			
890-10101	Cash-claim on pooled cash	-12,750.00	Yes
890-11501	Misc receivables	12,750.00	
	<b>890 Total:</b>	<b>0.00</b>	
<b>Fund: 999 - POOLED CASH</b>			
999-10100	Pooled Cash	-12,750.00	
999-20702	Due to other funds	12,750.00	Yes
	<b>999 Total:</b>	<b>0.00</b>	
	<b>Distribution Total:</b>	<b>0.00</b>	



Packet: ARPKT01215 - 10/02/24 TRUST REFUNDS

## Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00579	LISA CANADAY	10/2/2024	66510	150.00
00581	EMILY BYDLON	10/2/2024	66511	150.00
00583	HAM LAKE LIONS CLUB	10/2/2024	66512	150.00
00586	MADDY FOHRENKAMM	10/2/2024	66513	150.00
00592	CHARISE HICKERSON	10/2/2024	66514	150.00
00595	A+ OUTDOOR	10/2/2024	66515	150.00
Total Refund Amount:				900.00

## Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	900.00
Revenue Totals:	900.00

## General Ledger Distribution

Posting Date: 10/02/2024

Account Number	Account Name	Posting Amount	IFT
<b>Fund: 890 - TRUST FUND</b>			
890-10101	Cash-claim on pooled cash	-900.00	Yes
890-11501	Misc receivables	900.00	
	<b>890 Total:</b>	0.00	
<b>Fund: 999 - POOLED CASH</b>			
999-10100	Pooled Cash	-900.00	
999-20702	Due to other funds	900.00	Yes
	<b>999 Total:</b>	0.00	
	<b>Distribution Total:</b>	0.00	



Payment Dates 9/17/2024 - 10/7/2024

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
2135	BRODIN PRESS	OCTOBER HAM LAKER	Editing	211-41704-3125	900.00
2135	BRODIN PRESS	SEPTEMBER HAM LAKER	Editing	211-41704-3125	900.00
2136	CMT JANITORIAL SERVICES	CITY HALL CLEANING	Cleaning service	100-41702-3430	612.00
2136	CMT JANITORIAL SERVICES	SHERIFF'S OFFICE CLEANING	Cleaning service	100-41702-3430	153.00
2136	CMT JANITORIAL SERVICES	FIRE #1 CLEANING	Cleaning service	100-42202-3430	161.00
2136	CMT JANITORIAL SERVICES	FIRE #3	Cleaning service	100-42202-3430	387.00
2136	CMT JANITORIAL SERVICES	FIRE #2 CLEANING	Cleaning service	100-42202-3430	151.00
2136	CMT JANITORIAL SERVICES	PW CLEANING	Cleaning service	100-43104-3430	148.00
2136	CMT JANITORIAL SERVICES	SR CENTER CLEANING	Cleaning service	100-44202-3430	300.00
2137	DELTA DENTAL PLAN OF MINN	OCT COBRA - DK	COBRA receivable	100-11502	51.04
2137	DELTA DENTAL PLAN OF MINN	OCT DENTAL	Dental Insurance	100-21711	922.58
2138	ELITE GARAGE DOOR SERVICE	GARAGE DOOR REPAIR	Building repair & maintenanc	100-43104-3420	769.94
2139	GRAINGER	LIQUID CHARGING ADAPTER	Operating supplies	100-43101-2290	16.37
2140	HAM LAKE FIRE RELIEF ASSN	2024 FIRE STATE AID	Fire relief state aid	100-48101-4135	149,291.83
2141	KILLMER ELECTRIC CO INC	SIGNAL REPAIR - HWY 65 & C	Equipment repair & maintena	100-43401-3440	226.60
2142	O'REILLY AUTOMOTIVE STORE	GREASE GUN & TOWELS	Operating supplies	100-43101-2290	48.98
2142	O'REILLY AUTOMOTIVE STORE	TOWELS	Operating supplies	100-43101-2290	7.99
2143	UNLIMITED SUPPLIES INC	BRAKE CLEANER	Operating supplies	100-43101-2290	29.70
2144	VESTIS	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	94.26
2144	VESTIS	FIRST AID CABINET	Safety supplies	100-43101-2240	14.99
2144	VESTIS	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.61
2144	VESTIS	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	94.26
2144	VESTIS	FIRST AID CABINET	Safety supplies	100-43101-2240	14.99
2144	VESTIS	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.61
2145	WICK COMMUNICATIONS-LEA	OCT HAM LAKER	Printing	211-41704-3970	742.50
66509	ANOKA CONSERVATION DISTR	RARE PLANT TAKING PERMIT -	Other professional services	262-46101-3190	36,000.00
66509	ANOKA CONSERVATION DISTR	RARE PLANT TAKING PERMIT -	Other professional services	431-43301-3190	24,000.00
66516	A FAMILY TREE AND BRUSH SE	3441 INTERLACHEN DRIVE - R	Operating supplies	100-43101-2290	10,950.00
66517	A+ OUTDOOR SERVICES INC	09/20/24 LION'S PARK RENTA	Sales tax	100-21801	8.13
66517	A+ OUTDOOR SERVICES INC	09/20/24 LION'S PARK RENTA	Park/pavillon rentals	100-34702	100.00
66518	ANOKA COUNTY PROPERTY	NOTARY REGISTRATION - DAW	Dues & subscriptions	100-41301-3920	20.00
66519	ANOKA COUNTY TREASURY D	SEPT BROADBAND CITY HALL	Internet & website	100-41707-3220	37.50
66519	ANOKA COUNTY TREASURY D	SEPT BROADBAND FIRE #2	Internet	100-42201-3220	75.00
66520	ASPEN MILLS INC	POLOS	Clothing & personal protectiv	100-42201-2210	98.66
66521	BERGANKDV	FEDERAL AUDIT	Audit & actuarial services	100-41402-3115	3,950.00
66521	BERGANKDV	2023 AUDIT	Audit & actuarial services	100-41402-3115	13,530.00
66521	BERGANKDV	2023 EXTENDED AUDIT	Audit & actuarial services	100-41402-3115	5,875.00
66522	BJORKLUND TRUCKING LLC	21.86 TN CRUSHED CONCRET	Capital assets	440-44103-5110	557.43
66522	BJORKLUND TRUCKING LLC	GRANPA SCOTT'S PLAYGROUN	Capital assets	440-44103-5110	572.22
66523	BOYER FORD TRUCK INC	#54 CABLE ASSEMBLY	Vehicle parts & supplies	100-43101-2340	47.99
66523	BOYER FORD TRUCK INC	#54 AIR TANK	Vehicle parts & supplies	100-43101-2340	378.74
66524	BRYANT & FIELD REAL ESTATE	APPRAISAL 16339 BUCHANAN	ROW Acquisition	431-43301-5130	2,200.00
66524	BRYANT & FIELD REAL ESTATE	EVERGREEN TRAIL EASEMENT	Other trust expense	890-90001-9120	1,400.00
66525	BUSINESS ESSENTIALS	PAPER TOWELS, TOILET PAPER	Operating supplies	100-44101-2290	726.82
66526	CENTERPOINT ENERGY	CITY HALL	Natural gas	100-41702-3620	82.30
66526	CENTERPOINT ENERGY	FIRE #2	Natural gas	100-42202-3620	31.26
66526	CENTERPOINT ENERGY	FIRE #1	Natural gas	100-42202-3620	75.27
66526	CENTERPOINT ENERGY	PW	Natural gas	100-43104-3620	87.96
66526	CENTERPOINT ENERGY	H.L. PARK PAVILION	Natural gas	100-44102-3620	28.72
66526	CENTERPOINT ENERGY	H.L. PARK BUILDING	Natural gas	100-44102-3620	32.06
66526	CENTERPOINT ENERGY	SR CENTER	Natural gas	100-44202-3620	44.31
66527	COMCAST BUSINESS	FIRE #1 ADD'L CABLE BOX	Rentals-other	100-42201-3390	11.33
66528	COMCAST BUSINESS-INTERNE	SEPTEMBER FIRE #3 INTERNE	Internet	100-42201-3220	407.15
66529	CRYTEEL TRUCK EQUIP INC	#93 PLATE LATCH WELDMENT	Vehicle parts & supplies	100-43101-2340	227.17

Council Approval List

Payment Dates: 9/17/2024 - 10/7/2024

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
66529	CRYSTEEL TRUCK EQUIP INC	#78 TOMMY GATE CONTROL	Vehicle parts & supplies	100-43101-2340	185.00
66530	DEARBORN LIFE INS CO	OCT LIFE	Life Insurance	100-21714	57.60
66530	DEARBORN LIFE INS CO	OCT VOL LIFE	Life Insurance	100-21714	177.90
66531	DEHN OIL CO	250 GAL DIESEL	Fuel	100-43101-2230	594.78
66531	DEHN OIL CO	386 GAL GASOLINE	Fuel	100-43101-2230	965.46
66532	EMERGENCY APPARATUS MTC	FIRE #2 GENERATOR	Building repair & maintenanc	100-42202-3420	47.45
66532	EMERGENCY APPARATUS MTC	FIRE #1GENERATOR REPAIR	Building repair & maintenanc	100-42202-3420	137.58
66532	EMERGENCY APPARATUS MTC	PW GENERATOR REPAIR	Building repair & maintenanc	100-43104-3420	237.22
66532	EMERGENCY APPARATUS MTC	E1 AIR DRYER REPAIR	Fire apparatus repair & maint	100-42201-3450	779.62
66533	EVERGREEN RECYCLING LLC	MATTRESS RECYCLING	Waste management & recycli	231-43601-3630	520.00
66534	FIRE INSTRUCTION & RESCUE	PUMPING SCENARIOS	Training/conferences/schools	100-42201-3510	650.00
66534	FIRE INSTRUCTION & RESCUE	WATER RESCUE TRAINING	Training/conferences/schools	100-42201-3510	650.00
66535	FIRST ADVANTAGE LNS OCC H	ANNUAL ENROLLMENT - EH	Personnel testing & recruitme	100-43101-3150	36.71
66535	FIRST ADVANTAGE LNS OCC H	ANNUAL ENROLLMENT - DH	Personnel testing & recruitme	100-44101-3150	36.71
66536	FOX PRESS LLC	DRAWBAGS	Fire prevention-supplies	100-42201-2810	185.00
66537	GOODYEAR TIRE	#84 TIRES	Equipment parts & supplies	100-43101-2320	381.24
66537	GOODYEAR TIRE	#61 TIRES	Equipment parts & supplies	100-43101-2320	3,230.00
66537	GOODYEAR TIRE	#105 TIRES	Equipment parts & supplies	100-43101-2320	539.56
66538	INTERSTATE ALL BATTERY CEN	SR CENTER BATTERY	Building repair & maintenanc	100-44202-2310	20.80
66539	LEAGUE OF MINNESOTA CITIE	MEMBERSHIP DUES	Dues & subscriptions	100-41101-3920	5,753.00
66540	LEPAGE & SONS INC	09/09 YARDWASTE	Waste management & recycli	231-43601-3630	542.48
66541	MENARDS-BLAINE	FIRE #2 SEALANT	Building repair & maintenanc	100-42202-2310	27.96
66541	MENARDS-BLAINE	FURNITURE TIPS, PVC	Operating supplies	100-44101-2290	7.17
66541	MENARDS-BLAINE	MANURE & BEDING MULCH F	Operating supplies	100-44101-2290	72.97
66542	MICHELLE COOP	R#70548 10/05/24 LION'S PA	Sales tax	100-21801	14.22
66542	MICHELLE COOP	R#70548 10/05/24 LION'S PA	Park/pavilion rentals	100-34702	175.00
66543	MINNESOTA EQUIPMENT	#78 PLATE CAMERA	Vehicle parts & supplies	100-43101-2340	131.64
66543	MINNESOTA EQUIPMENT	PIN	Operating supplies	100-43101-2290	7.79
66544	MN DEPARTMENT OF LABOR	3RD QTR SURCHARGE	Surcharge	100-22801	3,613.19
66545	MN DEPT OF TRANSPORTATIO	COUNTY DITCH #58	Other professional services	431-43301-3190	3,391.01
66546	MN/WI PLAYGROUND INC	FIRE #3 RUBBER MULCH	Capital assets	420-42201-5110	3,269.00
66547	NORTHDALE CONSTRUCTION	MEADOW PARK CONSTRUCTI	Contractors	431-43301-3810	172,412.18
66548	PRINT CENTRAL	BUSINESS CARDS - DW	Office supplies	100-41201-2110	33.63
66548	PRINT CENTRAL	BUSINESS CARDS - DS	Office supplies	100-41301-2110	22.50
66548	PRINT CENTRAL	BUSINESS CARDS - AM	Office supplies	100-41401-2110	22.50
66548	PRINT CENTRAL	BUSINESS CARDS - JB	Office supplies	100-41601-2110	22.50
66548	PRINT CENTRAL	BUSINESS CARDS - MR	Office supplies	100-42201-2110	22.50
66548	PRINT CENTRAL	BUSINESS CARDS - MJ, TD	Office supplies	100-42401-2110	67.27
66548	PRINT CENTRAL	BUSINESS CARDS - JC, JW, JK	Office Supplies	100-43101-2110	89.77
66549	PTL TIRE INC	#61 TIRE MOUNT	Equipment repair & maintena	100-43101-3440	229.50
66549	PTL TIRE INC	TRAILER TIRE INSTALLATION	Equipment repair & maintena	100-43101-3440	116.42
66549	PTL TIRE INC	#61 TIRE MOUNT, BALANCE,	Equipment repair & maintena	100-43101-3440	254.99
66550	RDO EQUIPMENT CO.	#71 PIN & WASHER	Equipment parts & supplies	100-43101-2320	594.37
66551	RECYCLE TECHNOLOGIES INC	FALL RECYCLING DAY	Waste management & recycli	231-43601-3630	450.00
66551	RECYCLE TECHNOLOGIES INC	RECYCLING DAY - SR CTR TV	Waste management & recycli	231-43601-3630	30.00
66552	RICCAR CORP	CANCEL PERMIT #2024-00947	Surcharge	100-22801	1.00
66552	RICCAR CORP	CANCEL PERMIT #2024-00947	Other construction permits	100-32202	60.00
66553	RIVARD COMPANIES	IDLEWOOD PARK PLAYGROUN	Operating supplies	100-44101-2290	203.40
66553	RIVARD COMPANIES	GRANDPA SCOTT'S PLAYGROU	Capital assets	440-44103-5110	1,831.00
66554	SIEGFRIED FAMILY TOOLS INC	4 IN 1 ANGLED WIRE TOOL	Covid 19	100-41701-4153	65.95
66555	SIR LINES-A-LOT	PARKING LOT MARKINGS	Blacktop maintenance	100-43101-3410	2,432.00
66556	TASC	NOVEMBER COBRA ADMINIST	Other professional services	100-41701-3190	28.30
66557	TURFWERKS	#65 TIRES, BEARING SET, SEAL	Equipment parts & supplies	100-44101-2320	1,310.59
66558	US BANK CORPORATE PAYME	GOOD CUSTOMER REBATE	Refunds & reimbursements	100-37601	-226.49
66558	US BANK CORPORATE PAYME	ZOOM-Zoom - September-DW	Dues & subscriptions	100-41201-3920	13.83
66558	US BANK CORPORATE PAYME	LIVING DOT-LIVINGDOT WEBH	Internet & website	100-41301-3220	165.45
66558	US BANK CORPORATE PAYME	IOS-glue sticks-NW	Office supplies	100-41302-2110	2.36
66558	US BANK CORPORATE PAYME	AMAZON-ink pens-NW	Office supplies	100-41302-2110	39.45
66558	US BANK CORPORATE PAYME	IOS-mailing labels-NW	Office supplies	100-41302-2110	44.82
66558	US BANK CORPORATE PAYME	IOS-OFFICE SUPPLIES-NW	Office supplies	100-41701-2110	55.05

Council Approval List

Payment Dates: 9/17/2024 - 10/7/2024

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
66558	US BANK CORPORATE PAYME	IOS-expanding files-NW	Office supplies	100-41701-2110	89.28
66558	US BANK CORPORATE PAYME	IOS-labels, tape, copier paper-	Office supplies	100-41701-2110	97.16
66558	US BANK CORPORATE PAYME	IOS-copy paper, note pads, pe	Office supplies	100-41701-2110	141.20
66558	US BANK CORPORATE PAYME	AMAZON-notary stamp dawn	Operating supplies	100-41701-2290	20.54
66558	US BANK CORPORATE PAYME	AMAZON-rust remover-NW	Operating supplies	100-41701-2290	58.90
66558	US BANK CORPORATE PAYME	AMAZON-laminating sheets-N	Operating supplies	100-41701-2290	21.12
66558	US BANK CORPORATE PAYME	AMAZON-dowel rod-NW	Operating supplies	100-41701-2290	-6.42
66558	US BANK CORPORATE PAYME	IOS-trash bags, paper towels-	Operating supplies	100-41701-2290	70.34
66558	US BANK CORPORATE PAYME	IOS-paper towels-NW	Operating supplies	100-41701-2290	31.28
66558	US BANK CORPORATE PAYME	IOS-trash bags, dish soap, pap	Operating supplies	100-41701-2290	151.82
66558	US BANK CORPORATE PAYME	IOS-URINAL SCREEN TRASH B	Operating supplies	100-41701-2290	43.12
66558	US BANK CORPORATE PAYME	GFOA-GFOA-CAFR Award-AM	Other professional services	100-41701-3190	460.00
66558	US BANK CORPORATE PAYME	WALMART-TV City Hall TV-JC	Controllable assets	100-41701-5120	320.05
66558	US BANK CORPORATE PAYME	AMAZON-wireless mouse-NW	Computer supplies/small equi	100-41707-2520	13.85
66558	US BANK CORPORATE PAYME	IOS-MOUSE-NW	Computer supplies/small equi	100-41707-2520	17.99
66558	US BANK CORPORATE PAYME	PANTHEON-website-NW	Internet & website	100-41707-3220	350.00
66558	US BANK CORPORATE PAYME	IOS-folders-NW	Office supplies	100-42201-2110	17.60
66558	US BANK CORPORATE PAYME	IOS-PAPER TOWELS-NW	Operating supplies	100-42201-2290	74.50
66558	US BANK CORPORATE PAYME	ACTIVE911-Active911-MR	Dues & subscriptions	100-42201-3920	708.75
66558	US BANK CORPORATE PAYME	HOME DEPOT-Mail Box-JC	Operating supplies	100-43101-2290	74.91
66558	US BANK CORPORATE PAYME	TENNANT-Parts for floor scrub	Equipment parts & supplies	100-43101-2320	36.98
66558	US BANK CORPORATE PAYME	DIAMOND MOWERS-#61 bear	Equipment parts & supplies	100-43101-2320	1,095.41
66558	US BANK CORPORATE PAYME	AUTOZONE-#57 WIPER ARM-J	Vehicle parts & supplies	100-43101-2340	-25.94
66558	US BANK CORPORATE PAYME	MN FALL EXPO- Fall EXPO-JC	Training/conferences/schools	100-43101-3510	120.00
66558	US BANK CORPORATE PAYME	MN FALL EXPO- Fall EXPO-JC	Training/conferences/schools	100-43101-3510	120.00
66561	US POSTAL SERVICE	HAM LAKER POSTAGE	Postage	211-41704-2120	350.00
66562	VERIZON WIRELESS	MR	Phones/radios/pagers	100-42201-3210	41.38
66562	VERIZON WIRELESS	TD, MJ & 2 LAPTOPS	Phones/radios/pagers	100-42401-3210	162.78
66562	VERIZON WIRELESS	JK, JW, JC, CS, EH, & 2 LAPTOP	Phones/radios/pagers	100-43101-3210	305.96
66562	VERIZON WIRELESS	DH, AC, MS	Phones/radios/pagers	100-44101-3210	130.77
66563	WRIGHT-HENNEPIN COOPERA	ELEVATOR MONITORING	Monitoring	100-41702-3145	10.00
66563	WRIGHT-HENNEPIN COOPERA	SECURITY MONITORING	Monitoring	100-41702-3145	33.95
66563	WRIGHT-HENNEPIN COOPERA	PW FIRE PANEL MONITORING	Monitoring	100-43104-3145	52.95
DFT0002774	MN STATE DEPT OF REVENUE-	2024 SPECIAL FUEL LICENSE	Fuel	100-43101-2230	25.00
DFT0002775	COMPENSATION CONSULTAN	Health Savings Account	HSA Account	100-21712	150.00
DFT0002776	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	2,260.00
DFT0002776	EMPOWER	Roth IRA	Deferred compensation	100-21704	200.00
DFT0002777	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	6,306.00
DFT0002777	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	2,097.92
DFT0002777	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	8,330.92
DFT0002778	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,789.20
DFT0002779	PERA	Retirement-Coordinated	PERA	100-21703	7,418.35
DFT0002779	PERA	Retirement-Elected Officials	PERA	100-21703	81.68
DFT0002779	PERA	Retirement-Police & Fire	PERA	100-21703	1,280.53
DFT0002780	US POSTMASTER	OCT HAM LAKER POSTAGE	Postage	211-41704-2120	1,414.30
DFT0002781	US POSTMASTER	SR CENTER POSTAGE	Postage Liability	100-20204	42.19

Grand Total: 502,131.49

## Report Summary

### Fund Summary

Fund	Payment Amount
100 - GENERAL	250,649.37
211 - HAM LAKER	4,306.80
231 - RECYCLING	1,542.48
262 - HAM LAKE EDA	36,000.00
420 - FIRE EQUIPMENT	3,269.00
431 - REVOLVING STREET	202,003.19
440 - PARK & BEACH LAND	2,960.65
890 - TRUST FUND	1,400.00
<b>Grand Total:</b>	<b>502,131.49</b>

### Account Summary

Account Number	Account Name	Payment Amount
100-11502	COBRA receivable	51.04
100-20204	Postage Liability	42.19
100-21701	Federal WH/FICA/MC	16,734.84
100-21702	State W/H	2,789.20
100-21703	PERA	8,780.56
100-21704	Deferred compensation	2,460.00
100-21711	Dental Insurance	922.58
100-21712	HSA Account	150.00
100-21714	Life Insurance	235.50
100-21801	Sales tax	22.35
100-22801	Surcharge	3,614.19
100-32202	Other construction per	60.00
100-34702	Park/pavilion rentals	275.00
100-37601	Refunds & reimburseme	-226.49
100-41101-3920	Dues & subscriptions	5,753.00
100-41201-2110	Office supplies	33.63
100-41201-3920	Dues & subscriptions	13.83
100-41301-2110	Office supplies	22.50
100-41301-3220	Internet & website	165.45
100-41301-3920	Dues & subscriptions	20.00
100-41302-2110	Office supplies	86.63
100-41401-2110	Office supplies	22.50
100-41402-3115	Audit & actuarial service	23,355.00
100-41601-2110	Office supplies	22.50
100-41701-2110	Office supplies	382.69
100-41701-2290	Operating supplies	390.70
100-41701-3190	Other professional servi	488.30
100-41701-4153	Covid 19	65.95
100-41701-5120	Controllable assets	320.05
100-41702-3145	Monitoring	43.95
100-41702-3430	Cleaning service	765.00
100-41702-3620	Natural gas	82.30
100-41707-2520	Computer supplies/smal	31.84
100-41707-3220	Internet & website	387.50
100-42201-2110	Office supplies	40.10
100-42201-2210	Clothing & personal prot	98.66
100-42201-2290	Operating supplies	74.50
100-42201-2810	Fire prevention-supplies	185.00
100-42201-3210	Phones/radios/pagers	41.38
100-42201-3220	Internet	482.15
100-42201-3390	Rentals-other	11.33
100-42201-3450	Fire apparatus repair &	779.62
100-42201-3510	Training/conferences/sc	1,300.00
100-42201-3920	Dues & subscriptions	708.75
100-42202-2310	Building repair & mainte	27.96

**Account Summary**

Account Number	Account Name	Payment Amount
100-42202-3420	Building repair & mainte	185.03
100-42202-3430	Cleaning service	699.00
100-42202-3620	Natural gas	106.53
100-42401-2110	Office supplies	67.27
100-42401-3210	Phones/radios/pagers	162.78
100-43101-2110	Office Supplies	89.77
100-43101-2210	Clothing & personal prot	188.52
100-43101-2230	Fuel	1,585.24
100-43101-2240	Safety supplies	29.98
100-43101-2290	Operating supplies	11,135.74
100-43101-2320	Equipment parts & suppl	5,877.56
100-43101-2340	Vehicle parts & supplies	944.60
100-43101-3150	Personnel testing & recr	36.71
100-43101-3210	Phones/radios/pagers	305.96
100-43101-3410	Blacktop maintenance	2,432.00
100-43101-3440	Equipment repair & mai	600.91
100-43101-3510	Training/conferences/sc	240.00
100-43104-3145	Monitoring	52.95
100-43104-3420	Building repair & mainte	1,007.16
100-43104-3430	Cleaning service	148.00
100-43104-3620	Natural gas	87.96
100-43401-3440	Equipment repair & mai	226.60
100-44101-2210	Clothing & personal prot	119.22
100-44101-2290	Operating supplies	1,010.36
100-44101-2320	Equipment parts & suppl	1,310.59
100-44101-3150	Personnel testing & recr	36.71
100-44101-3210	Phones/radios/pagers	130.77
100-44102-3620	Natural gas	60.78
100-44202-2310	Building repair & mainte	20.80
100-44202-3430	Cleaning service	300.00
100-44202-3620	Natural gas	44.31
100-48101-4135	Fire relief state aid	149,291.83
211-41704-2120	Postage	1,764.30
211-41704-3125	Editing	1,800.00
211-41704-3970	Printing	742.50
231-43601-3630	Waste management & r	1,542.48
262-46101-3190	Other professional servi	36,000.00
420-42201-5110	Capital assets	3,269.00
431-43301-3190	Other professional servi	27,391.01
431-43301-3810	Contractors	172,412.18
431-43301-5130	ROW Acquisition	2,200.00
440-44103-5110	Capital assets	2,960.65
890-90001-9120	Other trust expense	1,400.00
	<b>Grand Total:</b>	<b>502,131.49</b>

**Project Account Summary**

Project Account Key	Payment Amount	
**None**	262,585.82	
202103-140	172,412.18	
202111-160	36,000.00	
202205-150	24,000.00	
202302.032-130	2,200.00	
202302.038-150	3,391.01	
231002001	970.00	
231004009	542.48	
231999999	30.00	
	<b>Grand Total:</b>	<b>502,131.49</b>





City of Ham Lake, MN

# EFT Payroll Check Register Report Summary

Pay Period: 9/1/2024-9/14/2024

Packet: PYPKT01660 - PPE 09/14/24 PAID 09/20/24

Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	78	50,807.26
<b>Total</b>	<b>78</b>	<b>50,807.26</b>



City of Ham Lake, MN

# EFT Payroll Check Register Report Summary

Pay Period: 9/15/2024-9/28/2024

Packet: PYPKT01667 - PPE 09/28/24 PAID 10/04/24  
Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	35	40,438.28
<b>Total</b>	<b>35</b>	<b>40,438.28</b>

**Meeting Date: October 7, 2024**



**CITY OF HAM LAKE  
STAFF REPORT**

**To: Mayor and Councilmembers**

**From: Dawnette Shimek, Deputy City Clerk**

**Item/Title/Subject: MYAS (Minnesota Youth Athletic Services) requesting a waiver from the eligibility requirements from Lawful Gambling Article 7-1270**

**Introduction/Discussion:**

Debbie Dahl representing Minnesota Youth Athletic Services contacted City Hall requesting a gambling license for Machine and E-Tabs at Acapulco Restaurant located at 18015 Ulysses Street NE, Suite 1000. MYAS is officed in Spring Lake Park and has gambling licenses at nine locations south of here. City Code Article 12-270 5.c. allows third priority to be given to all other organizations that are eligible to be granted a waiver from the eligibility requirements of the City Council. Attached are copies of both the City of Ham Lake and the City of Spring Lake Park Lawful Gambling requirements.

I have confirmed with the Ham Lake Area Chamber of Commerce that they are not interested in the Acapulco location and agree that that the City go ahead and offer the waiver to MYAS.

**Recommendation:**

I recommend the City Council grant a waiver from the eligibility requirements of Lawful Gambling Article 7-1270 5.c. allowing third priority to be given to MYAS (Minnesota Youth Athletic Services) to operate at Acapulco Restaurant located at 18015 Ulysses Street NE, Suite 1000, Ham Lake, Minnesota subject to meeting the requirements of Lawful Gambling Article 7-1200 and State regulations.



# Overview of Community Involvement CITY OF HAM LAKE

Prepared By: Adam Klinkhammer - 9/24/2024

The Minnesota Youth Athletic Services (MYAS) has had a long-standing relationship with the City of Ham Lake and surrounding communities through the offering of youth sports programs, educational programs, clinics and camps.

With our home office just south of Ham Lake in Spring Lake Park, we have close local ties with many employees proud to call Ham Lake their home community.

As a 501(c)3 non-profit organization, we partner with local youth sports organizations such as Soderville Baseball on a myriad of youth sports leagues, tournaments and special event initiatives.

Below you'll find a comprehensive list of activities either hosted in Ham Lake or directly benefit Ham Lake residents involved in youth sports:

## ACTIVITIES

- All 13u-15u Soderville teams play/host games in the Gopher State Rec League
- 16u and 19u Soderville teams participate in the Gopher State Baseball League
- Hosted the Gopher State All-Star Series at Ham Lake City Park
- Hosted the MidSummer Classic at Ham Lake City Park
- Host multiple games/teams at Soderville Field for Gopher State Rec League and Fall League
- Hosted Rec State Baseball Championships at Ham Lake City Park and Lions Park (Multiple Years)
- Soderville/Ham Lake Classic invitationals tournaments run by Soderville Baseball received Gopher State Tournament of Champions (GSTC) Qualifier Status
- Multiple Ham Lake residents participate in MYAS sanctioned events throughout the calendar year in the sports of Baseball, Basketball, Wrestling and a collection of camps and clinics.



**YOUTH SPORTS DONE RIGHT**

**501 (C)3 NON-PROFIT ORGANIZATION**



**To Protect and Serve**  
community-based,  
parent-volunteer youth  
sports organizations  
throughout the state of  
Minnesota



## WHO WE ARE



**LARGEST**

Multi-Sport Organization  
In the State of Minnesota



**ESTABLISHED**

In 1991



**OVER 150,000**

Participants Annually



**200+ YEARS**

Combined Staff Experience

## WHAT WE DO



**EVENT & LEAGUE  
ADMINISTRATION**

Over 300 events in multiple  
sports while providing support  
and administration services to  
groups outside the scope of the  
MYAS.



**FUNDRAISING**

Every MYAS event is utilized as  
a fundraiser for local youth  
sports organizations. Over 2.5  
million raised every year.



**LEADERSHIP**

Our own "Best Practices" allow  
the MYAS to support and guide  
the future of youth sports in  
Minnesota.

# Ham Lake

## **7-1200 Lawful Gambling**

### **7-1210 Regulations Supplemental to Statutory Control**

The regulations found in this Article 7-1200 shall be supplemental to any regulations found in Minnesota Statutes

Chapter 349, and any State Agency regulations adopted pursuant to said statute. Any and all portions of said statute and regulations not inconsistent with this Article are adopted by reference.

### **7-1220 Places Eligible for License**

Lawful Gambling licenses shall be permitted only in bars or "sit-down" restaurants. A bar is any facility which maintains an on-sale liquor or non-intoxicating malt liquor license. A "sit-down" restaurant is a restaurant that regularly employs wait-persons as food servers at tablesides, as opposed to a "fast-food" restaurant having the majority of orders placed at a service counter and drive-up window. The reason for this distinction is to prohibit Lawful Gambling devices from locations which have a large number of customers under 18 years of age, often unaccompanied by adults.

### **7-1230 Conditions**

The conduct of Lawful Gambling under license issued by the Board shall be subject to the following conditions in the City of Ham Lake:

- a. A copy of any lease agreement between a non-profit organization and a gambling location owner or operator shall be filed with the City Administrator together with the Gambling license application;
- b. The City Council may refuse to issue a Lawful Gambling license for a location in which gambling violations have previously occurred, and the Council may refuse to issue a Lawful Gambling license to a non-profit organization which has previously violated terms of this Ordinance and/or Minnesota Statutes, Chapter 349;

### **7-1240 Investigation**

Every organization which files an application for issuance or renewal of a Lawful Gambling License shall deliver the application to the City Administrator. The City Administrator shall investigate each application and report any findings and recommendations to the City Council.

### **7-1250 Filings of Records; inspection; Access to Records.**

- a. Every organization licensed to conduct Lawful Gambling in the City of Ham Lake shall file with the City Administrator copies of all records and reports required to be filed with the Board pursuant to Minnesota Statutes, Chapter 349 and the rules and regulations promulgated thereunder. The records and reports shall be filed in the office of the City Administrator on or before the day they are required to be filed with the Board;
- b. Every gambling event in the City of Ham Lake conducted by an organization under Minnesota Statutes, Chapter 349 shall be open to inspection by law enforcement officers;
- c. The City Administrator or agents at the direction of the City Administrator, may inspect at any reasonable time, without notice or search warrant, all

records of licensed organization, including gambling account and other bank records required by the Board to be maintained and preserved.

#### **7-1260 Fee**

The City will charge all new applications the maximum investigation fee permitted by Minnesota Statutes, Chapter 349 in order to cover costs incurred investigating the application. Any unused portion of this fee will be refunded to the applicant. This fee does not apply to applications for renewal of licenses.

#### **7-1270 Organizations Eligible for License**

Lawful gambling licenses shall be permitted only for organizations that meet all the following requirements:

1. Meet all the qualifications for a lawful gambling license issued by the Minnesota Gambling Control Board.
2. The primary spending of profits earned from lawful gambling activities are directed to activities or donated to organizations existing within a Trade Area encompassing the Anoka County, Minnesota communities of Ham Lake, Oak Grove, East Bethel, Linwood Township, Columbus Township, Lino Lakes, Blaine, Coon Rapids and Andover
3. The organization has at least fifteen (15) members or fifty percent (50%) of its membership, whichever is less, that are residents of the city. Such organization must conduct regular meetings at least monthly, and each person must attend not less than fifty percent (50%) of all regularly scheduled meetings in order to be considered a member of such organization for qualification under this chapter.
4. The physical site for the organization headquarters or the registered business office of the organization is located within the city and has been located within the city for at least two (2) years immediately preceding the application for a license.
5. Organizations that are not eligible due to the main physical office location requirement may be granted a waiver from the city council, if within 30 days from the date of submittal of their premises permit application to the city, no eligible organization meeting the physical office location requirement has expressed to the city a desire to operate gambling activities at the premises applied for by the ineligible organization. The waiver would be granted only for the specific location set forth in the premises permit application and would remain in effect for the duration of the original premises permit license. Upon the need for renewal of a premises permit location, a noneligible organization would follow the same process of approval as stated herein. The priority set by the city council for granting approval of a premises permit application and its location shall be as follows:
  - a. First priority is given to organizations whose main office location is within the corporate limits of the city.
  - b. Second priority is given to organizations whose main office location is located within the Anoka County and whose main office location is within a city that allows a Ham Lake-based organization to hold a premises

permit within their corporate limits, and who is eligible to be granted a waiver from the eligibility requirements by the city council.

- c. Third priority is given to all other organizations that are eligible to be granted a waiver from the eligibility requirements by the city council.

## **7-1280 Charitable Gaming**

### **A. Contribution Required.**

Pursuant to the authority granted by Minnesota Statutes Chapter 349.213, all organizations licensed or registered by the Minnesota Gambling Control Board shall be required to contribute ten per cent of their net profits derived from lawful gambling conducted at premises within the City's corporate limits to a fund administered and regulated by the City without cost to such fund, for disbursement by the City for (i) charitable contributions as defined in Minnesota Statutes Chapter 349.12, subdivision 7(a), or (ii) disbursements for police, fire and other emergency or public safety-related services, equipment and training.

### **B. Annual Report**

By March 15 of each year, the City Administrator shall file with the Gaming Control Board the report required by Minnesota Statutes Chapter 349.213, Subd. 1 (a) on forms to be prescribed the Gaming Control Board.

### **C. Computations**

In computing net profit, the organization shall use generally accepted accounting principles, and any organization that is specifically allowed by statute or State Regulations to expend lawful gambling proceeds for certain operating expenses of the host establishment in which the organization conducts its lawful gambling operation may deduct such expenses actually paid in computing its net profit.

### **D. Due Date**

Organizations have the option of payment of the amounts required under this article on a monthly or annual basis. If payment is made monthly, payment is due by the 20<sup>th</sup> of the following month, accompanied by a copy of the monthly report that is filed at that time with the Minnesota Gambling Control Board. If the organization chooses to pay annually, payment is due within sixty days after the close of the fiscal year for the organization. Organizations paying annually must still provide the City with a copy of each monthly report that is filed with the Minnesota Gambling Control Board.

### **E. Repealer**

Any and all previous ordinances, resolutions or other policies previously adopted by the City regarding contributions by organizations involved in lawful gambling in the City are superseded and replaced by this ordinance, or, in the case of prior ordinances, are repealed.



**11.24.010 Lawful Gambling**

Spring Lake Park

- A. *Purpose.* The purpose of this section is to regulate and control the conduct of lawful gambling in the city by providing standards and criteria related to the approval or denial of premises permits as required by M.S. § 349.213, as it may be amended from time to time.
- B. *Definitions.* For the purpose of this section, the terms defined in M.S. § 349.12, as it may be amended from time to time, are incorporated herein and by reference. For the purpose of this section, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**BOARD.** The State Gambling Control Board.

**CLASS OF LICENSE.**

1. A Class A, B, C, or D license issued by the Board as authorized under M.S. § 349.16 as it may be amended from time to time, and further defined as follows:
  - a. A Class A license authorizes all forms of lawful gambling;
  - b. A Class B license authorizes all forms of lawful gambling except bingo;
  - c. A Class C license authorizes bingo only; and
  - d. A Class D license authorizes raffles only.
2. No premises licensed hereunder shall be issued more than one license in any one class.

**LAWFUL GAMBLING.** The operation, conduct, or sale of bingo, raffles, paddlewheels, tipboards, and pulltabs as regulated by M.S. Ch. 349, as it may be amended from time to time.

**ORGANIZATION.** Any fraternal, religious, veterans', or other non-profit group which has at least 15 active dues-paying members, is operating within the city, and either has been duly incorporated in this state as a non-profit organization for the most recent three years, or has been recognized by the I.R.S. as exempt from income taxation for the most recent three years, as defined in M.S. § 349.12 as it may be amended from time to time.

**ORGANIZATIONAL LICENSE.** A license for lawful gambling issued by the Board.

**PREMISES PERMIT.** A permit issued by the Board to an organization as defined herein, after approval by a City Council resolution. A **PREMISES PERMIT** shall designate the location of an organization's lawful gambling activities.

**TRADE AREA.** This city and each city contiguous to this city.

- C. *Lawful Gambling; Criteria.* Lawful gambling as regulated by M.S. Ch. 349, as it may be amended from time to time, is permitted in the city if the organization conducting these activities meets the following criteria:
1. It is licensed by the State Gambling Control Board;
  2. It has maintained an address within the city for at least three years prior to the application, or it owns a commercial building within the city from which it operates;
  3. The organization must strictly adhere to the requirements of this section;
  4. Organizations which lawfully conducted gambling in the city before the effective date of this section are not required to submit applications before the date of their next license or

permit renewal; however, all organizations must comply with the terms of this section immediately upon its passage and publication; and

5. Premises authorized to conduct lawful gambling in the city must have an on-sale or off-sale liquor license or a club license permitting liquor on the premises.

*D. Premises Permits And Bingo Hall Licenses; Procedures.*

1. An organization applying to the Gambling Control Board for a premises permit, bingo hall license, or for the renewal of the same, to conduct lawful gambling in the city shall, within ten days of making the application, file the following with the city:
  - a. A duplicate copy of the Gambling Control Board application along with all supporting documents submitted to the Gambling Control Board;
  - b. A copy of the articles of incorporation and bylaws of the organization;
  - c. The names and addresses of all officers and directors of the organization;
  - d. A copy of the organization's written procedures and criteria for distribution of funds derived from lawful gambling, its standardized application form, and its written fiscal control procedures;
  - e. A copy of the I.R.S.'s tax exempt letter;
  - f. Confirmation that no employee or principal officer of the organization has been convicted of a felony. No employee or organization whose principal officers and employees with a felony conviction, shall be employed in a gambling-related activity by any permitted organization;
  - g. All organizations must show proof that they have a gambling manager trained in accordance with the requirements of M.S. § 349.167, as it may be amended from time to time (Laws, 1990); and
  - h. A copy of the gambling organization's lease, which must be for a two-year period, shall be submitted to the city for approval.
2. Upon receipt of the materials required by Paragraph D,1, city staff shall investigate the applicant, and based upon the investigation, the City Council shall act on the application within 30 days.
3. The action of the City Council to approve an applicant for a premises permit or bingo hall license within the city shall be by resolution. Failure to receive a majority affirmative vote of the City Council shall constitute a denial of the application.
4. Copies of the monthly financial statements filed by the organization with the Gambling Control Board, as defined in M.S. § 349.154, as it may be amended from time to time, shall be filed with the city within ten days of filing those materials with the Gambling Control Board.
5. To assure compliance with this section, the city may require a premises permit holder or bingo hall licensee to provide copies of his or her records described in M.S. § 349.19, as it may be amended from time to time.
6. A premises permit issued by the city under this paragraph may be suspended or revoked by the city for violation of this section or for failure to meet the qualifications set out in this section, or for a willful violation of any paragraph of this section, or for a failure to comply, for any reason, with any provision, guarantee, or claim made in an applicant's original license application to the city or the state.

7. No license or permit issued by the city, including any bingo hall license, grants the licensee a property right or entitlement to the license or permit. The city may refuse to issue, renew, or revoke the license or permit for any reason and will not incur liability for any damages including but not limited to direct, consequential, or incidental damages, deprivation of property, loss of income, loss of profits, or loss of livelihood.
8. All Class A and Class B licensees and permittees in the city shall use an approved independent accounting firm for their annual audits related directly to lawful gambling and charges as an allowable expense of the gambling operation. Further, all Class A and Class B licensees and permittees, at their discretion, may use an independent accounting firm to perform other accounting, bookkeeping, and tax preparation services related directly to lawful gambling and charges as an allowable expense of the gambling operation. All agreements providing for this type of services shall be in writing and shall be submitted to the city as part of the application for review by the city to determine compliance with local and state regulations and laws. Any such agreements entered into or modified after issuance of a license or permit shall be filed with the city prior to the new agreement or modification becoming effective. The initial approval and the continuance of a license or permit is contingent upon these agreements complying with this section and state statutes and regulations. It shall be unlawful for the premises owner to provide accounting or bookkeeping services to the licensee, directly or indirectly.
9. All licensees and permittees in the city will assure continuous and active management of the gambling operation by members of the organization and will not delegate managerial responsibilities; all licensees and permittees will work continuously to operate in the most efficient manner to increase the amount of available lawful proceeds and will maintain the lowest possible costs and will encourage and use volunteers to the fullest extent possible.

E. *Contributions.* Each organization conducting lawful gambling within the city shall contribute a minimum of 60% of its net profits to organizations outside of itself within the city's trade area as defined in § 115.16.

F. *Law Enforcement And Administrative Costs.*

1. All organizations conducting lawful gambling within the city shall, within 30 days of the end of the month, pay to the city an amount equal to 3% of the gross receipts from lawful gambling conducted in the city in that month, less amounts actually paid for prizes, to cover the city's law enforcement and administrative costs in regulating lawful gambling. Any unused portion of this money will be paid back annually in accordance with M.S. § 349.213, as it may be amended from time to time.
2. The city may investigate the criminal history and background of an applicant for a premises permit or license pursuant to this section.

G. *Gambling Exempt From State Licensing Requirements.*

1. Organizations which conduct lawful gambling which are exempt from state gambling licensing requirements may conduct that gambling within the city upon receipt of a permit from the city, except this requirement does not apply to door prizes, raffles, and bingo where total prizes are less than an amount set forth in the fee schedule.
2. An application for this type of permit, along with a fee in the amount set from time to time by Council resolution, shall be made at least 30 days prior to the date the gambling is to be conducted. The application shall contain the following:

- a. The name of the organization;

- b. The address of the organization;
  - c. The place where the gambling will occur; and
  - d. The total prizes to be awarded.
3. Within 30 days of filing any reports with the Gambling Control Board, the organization shall file a copy of those reports with the city.
  4. The provisions relating to law enforcement and administrative costs set forth in § 115.20 shall not apply to gambling permitted pursuant to this paragraph. All other provisions of this section apply to these organizations.
- H. *Violations.* It shall be a misdemeanor to carry on any lawful gambling activity without a valid premises permit. Nothing in this paragraph shall preclude the city from enforcing this section by means of any appropriate legal action.
- I. *Enforcement Responsibility.* Nothing in this section shall be construed to require the city to undertake any responsibility for enforcing compliance with M.S. Ch. 349 other than those provisions related to the issuance of premises permits as required in M.S. § 349.213, as these statutes may be amended from time to time.

**Meeting Date: October 7, 2024**



***CITY OF HAM LAKE  
STAFF REPORT***

**To: Mayor and Councilmembers**

**From: Dawnette Shimek, Deputy City Clerk**

**Item/Title/Subject: Hiring Absentee Voting Election Staff**

**Introduction/Discussion:** Early voting for the General Election began on Friday, September 20, 2024 and will continue through Monday, November 4, 2024. Over the past several years, it has become apparent that City staff is unable to continue with their normal work duties and also assist absentee voters.

**Recommendation:** I am recommending hiring Shannon Southerland, Terry Berglin, Thomas Martin and Jeanne Ullevig-Martin as Election Staff as needed from September 20, 2024 through November 4, 2024 at the pay rate of \$15.00 per hour.

RESOLUTION NO. 24-XX

WHEREAS, the City Council of the City of Ham Lake is required by MS 204B.21, Sec. 2, to officially approve the appointment of election judges; and

WHEREAS, the Ham Lake City Council hereby adopts the judges on the attached list, as the official judges for the November 5, 2024 General Election, with the understanding that amendments may be necessary to the appointments in order to fill vacancies and meet party requirements.

NOW THEREFOR, BE IT RESOLVED, that the names listed on the attached list are the official election judges for the November 5, 2024 General Election.

Adopted by the City Council of the City of Ham Lake this 7th day of October, 2024.

\_\_\_\_\_  
Brian Kirkham, Mayor

\_\_\_\_\_  
Denise Webster, City Clerk

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## ***Poll Worker Report, 2024 Statewide Election***

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### **General Election, Tuesday, November 5, 2024**

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#### **Ham Lake P-1**

Glen Cary Lutheran Church, 15531 Central Avenue NE, Ham Lake, MN 55304

Teresa Berglin, Head Judge  
Jeanne Ullevig-Martin, Assistant Head Judge  
Jessica Ackerman, Election Judge  
William Arzdorf, Election Judge  
Jill Bjornson, Election Judge  
Duane Chumley, Election Judge  
Philip Engelmeyer, Election Judge  
James Gutz, Election Judge  
James Hanson, Election Judge  
Sandra Hanson, Election Judge  
Brenda Hovet, Election Judge  
Marilissa Marcello, Election Judge  
Bernard Nelson, Election Judge  
John Rafalski, Election Judge  
Margaret Trautwein, Election Judge

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#### **Ham Lake P-2**

Ham Lake Senior Center, 15544 Central Avenue NE, Ham Lake, MN 55304

Tiffany Weeks, Head Judge  
Todd Meadows, Assistant Head Judge  
Robert Breymeier, Election Judge  
Rita Culshaw, Election Judge  
Ronda Dick, Election Judge  
Mark Glocke, Election Judge  
Edward Hagenbuch, Election Judge  
Miriam Hill, Election Judge  
Jeffrey Holec, Election Judge  
James Hunter, Election Judge  
Rosemary Huray, Election Judge  
Patty Kappelhoff, Election Judge  
Roberta McCullough, Election Judge  
Phillip Schaber, Election Judge  
Daniel Van House, Election Judge

---

#### **Ham Lake P-3**

Oak Haven Church, 1555 Constance Boulevard NE, Ham Lake, MN 55304

Thomas Martin, Head Judge  
Shannon Southerland, Assistant Head Judge  
Marcia Akhter, Election Judge  
Brian Berglin, Election Judge  
Mary Ann Egan, Election Judge  
Shannon Fletcher, Election Judge  
Lisa Krause, Election Judge  
Roger Langerud, Election Judge  
JoAnn Lindgren, Election Judge  
Doreen Pelkey, Election Judge  
Kristi Phetdara, Election Judge  
Frances Prokash, Election Judge  
Laura Regino, Election Judge  
Paul Schultz, Election Judge  
Carol Wawers, Election Judge

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## **Poll Worker Report, 2024 Statewide Election**

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Mark Welter, Election Judge

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### **Ham Lake P-4**

Eagle Brook Church - Ham Lake Campus, 1503 157th Avenue NE, Ham Lake, MN 55304

Timothy Hanschen, Head Judge  
Jean Doolittle, Assistant Head Judge  
Lori Anshus, Election Judge  
Scott Barren, Election Judge  
Joann Herman, Election Judge  
Kim Hogdal, Election Judge  
Paulette Kostick, Election Judge  
Mandy Larson, Election Judge  
John Lund, Election Judge  
Laurie Mount, Election Judge  
Wendy O'Neil, Election Judge  
Matthew Schuster, Election Judge  
Brandy Simes, Election Judge  
Barbara Souder, Election Judge  
Debra Thorson, Election Judge

---

### **Ham Lake P-5**

Radisson Road Baptist Church, 13627 Radisson Road NE, Jeff Harmon- Maintenance 763-464-9265, Ham Lake, MN 55304

Janis Antinozzi, Head Judge  
Carl Schwanbeck, Assistant Head Judge  
Paul Harris, Election Judge  
Virginia Hayes, Election Judge  
Mary Jirak, Election Judge  
Kim Keller, Election Judge  
Carol Kensy, Election Judge  
Gaelen Kesler, Election Judge  
Jessica Miller, Election Judge  
Marlene Morris, Election Judge  
Spencer Nelson, Election Judge  
Corinne Seltz, Election Judge  
Allen Stauffacher, Election Judge  
Judy Wilken, Election Judge

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### **Ham Lake P-6**

Church of Saint Paul, 1740 Bunker Lake Blvd NE, Ham Lake, MN 55304

Rebecca Cook, Head Judge  
Dixie Steele, Assistant Head Judge  
Cheryl Alberts, Election Judge  
Andrew Audette, Election Judge  
Darleen Baillargeon, Election Judge  
Kristen Broisma, Election Judge  
Barb Camarata, Election Judge  
James Kappelhoff, Election Judge  
Stephen Kesler, Election Judge  
Ray Kirch, Election Judge  
Paula Lang, Election Judge  
Janet Liebsch, Election Judge  
Troy Neurauter, Election Judge  
Michelle Peterson, Election Judge  
David Prokash, Election Judge  
Paul Thinesen, Election Judge  
Sharon Wolfgram, Election Judge

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RESOLUTION NO. 24-XX  
RESOLUTION APPROVING CONTRIBUTIONS

WHEREAS, the City of Ham Lake is generally authorized to accept contributions of real and personal property pursuant to Minnesota Statutes Sections 412.21 and 465.03 for the benefit of its citizens, and

WHEREAS, the following persons and entities have offered to contribute the cash sums set forth below to the City:

<u>Name of Donor</u>	<u>Amount</u>
Ham Lake Chamber of Commerce <i>(Ham Laker and 2025 Freedom Festival)</i>	\$8,500.00

WHEREAS, all such sums have been contributed to assist the City in the establishment and operation of programs within the City's corporate limits either alone or in cooperation with others, as allowed by law; and

WHEREAS, the City Council hereby finds that it is appropriate to accept the contributions offered.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, Minnesota, as follows:

1. The contributions described above are hereby accepted by the City of Ham Lake and shall be used to establish and operate programs within the City's corporate limits either alone or in cooperation with others, as allowed by law.
2. That the City Clerk is hereby directed to issue receipts to each donor acknowledging the City's receipt of the donor's contribution.

Adopted by the City Council of the City of Ham Lake this 7<sup>th</sup> day of October, 2024.

\_\_\_\_\_  
Brian Kirkham, Mayor

\_\_\_\_\_  
Denise Webster, City Clerk

# LG555 Government Approval or Acknowledgment for Use of Gambling Funds

Keep this completed form attached to the LG100C in your organization's records. You do not need to submit this form to the Gambling Control Board or the Department of Revenue.

## ORGANIZATION AND EXPENDITURE INFORMATION (attach additional sheets if necessary)

Organization Name: <u>Ham Lake Chamber of Commerce</u>	License Number: <u>02948</u>
Address: <u>15544 Central Ave. NE</u>	City/State/Zip: <u>Ham Lake, MN 55304</u>

1. Amount of proposed lawful purpose expenditure: \$ \_\_\_\_\_.
2. Check one expenditure category:
- A. **Contribution to a unit of government**—United States, state of Minnesota, or any of its subdivisions, agencies, or instrumentalities.
  - B. **Wildlife management project or activity** that benefits the public at large, with approval by the Minnesota Department of Natural Resources (DNR).
  - C. **Grooming and maintaining snowmobile or all-terrain vehicle trails** established under Minnesota Statutes, Sections 84.83 and 84.927, including purchase or lease of equipment, with approval by the DNR. All trails must be open to public use.
  - D. **Supplies and materials for safety training and educational programs** coordinated by the DNR, including the Enforcement Division.
  - E. **Citizen monitoring of surface water quality testing** for public waters by individuals or nongovernmental organizations, with Minnesota Pollution Control Agency (MPCA) guidance on monitoring procedures, quality assurance protocols, and data management, providing that data is submitted to the MPCA.

3. Describe the proposed expenditure, including vendors:

Money used for the Ham Lake (\$5000) (\$3500) Freedom Festival

- **NO FINANCIAL OR OTHER BENEFIT:** I affirm that the contribution or expenditure does not result in any monetary, economic, financial, or material benefit to our organization, in compliance with Minn. Rule 7861.0320, subp. 17, para. C.
- **FOR DNR-RELATED PROJECTS:** I affirm that when lawful gambling funds are used for grooming and maintaining snowmobile or all-terrain vehicle trails or for any wildlife management project for which reimbursement is received from a unit of government, the reimbursement funds must be deposited in our lawful gambling account and recorded on form LG100C.
- **FOR SURFACE WATER QUALITY TESTING:** I affirm that the MPCA has been consulted in developing the monitoring plan and that the data collected will be submitted to the MPCA. Send form for signature to: Manager, Water Monitoring Section, Minnesota Pollution Control Agency, 520 Lafayette Road North, St. Paul, MN 55155. Website: [www.pca.state.mn.us](http://www.pca.state.mn.us)

<u>[Signature]</u> Chief Executive Officer's Signature	<u>9-18-24</u> Date
<u>Tim Sothe</u> Print Name	<u></u> Daytime Phone

## GOVERNMENT APPROVAL/ACKNOWLEDGMENT

Contribution amount: \$ 81500. Government use of contribution (check one):

- Wildlife**—DNR approves the wildlife management project or activity.
- Trails**—DNR approves the grooming/maintaining of snowmobile and/or all-terrain vehicle trails.
- Safety training**—DNR approves the supplies/materials for DNR safety training and educational programs.
- Water quality testing**—MPCA approves the surface water quality testing project.
- Donation to other unit of government** (city, county, state, federal, or any of their subdivisions) provided the funds will not be used for a pension or retirement fund.

Unit of Government: <u>City of Ham Lake</u>	Phone: <u>763-235-1668</u>
Address: <u>15544 Central Avenue</u>	City/State/Zip: <u>Ham Lake, MN 55304</u>

By signature below, the representative of the unit of government acknowledges and approves the contribution amount for the use as listed above.

<u>[Signature]</u> Signature	<u>9/18/24</u> Date
<u>Andrea M...H</u> Print Name	<u>Finance/HR Director</u> Title

**Questions?** Contact the Minnesota Gambling Control Board at 651-539-1900. This form will be made available in alternative format (i.e. large print, braille) upon request. The information requested on this form will become public information, when requested by the Board, and will be used to determine your compliance with Minnesota statutes and rules governing lawful gambling activities.

**Meeting Date: October 7, 2024**

**CITY OF HAM LAKE**  
*STAFF REPORT*

**To: Mayor and Councilmembers**

**From: Mike Raczkowski, Fire Chief**

**Item/Title/Subject: Good Neighbor Firefighter Safety Program**

**Introduction/Discussion:**

State Farm's Good Neighbor Firefighter Safety Program, in collaboration with the National Volunteer Fire Council (NVFC), has awarded the Ham Lake Fire Department one of a hundred \$10,000 grants. The grant requested was for three Getac K120 Tablets, three vehicle docking stations and adapters, totaling \$10,719. The \$719 overage will come from the department's Capital assets.

**Recommendation:**

I recommend the City Council approve the Resolution accepting the \$10,000 grant from the Good Neighbor Firefighter Safety Program and NVFC and approve the purchase of tablets, docking stations, and adapters in the amount of \$10,719, with the overage being paid from the Fire Departments Capital Asset account.

RESOLUTION NO. 24-XX  
RESOLUTION APPROVING CONTRIBUTIONS

WHEREAS, the City of Ham Lake is generally authorized to accept contributions of real and personal property pursuant to Minnesota Statutes Sections 412.21 and 465.03 for the benefit of its citizens, and

WHEREAS, the following persons and entities have offered to contribute the cash sums set forth below to the City:

<u>Name of Donor</u>	<u>Amount</u>
State Farm's Good Neighbor & National Volunteer Fire Council (NVFC) <i>(Ham Lake Fire Department)</i>	\$10,000.00

WHEREAS, all such sums have been contributed to assist the City in the establishment and operation of programs within the City's corporate limits either alone or in cooperation with others, as allowed by law; and

WHEREAS, the City Council hereby finds that it is appropriate to accept the contributions offered.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, Minnesota, as follows:

1. The contributions described above are hereby accepted by the City of Ham Lake and shall be used to establish and operate programs within the City's corporate limits either alone or in cooperation with others, as allowed by law.
2. That the City Clerk is hereby directed to issue receipts to each donor acknowledging the City's receipt of the donor's contribution.

Adopted by the City Council of the City of Ham Lake this 7<sup>th</sup> day of October, 2024.

\_\_\_\_\_  
Brian Kirkham, Mayor

\_\_\_\_\_  
Denise Webster, City Clerk

## **RESOLUTION NO. 24-XX**

**WHEREAS**, on June 4, 2024, Gary Magnuson applied for a subdivision through a Minor Plat of Magnuson Estates (2 lots) in Section 9, in the City of Ham Lake, Minnesota, and

**WHEREAS**, the Minor Plat falls under the City Code, Section 10-101 and was reviewed by the Ham Lake Planning Commission at its meeting of June 24, 2024, and

**WHEREAS**, the Ham Lake Planning Commission recommended that the Minor Plat be tabled at that time due to an accessory building being located within the 30-foot front yard set-back and cannot exceed the 800 square-foot maximum accessory building size allowed in front yards per 9-370.1 of the City Code;

**WHEREAS**, the City Council reviewed the Minor Plat at a Workshop Meeting on September 3, 2024 and was provided information that the accessory building was to be removed in 1988 as a condition of Mr. Magnuson receiving another building permit for an accessory building;

**WHEREAS**, the City Council recommended that the Planning Commission review the Minor Plat at their September 9, 2024 meeting;

**WHEREAS**, the Ham Lake Planning Commission reviewed the Minor Plat at their September 9, 2024 meeting and recommended to the City Council that the Minor Plat be denied as submitted;

**WHEREAS**, on September 16, 2024 the City Council concurred with the Planning Commission recommendation to deny the Minor Plat; for the reasons below,

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAM LAKE, MINNESOTA, THAT THE CITY COUNCIL HEREBY ADOPTS THE FOLLOWING:**

### **FINDINGS OF FACT**

1. The Minor Plat proposes a structure within the 30-foot front yard set-back and may not exceed the 800 square-foot maximum accessory building size allowed in front yards per 9-370.1, which does not meet City Code;
2. Currently the property owner is not willing to remove the accessory building within the front yard set-back.
3. Accordingly, the project does not meet City Codes or policies for a Minor Plat of this nature.

**Therefore, the Minor Plat as presented is DENIED:**

**Adopted by the Ham Lake City Council this 7th day of October, 2024.**

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**Brian Kirkham, Mayor**

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**Denise Webster, City Clerk**

**Meeting Date: October 7, 2024**

**CITY OF HAM LAKE**  
*STAFF REPORT*

**To:** Mayor and Councilmembers  
**From:** Mike Raczkowski, Fire Chief  
**Item/Title/Subject:** DNR 2025 VFA Matching Grant

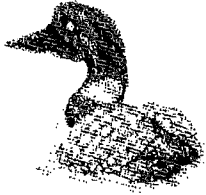
**Introduction/Discussion:**

The Ham Lake Fire Department has been awarded a \$5,000 matching grant from the Minnesota DNR to purchase a wildland skid. The wildland skid is a Darley Fast Attack 1, worth \$13,580. This will complete the GMC grass truck that was purchased from the DNR back in April of this year. The matching \$5,000 and the additional \$3,580 overage will come from the Fire Department Capital assets.

**Recommendation:**

I recommend the City Council accept the matching grant of \$5,000 From the DNR 2025 VFA Matching Grant and approve the purchase of the wildland skid for \$13,580, with the additional funds coming from the Fire Department Capital assets.

Meeting Date: October 7, 2024



**CITY OF HAM LAKE**

***STAFF REPORT***

**To: Mayor and Councilmembers**

**From: Dawnette Shimek, Deputy City Clerk**

**Subject: Outdoor Street Light Proposal for Swedish Chapel Estates**

**Introduction/Discussion:** Attached is the Energy and Maintenance Agreement with Connexus Energy for street lights in Swedish Chapel Estates. The system includes 14 fixtures for the development in accordance with the requirements for street lighting in new subdivisions.

**Recommendation:** I recommend approval of the Outdoor Lighting Energy and Maintenance Agreement for Swedish Chapel Estates.



14601 Ramsey Boulevard  
Ramsey, Minnesota 55303  
763.323.2600  
Fax: 763.323.2603  
www.connexusenergy.com  
info@connexusenergy.com

## Outdoor Lighting

your most powerful membership\*

### Energy and Maintenance Agreement

CITY OF HAM LAKE  
15544 CENTRAL AVENUE NE  
HAM LAKE MN 55304

Account #411023-240512

Location: SWEDISH CHAPEL ESTATES (Service order: SORD000W2400809)

Connexus Energy shall provide the energy and maintenance for the outdoor lighting system as detailed below:

- (14) LED Outdoor Traditionaire Light fixture installed on a smooth fiberglass pole

The current energy and maintenance rate for these fixtures is \$7.00 per month, per fixture. This rate adheres to Connexus Energy's published rate schedule and is subject to change.

Maintenance of the fixtures, including lamp replacement, will be provided by Connexus Energy for a period of 25 years (According to Connexus Energy's Outdoor Lighting Guidelines). If, in Connexus Energy's opinion, after 25 years, the condition of the outdoor lighting system is such that replacement or significant renovation is necessary (due to deterioration from age), the customer will be responsible for the replacement cost.

Please indicate your acceptance of this monthly Energy and Maintenance Agreement by signing on the line below and return in the envelope provided.

Sincerely,

Candi Swenson  
Engineering Services Specialist

October 2, 2024

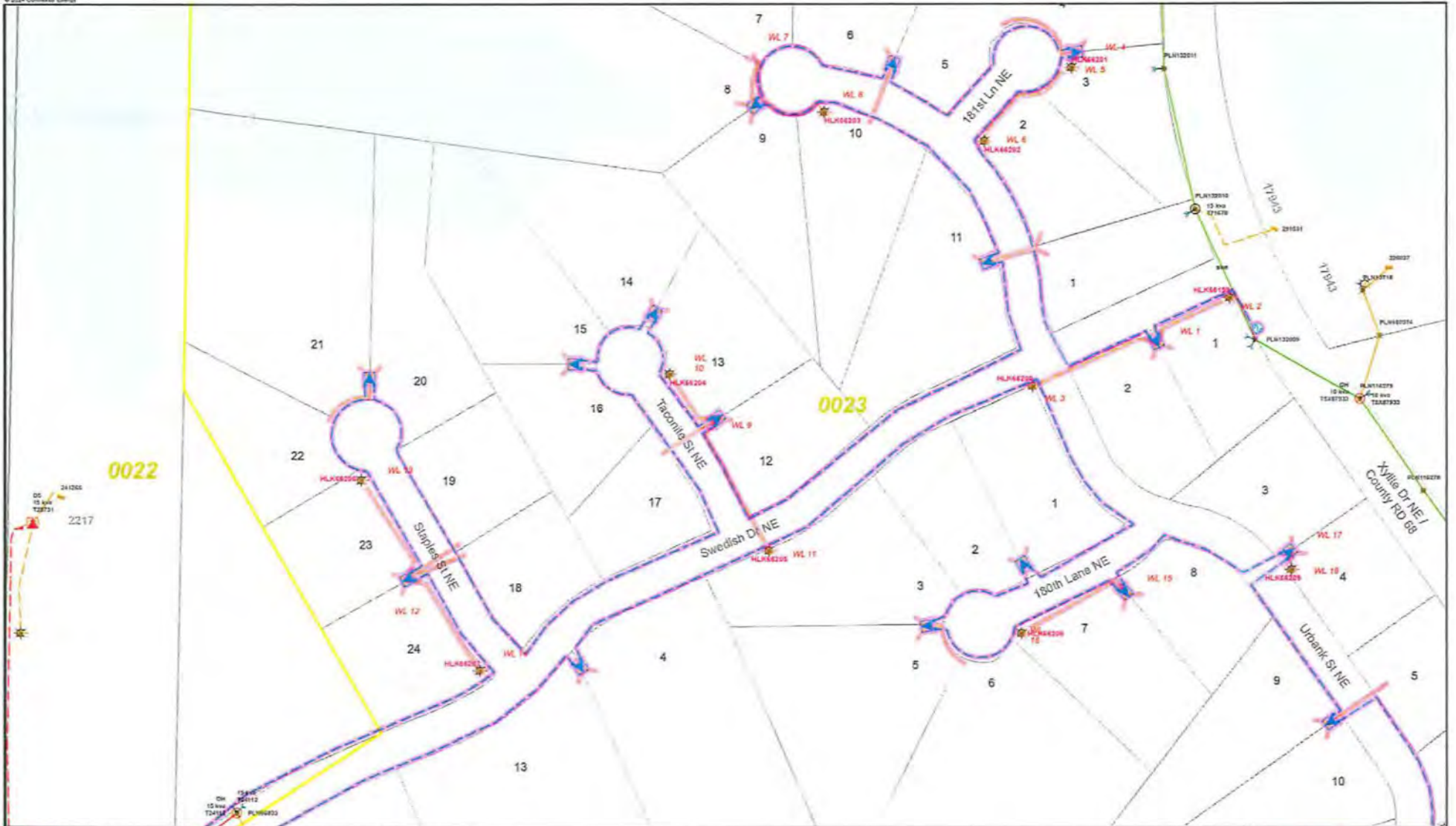
\_\_\_\_\_  
(Accepted By)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Print Name)

\_\_\_\_\_  
(Title)





14501 Ramsey Blvd.  
Ramsey, MN 55303

**SWEDISH CHAPEL ESTATES LIGHTING**

Addr: SWEDISH CHAPEL ESTATES

City: HAM LAKE

TIR/S: T32 R23 S04

Crew Sign Off: \_\_\_\_\_

Date: \_\_\_\_\_

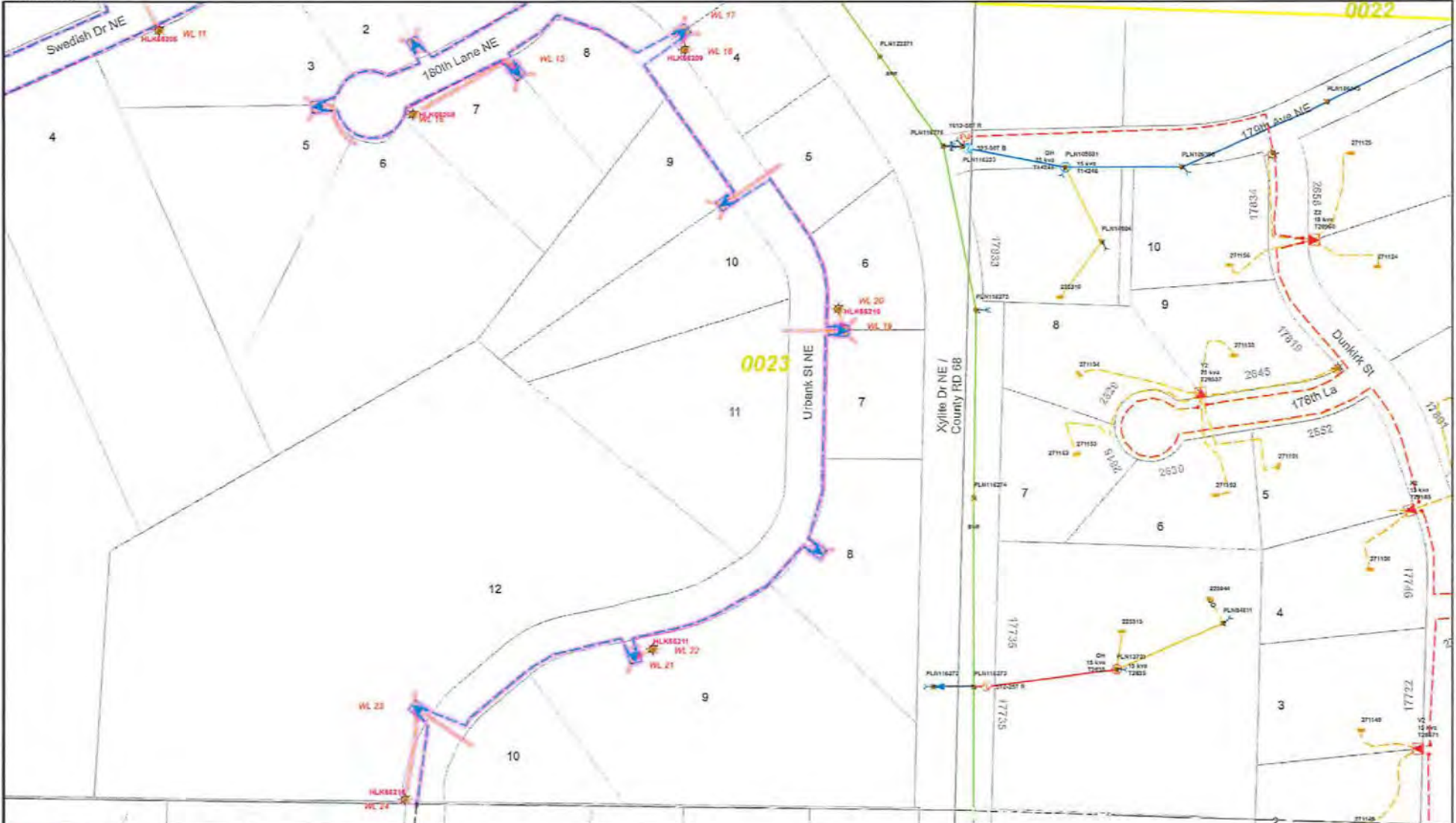


WO#: W2400809  
Date: 10/2/2024  
Designer: JENNIE WEISS  
763-286-1322

1:1,800

Page 1

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14801 Ramsey Blvd.  
 Ramsey, MN 55303

**SWEDISH CHAPEL ESTATES LIGHTING**

Addr: SWEDISH CHAPEL ESTATES

City: HAM LAKE

T/R/S: T32 R23 S04

Crew Sign Off: \_\_\_\_\_

Date: \_\_\_\_\_

THIS PRINT REPRESENTS THE LOCATION OF ELECTRICAL FACILITIES AS OF THE PRINTED DATE TO THE BEST OF OUR KNOWLEDGE. THIS INFORMATION IS INTENDED FOR GENERAL USE ONLY AND IS NOT TO BE USED FOR EXCAVATION PURPOSES. STATE LAW REQUIRES ANYONE DIGGING, GRADING OR EXCAVATING TO OBTAIN A FIELD LOCATION OF ALL UTILITIES. CALL Gopher State One CALL FOR A FIELD LOCATION AT 1-800-253-1188.



1:1,800

WO#: W2400809  
 Date: 9/12/2024  
 Designer: JENNIE WEISS  
 763-286-1322

## Dawnette Shimek

---

**From:** Candi Swenson <Candi.Swenson@connexusenergy.com>  
**Sent:** Wednesday, October 2, 2024 10:06 AM  
**To:** Dawnette Shimek  
**Subject:** RE: Swedish Chapel  
**Attachments:** SORD000W2400809 - Customer CIAC Letters -Quotes or Invoices - - - 2024-09-04.pdf

You don't often get email from candi.swenson@connexusenergy.com. [Learn why this is important](#)

**Caution:** This email originated outside our organization; please use caution.

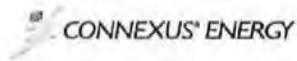
Hi –

Here is a copy of the invoice. We are billing one additional light at reconciliation time, so we can move the plat along faster.

Thank you,

**Candi Swenson**

Engineering Services Specialist | Connexus® Energy  
Phone: 763.323.2681  
[Candi.Johnson@connexusenergy.com](mailto:Candi.Johnson@connexusenergy.com) | [www.connexusenergy.com](http://www.connexusenergy.com)



Facebook: [Like Us](#) | Twitter: Follow [@ConnexusNews](#) | LinkedIn: [Connect With Us](#) | Instagram: [Connexus.Energy](#)

--- your most powerful membership® ---



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**From:** Dawnette Shimek <DShimek@ci.ham-lake.mn.us>  
**Sent:** Wednesday, October 2, 2024 9:05 AM  
**To:** Candi Swenson <Candi.Swenson@connexusenergy.com>  
**Subject:** RE: Swedish Chapel

**Caution:** This is an external email that originated from outside our organization. Please be careful with links and attachments. Cybersecurity is Cardinal!

EXTERNAL EMAIL - This email was sent by a person from outside your organization. Exercise caution when clicking links, opening attachments or taking further action, before validating its authenticity.


Secured by Check Point



## Memorandum

Date: October 2, 2024

To: Mayor and Councilmembers

From: David A. Krugler, City Engineer 

Subject: Rare Plant Taking Permit for construction of the Highway 65 East Frontage Road from 171<sup>st</sup> Avenue to 334 feet south of Crosstown Boulevard and the Crosstown Shopping Center street reconstruction

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### **Introduction:**

The Department of Natural Resources (MnDNR) requires the issuance of a Rare Plant Taking Permit (Permit) for the proposed taking (impacting) of rare plant species as a result of construction. A portion of the Permit requires mitigation to be provided, whether in the form of monetary value similar to wetland banking, or in improving a natural habitat that contains the same species of rare plants being taken. The plants are categorized by species and designated as either endangered, threatened, special concern or watch listed. The MnDNR is responsible for determining these categories.

### **Discussion:**

The City entered into an agreement with Anoka Conservation District (ACD) on March 4<sup>th</sup> to prepare a management plan for Soderville Park. The agreement has the ACD creating, implementing, and managing the required rare plant mitigation at Soderville Park. The management plan will cover the required mitigation for the impacts on both projects, the East Frontage Road from 171st Avenue to Crosstown Boulevard and the Crosstown Shopping Center street reconstruction.

The proposed mitigation area was originally 13.4 acres and encompassed the entirety of the park excluding the ball field and parking areas. It was later discovered that there is an 85-foot Great River Energy (GRE) easement running along the east side of the park. After discussions with GRE, it was decided to remove GRE's easement area from the mitigation area to avoid conflicts. After discussions with the ACD regarding the rest of the mitigation limits, it was decided to move the northern limits to the edge of the ball field fence. This was to remove any areas where invasive plants could thrive. The discussions with the ACD also reduced the western and southern limits of the mitigation area to the center line of County Ditch #58-3-1. While there are small pockets of watch listed plants across the ditch, it was determined to not be feasible to perform mitigation efforts on the west side of the ditch due to inaccessibility from within the park and from invasive species surviving on the limits of the park. The revised reduced mitigation area is now 12.25 acres. Due to the reduction in the mitigation area, the exhibit included within the agreement no longer represents the correct mitigation area. The revised area exhibit and the proposed contract addendum are attached.

### **Recommendation:**

It is recommended to approve the amendment to the agreement with the Anoka Conservation District in preparing a management plan for the East Frontage Road construction and the Crosstown Shopping Center street reconstruction project to remove and replace the mitigation area exhibit with one that matches the new mitigation area at Soderville Park.

**ADDENDUM TO CONTRACT FOR SERVICES**

This Amended Contract Agreement made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2024, by and between the City of Ham Lake, party of the first part, hereinafter referred to as the Owner, and Anoka Conservation District, party of the second part, hereinafter referred to as ACD. The purpose is to amend Figure 2. Project area within Soderville Park within the Contract for Services for the Rare Species Habitat Management and Monitoring.

WHEREAS, the ACD signed the Contract for services on March 18, 2024.

WHEREAS, the project area was altered and reduced from 13.4 Acres to 12.25 Acres.

WHEREAS, the Owner signed the Contract for Services on June 17, 2024.

NOW, THEREFORE, THIS AGREEMENT WITNESSETH, that the ACD agrees with the Owner to replace Figure 2. Project area within Soderville Park with the attached Exhibit labeled Conservation Easement within Soderville Park.

The ACD and the Owner agree that all of the terms of this Amended Contract shall be binding upon themselves, their heirs, administrator, executors, legal and personal representatives, successors and assigns.

This Amended Contract is entered into under and pursuant to the laws of the State of Minnesota and shall in all respects be construed in accordance with the laws of said State.

IN WITNESS WHEREOF, the parties hereto have executed this instrument under their several seals this \_\_\_\_ day of \_\_\_\_\_, 2024, the name and corporate seal of each corporate party being hereto affixed and those present duly signed by its undersigned representative, pursuant to authority of its governing body.

City of Ham Lake, Minnesota  
Owner

\_\_\_\_\_  
By Title

\_\_\_\_\_  
By Title

PARTY OF THE SECOND PART

Anoka Conservation District  
ACD

\_\_\_\_\_  
ACD

\_\_\_\_\_  
By Title



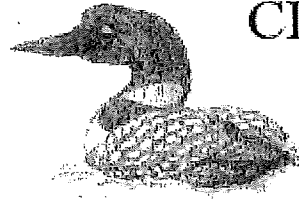
Description  
 CONSERVATION EASEMENT WITHIN SODERVILLE PARK

Project  
 EAST FRONTAGE ROAD SOUTH OF CROSSTOWN BOULEVARD

Drawn	Date	Project No.	Sheet No.
LZ	5/15/24	2111	1

13835 Johnson Street  
 Horn Lake, MN 55304  
 Voice: 763.892.8000  
 Fax: 763.892.2042





# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, SEPTEMBER 23, 2024

**CALL TO ORDER:** 6:00 p.m.

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF MINUTES:** September 9, 2024

**PUBLIC HEARING:** None

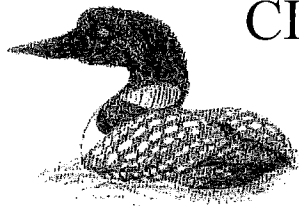
**NEW BUSINESS:**

1. Jeff Stalberger, MN Developments LLC, requesting Final Plat approval of the plat of Swedish Chapel Estates located at 2506 Swedish Drive NE (47 Single Family Residential lots and 3 outlots) in Section 4.

**COMMISSION BUSINESS:**

1. City Council Update





# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, SEPTEMBER 23, 2024

The Ham Lake Planning Commission met for its regular meeting on Monday, September 23, 2024, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Commissioners Brian Pogalz, David Ross, Jonathan Fisher and Erin Dixson

**MEMBERS ABSENT:** Commissioners Dave Ringler, Kyle Lejonvarn and Jeff Entsminger

**OTHERS PRESENT:** City Engineer Dave Krugler and Building and Zoning Official Mark Jones and Building and Zoning Clerk Jennifer Bohr

**CALL TO ORDER:** Chair Pogalz called the meeting to order at 6:00 p.m.

**PLEDGE OF ALLEGIANCE:**  
The pledge of allegiance was recited by all in attendance.

**APPROVAL OF MINUTES:**  
**Motion by Dixson, seconded by Ross, to approve the minutes of the September 9, 2024, Planning Commission meeting as written. All present in favor, motion carried.**

**PUBLIC HEARING:** None

### **NEW BUSINESS:**

Jeff Stalberger, MN Developments LLC, requesting Final Plat approval of the plat of Swedish Chapel Estates located at 2506 Swedish Drive NE (47 Single Family Residential lots and 3 outlots) in Section 4

Mr. Jeff Stalberger, Mr. Jeff Stalberger, Jr. and Mr. Ryan Stalberger were present. Mr. Jeff Stalberger spoke on behalf of the project. Mr. Stalberger stated the development is currently under construction. Mr. Stalberger stated he has concerns about some requirements noted in the City Engineer's memo. Mr. Stalberger stated the City Engineer is requiring all FEMA Letters of Map Amendment (LOMA) be received before building permits can be issued for any of the lots within the plat. Mr. Stalberger asked the Commissioners to consider allowing building permits to be issued on lots that do not require FEMA LOMAs once the plat is approved as FEMA's response time to requests for LOMAs can be anywhere from a couple of weeks to a couple of months. Mr.

Stalberger asked if the Commissioners would also consider allowing him to maintain ownership of Outlot A, without having to combine it with an adjacent property, for up to nine-months as he would like to try to purchase the large parcel to the east to combine with Outlot A. Mr. Stalberger stated if he can purchase the large parcel to the east, and combine it with Outlot A, it would be good for the city as he could create access to a parcel that is currently landlocked. Mr. Stalberger stated he will combine Outlots B and C with adjacent properties once the plat has been filed. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated the Coon Creek Watershed District (CCWD) has approved the project. Engineer Krugler stated the DNR approved the report that found several state endangered plants and Blanding turtles in the vicinity of the proposed project site. Engineer Krugler stated the Blanding turtles can be picked up and moved if they are encountered and the plants found within the project area are not shown to be disturbed so no taking permit will be required. Engineer Krugler stated there is an inactive eagle's nest on Lot 4, Block 1; the US Fish and Wildlife Service recommends that a permit be requested if there will be any disturbance within 100-feet of the nest. Engineer Krugler stated Swedish Drive NE will be relocated to the north of the current alignment; the Swedish Drive NE roadway easement vacation public hearing will be held at the October 7<sup>th</sup> City Council meeting. Engineer Krugler stated the Lot 3, Block 3 septic area was disturbed during construction, but Tradewell Soil Testing has evaluated the site and certified that it can support two standard septic system sites. Engineer Krugler stated the recertification meets the approval of the Building Official. Engineer Krugler stated a 15-foot trail easement will be dedicated along the west side of Xylite Street NE. Engineer Krugler stated the original trail easement requirement for this plat was for a 20-foot-wide trail but that has been reduced to 15-feet after discussion with the developer and to match other developments. Engineer Krugler stated parkland dedication fees will be required for this plat with credit being given for the land dedicated for the trail easement. Engineer Krugler stated no building permits will be issued on any lots until proof that deeds for the trail easement have been recorded and copies have been provided to the City. Engineer Krugler stated 21 lots will require FEMA Letters of Map Amendment (LOMAs). Engineer Krugler stated Outlots A, B and C are to be deeded to adjacent landowners; Mr. Stalberger's request for Outlot A will need to be discussed by the Commission. Chair Pogalz asked Engineer Krugler what type of disturbance occurred in the septic area on Lot 3, Block 3. Engineer Krugler stated a utility company drove a vehicle over the fenced-off septic area. Engineer Krugler stated Mark Tradewell, from Tradewell Soil Testing, has evaluated the site and has determined the area where the vehicle drove did not compromise the proposed septic area. Chair Pogalz asked Building and Zoning Clerk Bohr to comment on how the parcels requiring FEMA LOMAs could be identified with the tools available in the Building Department. Building and Zoning Clerk Bohr stated a note could be entered into the permit application for each parcel requiring a LOMA once parcel identification numbers and addresses have been assigned to the parcels within the plat. Chair Pogalz asked Building Official Jones to comment. Building Official Jones stated a note can be put on the parcels to prevent permits from being issued on lots requiring action by the developer as mentioned by Building and Zoning Clerk Bohr, but the notification would come up when a permit is being entered into the permit application, after plan review has been completed. Building Official Jones stated various issues have arisen when that has happened in the past. Building Official Jones stated his position is that no permits be issued on any parcels until all required LOMA's, deeds and easements,

etc. have been received by the City and/or recorded with the county. Building Official Jones suggested parcels requiring FEMA LOMAs not be sold until LOMAs have been received for those parcels if the Commission did not feel all building permits should be withheld. Chair Pogalz stated he understands the concerns of Mr. Stalberger and of Building Official Jones. Mr. Stalberger stated he feels the city's requirement, or rule, to combine outlots with adjacent parcels is well intended but has flaws. Mr. Stalberger stated he feels the intent of the rule is to prevent the creation of small outlots throughout the city and should not apply to outlots that can stand alone. Mr. Stalberger continued to explain to the Commissioners why he felt they should consider allowing him to maintain ownership of Outlot A while he attempts to negotiate the purchase of an adjacent parcel. There was discussion about parcel identification number assignment and the process of combining parcels. Chair Pogalz asked if Outlot A could be separated from the plat. Engineer Krugler stated the 2506 Swedish Drive NE parcel was likely divided when Xylite Street NE was constructed. Engineer Krugler stated the County likely purchased right-of-way for Xylite Street NE and caused the division of the parcel. Engineer Krugler understands Jeff Stalberger's goal of providing a driveway through Outlot A to access the east parcel; this would not be an access for a future development due to rules related to offset intersections with the realignment of Swedish Drive NE. Engineer Krugler stated that access to the landlocked parcel to the east would be a result of the combination with Outlot A. Chair Pogalz asked Engineer Krugler to comment on challenges that could arise by allowing Mr. Stalberger to maintain ownership of Outlot A for 90 days. Engineer Krugler stated he spoke with the City Attorney to determine how this situation could be addressed. Engineer Krugler stated nothing was formally decided but there was discussion about adding a condition to the Short Form Development Agreement stating Outlot A was not a buildable lot and could not be sold independently as a buildable lot if Mr. Stalberger is allowed to maintain ownership of Outlot A for up to nine-months. Chair Pogalz asked Building Official Jones to comment. Building Official Jones stated he has concerns about access to the parcel east of proposed Outlot A being through East Bethel. Building Official Jones stated there is one other parcel in Ham Lake that is accessed via East Bethel; that parcel has two addresses; one address is for Wyoming for mail delivery and the other address is for Ham Lake for tax address. Building Official Jones stated dealing with the confusion related to postal delivery and the issues that created for the homeowners was very difficult. Building Official Jones stated a comment was made about addressing Mr. Stalberger's request for Outlot A in the covenants for the development. Building Official Jones stated the city does not enforce anything written into covenants for a development. Engineer Krugler stated a condition that Outlot A cannot be built on until it is combined with an adjacent property could be noted in the Short Form Development Agreement filed with the county. Chair Pogalz asked how access would be provided to a parcel created by combining Outlot A with the parcel to the east. Engineer Krugler stated that there appears to be sufficient room for a driveway between the property line and the wetland to access the parcel to the east. Chair Pogalz asked Engineer Krugler if his concern is how to legally address allowing Mr. Stalberger to have a nine-month grace period for maintaining ownership of Outlot A. Engineer Krugler stated that was correct, and asked what needed to be done to ensure Outlot A is a non-buildable parcel. Mr. Stalberger stated he is going to follow through with his plan and if he cannot do anything with Outlot A within nine-months, he will deed the parcel to an adjoining landowner. Commissioner Fisher stated lots requiring FEMA LOMA's should

not be sold until the LOMAs are obtained and, if Mr. Stalberger cannot obtain the parcel to the east to combine with Outlot A within nine-months, the City should have a deed allowing Outlot A to be combined with an adjacent parcel. Commissioner Dixson asked Engineer Krugler for more information on his discussion with the City Attorney. Engineer Krugler stated his discussion with the attorney was that the city could have Mr. Stalberger sign a deed that is kept at the city along with some form of security so that in nine-months after the plat was filed, Outlot A has not been combined with an adjoining parcel, the city could record the deed and lot combination form to combine Outlot A with a parcel the developer chooses to comply with the requirement. Mr. Stalberger stated he would not have an issue signing a deed for the city to have on file. Commissioner Dixson stated she feels that would be acceptable. Commissioner Dixson stated she agrees that the lots requiring FEMA LOMAs should not be sold until a FEMA LOMA is on record for the lots. Chair Pogalz asked Building Official Jones if what is proposed is acceptable. Building Official Jones stated that it was. Commissioner Ross stated he agrees with what Commissioners Fisher and Dixson proposed. **Motion by Pogalz, seconded by Fisher, to recommend Final Plat approval of the plat of Swedish Chapel Estates located at 2506 Swedish Drive NE (47 Single Family Residential lots and 3 outlots) in Section 4 contingent on the vacation of Swedish Drive NE roadway easement and subject to meeting the requirements of the City Engineer as noted in his September 19, 2024 memo with the following modifications related to FEMA LOMAs and Outlot A:**

- any lot that requires a FEMA LOMA cannot be sold until a LOMA has been obtained and is on file at the City;
- ownership of Outlot A is to be maintained by Mr. Stalberger, per an appropriate legal remedy provided to the City, to ensure Outlot A will be combined with an adjacent parcel within nine-months of the plat being recorded. Outlots B and C are to be combined with adjacent parcels upon recording of the plat;

**no building permits will be issued on any lots until proof of outlot conveyance is received, no building permits are to be issued for any lots within the development until proof of recording of the deeds for the trail easement have been received by the city, meeting the requirements of the Coon Creek Watershed District and meeting all City, County and State requirements. All present in favor, motion carried. *This application will be placed on the City Council's Monday, October 7, 2024, agenda.***

#### **COMMISSION BUSINESS:**

##### City Council Update

Chair Pogalz stated the City Council concurred with the Planning Commission's recommendations to approve the final plat of Enchanted Estates 4<sup>th</sup> Addition and the denial of the Sketch Plan of Magnuson Estates. A planning commissioner will not be present at the October 7, 2024 City Council meeting.

**ADJOURNMENT:**

**Motion by Dixon, seconded by Fisher, to adjourn the Planning Commission meeting at 6:49 p.m. All present in favor, motion carried.**

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Jennifer Bohr  
Building and Zoning Clerk

## ORDINANCE NO. 24-XX

### AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

**The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.**

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) (Swedish Chapel Estates) in Section 4.

#### **SWEDISH CHAPEL REZONING DESCRIPTION**

The Northeast Quarter of Section 4, Township 32, Range 23, Anoka County, Minnesota, excepting the following described tracts of land:

1. The West 15 acres of the said Northeast Quarter of Section 4, Township 32, Range 23, heretofore sold and deeded to the Swedish Lutheran Society.
2. That part of the Northeast Quarter of Section 4, Township 32, Range 23, which lies easterly of the west 15 acres of said Northeast Quarter and northwesterly and southwesterly of a line described as follows:

Commencing at the southeast corner of said Northeast Quarter; thence on an assumed bearing of North 88 degrees 49 minutes 57 seconds West, along the south line of said Northeast Quarter, a distance of 2340.49 feet to the east line of said west 15 acres; thence North 01 degree 39 minutes 36 seconds East, along said east line of the west 15 acres, a distance of 460.03 feet to the point of beginning of the line to be described; thence North 63 degrees 59 minutes 46 second East a distance of 528.87 feet; thence North 22 degrees 27 minutes 47 seconds West a distance of 265.67 feet; thence North 28 degrees 48 minutes 19 seconds West a distance of 709.72 feet to said east line of the west 15 acres and said line there terminating.

3. That part of the Northeast Quarter of Section 4, Township 32, Range 23, which lies easterly of the easterly right of way line of Xylite Street NE and northerly of the northerly right of way line of 179th Avenue NE.

**Presented to the Ham Lake City Council on June 17, 2024 and adopted by a unanimous vote this 7th day of October, 2024.**

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**Brian Kirkham, Mayor**

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**Denise Webster, City Clerk**



# CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

## PLANNING REQUEST

Date of Application 8/16/24 Date of Receipt \_\_\_\_\_

Receipt # \_\_\_\_\_ Amount \$ \_\_\_\_\_

Meeting Appearance Dates:

Planning Commission 9-23-2024 City Council 10-7-24

Please check request(s):

- |   |   |
|---|---|
| <input type="checkbox"/> Metes & Bounds Conveyance      | <input type="checkbox"/> Commercial Building Permit       |
| <input type="checkbox"/> Sketch Plan                    | <input type="checkbox"/> Certificate of Occupancy         |
| <input type="checkbox"/> Preliminary Plat Approval*     | <input type="checkbox"/> Home Occupation Permit           |
| <input checked="" type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)*    |
| <input type="checkbox"/> Rezoning*                      | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License*          | <input type="checkbox"/> Other _____                      |

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: MN Developments LLC - Swedish Chapel Estate

Address/Location of property: Swedish Drive and Xylite

Legal Description of property: \_\_\_\_\_

PIN # 04-32-23-14-0001 Current Zoning RA Proposed Zoning R1

Notes: 47 single family lots and three cottages

Applicant's Name: Jeff Stalberger

Business Name: MN Developments LLC

Address 17404 Ward Lake Drive NW

City Andover State MN Zip Code 55304

Phone 6127991471 Cell Phone 6127991471 Fax \_\_\_\_\_

Email address stally68@msn.com

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

SIGNATURE [Signature] DATE 8/16/24

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 9-7-24  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT YES NO

## Memorandum

Date: September 19, 2024  
To: Planning Commissioners  
From: David A. Krugler, City Engineer  
Subject: Swedish Chapel Estates



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### Introduction:

The Final Plat was received on August 28<sup>th</sup>, the Title Sheet, Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan, Livability Chart, Removals plan, Street & Storm Sewer Plan & Profile, Intersection & C-D-S Details, Stormwater Pollution Prevention Plan, Detail, Turn Lane Plans and Geotechnical Report were received July 29<sup>th</sup>, the Livability Chart was received August 8<sup>th</sup>, and the Storm Sewer Sizing Calculations was received July 2<sup>nd</sup> for the proposed 47 lot residential development located on the 111.42 acre parcel 04-32-23-14-0001. The parcel is currently zoned Rural Single Family Residential (R-A), per the attached, and the new lots will be zoned Single Family Residential (R-1). The three outlots will remain R-A. All of the prior review comments have been addressed.

### Discussion:

The Final Plat generally conforms with the Preliminary Plat that was approved at the June 17<sup>th</sup> City Council meeting. Anoka County Highway Department approval of the plans on July 8<sup>th</sup> is attached. The Coon Creek Watershed District (CCWD) conditionally approved the development at the May 13<sup>th</sup> Board of Managers meeting. The attached amended CCWD Permit was issued on August 8<sup>th</sup>. The project conforms to the Upper Rum River Watershed Management Organization rules for storm runoff and wetland buffer requirements.

The CCWD review for potential impacts to state-listed species and other rare features found that several state endangered plants have been found and Blanding's turtles have been reported in the vicinity of the proposed project and may be encountered on site. If during construction Blanding's turtles are encountered the contractor is to move them by hand out of harm's way. Otherwise, the turtles are to be left undisturbed. The plants that are within the parcel are not shown to be disturbed and will not require a taking permit. There is an inactive eagle nest located on Lot 4 Block 1. The US Fish and Wildlife recommends that a permit be requested for any disturbance within 100-feet of the nest. A letter discussing the project and the recommendations made by the US Fish and Wildlife agency is attached.

Swedish Drive was shown to be relocated north of the current alignment by approximately 140 feet. An exhibit for vacation of the existing Swedish Drive roadway easement is attached. All utilities within the existing right-of-way have been removed and new utilities will be installed during the project. The Swedish Drive roadway easement vacation public hearing will occur on the October 7<sup>th</sup> Council meeting.



The septic certification has been received by Tradewell that each of the proposed lots will support two standard septic systems in accordance with Minnesota Rules 7080. The Lot 3 Block 3 septic area was disturbed during construction and has been recertified to supporting two standard septic systems to the satisfaction of the Building Official. The Braun Geotechnical Exploration Report, dated July 25<sup>th</sup>, adequately addressed prior review comments.

A 15-foot-wide trail easement, per the attached will be required on Lots 1, 3, 4, 5, 6, 7, 8 and 9 of Block 1 and Lots 1, 3 and 4 of Block 3. The June 17<sup>th</sup> City Council approval required a 20-foot-wide easement. After further discussion with the Developer, it is recommended to reduce the 20-foot requirement to a 15-foot trail easement to match other developments along County Roadways. The Developer is to record the trail easement deeds with Anoka County immediately after recording the Plat. The Development Agreement will stipulate that no building permits will be issued on any lots until proof of recording the trail deeds is received. In addition, parkland dedication fees will be collected rather than parkland dedication. The trail easement will be a credit toward those fees.

Outlots A, B and C will be required to be conveyed to adjacent properties within the Development Agreement. The Development Agreement will stipulate that no building permits will be issued on any lots until proof of outlot conveyance is received.

FEMA Letters of Map Amendments (LOMA) are required for Lots 8 and 9 of Block 1; Lots 4 thru 13 of Block 2; and Lots 7, 8, 9, 10, 13, 14, 15, 20 and 21 of Block 3. The Development Agreement will stipulate that that no building permits will be issued until the LOMAs is approved by FEMA. An Encroachment Agreement will be required due to the Lot 6, Block 3 septic sewer pipe that will cross the drainage and utility easement.

**Recommendations:**

It is recommended that the Final Plat of Swedish Chapel Estates be recommended for approval, contingent on the vacation of the Swedish Drive roadway easement.

PRELIMINARY COPY  
UNRECORDED AS OF 08-27-24

KNOW ALL PERSONS BY THESE PRESENTS: That MN Developments LLC, a Minnesota limited liability company, owner of the following described property:

The Northeast Quarter of Section 4, Township 32, Range 23, excepting the following described tracts of land:

1. The West 15 acres of the said Northeast Quarter of Section 4, Township 32, Range 23, heretofore sold and deeded to the Swedish Lutheran Society.
2. A plot of ground, commencing at a point 23.49 chains South and 5.15 chains East (Variation 8 degrees 51 minutes in 1887) of Quarter corner on North side of Section 4, Township 32, Range 23; thence South 29 degrees East (Variation 8 degrees 51 minutes in 1887) 9 1/2 rods, to a tamarac stake; thence North 64 degrees East, 14 1/2 rods; thence North 29 degrees West, 10 1/2 rods; thence South 60 1/2 degrees West, 14 1/2 rods to point of commencement, containing 1 acre, more or less, being a part of the Southwest Quarter of Northeast Quarter of Section 4, Township 32, Range 23.
3. Commencing at the Northeast corner of Section 4, Township 32, Range 23 and running thence West on end along town line between Towns of Bethel and Ham Lake a distance of 37 1/2 rods to East boundary line of Bethel and Minneapolis Road so called; thence in a Southerly direction on and along East road limit of said Bethel and Minneapolis Road as now located a distance of about 43 rods; thence in an Easterly direction a distance of about 24 1/2 rods to intersect the Section line running North and South between Sections 3 and 4 in said Township 32 and Range 23 at a point on said Section line a distance South from said Northeast corner of said Section 4, 34 rods; thence North on and along said Section line to place of commencement being a part of the Northeast Quarter of Northeast Quarter of Section 4, Township 32, Range 23, containing about 7 acres.
4. That part of the Northeast Quarter of Section 4, Township 32, Range 23, described as follows: Commencing at a point 289 feet East and 732 feet North of the Southwest corner of said Northeast Quarter; thence Northeasterly along the center of the road 424 feet; thence Northwesterly 701 feet to the point, which is 289 feet East of the West line of the said Northeast Quarter; thence South to the point of beginning.
5. Commencing at a point 1550.34 feet (23.49 chains) South and 339.9 feet (5.15 chains) East of the Quarter corner on the North side of Section 4; thence South 29 degrees East for 156.75 feet; thence South 64 degrees West for 167.4 feet; thence North, parallel with and 247.5 feet East of the Quarter Section line for 142.15 feet to the Southerly line of a public road; thence North 50 degrees 10 minutes East along said Southerly road line to the point of beginning, also all right of title in said adjacent public road to the center line thereof, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as SWEDISH CHAPEL ESTATES and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat. Also dedicating to the County of Anoka the right of access onto County Road No. 68 as shown on this plat.

In witness whereof said MN Developments LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

MN DEVELOPMENTS LLC

Jeffrey A. Stalberger, Co-Administrator

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Jeffrey A. Stalberger, Co-Administrator of MN Developments LLC, a Minnesota limited liability company.

(Signature)

(Print Name)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

I, Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Jason E. Rud, Licensed Land Surveyor  
Minnesota License No. 41578

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Jason E. Rud.

(Signature)

(Print Name)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_  
CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of SWEDISH CHAPEL ESTATES was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ham Lake, Minnesota

By \_\_\_\_\_ Mayor By \_\_\_\_\_ Clerk

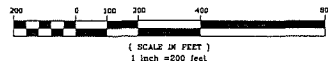
COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

David M. Ziegelmier  
Anoka County Surveyor

# SWEDISH CHAPEL ESTATES

NORTH



## LEGEND

- DENOTES 1/2 INCH OPEN IRON PIPE MONUMENT FOUND, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ⊕ DENOTES ANOKA COUNTY CAST IRON MONUMENT, UNLESS OTHERWISE SHOWN
- △ DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA.
- DENOTES WETLAND EDGE AS DELINEATED BY KIDHLAUG ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2023.

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 04, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 16 MINUTES 36 SECONDS EAST.

FOR ADDITIONAL BOUNDARY INFORMATION ON EXCEPTION NUMBERS 2, 4 AND 5, SEE INSERTS ON SHEETS 4 AND 6 OF 6 SHEETS.

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Property Tax Administrator

By \_\_\_\_\_ Deputy

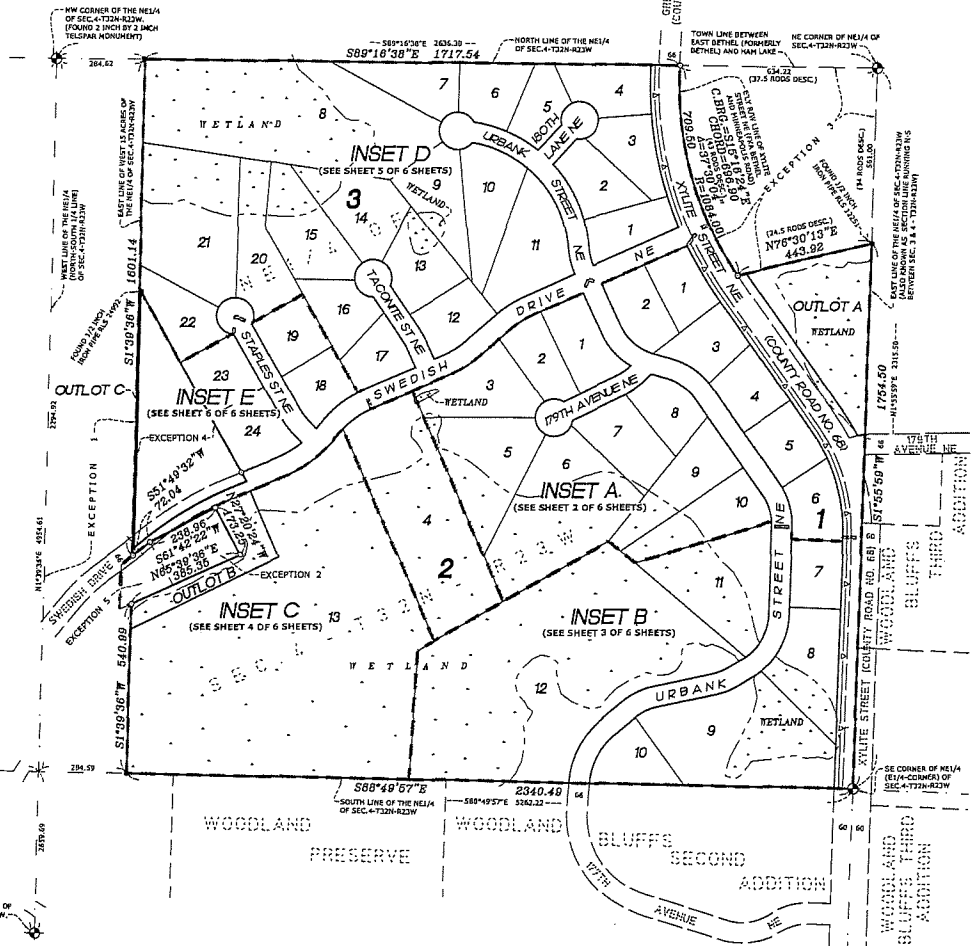
COUNTY RECORDER/REGISTRAR OF TITLES  
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of SWEDISH CHAPEL ESTATES was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_ o'clock \_\_\_\_\_ M, and was duly recorded as Document Number \_\_\_\_\_.

County Recorder/Registrar of Titles

By \_\_\_\_\_ Deputy

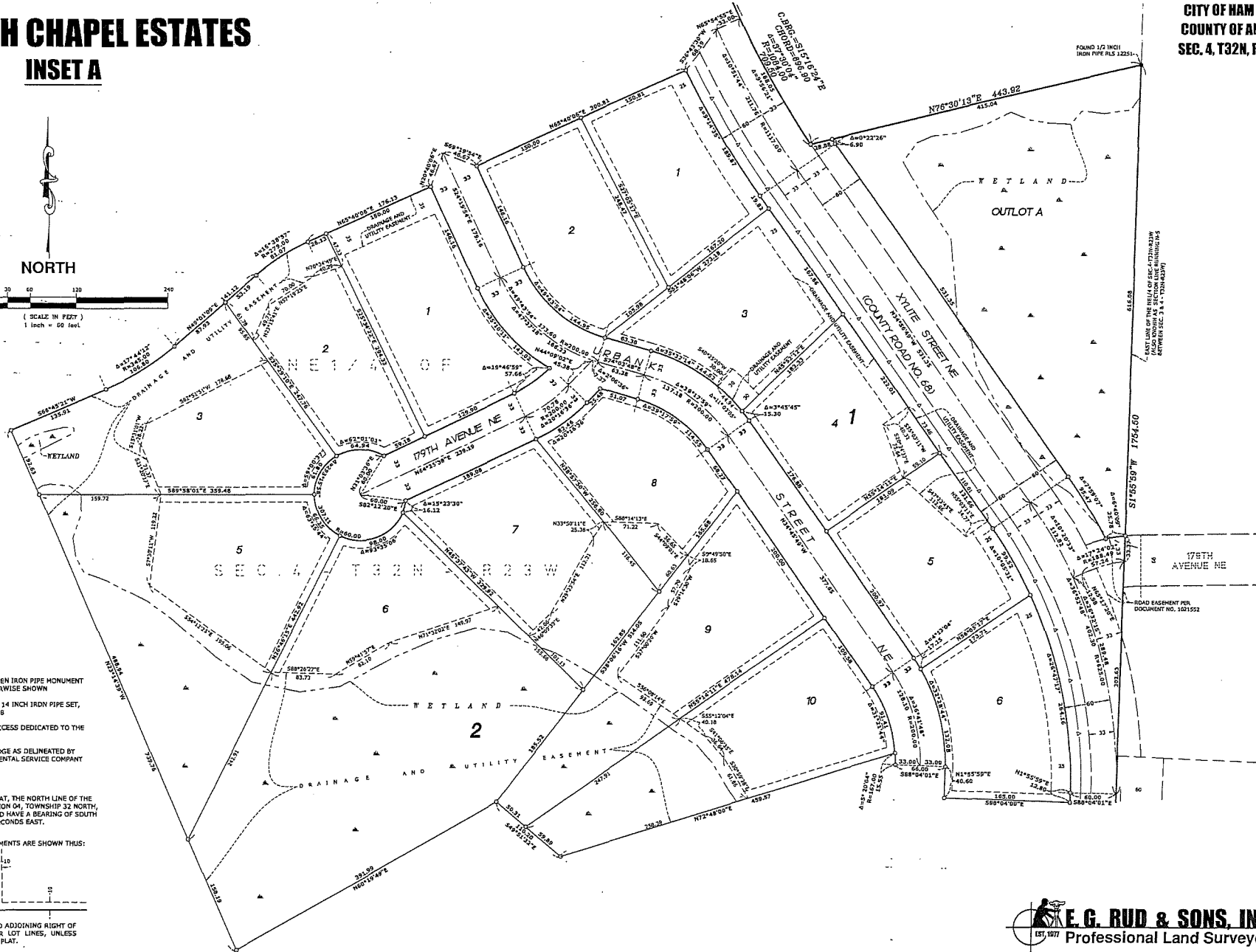
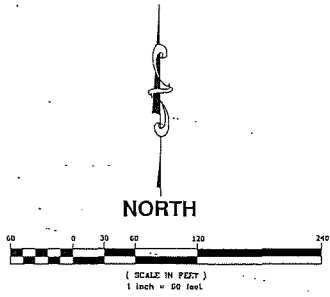
CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 4, T32N, R23W



PRELIMINARY COPY  
UNRECORDED AS OF 08-27-24

# SWEDISH CHAPEL ESTATES INSET A

CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 4, T32N, R23W



### LEGEND

- DENOTES 1/2 INCH OPEN IRON PIPE MONUMENT FOUND, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 3/4 INCH IRON PIPE SET, MARKED RLS NO. 41578
- DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA.
- DENOTES WETLAND EDGE AS DELINEATED BY KODJHAUG ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2023.

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 04, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 16 MINUTES 38 SECONDS EAST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

FOUND 1/2 INCH IRON PIPE RLS 12251

ROAD EASEMENT PER DOCUMENT NO. 1021252

**PRELIMINARY COPY**  
**UNRECORDED AS OF 08-27-24**

# SWEDISH CHAPEL ESTATES

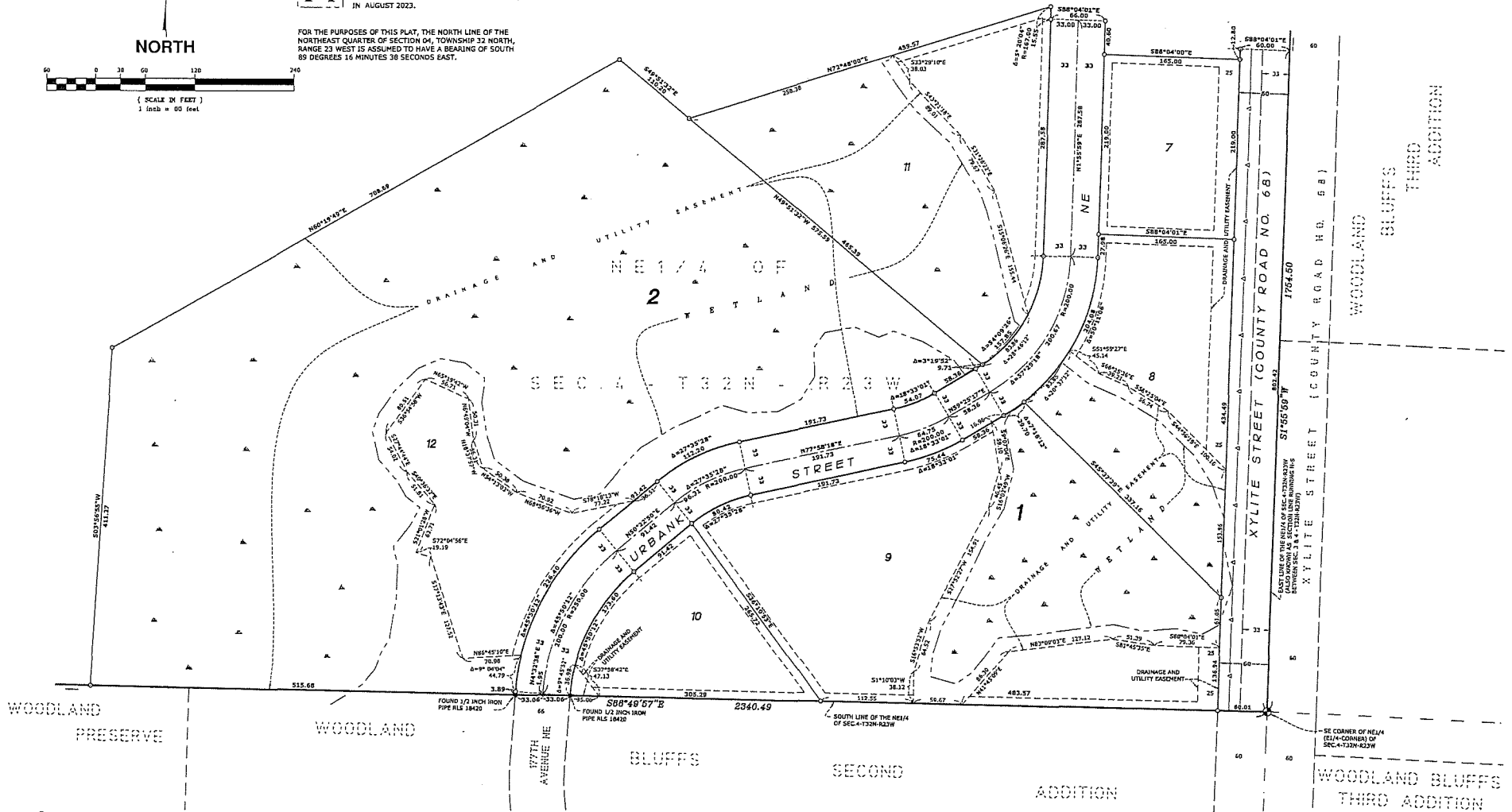
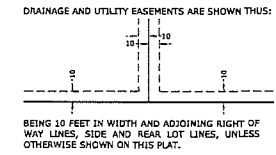
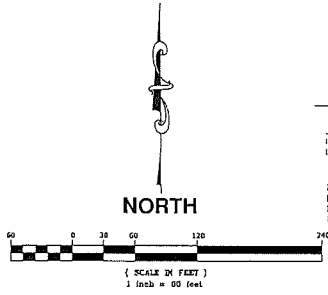
## INSET B

**CITY OF HAM LAKE**  
**COUNTY OF ANOKA**  
**SEC. 4, T32N, R23W**

**LEGEND**

- DENOTES 1/2 INCH OPEN IRON PIPE MONUMENT FOUND, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED ALS NO. 41578
- ◇ DENOTES ANOKA COUNTY CAST IRON MONUMENT, UNLESS OTHERWISE SHOWN
- DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA.
- ▴ DENOTES WETLAND EDGE AS DELINEATED BY KOLHAUG ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2023.

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF THE  
 NORTHEAST QUARTER OF SECTION 04, TOWNSHIP 32 NORTH,  
 RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF SOUTH  
 89 DEGREES 16 MINUTES 38 SECONDS EAST.



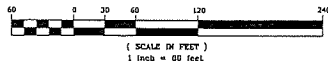
# SWEDISH CHAPEL ESTATES

## INSET C

CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 4, T32N, R23W



NORTH

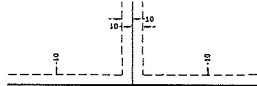


### LEGEND

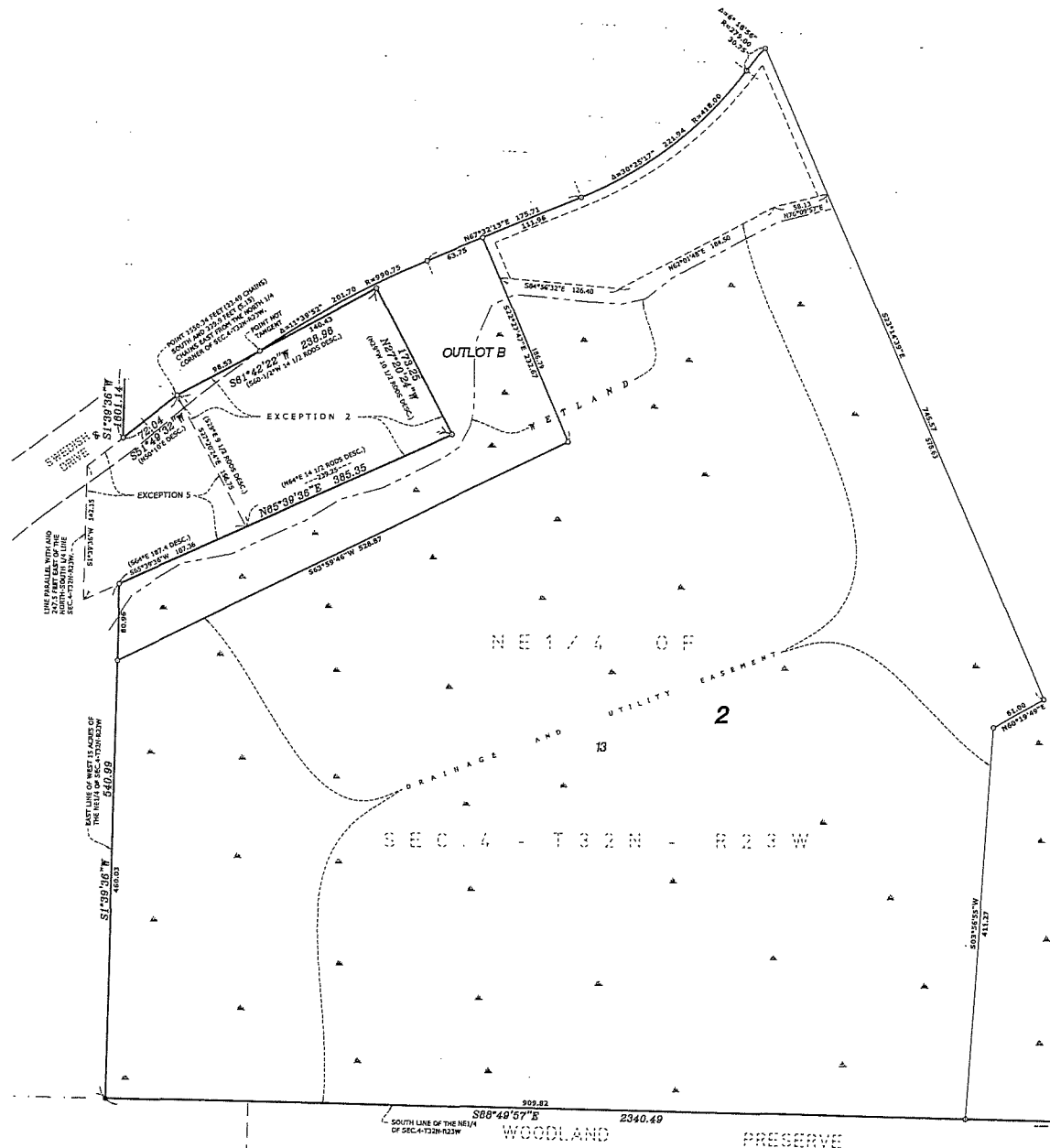
- DENOTES 1/2 INCH OPEN IRON PIPE MONUMENT FOUND, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ▲--- DENOTES WETLAND EDGE AS DELINEATED BY KODLAUG ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2023.

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 04, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF SOUTH 69 DEGREES 16 MINUTES 38 SECONDS EAST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

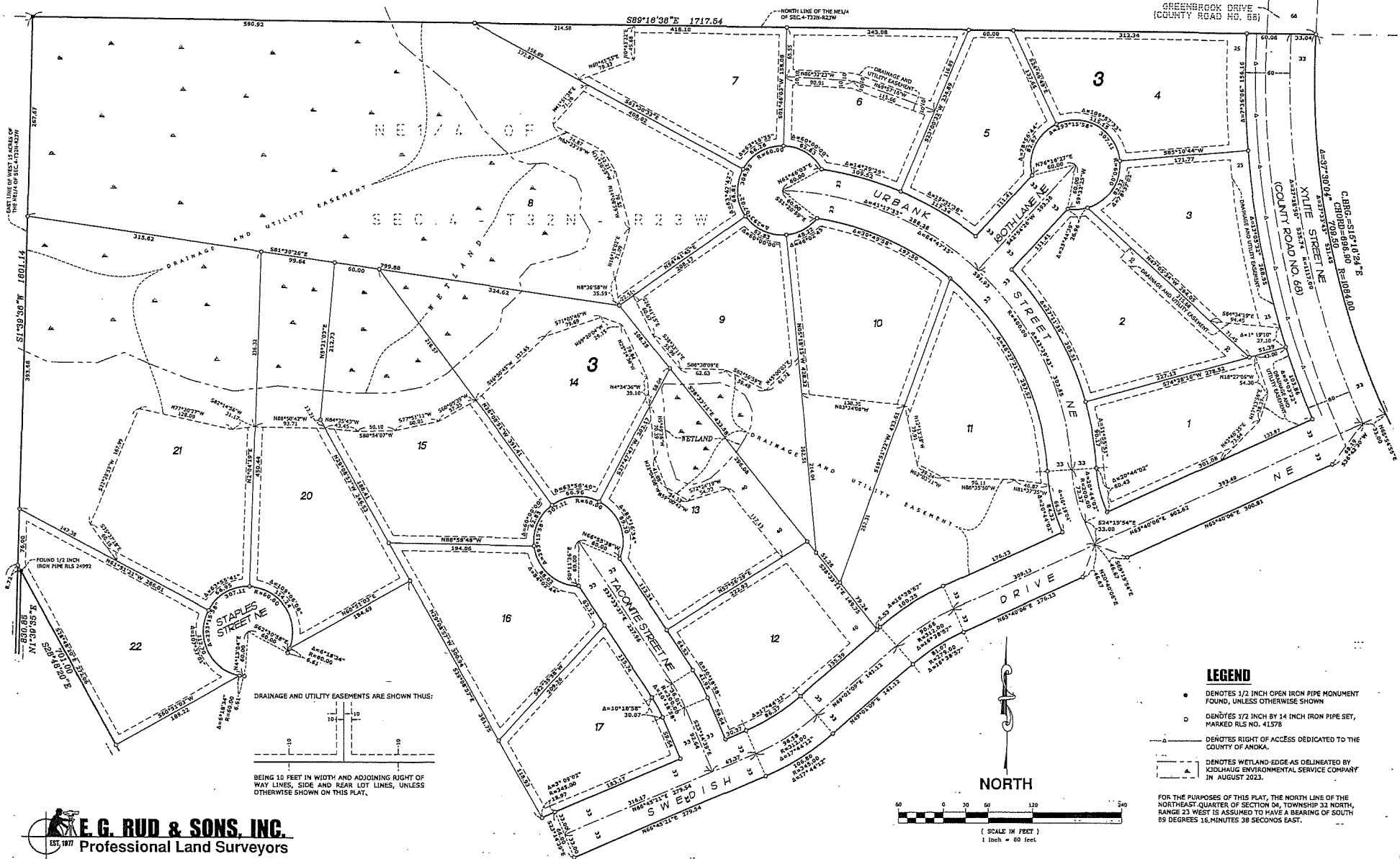


PRELIMINARY COPY  
UNRECORDED AS OF 08-27-24

**INSET D**

**SWEDISH CHAPEL ESTATES**

**CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 4, T32N, R23W**



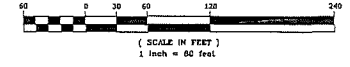
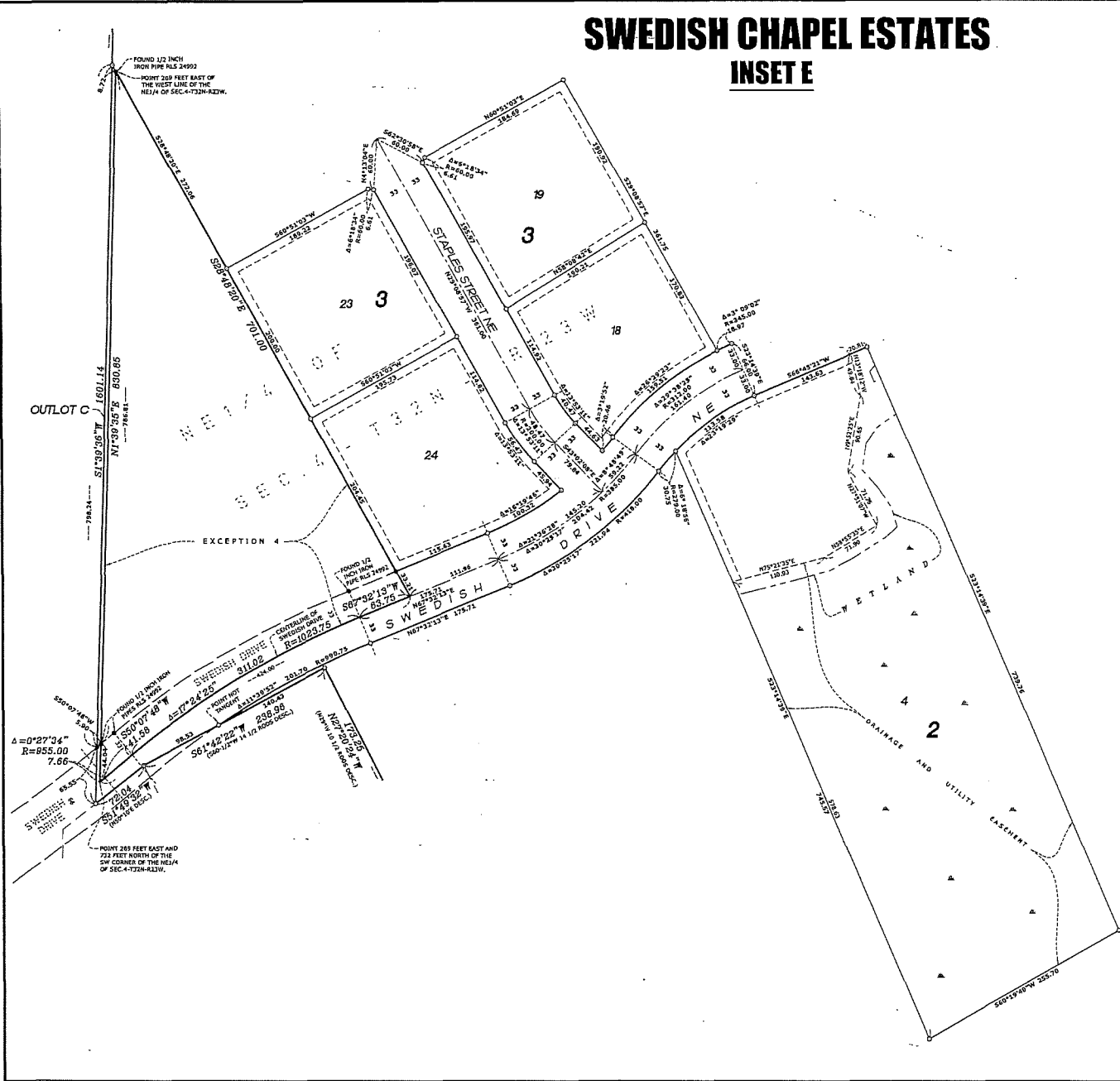
- LEGEND**
- DENOTES 1/2 INCH OPEN IRON PIPE MONUMENT FOUND, UNLESS OTHERWISE SHOWN
  - DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE SET, MARKED RLS NO. 41578
  - DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA.
  - ▲ DENOTES WETLAND EDGE AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2023.

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 04, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 16 MINUTES 38 SECONDS EAST.

**PRELIMINARY COPY  
UNRECORDED AS OF 08-27-24**

# SWEDISH CHAPEL ESTATES INSET E

**CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 4, T32N, R23W**

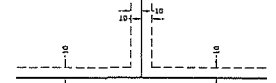


**LEGEND**

- DENOTES 1/2 INCH OPEN IRON PIPE MONUMENT FOUND, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE SET, MARKED ALS NO. 41578
- ▲ DENOTES WETLAND EDGE AS DELINEATED BY KIDHAUS ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2023.

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 04, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 16 MINUTES 38 SECONDS EAST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

# TITLE SHEET

-of- SWEDISH CHAPEL ESTATES  
 -for- MN DEVELOPMENTS, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

## VICINITY MAP

PART OF SEC. 4, TWP. 32, RNG. 23



ANOCA COUNTY, MINNESOTA  
 NO SCALE

## SHEET INDEX

- |             |                                      |
|-------------|--------------------------------------|
| T1          | TITLE SHEET                          |
| 2-3         | PRELIMINARY PLAT                     |
| 4-7         | GRADING PLAN                         |
| 8-11        | LIVABILITY PLAN                      |
| 12-14       | LIVABILITY CHART                     |
| R           | REMOVALS PLAN                        |
| C1.1 - C1.8 | STREET AND UTILITY PLANS             |
| C2.1 - C2.2 | STORMWATER POLLUTION PREVENTION PLAN |
| C3.1 - C3.3 | DETAILS                              |
| C4.1 - C4.3 | TURN LANE PLAN                       |

PHONE SURVEYING  
 AND STORM WATER DESIGN BY  
 PLUME ENGINEERING, INC.

**PLUME**  
 ENGINEERING, INC.  
 8776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014

SITE PLANNING PHONE: (612) 381-4210  
 & ENGINEERING FAX: (612) 381-4211

I HEREBY CERTIFY THAT THE STORMWATER  
 MANAGEMENT AND DRAINAGE REPORT FOR THIS  
 PLAN WAS PREPARED BY ME OR UNDER MY DIRECT  
 SUPERVISION AND THAT I AM A QUALIFIED  
 PROFESSIONAL ENGINEER UNDER THE LAWS OF  
 THE STATE OF MINNESOTA.

ADAM GENSEL  
 DATE: 07.25.2024 LIC. NO. 43892



**E.G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel: (651) 361-8200 Fax: (651) 361-6701



I hereby certify that this survey, plan  
 or report was prepared by me or under  
 my direct supervision and that I am  
 a duly Registered Land Surveyor under  
 the laws of the State of Minnesota.

JACOB BAKO  
 Date: 07/25/2024 License No. 41374

REVISION	DATE	BY	CHKD.	DESCRIPTION
1	07/25/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
2	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
3	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
4	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
5	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
6	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
7	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
8	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
9	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
10	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
11	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
12	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
13	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
14	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
15	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
16	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
17	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
18	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
19	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
20	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
21	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
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34	08/01/24	JACOB BAKO	ADAM GENSEL	ISSUE FOR PERMIT
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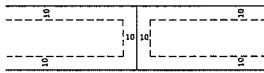




# PRELIMINARY PLAT

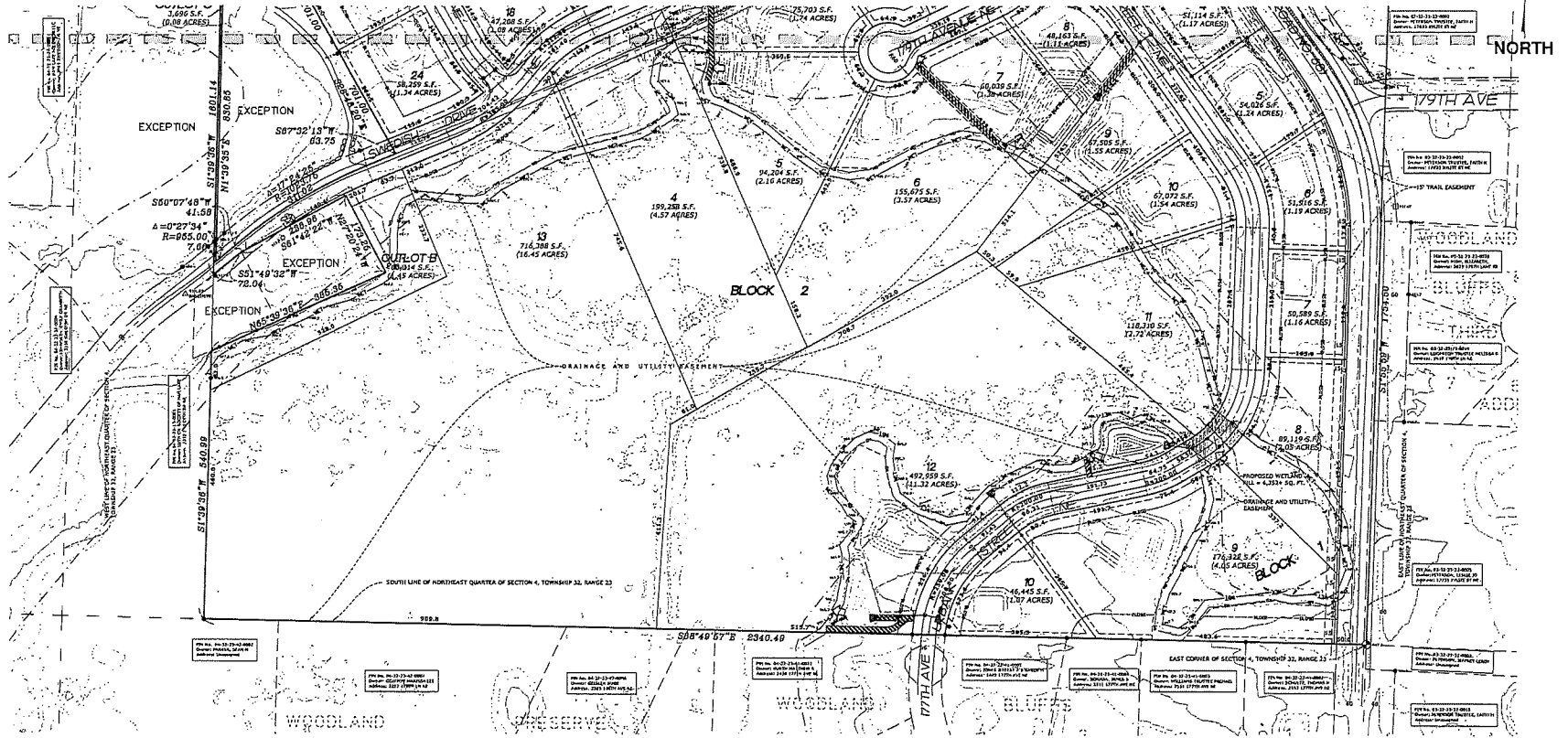
~of- SWEDISH CHAPEL ESTATES  
 ~for- MN DEVELOPMENTS, LLC  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

### TYPICAL EASEMENTS (NOT TO SCALE)



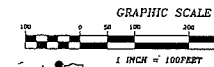
BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES  
 AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS  
 OTHERWISE SHOWN.

MATCHLINE: SEE SHEET 2



### DEVELOPMENT DATA

- TOTAL SITE AREA = 111.424 ACRES
- OUTLOT AREA = 8.014 ACRES
- 47 PROPOSED SINGLE FAMILY LOTS
- AVERAGE LOT SIZE = 2.26 ACRES
- MINIMUM STREET FRONTAGE = 200 FEET
- MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
- PROPOSED ZONING = R-3
- BUILDING SETBACKS: FRONT = 30 FEET, SIDE = 10 FEET, REAR = 10 FEET, COUNTY ROAD = 50 FEET



**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

### LEGEND

- IRON MONUMENT FOUND
- EXISTING CONTIGUOUS (2' INTERVAL)
- DRAINAGE AND UTILITY EASEMENT
- BUILDING SETBACK LINE
- RESTRICTED ACCESS
- WETLAND LINE DELINEATED BY DULUTH ENVIRONMENTAL SERVICES INC.
- WETLAND BUFFER LINE
- APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 22023C0215E PANEL NO. 0215 SUPER E, EFFECTIVE DATE DECEMBER 16TH, 2015.
- WETLAND FILL
- EXISTING AREA 1' ABOVE MOTTLING
- ADJACENT PARCEL OWNERS INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

### NOTES

- Bearings shown are on Anoka County datum.
- Parcel ID Number: 04-32-23-14-0001
- Site Address: 2306 Swedish Drive NE
- OWNER: JONAN A. DOSEDEL
- Legal description per title commitment prepared by Chicago Title Insurance dated 9/7/2023 Commitment No. 230943680.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON A. BLISS  
 Date: 07/29/2024 License No. 41578

### PROPERTY DESCRIPTION

The Northeast Quarter of Section 4, Township 32, Range 23, encompassing the following described tracts of land:

- The West 15 acres of the said Northeast Quarter of Section 4, Township 32, Range 23, hereinafter sold and devised to the Swedish Lutheran Society.
- A plot of ground, commencing at a point 23.49 chains South and 5.15 chains East (Variation 8 degrees 51 minutes in 1897) of Quarter corner on North side of Section 4, Township 32, Range 23; thence South 29 degrees East (Variation 8 degrees 51 minutes in 1897) 9 1/2 rods, to a banner stake; thence North 64 degrees East, 14 1/2 rods; thence North 29 degrees West, 10 1/2 rods; thence South 60 1/2 degrees West, 14 1/2 rods to point of commencement, containing 1 acre, more or less, being a part of the Southwest Quarter of Northeast Quarter of Section 4, Township 32, Range 23.
- Commencing at the Northeast corner of Section 4, Township 32, Range 23 and running thence West on and along town line between Towns of Belvidere and Ham Lake a distance of 37 1/2 rods to East boundary line of Belvidere and Minneapolis Road so called; thence in a Southerly direction on and along East road line of said Belvidere and Minneapolis Road as now located a distance of about 43 rods; thence in an Easterly direction a distance of about 24 1/2 rods to intersect the Section line running North and South between Sections 3 and 4 in said Township 32 and Range 23 at a point on said Section line a distance South from said Northeast corner of said Section 4, 34 rods; thence North on and along said Section line to place of commencement being a part of the Northeast Quarter of Northeast Quarter of Section 4, Township 32, Range 23, containing about 7 acres.
- The part of the Northeast Quarter of Section 4, Township 32, Range 23, described as follows: Commencing at a point 289 feet East and 732 feet North of the Southwest corner of said Northeast Quarter; thence Northwesterly along the center of the road 424 feet; thence Northwesterly 705 feet to the point, which is 289 feet East of the West line of the said Northeast Quarter; thence South to the point of beginning.
- Commencing at a point 1550.34 feet (23.49 chains) South and 339.9 feet (5.15 chains) East of the Quarter corner on the North side of Section 4; thence South 29 degrees East for 156.75 feet; thence South 64 degrees West for 107.4 feet; thence North, parallel with and 247.5 feet East of the Quarter Section line for 142.15 feet to the Southerly line of a public road; thence North 50 degrees 10 minutes East along said Southerly road line to the point of beginning, also all right of use in said adjacent public road to the center line thereof, Anoka County, Minnesota.

NO.	DATE	DESCRIPTION	BY
1	04/11/24	CITY COMMENTS	MND
2	05/27/24	CITY COMMENTS	MND
3	06/07/24	TOWN EASTPHONY ZONING LOTS	MND
4	07/29/24	CON. REPORT / LACONS	MND



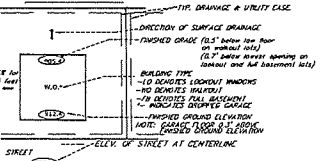


# GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

MATCHLINE: SEE SHEET 5

of- SWEDISH CHAPEL ESTATES  
for- MN DEVELOPMENTS, LLC  
17404 WARD LAKE DRIVE NW  
ANDOVER, MN 55304  
(612) 799-1471

## TYPICAL LOT

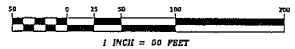


## LEGEND

- DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- DENOTES PILEDRIVER OR PENETRATION BORING BY FINNEN INSTRUMENTS
- DENOTES EMERGENCY CHIMNEY ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WETLAND
- DENOTES EXISTING 3 FOOT CONTOUR
- DENOTES PROPOSED 3 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY SOULMINE ENVIRONMENTAL SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES SERVICE LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES 3/4" FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE HOTSPOTS
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES ASPHALT (ASPHALT TO BE VEGETATED AT WETLAND BUFFER)
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES APPROXIMATE FLOOD ZONE LINE FROM FEMA FLOOD INSURANCE RATE MAP AND STATISTICAL FLOODING MAP NO. 1305-SUB-F-0101 (REVISION 14TH, 2015)
- DENOTES FLOOD ZONE LINE PER TOPOGRAPHY
- DENOTES TREE PRESERVATION AREA
- DENOTES 17 FOOT ACCESS
- DENOTES WETLAND FILL
- DENOTES FLOODPLAIN FILL
- DENOTES COMPENSATORY STORAGE AREA

POUND CALCULATIONS AND STORM CHUCK DESIGN BY  
**PLOWE ENGINEERING, INC.**  
8778 LAKE DRIVE SUITE 110 LAKES, MN 55014  
SITE PLANNING PHONE: (612) 981-9210 AND (612) 981-9211  
I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
*Adam Ornel*  
ADAM ORNEL  
DATE: 07/29/2024 LIC. NO. 42993

## GRAPHIC SCALE



## LOT GRADING NOTES

- 1. PAD CONTOURS SHOWN ARE FOR REPRESENTATION PURPOSES.
- 2. ISSUE TYPES AND GRADING THAT VARY FROM WHAT IS PROPOSED ON THE GRADING PLAN REQUIRE A PLAN REVIEW BY THE CITY OR TOWN LAKE.
- 3. SILT FENCE TO BE INSTALLED IN PLACE PRIOR TO HOUSE CONSTRUCTION.
- 4. THERE IS TO BE NO GRADING WITHIN 50' OF A

## EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO HOUSE GRADING, INSTALL SILT STOP FENCE AT LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DETAIL NECESSARY BY THE CITY ENGINEER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED IN AN AREA BY AREA BASIS TO MAINTAIN UNCOMPLETED AREAS.
3. AT EACH AREA OUTSIDE THE STREET OR DRIVE, PROVIDE NATIVE TOPSOIL SEEDS AND GRAZE ANCHORED WITH A STRAINBET SET DISC WITHIN SEVEN DAYS AFTER HOUSE GRADING.
4. MAINTAIN AND REPAIR SILT STOP FENCES INCLUDING REMOVAL OF ACCUMULATED SOIL UNTIL REVEGETATION IS ESTABLISHED.
5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

## FLOODPLAIN FILL NOTES

- 1. FLOODPLAIN FILL WETLAND 1 BAGN-1206 CUT COMPENSATORY STORAGE AS REQUIRED BY CITY ENGINEER. COMPENSATORY STORAGE PROVIDED BY POND 2 BETWEEN 907.7 AND 907.3 ELEVATION

## TREE PROTECTION NOTES

- 1. TREE PROTECTION LIMITS TO BE MAINTAINED IN FIELD PRIOR TO ANY TREE REMOVAL ACTIVITY.
- 2. SILT TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LINE.
- 3. CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE TREE PROTECTION LIMITS.
- 4. TREE PROTECTION LIMITS TO BE MAINTAINED ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE EQUIPMENT.
- 5. SILENT TREES AND BRASS FALLS ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. CLEARING OF STUMP SHALL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.

## WETLAND FILL NOTES

- 1. WETLAND FILL AREA = 6,347 SQ. FT.

## NOTES

- 1. SCENARIOS SHOWN ARE ON AN OVERCAST DATE.
- 2. TOTAL FILL AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 3. 3 FOOT CONTOUR INTERVAL (RANGING 88)
- 4. CONTOUR SPACING AND PROTECTIVE LIMITS DETERMINED AND FILL VERIFICATION.
- 5. ALL PATCH POINTS AND PATCHMENT PATCHES TO BE SMOOTH AT FULL DEPTH.
- 6. FILL AREAS TO BE SECTORED WITHIN 7 DAYS AFTER COMPLETION OF SOIL GRADING OR INACTIVITY.
- 7. SEE MILLIMETER PLAN / PROFILE SHEETS FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- 8. TRADEWELL SOIL TESTING COMPLETES SOIL BORINGS.
- 9. DRAIN INTERCEPT IS IDENTIFYING SITE DRAINAGE WATER ELEVATIONS WITH PROPOSED AS, ANTICIPATED GROUNDWATER ELEVATIONS ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO REVISION.
- 10. ALL FIVE AMBROS SPOCK 4" PROVIDED WITH TRASH GUARDS.
- 11. PROVIDE CLASS B ASPHALT WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF ROSSPOL ON ASPHALT IN WETLAND BUFFERS AND SEED WITH SEED MIX RFD0213-04.
- 12. IF SCOURING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A NEW DRAINAGE PERMIT AND WILL PROVIDE DRAINAGE OPERATIONS, BARRIERS, DISBURSE LOCATION, SCHEDULE AND QUANTITIES TO COME 7 DAYS PRIOR TO ANY CONTINGENCY.
- 13. DISTURBED SOILS AND STRUCTURES WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
DATE: 07/29/2024 LICENSE NO. 41578

NORTH

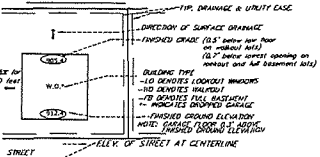
NO.	DATE	DESCRIPTION	BY
1	08/01/24	CITY COMMENTS	MHD
2	08/02/24	CITY COMMENTS	MHD
3	08/02/24	TRAIL EASEMENT / RAILITE LOTS	MHD
4	07/29/24	CITY COMMENTS	MHD
5	07/29/24	CITY COMMENTS	MHD
6	07/29/24	CITY COMMENTS	MHD
7	07/29/24	CITY COMMENTS	MHD
8	07/29/24	CITY COMMENTS	MHD
9	07/29/24	CITY COMMENTS	MHD
10	07/29/24	CITY COMMENTS	MHD
11	07/29/24	CITY COMMENTS	MHD
12	07/29/24	CITY COMMENTS	MHD
13	07/29/24	CITY COMMENTS	MHD
14	07/29/24	CITY COMMENTS	MHD
15	07/29/24	CITY COMMENTS	MHD
16	07/29/24	CITY COMMENTS	MHD
17	07/29/24	CITY COMMENTS	MHD
18	07/29/24	CITY COMMENTS	MHD
19	07/29/24	CITY COMMENTS	MHD
20	07/29/24	CITY COMMENTS	MHD

**E. G. RUD & SONS, INC.**  
187, 187  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701

# GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of- SWEDISH CHAPEL ESTATES  
 ~for- MN DEVELOPMENTS, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

## TYPICAL LOT



## LEGEND

- DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- DENOTES PNEUMATIC OR PENETRATION BORING BY MEANS METEORIC
- DENOTES EMERGENCY OVERLAY ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WET LAKE
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLANDS DELINEATED BY SOILWORKS ENVIRONMENTAL SERVICES COMPANY
- DENOTES EXISTING LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED SALT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE HOTSPOTS
- DENOTES WETLANDS VEGETATIVE BUFFER
- DENOTES WETLANDS VEGETATIVE BUFFER SIGN
- DENOTES AIRMAP (AIRMAP TO BE VEGETATED IN WETLAND BUFFER)
- DENOTES PROPOSED STORM SEWER INTER PROTECTION
- DENOTES APPROXIMATE FEMA FLOOD ZONE LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 230002010E PANEL NO. 2015 SHEET 1. EFFECTIVE DATE: DECEMBER 16TH, 2015.
- DENOTES FLOOD ZONE LINE PER TOPOGRAPHY
- DENOTES TRAIL PRESERVATION AREA
- DENOTES 12" POND ACCESS
- DENOTES WETLAND FILL
- DENOTES FLOODPLAIN FILL
- DENOTES COMPENSATORY STORAGE AREA

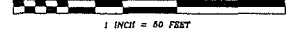
FORWARD CALCULATIONS AND STORM SEWER DESIGN BY  
 PLOWE ENGINEERING, INC.  
 8778 LAKE DRIVE  
 SUITE 110  
 LINO LAKE, MN 55014



PHONE: (612) 261-8210  
 FAX: (612) 261-4701  
 I HEREBY CERTIFY THAT THE INFORMATION AND CALCULATIONS REPORTED ON THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Adam Ornel*  
 ADAM ORNEL  
 DATE: 07/29/2024 LIC. NO. 43983

GRAPHIC SCALE  
 1 INCH = 50 FEET



**E. G. RUD & SONS, INC.**  
 197, 1977 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 351-8200 Fax (651) 351-8701



## EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO ANY GRADING, METAL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE SHALL BE INSTALLED WHERE LOCAL CONDITIONS REQUIRE. INSTALL SILT PROTECTION AS DETAILED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROMOTE PLANTING TREES, GRASS, AND BERRIES ADJACENT WITH A STRAIGHT SET BACK WITHIN SEVEN DAYS AFTER RAINY GRADING.
4. MAINTAIN AND REPAIR SILT STOP FENCES DURING REMOVAL OF AGGREGATED SILT. VEGETATION IS ESTABLISHED.
5. SET STORM WATER POLLUTION PREVENTION PLAN FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

## LOT GRADING NOTES

- 1. PAD CONTOURS SHOWN ARE FOR DEMONSTRATION PURPOSES.
- 2. HOUSE TYPES AND GRADING SHALL VARY FROM PLAN AS PROPOSED ON THE GRADING PLAN REQUIRE A SIGN OFF BY THE CITY LAND SURVEYOR.
- 3. SILT FENCE TO BE INSTALLED BY BUILDER PRIOR TO HOUSE CONSTRUCTION.
- 4. THERE IS TO BE NO GRADING WITHIN SETS AREAS.

## WETLAND FILL NOTES

WETLAND FILL AREA = 4,333 SQ. FT.

## NOTES

- SEARINGS SHOWN ARE ON ANNEKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO EXACT CENTERLINE PER ORDINANCE.
- 3 FOOT CONTOUR INTERVAL (UNADJUSTED)
- CONTOURS SHOWN ARE PER PROPOSED LOCAL DISTRIBUTION AND FLOOD VELOCITIES.
- ALL WATER POINTS AND PUMPOUTS NEED TO BE SAVED AT FULL DEPTH.
- FILL AREA TO BE SEATED WITHIN 7 DAYS AFTER COMPLETION OF HOUSE GRADING OR SOON THEREAFTER.
- SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- TRADEWELL SOIL TESTING COMPLETED FOR SOIL BORINGS.
- GRAIN INTERFERENCE IS MONITORING SITE GROUND WATER ELEVATIONS WITH PRECIPITATION, ANTICIPATED GROUNDWATER ELEVATIONS ARE BASED ON PREVIOUS INFORMATION AND ARE SUBJECT TO REVISION.
- ALL TREE REMOVALS ARE PROVIDED WITH TRASH GUIDES.
- PROVIDE CLASS II RIPRAP WITH FILTER FABRIC FOR ALL FIVE OUTLETS. INSTALL 4' OF TOPSOIL OR BURN IN WETLAND SURFACE AND COVER WITH SEED MIX PER PLAN 20-26.
- IF FLOODING IS INCLUDING, THE CONTRACTOR SHALL APPLY FOR A PMD DRAINAGE PERMITS AND LAND PONDOR WELLS FOR THE WETLANDS LOCATION, SCHEDULES AND QUANTITIES TO BE DONE PRIOR TO ANY DEMONSTRATION OPERATIONS.
- CONTRACTORS WILL BE PROVIDED WITH ONE FLOOD/FACE SHEETS ON SEARINGS TABLES.
- DISTURBED SOILS AND STODPLES WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

## FLOODPLAIN FILL NOTES

FLOODPLAIN FILL  
 - FLOODPLAIN FILL WETLANDS 1 BARRIERS-LINE CURT  
 COMPENSATORY STORAGE = 4,330 CUFT  
 (COMPENSATORY STORAGE PROVIDED IN PAD 2  
 BETWEEN 903.7 AND 903.2 ELEVATION)

## TREE PROTECTION NOTES

- 1. TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY GRADING ACTIVITY.
- 2. SILT PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- 3. CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE BUFFER LINE OF TREES IN THE TREE PROTECTION ZONE.
- 4. FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PROTECT EXISTING TREES.
- 5. SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRADING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.

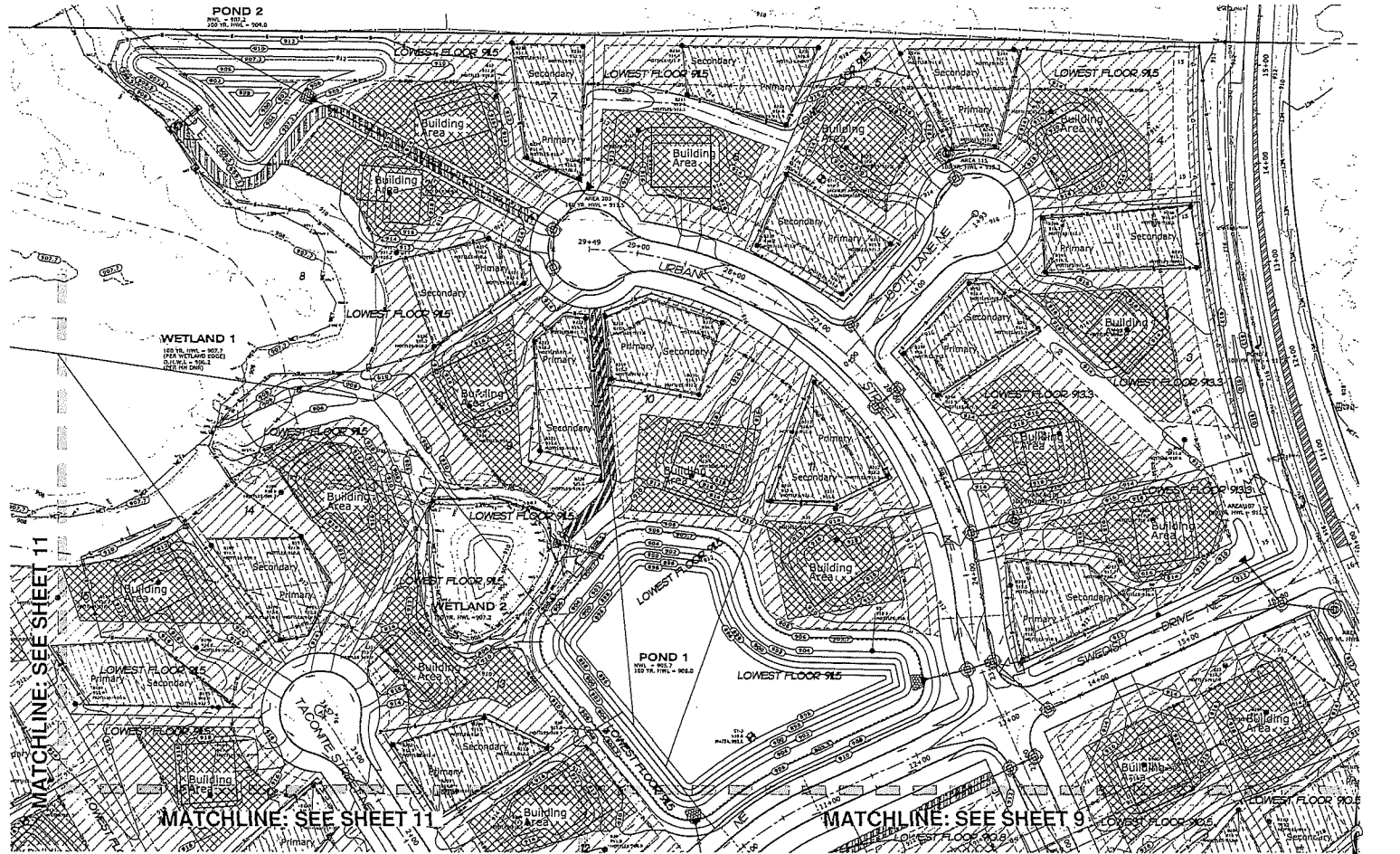
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

*JASON E. BLIND*  
 JASON E. BLIND  
 DATE: 07/29/2024 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	04/17/24	FINAL CONCEPTS	PHD
2	05/22/24	CITY COMMENTS	PHD
3	06/25/24	TRAIL LAYOUT / SHEET LOTS	PHD
4	07/29/24	CITY COMMENTS	PHD
5	07/29/24	CEO REPORT / FIGURES	PHD

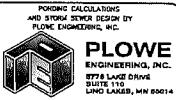
# LIVABILITY PLAN

~of- SWEDISH CHAPEL ESTATES  
 ~for- MN DEVELOPMENTS, LLC,  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471



## LEGEND

- ⊕ DENOTES SOIL BORING BY TRANSDUCER SOIL TESTING
- ⊕ DENOTES PENETROMETER OR PENETRATION BORING BY SHANK INSTRUMENT, INC.
- ⊕ DENOTES EXISTING EPIF ELEVATION
- △ DENOTES WET LAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY AGRICULTURAL ENVIRONMENTAL SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STEEP SLOPE
- DENOTES PROPOSED 5/8" X 1/2" PROTECTION FENCE
- DENOTES DIRECTION OF DRAINAGE
- ⊕ DENOTES PROPOSED WELL LOCATION
- ⊕ DENOTES WETLAND VEGETATIVE BUFFER
- ⊕ DENOTES WETLAND VEGETATIVE BUFFER SIDE
- ▨ DENOTES PROPOSED BUILDING PAD AREA
- ▨ DENOTES PROPOSED YARD AREA
- ▨ DENOTES PROPOSED SEPTIC AREA
- ▨ DENOTES 12' POND ACCESS



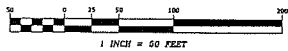
**PLOWE ENGINEERING, INC.**  
 8778 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014

PHONE: (612) 361-1810  
 & ENGINEERING  
 FAX: (612) 361-1871

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND CHANNEL REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM GUNDEL  
 DATE: 07.29.2024 LIC. NO. 42893

GRAPHIC SCALE



## NOTES

- ELEVATIONS SHOWN ARE ON ANDEA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (UNLESS NOTED).
- CONTOURS SHOWN ARE PER 1/4" X 1/4" GRID DISTRIBUTION AND FIELD VERIFICATION.
- ALL ELEVATIONS AND PROFILES SHOWN TO BE BASED ON FIELD SURVEY DATA.
- THIS AREA TO BE RECHECKED WITHIN 90 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY.
- SEE PRELIMINARY PLAN SHEETS FOR STORM SEWER, SEWERS, AND SEEPS.
- TRANSDUCER SOIL TESTING COMPLETED SEPTIC SOIL BORINGS.
- SHANK INSTRUMENT'S MONITORING SITE CREATING WATER ELEVATIONS WITH PROGNOSTICATED GROUNDWATER ELEVATIONS ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO REVISION.
- ALL THE ABOVE NOTES ARE PROVIDED WITH THESE PLANS.
- PROVIDE CLASS III RIPRAP WITH FILTER FABRIC FOR ALL FINE OUTLETS. INSTALL 6" OF TOPSOIL ON RIPRAP IN WETLAND BUFFERS AND SEED WITH SEEDS NOT MORE THAN 30 DAYS.
- IF DRAINAGING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MINOR DRAINAGE PERMIT AND WILL PROVIDE PERMITTED LOCATION, DATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CIVIC 7 DAYS PRIOR TO ANY DRAINAGE OPERATION.
- CONTRACTORS MUST BE PROVIDED WITH DRAIN LAYOUT/FACT SHEETS ON BANNING'S TURTLES.
- FERTILIZERS AND STROPPINGS WILL BE TEMPORARILY OR PERMANENTLY DISBANDED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JACOB E. JUD  
 DATE: 07/29/2024 License No. 41578

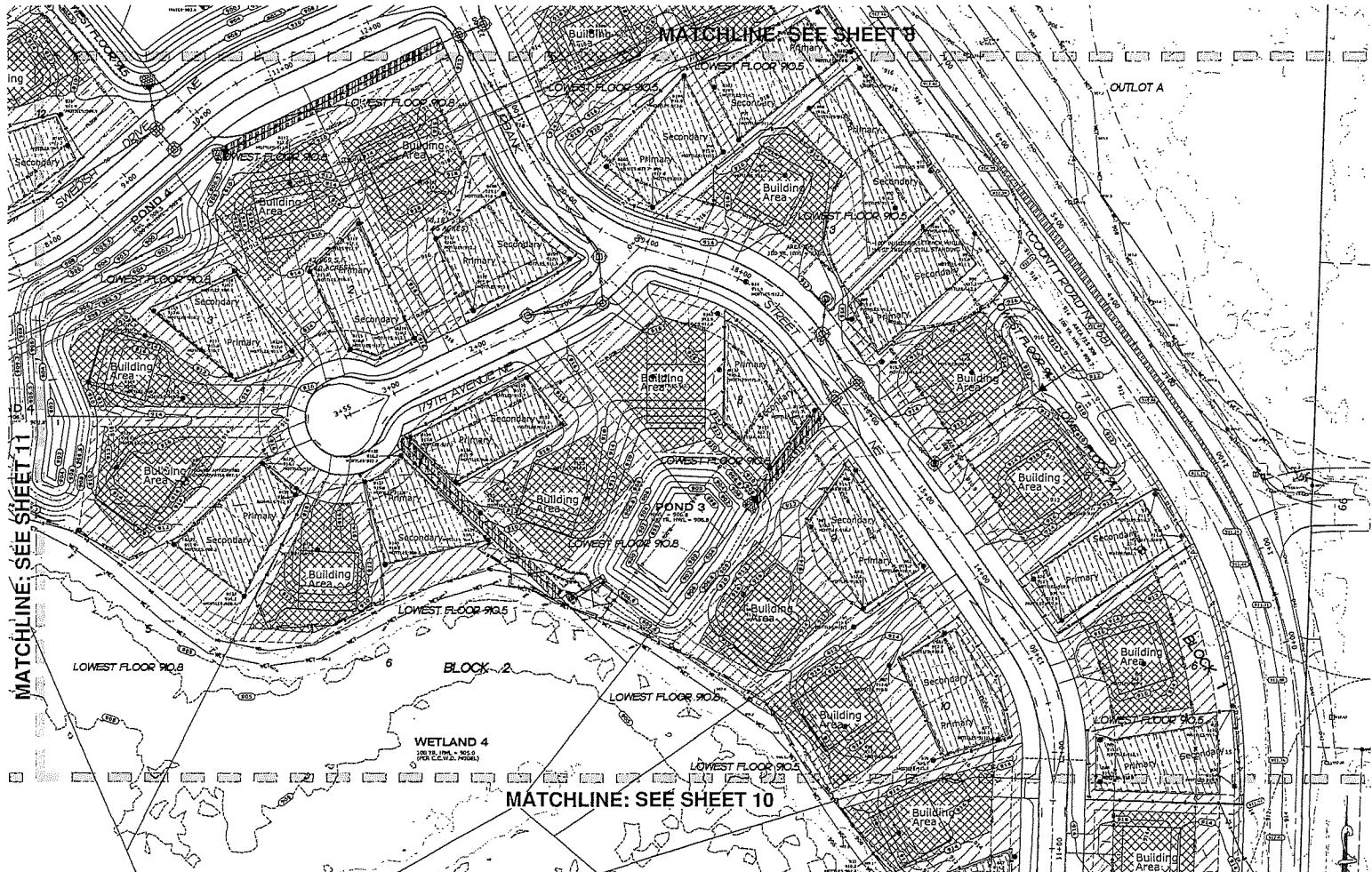
**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

NORTH

NO.	DATE	DESCRIPTION	BY
1	06/17/24	CITY COMMENTS	AND
2	06/27/24	CITY COMMENTS	AND
3	06/28/24	CITY COMMENTS	AND
4	06/28/24	TAXI, EASEMENT / EPLITE LOTS	AND
5	06/28/24	CITY COMMENTS	AND
6	06/28/24	CITY COMMENTS / LACKS	AND

# LIVABILITY PLAN

-of- SWEDISH CHAPEL ESTATES  
 -for- MN DEVELOPMENTS, LLC  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471



## LEGEND

- DENOTES SOIL BORING BY TRAWELL SOIL TESTING
- DENOTES FERTILIZER OR RENOVATION BORING BY DRUMS (SPT) INC.
- ▲ DENOTES EXISTING SPOT ELEVATION
- △ DENOTES WET LAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY AGRICULTURAL ENVIRONMENTAL SERVICES COMPANY.
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED DRAIN SWALE
- DENOTES PROPOSED SILT / TRAIL PROTECTION FENCE
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED WELL LOCATION
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER 250ft
- ▨ DENOTES PROPOSED BUILDING PAD AREA
- ▨ DENOTES PROPOSED YARD AREA
- ▨ DENOTES PROPOSED SEPTIC AREA
- ▨ DENOTES 12' FORD ACCESS

FOUNDING CALCULATIONS AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

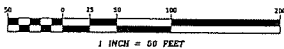
**PLOWE ENGINEERING, INC.**  
 6778 LAKE DRIVE  
 SUITE 110  
 LINO LAKE, MN 55614

SITE PLANNING PHONE: (612) 361-8210  
 & ENGINEERING FAX: (612) 361-8701

I HEREBY CERTIFY THAT THE EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Adam Cappel*  
 ADAM CAPPEL  
 DATE: 07.29.2024 LIC. NO. 43993

## GRAPHIC SCALE



## NOTES

- ELEVATIONS SHOWN ARE ON ANOKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO SPECK CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVALS ARE SHOWN.
- CONTOURS SHOWN ARE PER ASSUMED UNIFORM DISTRIBUTION AND FIELD VERIFICATION.
- ALL HATCH POINTS AND DIMENSIONS ATTACHED TO THIS SHEET AT FULL SCALE.
- THIS AREA TO BE GRADED WITHIN 90 DAYS AFTER COMPLETION OF GRADE GRADING OR INACTIVITY.
- SITE PRELIMINARY PLANS / PROFILES SITES PER CUSTOMER'S WISH, INTEREST, AND AGREE.
- TRAWELL SOIL TESTING COMPLETED SEPTIC SOIL BORING.
- SWAIN INTEREST IS MONITORING SITE GROUND WATER ELEVATIONS WITH PIEZOMETERS, AUTOMATED GROUNDWATER ELEVATIONS ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO REVISION.
- ALL PIPE JOINTS UNLESS OTHERWISE NOTED WITH TRAIL GUARDS.
- PROVIDE CLASS III RIPRAP WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON RIPRAP IN WETLAND BUFFERS AND SLEED WITH SEED PER MINOT 31.261.
- IF NECESSARY IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A WAD DNR CHANGING PERMIT AND WILL PROVIDE NECESSARY LOCATION, DATES, DISCHARGE LOCATION, SCHEDULES AND QUANTITIES TO COMPLY WITH PERMIT TO ANY WAD DNR PERMIT.
- CONTRACTORS MUST BE PROVIDED WITH OWN FIELDS FACT SHEETS ON BLANDING'S TURTLES.
- DISTURBED AREAS AND TROPICALS WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 30 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason L. Joo*  
 JASON L. JOO  
 Date: 07/29/2024 License No. 61378

**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55114  
 Tel. (651) 361-8200 Fax (651) 361-8701

NO.	DATE	DESCRIPTION	BY
1	04/13/24	CITY COMMENTS	MHD
2	05/22/24	CITY COMMENTS	MHD
3	06/25/24	TRAIL EASEMENT / XPLITE LOTS	MHD
4	05/20/24	CITY COMMENTS	MHD
5	07/29/24	CEO, HATCH / FLOODS	MHD

NORTH



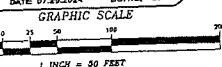
# LIVABILITY PLAN

-of- SWEDISH CHAPEL ESTATES  
 -for- MN DEVELOPMENTS, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

## LEGEND

- DENOTES SIDE BORING OF TRANSFER WELL LOCATED BY TRANSFER WELL LOG # 10011
- DENOTES PROPOSED PIEZOMETER FOR INFILTRATION BORING BY TRANSFER WELL LOG # 10011
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WETLAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY 40% ANNUAL PRECIPITATION STREAM FREQUENCY
- DENOTES QUARTER SECTION LINE
- DENOTES PROPOSED STREAM CENTERLINE
- DENOTES PROPOSED 5 FOOT PROTECTION FENCE
- DENOTES PROPOSED 10 FOOT PROTECTION FENCE
- DENOTES PROPOSED WELL LOCATION
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER STRIP
- DENOTES PROPOSED BUILDING PAD AREA
- DENOTES PROPOSED YARD AREA
- DENOTES PROPOSED SEPTIC AREA
- DENOTES POND ACCESS

PERFORMED CALCULATIONS AND STORM SCOUR DESIGN BY  
**PLOWE ENGINEERING, INC.**  
 8775 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (811) 361-8210  
 FAX: (811) 361-8791  
 I HEREBY CERTIFY THAT THE DRAINAGE MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 ADAM OAKEL  
 DATE: 07/29/2024 LIC. NO. 43393



## NOTES

- BANKHOLE SHOWN ARE ON NEBRASKA COUNTY DATUM.
- TOTAL LOT AREA ARE CALCULATED TO STREET CENTERLINE FOR DRAINAGE.
- 2 FOOT CONTOUR INTERVAL (FOOT 00).
- CONTOUR SHOWN ARE PER HIGHER LOCAL DISSEMINATION AND FIELD VERIFICATION.
- ALL MATCH POINTS AND FINISH OF PAVEMENT TO BE CHECKED AT FULL DEPTH.
- SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM STORM RIMS, INVERTS, AND SEALS.
- YARD AREA TO BE SEED WITH 7 LBS PER 1000 SQ FT OF TURF GRASS OR INACTIVITY.
- TRADWELL SOIL: SEE THE CORRESPONDING SITE SOIL ANALYSIS.
- ELEVATIONS ARE BASED ON PRELIMINARY DRAINAGE WITH PROPOSED, ANTICIPATED GROUNDWATER.
- GRADE LETTERS IS PROVIDED WITH TRASH GUARDS.
- ALL TIE GRADES UNDER 14" PROVIDED WITH TRASH GUARDS.
- PROTECT GRASS BY STAMP WITH FLEXI MATS FOR ALL FIRE OUTLETS, INSTALL 4" OF TOPSOIL ON RUMPAK IN WETLAND BUFFERS AND SEED WITH 200 LBS PER ACRE 30-30-30.
- IF SOIL TESTING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A SOIL CHEMICAL TESTING PERMIT AND WILL PROVIDE WELLFIELD LOCATIONS, RATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CIVIC ENGINEER TO ANY WETLAND BUFFERS AND SEED WITH 200 LBS PER ACRE 30-30-30.
- CONTRACTOR MUST BE PROVIDED WITH ONE (1) COPY OF THIS PLAN FOR A SOIL CHEMICAL TESTING PERMIT AND WILL PROVIDE DRAINAGE DRAINAGE.
- CONTRACTOR MUST BE PROVIDED WITH ONE (1) COPY OF THIS PLAN FOR A SOIL CHEMICAL TESTING PERMIT AND WILL PROVIDE DRAINAGE DRAINAGE.
- CONTRACTOR MUST BE PROVIDED WITH ONE (1) COPY OF THIS PLAN FOR A SOIL CHEMICAL TESTING PERMIT AND WILL PROVIDE DRAINAGE DRAINAGE.
- CONTRACTOR MUST BE PROVIDED WITH ONE (1) COPY OF THIS PLAN FOR A SOIL CHEMICAL TESTING PERMIT AND WILL PROVIDE DRAINAGE DRAINAGE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.  
 JASON E. RUD  
 Date: 07/29/2024 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	04/23/24	FIELD CHECK/REVISE	MND
2	05/23/24	CITY COMMENTS	MND
3	06/23/24	TRAIL/SEWERAGE/FINISH LOTS	MND
4	07/23/24	CITY COMMENTS	MND
5	07/29/24	CIVIC ENGINEER FLOORS	MND
6	07/29/24	DESCRIPTION	BY

**J. E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

NORTH

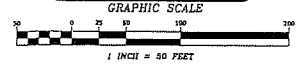
# LIVABILITY PLAN

~of- SWEDISH CHAPEL ESTATES  
 ~for- MN DEVELOPMENTS, LLC  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

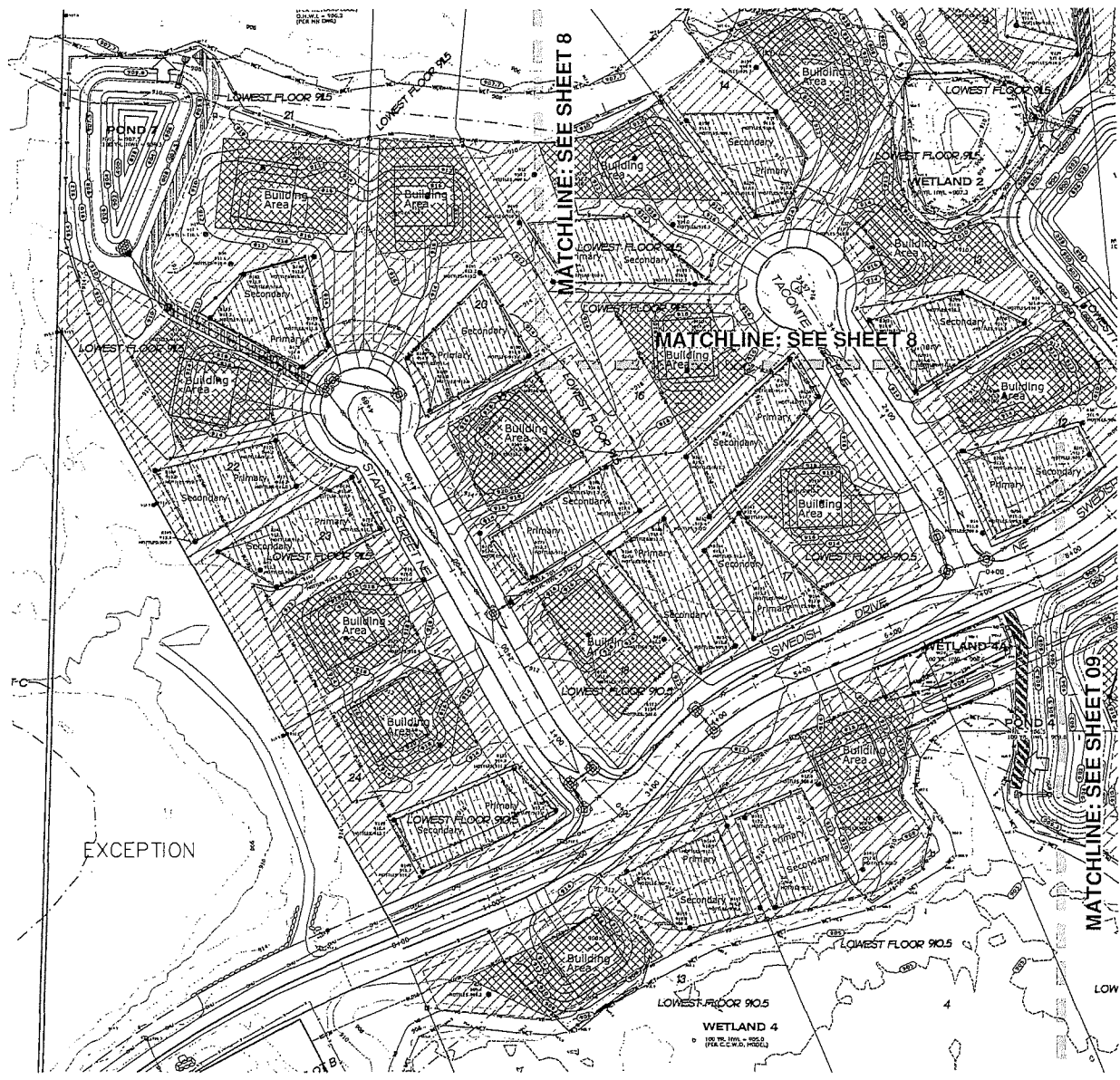
## LEGEND

- DENOTES SOIL BORING BY TRADWELL SOIL TESTING
- DENOTES PIEZOMETER OR PENETRATION BORING BY SHAW MINNECOTA, INC.
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WETLAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY RECORDING ENVIRONMENTAL SERVICES COMPANY.
- DENOTES EADPOINT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TRAP PROTECTION LINE
- DENOTES LOCATION OF MANHOLE
- DENOTES PROPOSED WELL LOCATION
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES PROPOSED BUILDING PAD AREA
- DENOTES PROPOSED YARD AREA
- DENOTES PROPOSED DRIVEWAY AREA
- DENOTES 12' POND ACCESS

PERFORMED CALCULATIONS AND STORM SEWER DESIGN BY  
**PLOWE ENGINEERING, INC.**  
 5778 LASE DRIVE  
 SUITE 110  
 LINO LAKE, MN 55014  
 PHONE: (612) 261-1210  
 FAX: (612) 261-4773  
 SITE PLANNING & ENGINEERING  
 I HEREBY CERTIFY THAT THE HYDROLOGICAL, HYDRAULIC, AND STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
  
 ADAM GUNKEL  
 DATE: 07/26/2024 UID. NO. 43083



**F. E. G. RUD & SONS, INC.**  
 185-187 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701



## NOTES

1. REARSHED SHOWN ARE ON SWEDISH COUNTY DATA.
2. TOTAL LOT AREAS ARE CALCULATED TO SHEET CONTAINING PER ORDINANCE.
3. 2 FOOT CONTOUR INTERVALS SHOWN BY
4. ELEVATIONS SHOWN ARE PER FINISHED GRADE DISTRIBUTION AND FIELD MEASUREMENT.
5. ALL MATCH POINTS AND ANCHORS PROVIDED TO BE SAVED AT FULL DEPTH. THIS AREA TO BE LEGGED WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR FINISHING.
6. SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RIMS, INVERTS, AND SIZES.
7. TRADWELL SOIL TESTING COMPLETED SEPTE 2023. SOILS ANALYSIS REPORT TO BE PROVIDED TO THE CONTRACTOR WITHIN 14 DAYS OF RECEIVING RESULTS. ANTICIPATED GROUNDWATER ELEVATIONS ARE BASED ON PRELIMINARY INVESTIGATION AND ARE SUBJECT TO REVISION.
8. ALL PIPE APPROX 48" PROVIDED WITH TRAP GUARDS. PROPOSED CLASS B REPAIR WITH FLEETS FINISH FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON IMPROV IN WETLAND BUFFERS AND SEED WITH SEED MIX HDSOT 20-24.
9. IF DETERMINED IS ACCURATE, THE CONTRACTOR SHALL APPLY FOR A PERMITS DRAINAGE PERMIT AND WILL PROVIDE FIELD LOCATIONS, DATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CORRECT DRAIN FROM TO ANY DRAINAGE DISCHARGER.
10. CONTRACTOR MUST BE PROVIDED WITH OWN ELEVATION FACT SHEETS ON HARBORNEER'S TURTLES.
11. OBTAINED SOILS ARE STOCKPILED WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.  
 JASON E. RUD  
 Date: 07/29/2024 License No. 41578



NO.	DATE	DESCRIPTION	BY
1	04/12/24	CITY COMMENTS	JHR
2	05/29/24	CITY COMMENTS	JHR
3	06/20/24	FINAL COMMENTS / FINAL LETTERS	JHR
4	07/26/24	CITY COMMENTS	JHR
5	07/29/24	CED. REPORT / FLOODS	JHR





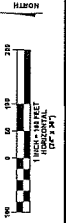


SWEDISH CHAPEL ESTATES  
HAM LAKE, MN  
REMOVALS PLAN  
PREPARED FOR: KIM DEVELOPERS, LLC

Drawn by: [Signature]  
Date: 10/20/24  
Project: SWEDISH CHAPEL ESTATES  
Sheet: R of 10

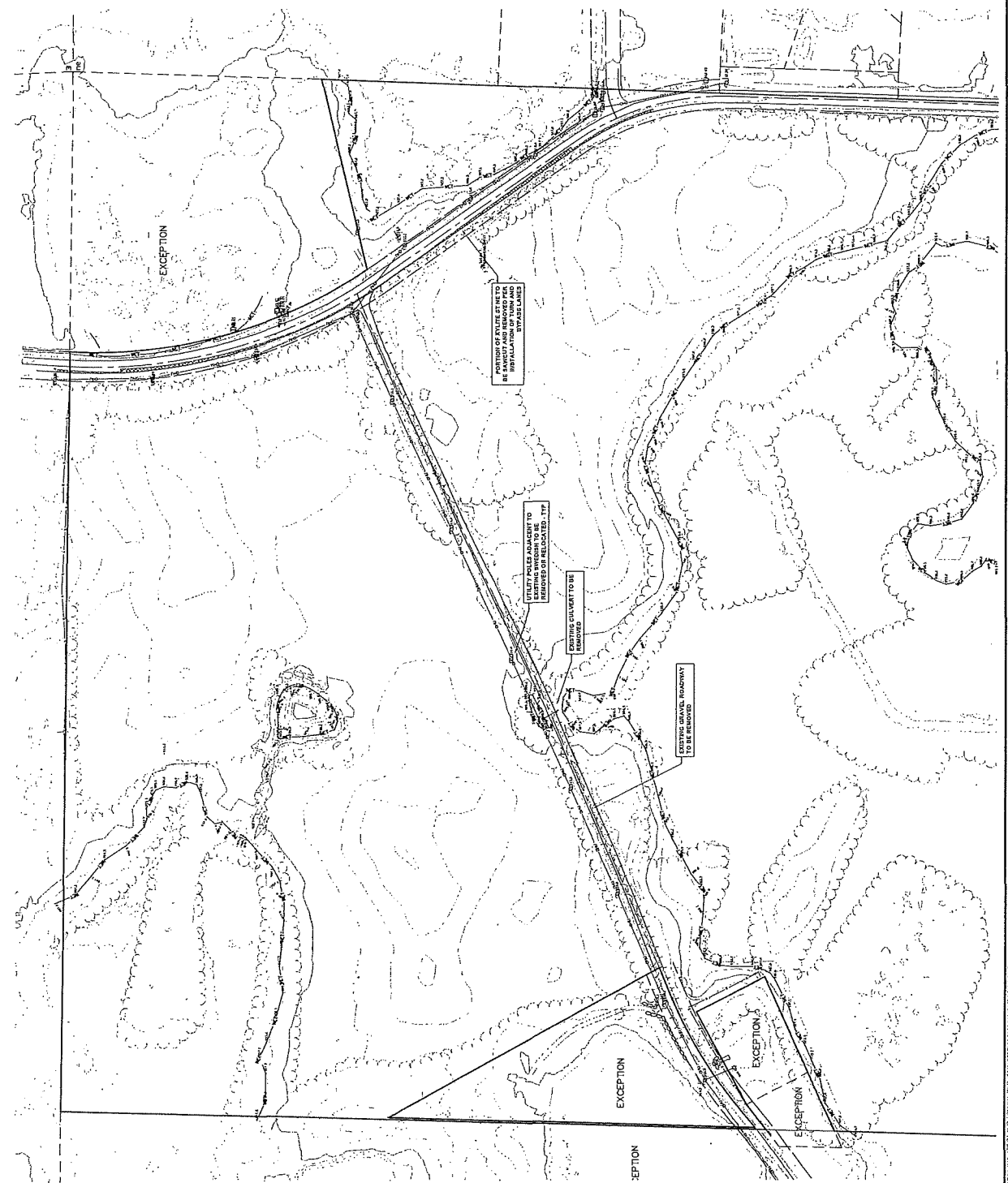
NO.	DATE	DESCRIPTION
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2	10/20/24	ISSUED FOR PERMIT
3	10/20/24	ISSUED FOR PERMIT
4	10/20/24	ISSUED FOR PERMIT
5	10/20/24	ISSUED FOR PERMIT
6	10/20/24	ISSUED FOR PERMIT
7	10/20/24	ISSUED FOR PERMIT
8	10/20/24	ISSUED FOR PERMIT
9	10/20/24	ISSUED FOR PERMIT
10	10/20/24	ISSUED FOR PERMIT

**PLOWE ENGINEERING**  
11111 15th Avenue S  
Suite 111  
Eden Prairie, MN 55324  
Phone: (952) 935-1111  
Fax: (952) 935-1111



- GENERAL NOTES**
1. THE INFORMATION SHOWN ON THESE DRAWINGS CONSTITUTES THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES INFORMATION PRIOR TO ANY CONSTRUCTION.
  2. EXISTING UTILITIES SHALL BE PROTECTED AND NOT DAMAGED. CALL UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION.
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- STORM SEWER NOTES**
1. ALL STORM SEWER PIPES SHALL BE 15' DIA. UNLESS OTHERWISE NOTED.
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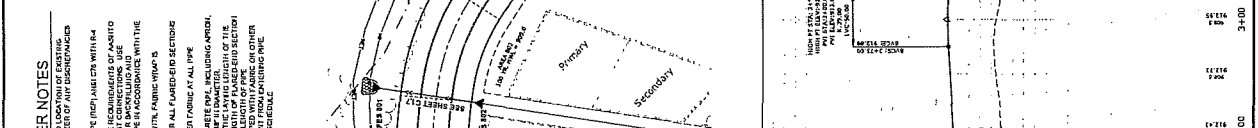
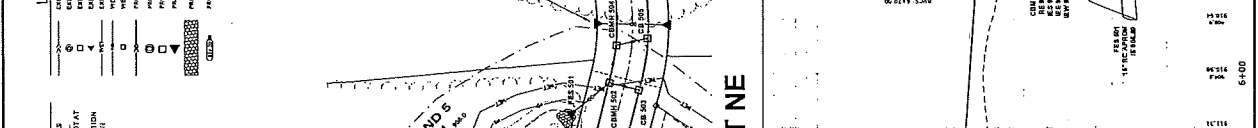
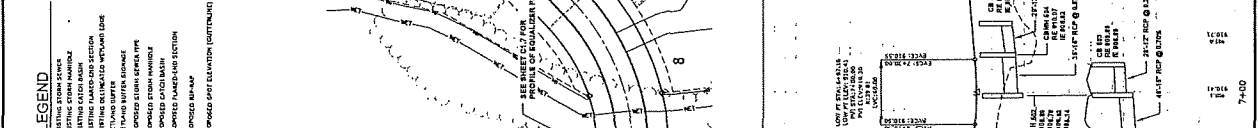
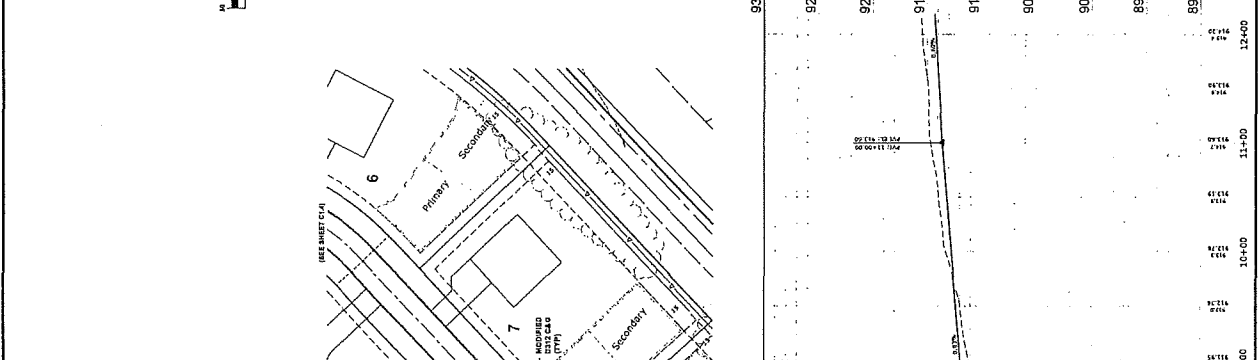


PLOWE ENGINEERING, 11111 15th Avenue S, Suite 111, Eden Prairie, MN 55324, Phone: (952) 935-1111, Fax: (952) 935-1111









**GENERAL NOTES**  
 1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES IS NOT GUARANTEED BY ANY UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE LOCATION AND DEPTH OF EXISTING UTILITIES AS NECESSARY TO AVOID DAMAGE TO EXISTING UTILITIES OR TO THE PROPOSED SEWER SYSTEM.  
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 4. SPECIFICATIONS AND MATERIALS SHALL BE AS SPECIFIED IN THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR SEWER CONSTRUCTION.  
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR SEWER CONSTRUCTION.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEERING DEPARTMENT.  
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION.  
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
 9. SEE SHEET C1.1 FOR STRUCTURE SCHEDULE.

**STORM SEWER NOTES**  
 1. STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR SEWER CONSTRUCTION.  
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 9. STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR SEWER CONSTRUCTION.

**CURB & BITUMINOUS NOTES**  
 1. REMOVE EXISTING BITUMINOUS FINISH AND PROTECT EXISTING CURB.  
 2. RECONSTRUCT CURB IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR CURB AND GUTTER CONSTRUCTION.  
 3. FULL DEPTH RECONSTRUCTION SHALL BE USED FOR ALL CURB RECONSTRUCTION.  
 4. BACKFILLING OF CURB IS NECESSARY TO CURB INSTALLATION.

**LEGEND**  
 [Symbol] EXISTING CURB  
 [Symbol] EXISTING CURB WIDTH  
 [Symbol] EXISTING CURB MATERIAL  
 [Symbol] EXISTING CURB LOCATION  
 [Symbol] EXISTING CURB SECTION  
 [Symbol] EXISTING CURB MATERIAL  
 [Symbol] EXISTING CURB WIDTH  
 [Symbol] EXISTING CURB MATERIAL  
 [Symbol] EXISTING CURB LOCATION  
 [Symbol] EXISTING CURB SECTION  
 [Symbol] EXISTING CURB MATERIAL  
 [Symbol] EXISTING CURB WIDTH  
 [Symbol] EXISTING CURB MATERIAL  
 [Symbol] EXISTING CURB LOCATION  
 [Symbol] EXISTING CURB SECTION





**GENERAL NOTES**

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONSIDERING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UTILITIES NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "X" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARDS SPECIFICATIONS AND DETAIL PLATES.
5. SIZES OF MANHOLES OR CURBS SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (COWDA) MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTERMINALS INCLUDING SERVICE LINES SHALL BE CONFINED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

**STORM SEWER NOTES**

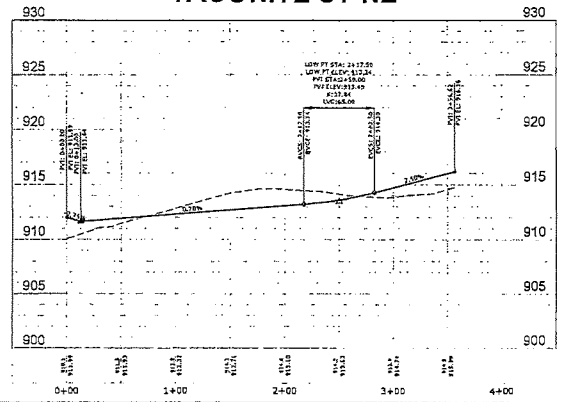
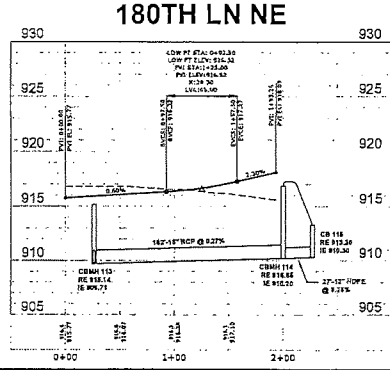
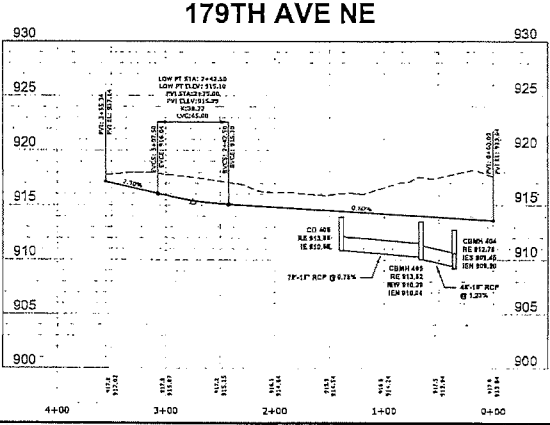
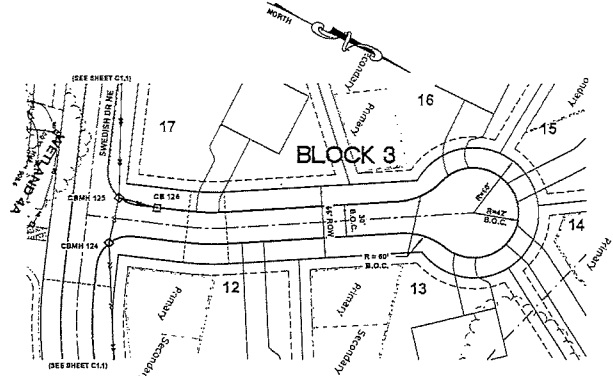
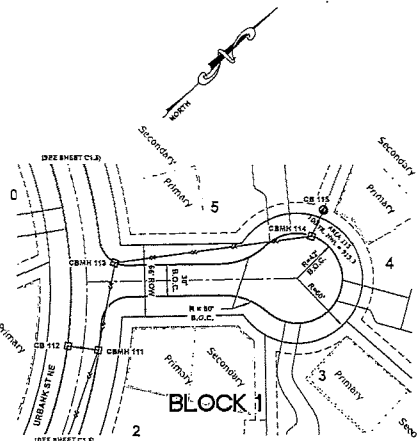
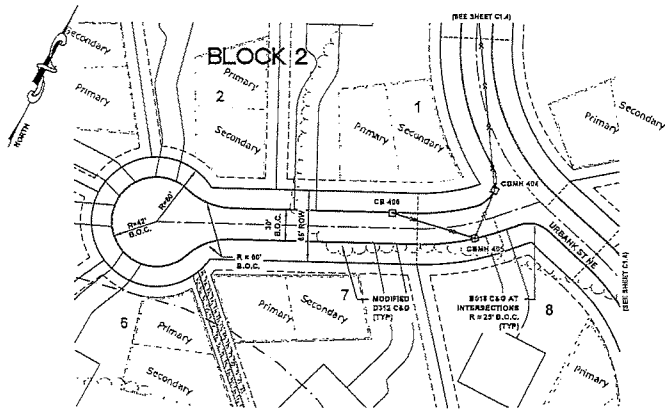
1. FIELD VERIFY AGE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE 48" REINFORCED CONCRETE PIPE (RCP) AND 24" WITH R4 MANHOLES.
3. 48" RCP SHALL MEET THE REQUIREMENTS OF AASHTO M28. THE 24" WITH WATER TIGHT CONNECTIONS USE SANDGRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HERMETIC PIPE AS ACCORDANCE WITH THE REQUIREMENTS OF ASTM D2321.
4. DO NOT OVERFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
5. TRAP GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS (LESS THAN 4' IN DIAMETER).
6. PROVIDE CLASS III RAIN-WATER FILTER FABRIC AT ALL PIPE OUTLETS.
7. THE LAST THREE SECTIONS OF SCHEDULE PIPE, INCLUDING APPROX. FOR CONCRETE COVER LESS THAN 18" IN THICKNESS.
8. STORM SEWER LENGTHS INCLUDE THE LAPPING LENGTH OF THE FLARED-END SECTIONS. LAPPING LENGTH OF FLARED-END SECTIONS TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
9. AROUND THE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEepage FROM GATHERING PIPE.
10. SEE SHEET C03 FOR STRUCTURE DETAILS.

**CURB & BITUMINOUS NOTES**

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAYMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION (SAGGING OF CURBS IS INCORPORATED TO CURB INSTALLATION).

**LEGEND**

	EXISTING STORM SEWER
	EXISTING STORM MANHOLE
	EXISTING CATCH BASIN
	EXISTING FLARED-END SECTION
	EXISTING DELINEATED WEIR AND LEDGE
	WETLAND BUFFER
	WETLAND BUFFER BOUNDARY
	PROPOSED STORM SEWER PIPE
	PROPOSED STORM MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED FLARED-END SECTION
	PROPOSED RCP MANHOLE
	PROPOSED SPOT ELEVATION (SPOT HEIGHT)

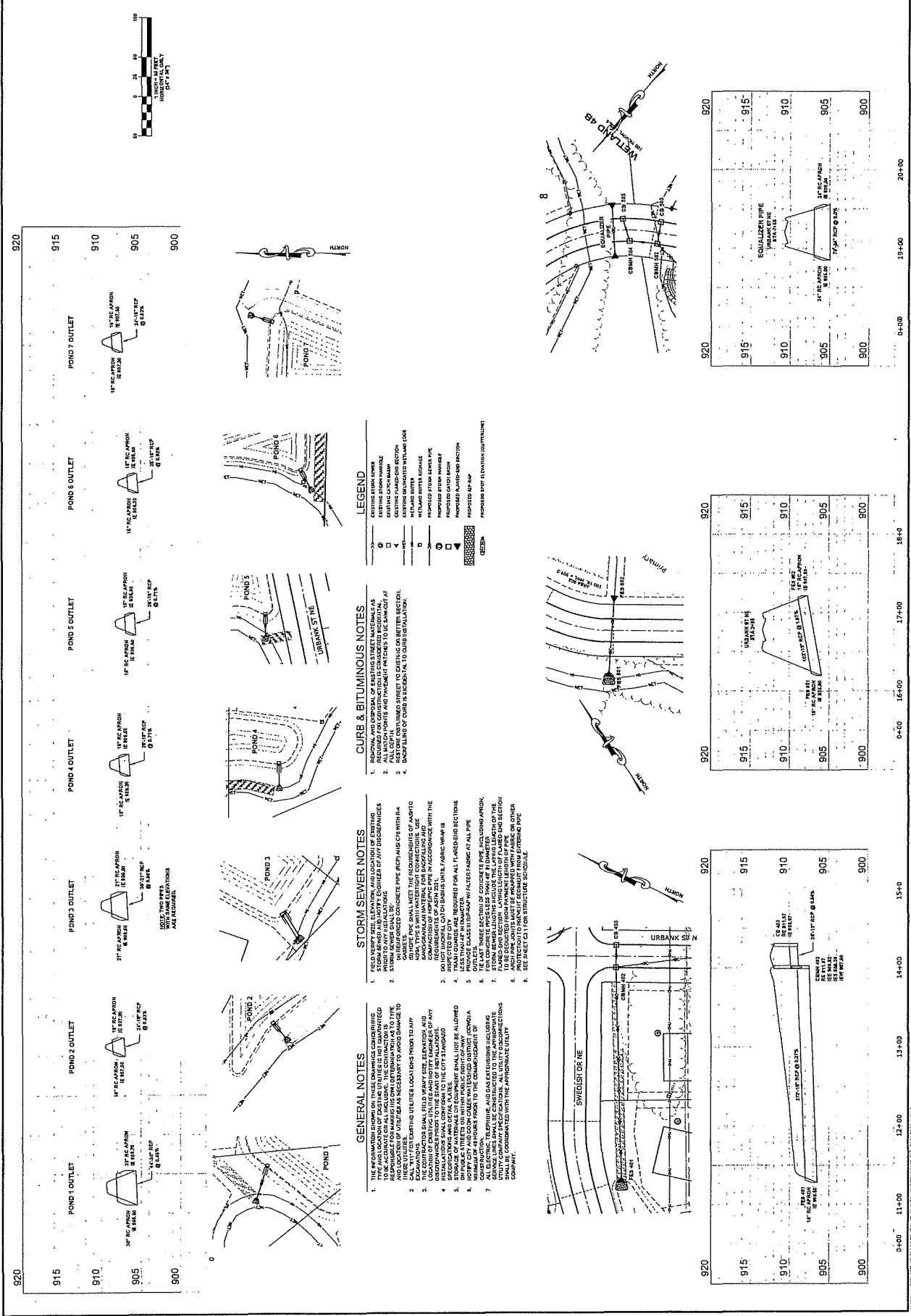


DESIGNED BY	JAMES P. LOME
CHECKED BY	JAMES P. LOME
DATE	05/12/2024
PROJECT NO.	24-011
CITY	COON CREEK

DATE	DESCRIPTION
05/12/2024	ISSUE FOR PERMITS

SWEDISH CHAPEL ESTATES  
 179TH AVE, 180TH AVE, TACONITE,  
 PREPARED FOR: WLD DEVELOPMENTS, LLC

SHEET  
**C1.6**



NO.	DATE	DESCRIPTION
1	02/21/08	FINAL PROFILES
2		
3		
4		
5		
6		
7		
8		

**GENERAL NOTES**

- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING THE LOCATION AND DEPTH OF UTILITIES IS FOR INFORMATION ONLY. THE CONTRACTOR IS TO BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR IS TO BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR IS TO BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
- UTILITIES SHALL BE SHOWN UNLESS LOCATED FROM TO ANY DEPTH.
- CONNECTIONS SHALL BE MADE TO ALL UTILITIES AND THE LOCATION OF EXISTING UTILITIES AND THE LOCATION OF ANY NEW UTILITIES SHALL BE SHOWN TO THE CITY AND COUNTY.
- ALL UTILITIES SHALL BE SHOWN TO THE CITY AND COUNTY.
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**STORM SEWER NOTES**

- FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND LOCATION OF EXISTING STORM SEWER AND LOCATION OF EXISTING STORM SEWER.
- STORM SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND COUNTY.
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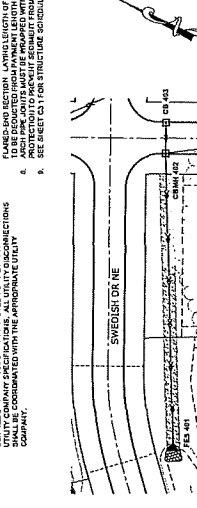
**CURB & BITUMINOUS NOTES**

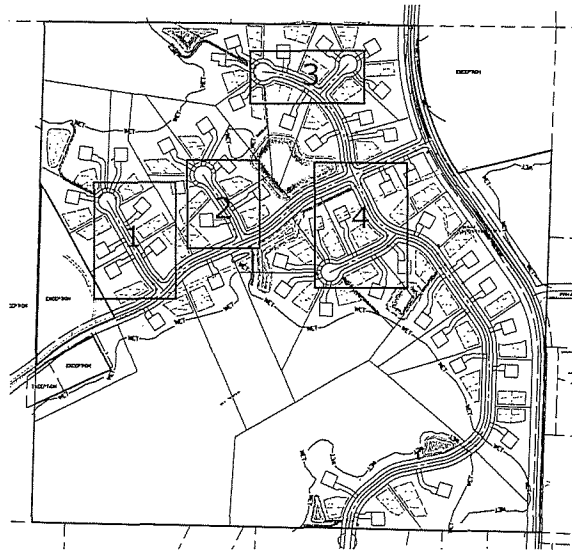
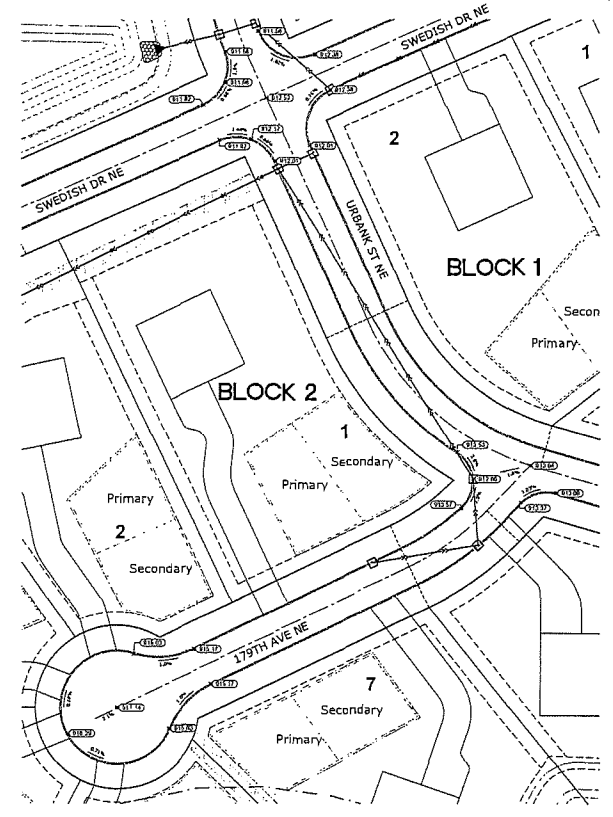
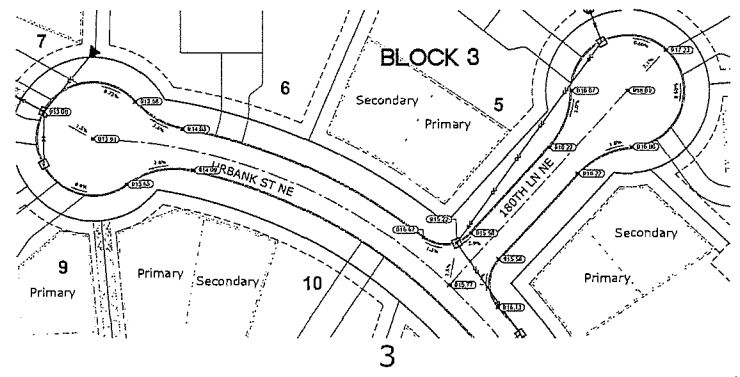
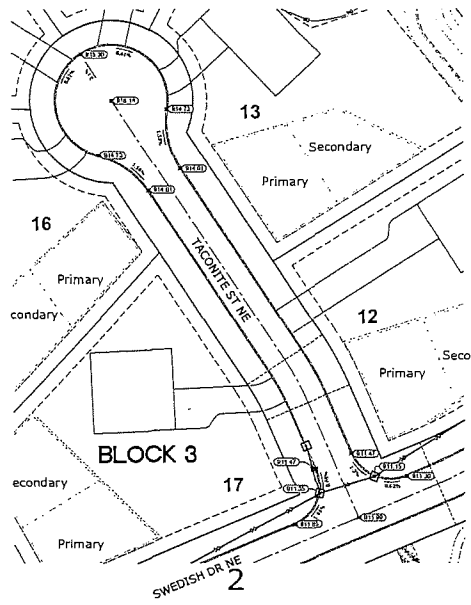
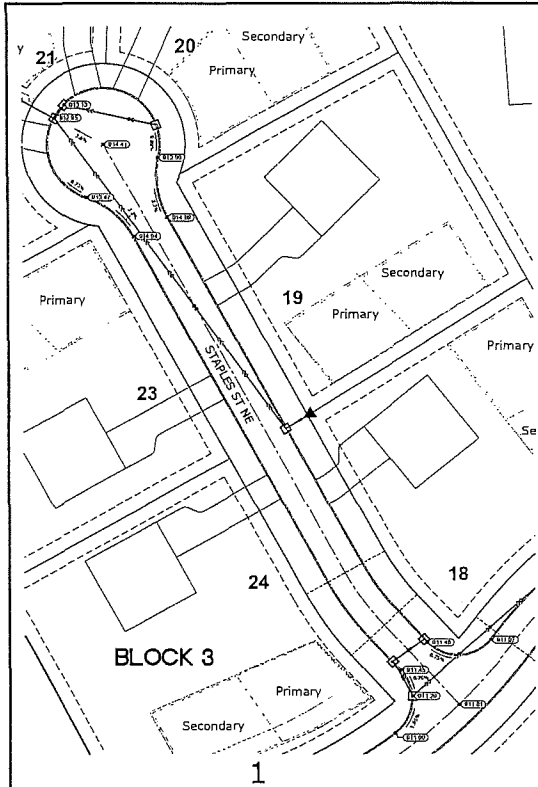
- REMOVE AND DISPOSAL OF EXISTING STREET MATERIALS AS SHOWN ON THESE DRAWINGS.
- ALL CURB AND BITUMINOUS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND COUNTY.
- REMOVE AND DISPOSAL OF EXISTING STREET MATERIALS AS SHOWN ON THESE DRAWINGS.
- REMOVE AND DISPOSAL OF EXISTING STREET MATERIALS AS SHOWN ON THESE DRAWINGS.

**LEGEND**

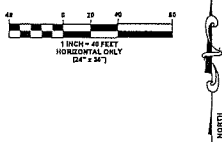
- EXISTING STORM SEWER
- NEW STORM SEWER
- EXISTING MANHOLE
- NEW MANHOLE
- EXISTING POND
- NEW POND
- EXISTING UTILITY
- NEW UTILITY
- EXISTING CURB
- NEW CURB
- EXISTING BITUMINOUS
- NEW BITUMINOUS

**DETAILS**





KEY - NOT TO SCALE



DRAWN BY: JLD  
 AD: JLD  
 CHECK BY: JLD  
 DATE: 02/21/22

NO.	DATE	DESCRIPTION
1	02/21/22	FINAL REVISIONS
2	02/21/22	ADDITIONAL SPECIFICATIONS/REVISIONS
3	02/21/22	ADDITIONAL SPECIFICATIONS/REVISIONS
4	02/21/22	ADDITIONAL SPECIFICATIONS/REVISIONS
5	02/21/22	ADDITIONAL SPECIFICATIONS/REVISIONS
6	02/21/22	ADDITIONAL SPECIFICATIONS/REVISIONS
7	02/21/22	ADDITIONAL SPECIFICATIONS/REVISIONS
8	02/21/22	ADDITIONAL SPECIFICATIONS/REVISIONS
9	02/21/22	ADDITIONAL SPECIFICATIONS/REVISIONS
10	02/21/22	ADDITIONAL SPECIFICATIONS/REVISIONS

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
 Date: 02/21/2024 License No: 54983  
 JLD

**SWEDISH CHAPEL ESTATES**  
 THORN LANE, MN  
**INTERSECTION & C-D-S DETAILS**  
 PREPARED FOR: JLD DEVELOPMENTS, LLC

SHEET  
**C1.8**



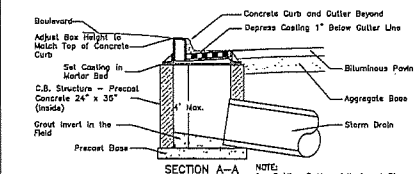
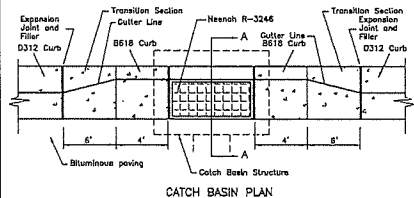
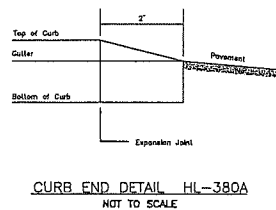
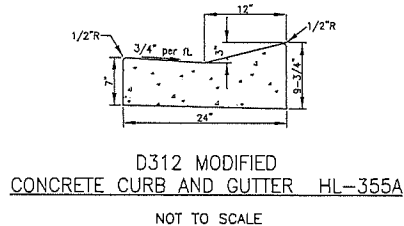
Table with columns: NO, DATE, REVISION, BY

PLOWE ENGINEERS ASSOCIATES  
1500 PINE BLVD  
SUITE 100  
DENVER, CO 80202  
PHONE (303) 733-8800  
FAX (303) 733-8801

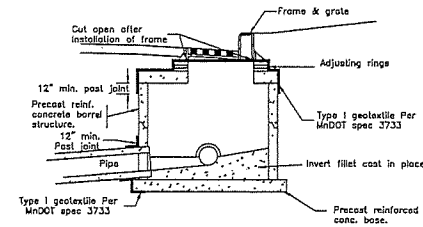
1.1 GENERAL NOTES: THESE SPECIFICATIONS ARE TO BE USED IN CONJUNCTION WITH THE SWPPP PLAN AND THE SWPPP MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.



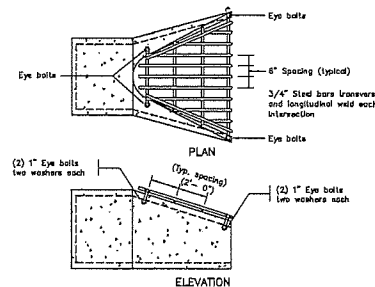
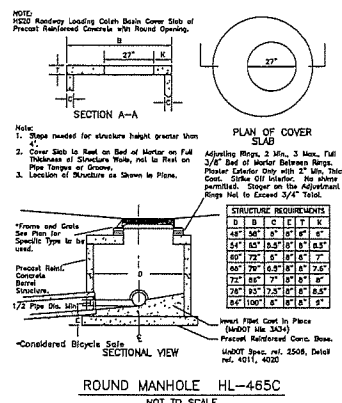
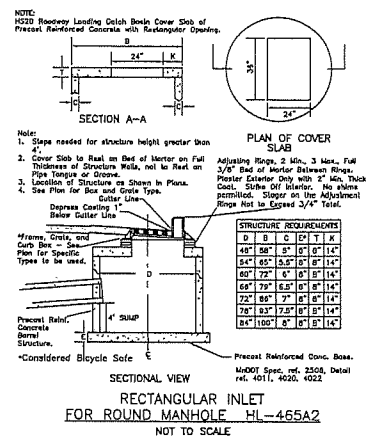




**RECTANGULAR CATCH BASIN HL-459B**  
NOT TO SCALE



**FABRIC AROUND CATCH BASIN HL-463A1**  
NOT TO SCALE



**FOR PIPE DIAMETERS 30" AND SMALLER**  
**RCP TRASH GUARD HL-466B**  
NOT TO SCALE

**TABLE OF QUANTITIES**  
Riprap at RCP Outlets

Dia. Pipe (in.)	L (ft.)	Riprap at RCP Outlets		
		Class I Slope 6" (Cu. Yds.)	Class II Slope 9" (Cu. Yds.)	Class III Slope 12" (Cu. Yds.)
12	8	3.0	4.1	5.3
15	8	3.2	4.8	6.4
18	10	4.3	6.4	8.5
21	10	4.7	7.1	9.4
24	12	5.2	8.2	12.3
27	12	6.8	9.0	13.2
30	14	8.2	12.3	16.4
36	16	10.8	15.8	21.1
42	18	12.3	18.7	24.9
48	20	14.8	22.2	29.8

**TABLE OF QUANTITIES**  
Riprap at RCPA Outlets

Span Pipe (in.)	L (ft.)	Riprap at RCPA Outlets		
		Class I Slope 6" (Cu. Yds.)	Class II Slope 9" (Cu. Yds.)	Class III Slope 12" (Cu. Yds.)
22	10	4.1	6.1	8.3
28	12	5.7	8.6	11.3
36	14	7.5	11.2	14.8
42	16	9.5	14.3	19.0
51	18	11.3	18.0	22.5
58	20	13.2	19.8	28.0

**SECTION A-A**

**SECTION B-B**

**PLAN VIEW**

**SECTIONAL VIEW**

**PLAN VIEW**

**RIPRAP AT RCP OUTLETS HL-480A1**  
NOT TO SCALE

**PLOWE ENGINEERING INC.**  
ENGINEERING  
DRAWINGS  
DATE: 05/18/2004  
PROJECT: 0313141010  
PAGE: 0313141010



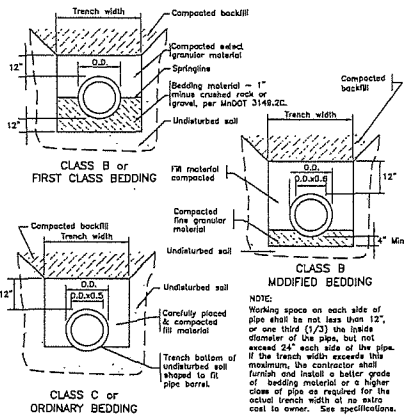
DESIGNED BY: JAS  
CHECKED BY: JAS  
DATE: 05/18/2004

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Heavy duty cast-in-place concrete was provided for the curb and gutter structure and shall meet the requirements of the State of Illinois. *John Plowe*  
DATE: 05/18/2004  
DRAWN BY: JAS

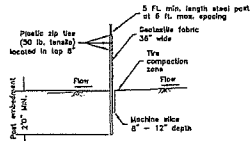
**SWEDISH CHAPEL ESTATES**  
RURAL LAKE, MN  
**DETAILS**  
PREPARED FOR: JMC DEVELOPMENTS, LLC

SHEET  
**C3.2**



PIPE BEDDING EXCEPT PVC PIPE HL-652C

NOT TO SCALE



**GENERAL SILT FENCE NOTES:**

Refer to MUDOFF specs. 2373 & 2088

Silt fence shall be installed along the contour (on a level horizontal plane)

Curve the end of the silt fence up-gradient so that it contains the muddy water.

Maximum catchment area shall be one acre. No single fencing unit should exceed 330 feet.

Follow slope grade/length guidelines:

SLOPE GRADE	MAX. LENGTH
1:1 to 2:1	120 ft.
2:1 to 3:1	150 ft.
4:1 to 5:1	200 ft.
6:1 to 8:1	250 ft.

SILT FENCE; MACHINE SLICED HL-760A

NOT TO SCALE



**PLOWE**  
ENGINEERING & CONSTRUCTION, INC.  
1100 W. 15th St., Suite 100  
St. Paul, MN 55110  
Phone: 612-291-1111  
Fax: 612-291-1111

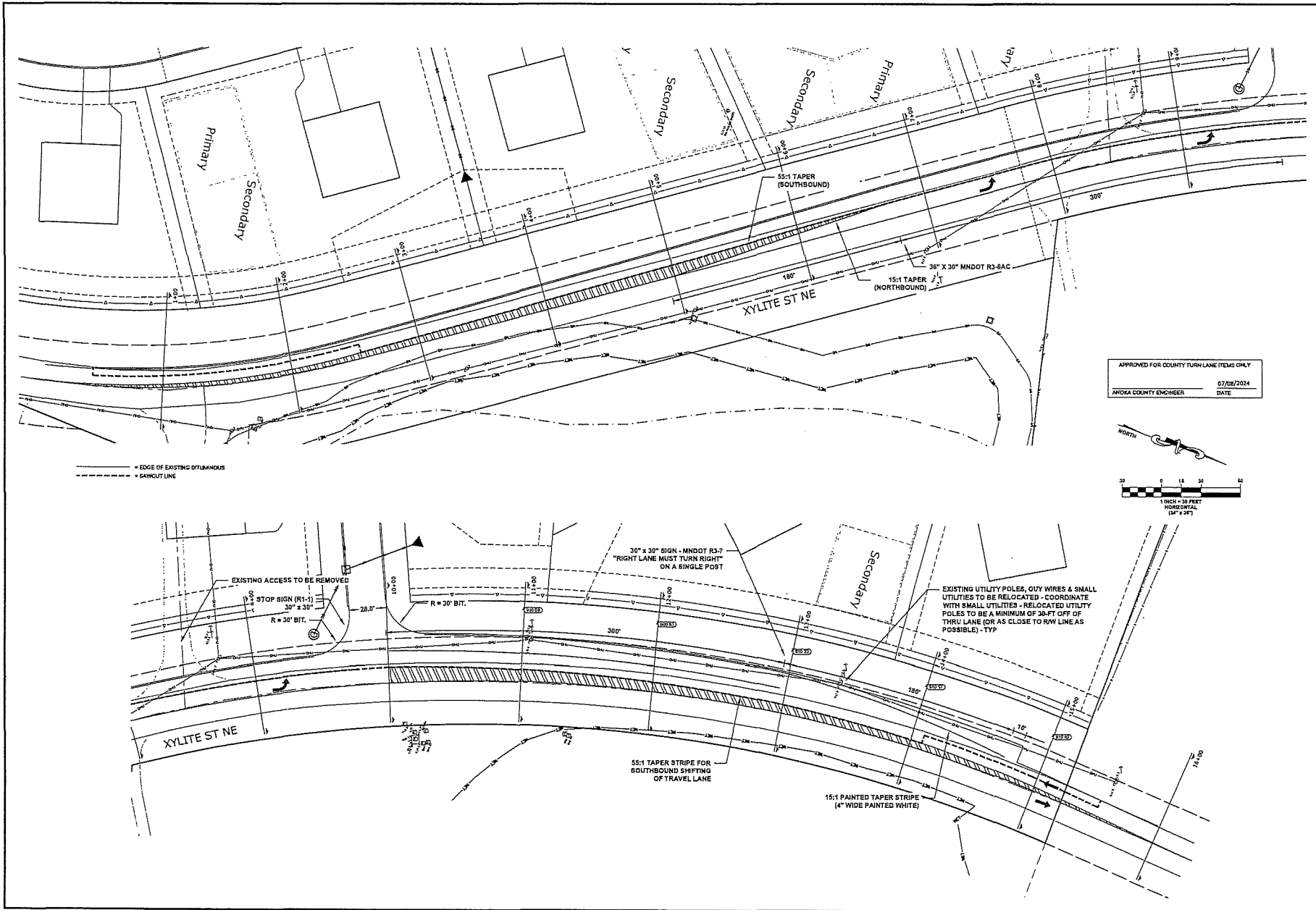
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2	08/23/24	ISSUE FOR CONSTRUCTION
3		
4		
5		
6		
7		
8		

I hereby certify that this plan was prepared by me, or under my direct supervision and that I am a duly Licensed Professional Engineer and that I am duly Licensed in the State of Minnesota.

*Adam P. Ploew*  
ADAM PLOEW  
Date: 07/22/2024 License No. 24263

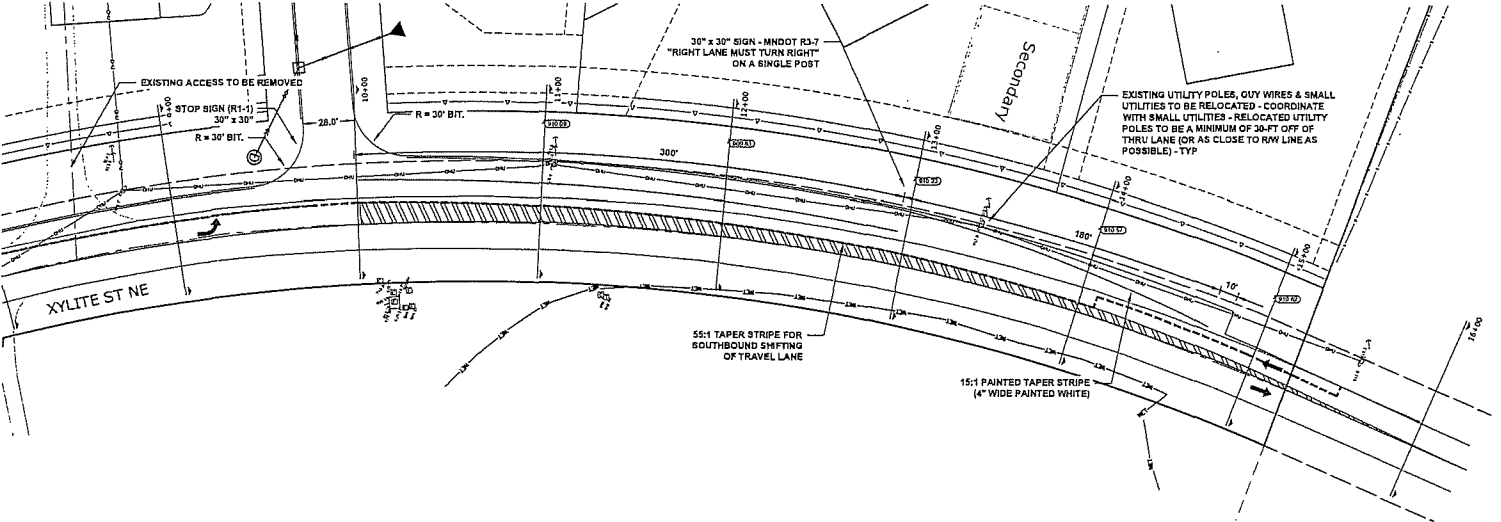
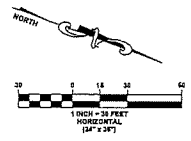
**SWEDISH CHAPEL ESTATES**  
Phase I, Unit 1401  
**DETAILS**  
PREPARED FOR: SW DEVELOPMENTS, LLC

SHEET  
**C3.3**



— EDGE OF EXISTING OTUMINOUS  
 - - - - - SAWCUT LINE

APPROVED FOR COUNTY TURN LANE ITEMS ONLY  
 ANDAKA COUNTY ENGINEER \_\_\_\_\_ DATE 07/22/2024



DRAWN BY: AG  
 DATE: 07/22/24  
 CHECKED BY: JRM  
 DATE: 07/22/24

NO.	DATE	DESCRIPTION
1	07/22/24	ISSUE FOR COUNTY COMMENTS
2	07/22/24	ISSUE FOR COUNTY COMMENTS
3	07/22/24	ISSUE FOR COUNTY COMMENTS
4	07/22/24	ISSUE FOR COUNTY COMMENTS
5	07/22/24	ISSUE FOR COUNTY COMMENTS
6	07/22/24	ISSUE FOR COUNTY COMMENTS
7	07/22/24	ISSUE FOR COUNTY COMMENTS
8	07/22/24	ISSUE FOR COUNTY COMMENTS
9	07/22/24	ISSUE FOR COUNTY COMMENTS
10	07/22/24	ISSUE FOR COUNTY COMMENTS

DATE OF DESIGN: 07/22/24  
 COUNTY: ANDAKA

SWEDISH CHAPEL ESTATES  
 HAMLAKE, AK  
 LEFT & RIGHT TURN LANE PLAN  
 PREPARED FOR: IN DEVELOPMENT, LLC

SHEET  
**C4.1**

SWEDISH CHAPEL ESTATES  
HAME LAKE, MN  
LEFT & RIGHT TURN LANE PLAN  
PREPARED FOR: MVA DEVELOPMENTS, LLC

Drawn by: ADAM FRIEDEL  
Date: 05/25/2021  
Scale: AS SHOWN  
Project: SWEDISH CHAPEL ESTATES

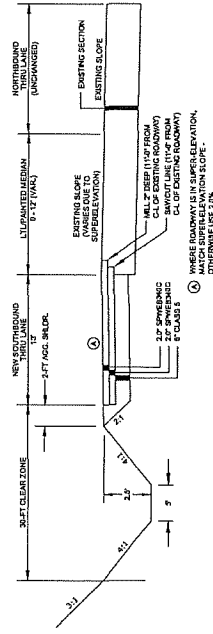
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2	05/25/21	REVISED TO ADD TURN LANE DETAILS
3	05/25/21	REVISED TO ADD TURN LANE DETAILS
4	05/25/21	REVISED TO ADD TURN LANE DETAILS
5	05/25/21	REVISED TO ADD TURN LANE DETAILS
6	05/25/21	REVISED TO ADD TURN LANE DETAILS
7	05/25/21	REVISED TO ADD TURN LANE DETAILS
8	05/25/21	REVISED TO ADD TURN LANE DETAILS
9	05/25/21	REVISED TO ADD TURN LANE DETAILS
10	05/25/21	REVISED TO ADD TURN LANE DETAILS

**Plowe**  
ENGINEERING & SURVEYING  
10000 13th Avenue S  
Burnsville, MN 55337  
Phone: 952-895-1111  
Fax: 952-895-1112

- GENERAL NOTES**
1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING THE LOCATION OF UTILITIES IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.
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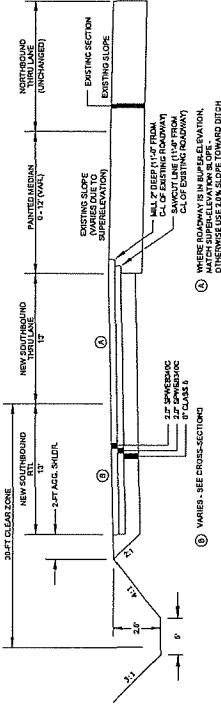
APPROVED FOR COUNTY TURN LANE PERMITS ONLY  
MANKATO COUNTY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

XYLITE ST NE  
NORTHBOUND LEFT TURN LANE



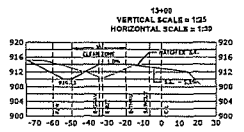
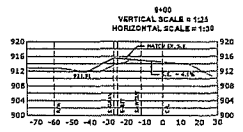
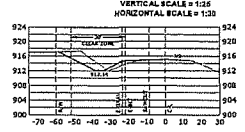
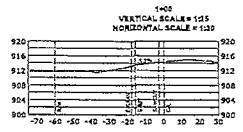
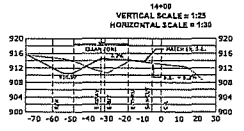
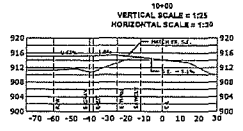
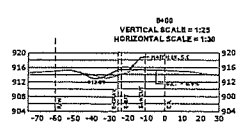
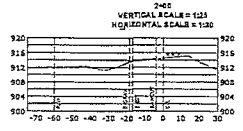
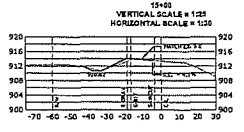
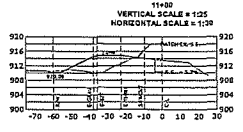
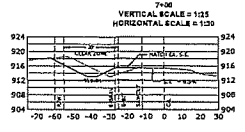
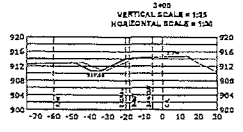
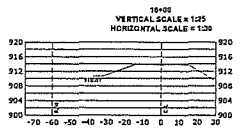
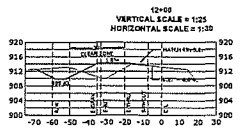
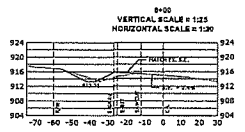
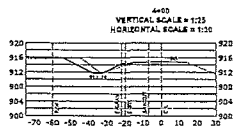
- NOTES**
1. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH MINNEDOT SPECIFICATIONS LATEST EDITION.
  2. ALL UTILITIES SHALL BE LOCATED IN ACCORDANCE WITH RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.
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XYLITE ST NE  
SOUTHBOUND RIGHT TURN LANE

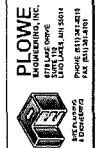


- NOTES**
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APPROVED FOR COUNTY TURN LANE ITEMS ONLY  
 ANOKA COUNTY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



ALL GREEN AREA SLOPES ARE 4:1 UNLESS OTHERWISE NOTED  
 S.E. = SUPER-ELEVATION  
 NS = NOT SUPER-ELEVATED



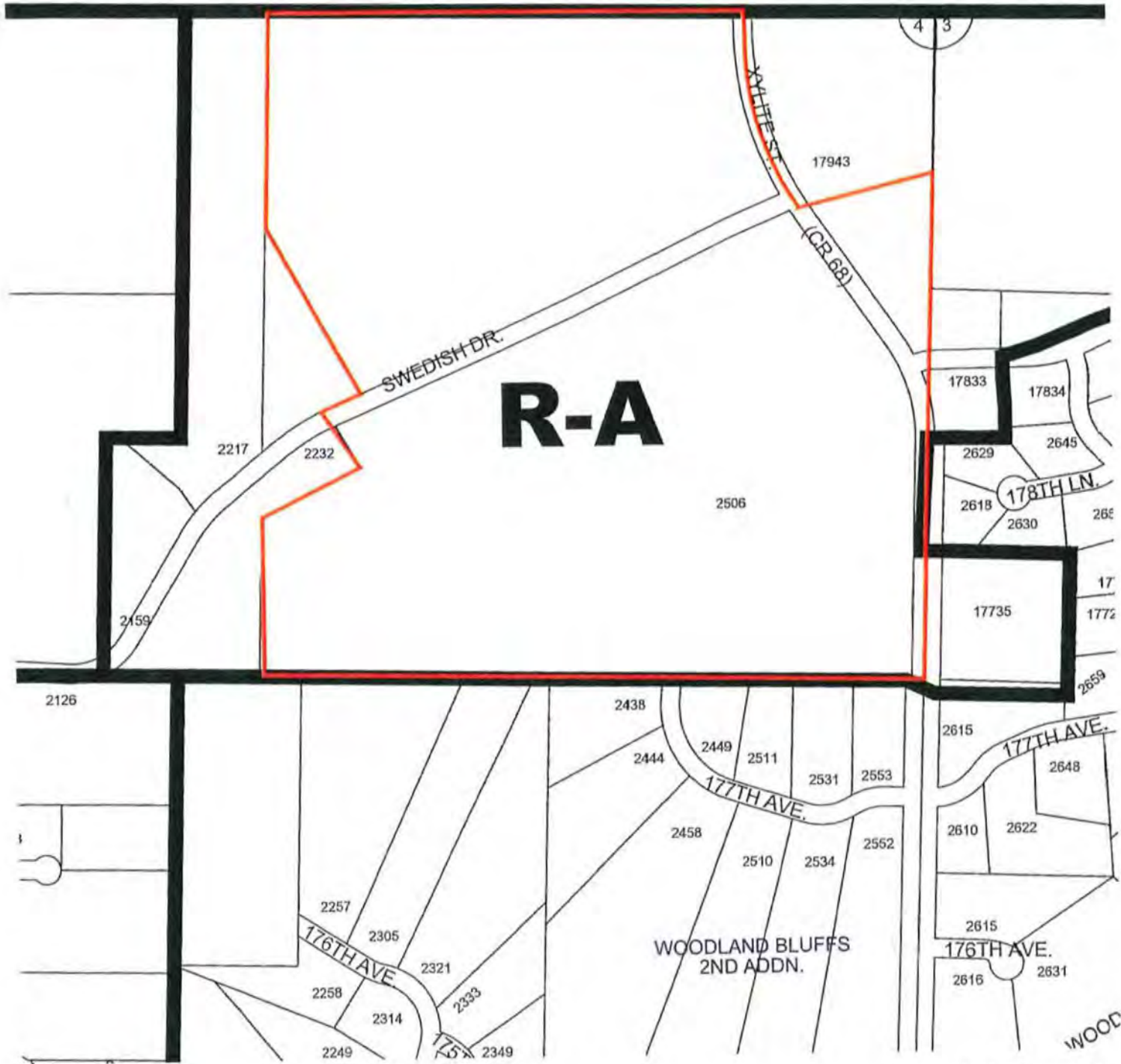
DESIGNED BY: [Signature]  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: [Date]  
 SCALE: [Scale]

NO.	DATE	DESCRIPTION
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2	08/17/14	REVISIONS TO SHEET
3	08/17/14	REVISIONS TO SHEET
4	08/17/14	REVISIONS TO SHEET
5	08/17/14	REVISIONS TO SHEET
6	08/17/14	REVISIONS TO SHEET
7	08/17/14	REVISIONS TO SHEET
8	08/17/14	REVISIONS TO SHEET
9	08/17/14	REVISIONS TO SHEET
10	08/17/14	REVISIONS TO SHEET

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
 [Signature]  
 DATE: 08/17/2014 Minnesota, USA

SWEDISH CHAPEL ESTATES  
 TURN LANE, MN  
 LEFT & RIGHT TURN LANE PLAN  
 PREPARED FOR: MHI DEVELOPMENTS, LLC

SHEET  
**C4.3**



**R-A**

SWEDISH DR.

WILHELM STREET

(CR. 68)

178TH LN.

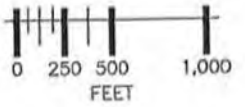
177TH AVE.

176TH AVE.

WOODLAND BLUFFS 2ND ADDN.

176TH AVE.

WOOD





**Anoka County**  
**TRANSPORTATION DIVISION**

Highway

Joseph J. MacPherson, PE  
County Engineer

July 8, 2024

Adam Ginkel  
Plowe Engineering, Inc.  
6776 Lake Dr, Suite 110  
Lino Lakes, MN 55014

**RE: Swedish Chapel Estates  
Anoka County Approval**

Dear Mr. Ginkel,

Anoka County has reviewed the Swedish Chapel Estates plan and has no further comments. Your contractor can contact our permits section at 763-324-3176 or [HighwayPermits@anokacountymn.gov](mailto:HighwayPermits@anokacountymn.gov) to obtain the right of way permit.

Sincerely,

Brandon T. Ulvenes  
Design Engineer

cc: File (Ham Lake)  
Joe MacPherson, ACHD  
Jerry Auge, ACHD  
Sue Burgmeier, ACHD  
I:\Eng\Plan Reviews\Ham Lake\2023\Swedish Chapel Estates (Stalberger)\ACHD Approval (07-08-24).docx

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005  
Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ [www.anokacounty.us/highway](http://www.anokacounty.us/highway)

Affirmative Action / Equal Opportunity Employer



**PERMIT AMENDMENT**  
COON CREEK WATERSHED DISTRICT  
13632 Van Buren St NE  
Ham Lake, MN 55304

**Project:** Swedish Chapel Estates

**Issued To:** MN Developments, LLC  
Attn: Jeff Stalberger  
17404 Ward Lake Dr NW  
Andover, MN 55304

**Location:** 2506 Swedish Dr NE, Ham Lake MN

**Permit Application #:** P24-014

**Purpose:** Construction of a single family home residential development and associated stormwater treatment features.

This letter is in response to the 7/29/2024 submittal from Plowe Engineering Inc., providing updated construction plans for the work of the below referenced project.

**BACKGROUND:**

CCWD authorized, as part of CCWD permit #2378 issued 7/11/2024, the construction of a single family home residential development and associated stormwater treatment features.

On July 11, 2024, updated construction plans and geotechnical report were submitted for review and approval.

**FINDINGS**

1. The updated construction plans and geotechnical report received 7/29/24 and dated 7/29/24 and 7/25/24 have been reviewed and meet the CCWD standards.


**CONCLUSIONS**

Coon Creek Watershed Permit #2378 is hereby amended and expires 7/11/2025 with the following conditions and stipulations:

1. Adherence to all general permit conditions of permit #2378.

If you have questions, please call me at 763-755-0975.

Sincerely,



\_\_\_\_\_  
Tim Kelly  
District Administrator

Cc: File P24-014  
Eileen Weigel, Stantec  
Tom Collins, City of Ham Lake

## David Krugler

---

**From:** Emanuel, Mary E <mary\_emanuel@fws.gov>  
**Sent:** Wednesday, June 12, 2024 7:53 AM  
**To:** David Krugler  
**Subject:** Re: [EXTERNAL] RE: Eagle's Nest - 2506 Swedish Drive- Ham Lake MN

Hi David,

Try not to think about it in super ridged terms, as long as you're more than 100' away for this project, I think take is very unlikely to occur. If the nest becomes active during the next breeding season, we can revisit things and see if a permit would be recommended. Sometimes it is possible to do the work closest to the nest sooner while it is inactive so that, if it is occupied in the next breeding season, work is at 200' away and moving out rather than at 200' and moving closer.

The disturbance I described as resulting in "parents abandoning a nest" is just one example. Regulations further define "disturb" as "to agitate or bother a bald or golden eagle to a degree that causes, or is likely to cause, based on the best scientific information available, 1) injury to an eagle, 2) a decrease in its productivity, by substantially interfering with normal breeding, feeding, or sheltering behavior, or 3) nest abandonment, by substantially interfering with normal breeding, feeding, or sheltering behavior".

The penalty for violating the Bald and Golden Eagle Protection Act can result in a fine of \$100,000 (\$200,000 for organizations), imprisonment for one year, or both, for a first offense. Penalties increase substantially for additional offenses, and a second violation of this Act is a felony. So it can be quite significant.

Currently, the nest you described to me sounds like it was not used this year. The 100' minimum buffer is recommended to protect the nest tree just as much as the eagles. No, the disturbance permits are not mandatory, we recommend them when it is possible that a project could result in take. Very close distances like the ones involved here, mean we would always recommend a permit (i.e. closer than 100'). Nests are generally assumed to be inactive for the year if not occupied by April 15<sup>th</sup> but if an eagle pair shows up on April 17<sup>th</sup> and decides to try and raise chicks, that nest will be active for the year, even if it doesn't end up being successful.

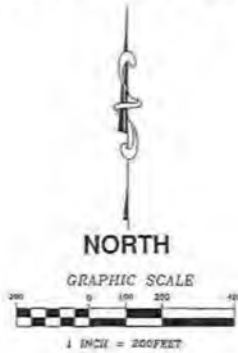
10 days after the last eagle chick leaves the nest, the brood is considered to have fledged. The status of the nest doesn't really change once the chicks fledge, we would say it is active in the current breeding season. Active vs inactive can get a little nitpicky depending on what the question is. A nest might be currently inactive for this breeding season but if it has been used in the last few years it could also be thought of as being generally active. It's a little splitting hairs at that point. Our General Permits are coming on line very soon. They should be available to apply for starting July 8<sup>th</sup> (possibly sooner), and will have an effective date of 9/1 and be valid for one year through 8/31. Let me know if you have any further questions.

Thank you,

Mary Emanuel  
Wildlife Biologist, Permitting  
USFWS, Region 3, Migratory Birds Permit Office  
5600 American Blvd. W, Suite 990  
Bloomington, MN 55437  
(612) 713-5441  
[Mary\\_Emanuel@fws.gov](mailto:Mary_Emanuel@fws.gov)

# SKETCH AND DESCRIPTION

~for~ SWEDISH CHAPEL ESTATES  
~of~ SWEDISH DRIVE NE VACATION



**LEGEND**  
 SWEDISH DRIVE NE VACATION

## NOTES

- The width of Swedish Drive's right-of-way shading is approximate.
- The vacation proposed is a blanket vacation over the entire property.

## SWEDISH DRIVE NE VACATION DESCRIPTION

That part of Swedish Drive NE, within the Northeast Quarter of Section 4, Township 32 North, Range 23 West, Anoka County, Minnesota, which lies easterly of the west 15 acres thereof and which lies westerly of the westerly right of way line of Xylite Street NE (also known as County Road No. 58). Except for those portions of Swedish Drive NE which fall within the following described tracts of land:

1. A plot of ground, commencing at a point 23.49 chains South and 5.15 chains East (Variation 8 degrees 51 minutes in 1887) of Quarter corner on North side of Section 4, Township 32, Range 23; thence South 29 degrees East (Variation 8 degrees 51 minutes in 1887) 8 1/2 rods, to a magnetic stake; thence North 64 degrees East, 54 1/2 rods; thence North 29 degrees West, 10 1/2 rods; thence South 60 1/2 degrees West, 14 1/2 rods to point of commencement, containing 1 acre, more or less, being a part of the Southwest Quarter of Northeast Quarter of Section 4, Township 32, Range 23.
2. That part of the Northeast Quarter of Section 4, Township 32, Range 23, described as follows: Commencing at a point 289 feet East and 732 feet North of the Southwest corner of said Northeast Quarter; thence Northeasterly along the center of the road 424 feet; thence Northwesterly 701 feet to the point, which is 289 feet East of the West line of the said Northeast Quarter; thence South to the point of beginning.
3. Commencing at a point 1590.34 feet (23.49 chains) South and 339.9 feet (5.15 chains) East of the Quarter corner on the North side of Section 4; thence South 29 degrees East for 136.75 feet; thence South 64 degrees West for 187.4 feet; thence North, parallel with and 247.5 feet East of the Quarter Section line for 142.15 feet to the Southerly line of a public road; thence North 50 degrees 10 minutes East along said Southerly road line to the point of beginning, also all right of title in said adjacent public road to the center line thereof, Anoka County, Minnesota.



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON'S SIGNATURE

Date: 08-27-24 License No. 41578

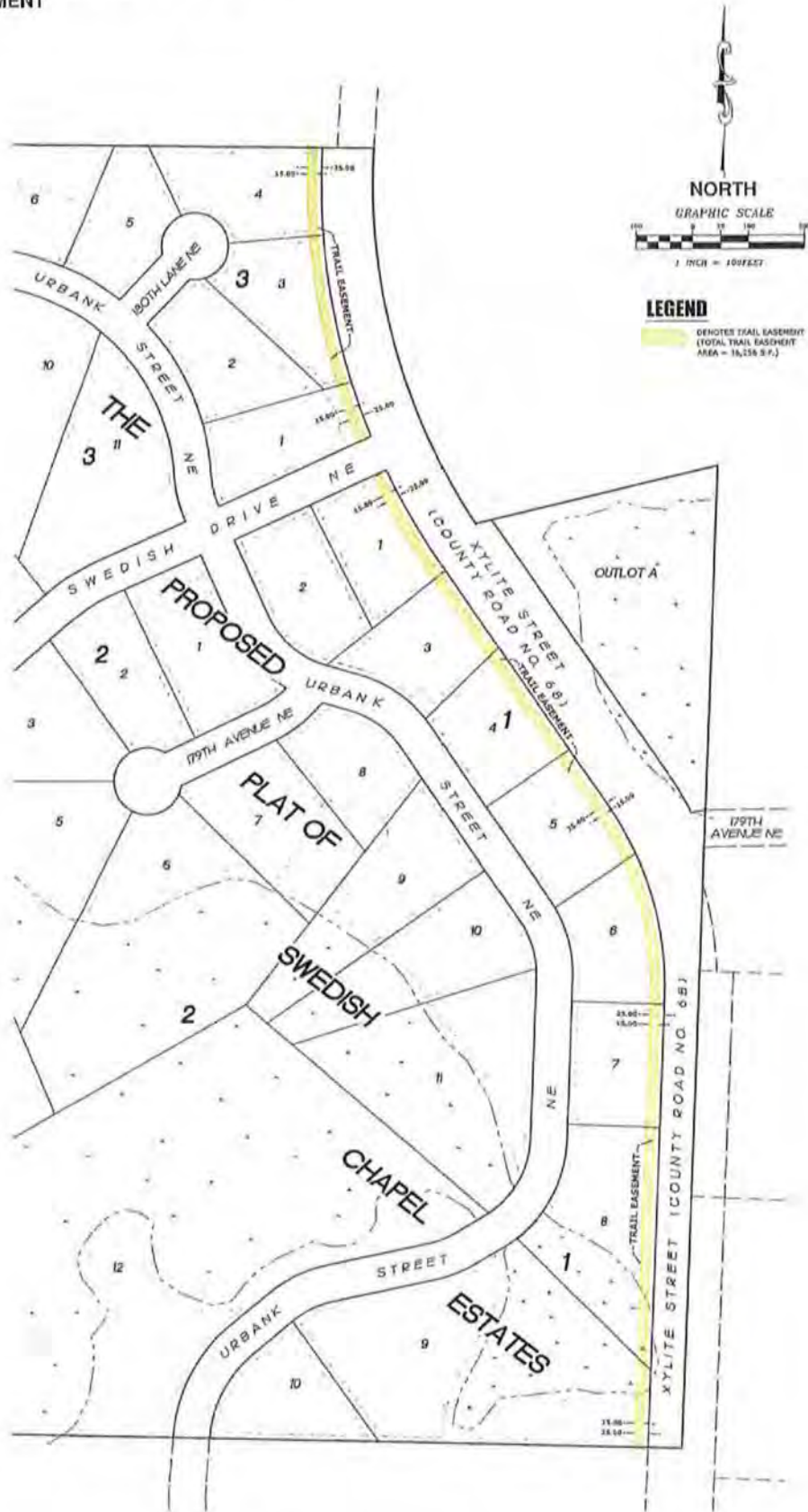
**E.G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY: JEN	208 NO: 226142	DATE: 08/14/24	
CHECK BY: JEA	FIELD CREW: DT-CT		
1	08/27/24	ADD NOTES PER CITY COMMENTS JEN	
2			
3			
NO.	DATE	DESCRIPTION	BY

230743PP

# SKETCH AND DESCRIPTION

-for- SWEDISH CHAPEL ESTATES  
-of- TRAIL EASEMENT



**LEGEND**  
 DENOTES TRAIL EASEMENT  
 (TOTAL TRAIL EASEMENT  
 AREA = 16,258 S.F.)

## NOTES

- The plat of SWEDISH CHAPEL ESTATES is not of record at this time.

## TRAIL EASEMENT DESCRIPTION

A perpetual easement for trail purposes over and across the southeasterly 15.00 feet of the northeasterly 25.00 feet of Lots 1, 2, 4, 3 and 8, Block 1; the westerly 15.00 feet of the easterly 25.00 feet of Lots 7 through 9, Block 1; and the westerly 15.00 feet of the easterly 25.00 feet of Lots 1, 2 and 4, Block 3, all in SWEDISH CHAPEL ESTATES, Anoka County, Minnesota.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON L. RUD  
 Date: 8-27-2024 License No. 41578

**E.G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

NO.	DATE	DESCRIPTION	BY
1	08/27/24	TRAIL EASEMENT	JLR
2			
3			
4			



9/3/2024 -

Council request more info from applicant

# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, MN 55304  
Phone (763) 434-9555  
Fax (763) 434-9599

## REQUEST FOR AN APPEARANCE BEFORE THE CITY COUNCIL

(Appearance formed received by staff on 8/26/24)

Date of Application 8/23/2024  
Date of City Council appearance Tuesday, Sept 3  
60-day review deadline \_\_\_\_\_

APPLICANT'S NAME Danette Lincoln 9/16/24  
C. Tabled

STREET ADDRESS 2509 Bunker Lake Blvd NE

CITY, STATE ZIP Ham Lake MN 55304

PHONE (daytime) 612.418.8622

NATURE OF REQUEST  
asking for frontage road variance

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

Danette Lincoln 8/23/2024  
Signature of Applicant Date

Please attach any relevant information including maps, diagrams, and/or a descriptive narrative.

This form must be submitted to the City staff by 4:00 p.m. on the Monday prior to the Council meeting at which you will be appearing.

**CITY OF HAM LAKE  
ACKNOWLEDGMENT OF RESPONSIBILITY  
TO REIMBURSE EXPENSES**

The undersigned, Danette Lincoln, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

Variance

*Type of Application*

acknowledges that the sum of \$ \_\_\_\_\_, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature

Danette Lincoln

Dated

8/23/2024

The following statement must be signed if the applicant is not the property owner:

\_\_\_\_\_, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

Property Owner Signature \_\_\_\_\_

Dated \_\_\_\_\_



**NOTICE TO ALL APPLICANTS FOR MUNICIPAL  
PERMITS, LICENSES,  
OR OTHER MUNICIPAL ACTION**

- 1. If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.**
- 2. The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.**
- 3. The information you supply will be public and available to any entity requesting to inspect the information.**

**DATA PRACTICES ADVISORY  
TENNESSEN WARNING**

**REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

**SIGNED BY** \_\_\_\_\_

**COMPANY/TITLE:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

*8/23/2024*

PARID: 33-32-23-14-0004  
ALZAMAN, SAYED

2509 BUNKER LAKE BLVD NE

**Parcel**

---

Tax Year: 2024  
Active/Inactive: Active  
Property Address: 2509 BUNKER LAKE BLVD NE  
City State Zip: HAM LAKE MN 55304  
Multiple Addresses: No  
NBHD: HL02 -  
Class: 201 – 1A/1B/4BB RESIDENTIAL SINGLE UNIT  
Record Type: **ABSTR**  
Property Use Code: 01 – Residential (less than 4 units)  
Acres: 3.5  
Lot Size  
Plat: -  
Lot/Unit  
Block/Tract/Outlot  
Sect-Twp-Range-Qtr/Qtr: 33 - 32 - 23 - 14  
Tax District: 117 - 79011A  
Town/City: 1700-HAMLAKE  
School District: 0011-AN/HENNSD11  
Commissioner District: 02 – Julie Braastad  
TIF Project #: -  
DNR Water Ind: N – NONE  
Resd Year Built: 1956  
Comm Year Built:

**Current Owner**

---

Name: ALZAMAN, SAYED  
In Care Of:  
Owner Address: 1864 MARSHALL AVE UNIT 2  
City State Zip: ST PAUL MN 55104  
% Owned: 100%  
Owner Type Code 1: O – OWNER

**All Owners**

---

Ownership Type	Name	Address
O – OWNER	ALZAMAN, SAYED	1864 MARSHALL AVE UNIT 2 ST PAUL MN 55104
O – OWNER	LINCOLN, DANETTE M	1864 MARSHALL AVE UNIT 2 ST PAUL MN 55104

**Parcel Status**

---

Delinquent No



In Redemption	No
Forfeiture Parcel	No
Payment Contract	No
In Bankruptcy	No
Homestead	Yes
Relative	Y
Senior Deferral	No
Use Program	None
Petition Date	
MH Park Name	
MH Pad #	

**Legal**

---

Legal	THE W1/2 OF E1/2 OF SE1/4 OF NE1/4 OF SEC 33 TWP 32 RGE 23, EX THAT PRT THEREOF LYG SLY OF CSAH NO 116, AKA BUNKER LAKE BLVD NE, EX RD, SUBJ TO EASE OF REC
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Legal Description	THE W1/2 OF E1/2 OF SE1/4 OF NE1/4 OF SEC 33 TWP 32 RGE 23, EX THAT PRT THEREOF LYG SLY OF CSAH NO 116, AKA BUNKER LAKE BLVD NE, EX RD, SUBJ TO EASE OF REC
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## Denise Webster

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**From:** Tom Collins <TCollins@rfcengineering.com>  
**Sent:** Wednesday, August 23, 2023 12:18 PM  
**To:** Thomas Dietrich  
**Cc:** David Krugler  
**Subject:** RE: 2509 Bunker Lake Blvd NE sub divide into 2 properties  
**Attachments:** portion of half-section - 100-scale.pdf

Tom,

The Bunker Lake Boulevard frontage of the metes and bounds 2509 Bunker Lake Boulevard (<https://gis.anokacountymn.gov/propertysearch/?find=33-32-23-14-0004>) is approximately 355 feet. The subdivision of the lot into 2 parcels would be a Minor Plat, which is 10-101 of City Code Article 10 ([https://www.ci.ham-lake.mn.us/sites/default/files/files/ART%2010%20-%20SUBDIVISION%20REGULATIONS\\_1.pdf](https://www.ci.ham-lake.mn.us/sites/default/files/files/ART%2010%20-%20SUBDIVISION%20REGULATIONS_1.pdf)). You are correct that per Table 10-1 of City Code Article 10 the minimum street frontage is 200 feet. Because the existing parcel does not have a minimum of 400-feet of Bunker Lake Boulevard frontage, the subdivision of the parcel into 2 parcels is not possible with two Bunker Lake Boulevard driveways.

An alternative would be construction of a cul-de-sac. The parcel size per Anoka County GIS is 3.5 acres, so a total of 3 parcels would be allowed to meet the one-acre minimum lot size. A 3-parcel subdivision with a cul-de-sac would also fall under the Minor Plat portion of Article 10. Approval by the Anoka County Highway Department (ACHD) would be required for a cul-de-sac outletting to Bunker Lake Boulevard. The ACHD may not allow a cul-de-sac at this location due to their Access Spacing Guidelines.

Tom

**From:** Thomas Dietrich <TDietrich@ci.ham-lake.mn.us>  
**Sent:** Wednesday, August 23, 2023 11:49 AM  
**To:** Tom Collins <TCollins@rfcengineering.com>; David Krugler <DKrugler@rfcengineering.com>  
**Subject:** 2509 Bunker Lake Blvd NE sub divide into 2 properties

Tom, Dave,

A resident contacted me from this property wanted to know the possibility of sub dividing the lot into 2 so she could build a new house farther back. Current frontage on bunker is approx 380 ft. I believe you need 200 hundred. Is this something that could or could not be done? What would the process involve? Thank you

Tom

**From:** Dawnette Shimek <[DShimek@ci.ham-lake.mn.us](mailto:DShimek@ci.ham-lake.mn.us)>

**Sent:** Tuesday, September 10, 2024 7:34 AM

**To:** Tom Collins <[TCollins@rfcengineering.com](mailto:TCollins@rfcengineering.com)>

**Subject:** Danette Lincoln Property

Yes, I agree that this is and has been a single lot of record (without combinations or divisions) by reviewing the property id numbers and Anoka County records. Also, the home on the parcel was constructed in 1956. In reviewing the property records, Alzaman Sayed and Danette Lincoln purchased the property from Carol Shope in April 1996. This property does not meet current code requirements to allow it to be divided. The only option I would see would be to construct a road into the property ending with a cul-de-sac, giving each property 200 feet of frontage to meet City requirements. This would give each property 200 feet of frontage and each property would need to minimum 1-acre lot minimum size; the parcel may be able to accommodate 3 parcels because the parcel is 3.5 acres in size. The lot with the existing house would need to prove an area for a secondary septic system. The new lot(s) would need to meet all current livability/ buildability standards.

**Dawnette Shimek**

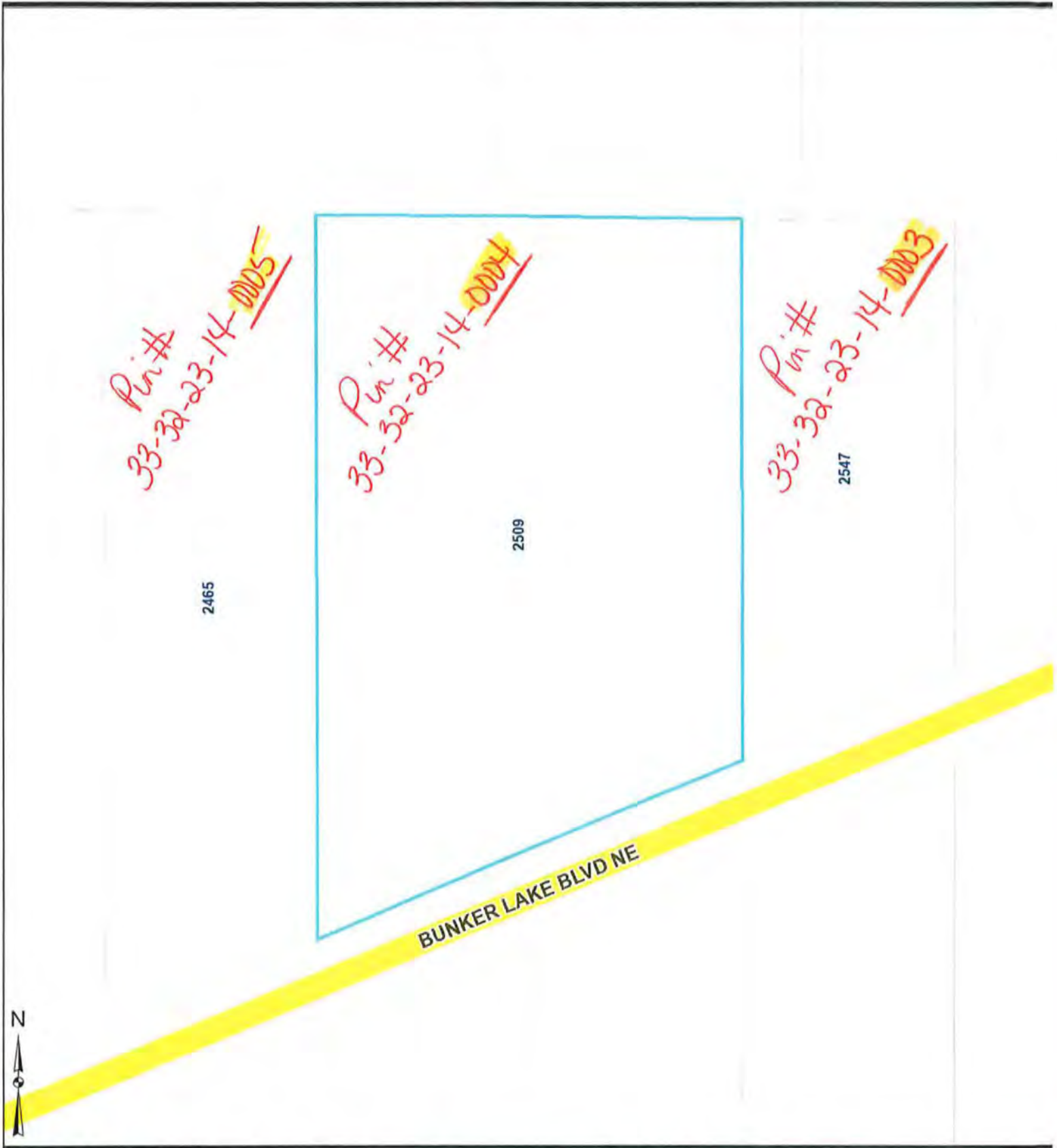
**Deputy City Clerk**

**Direct Phone Number 763-235-1673**

**Email Address: [dshimek@ci.ham-lake.mn.us](mailto:dshimek@ci.ham-lake.mn.us)**



# 2509 Bunker Lake Boulevard NE



**Parcel Information:**    Approx. Acres: 3.64269328  
33-32-23-14-0004    Commissioner: JULIE BRAASTAD  
2509 BUNKER LAKE BLVD NE  
HAM LAKE  
MN 55304  
Plat:

**Owner Information:**  
ALZAMAN, SAYED  
1864 MARSHALL AVE UNIT 2  
ST PAUL  
MN  
55104



# 2509 Bunker Lake Blvd NE



**Parcel Information:**    Approx. Acres: 3.64269328  
33-32-23-14-0004    Commissioner: JULIE BRAASTAD  
2509 BUNKER LAKE BLVD NE  
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Plat:

**Owner Information:**  
ALZAMAN, SAYED  
1864 MARSHALL AVE UNIT 2  
ST PAUL  
MN  
55104



# 2509 Bunker Lake Blvd. NE



**Parcel Information:**

33-32-23-14-0004  
 2509 BUNKER LAKE BLVD NE  
 HAM LAKE  
 MN 55304  
 Plat:

Approx. Acres: 3.64269328

Commissioner: JULIE BRAASTAD

**Owner Information:**

ALZAMAN, SAYED  
 1864 MARSHALL AVE UNIT 2  
 ST PAUL  
 MN  
 55104



08-12-2024

To: City of Ham Lake Planning, Attention Jennifer Bohr

Good Morning,

My name is Danette Lincoln, and I moved to the Ham Lake area in 1995. I have witnessed many changes to the area since that time, especially on Bunker Lake Blvd., east of HWY 65, and those changes are a factor in my request for a frontage variance. My property location is 2509 Bunker Lake Blvd., NE, and I am formally requesting a variance regarding the 200 feet of frontage required to divide and build a second home on the property.

My home was built in 1956 and is one of the older homes on Bunker. At that time, it was common to build very close to existing roads; therefore, you will find that my home is also one of the closest in proximity to Bunker. The population increase in Blaine, and the addition of traffic lights on Lexington and Bunker have led to an explosion of traffic on Bunker. Although I do not have the numbers on traffic patterns in 1995, my current conversion with Anoka County Highway Department puts the daily traffic at 4,000 vehicles. I would guess about an 800% increase since the 1990's.

I can no longer, mentally, cope with the traffic noise emanating from Bunker. In addition to the volume of traffic and proximity to the road, excessive speeds have also contributed to a higher volume of noise. The posted speed is 50 mph, however, rarely is this followed or enforced. During summer months, 10 motorcyclists per day, in addition to 2-3 fast cars, have contributed greatly to the noise.

Although the well-being of my mental health is top of mind, I do not discount mine and my husband's physical health as the pollution generated by the emissions of 4,000 vehicles/day will likely have on us.

I, therefore, am asking for a variance to build upon my property so I can have a better quality of life. I have looked into other solutions such as a sound barrier; however, according to the experts, it must be a break free, solid barrier. Due to minimal front yard, height restrictions, and driveway, I cannot realize those requirements. Moving the current house was another thought; however, general contractors said due to home age, modernization, etc. it would not be a feasible idea.

I am attaching a few documents in support of my request. One of which will be property lines as provided by Anoka County. You will see that my request will remain consistent with the area layout as I have two plots in comparison to the one that most neighbors have. The frontage will also be remain consistent with the area. The other documents will address the effects noise pollution has on the mental and physical well-being of an individual.

I want to thank you for taking the time to consider my request.

Danette Lincoln  
612.418.8622

**10-600 Variances**

The City Council shall have the power to authorize variances from the requirements of Article 10, and to attach such conditions to the variance as it deems necessary to assure compliance with the purpose of this Code. A variance may be permitted if the following requirements are met:

- a) There is an unusual physical hardship to the land that would prevent the reasonable usage of the land without a variance, and all the conditions of subparagraph b), c) and d) below are met.
- b) The variance is in harmony with the general purpose and intent of the Code and is consistent with the Comprehensive Plan.
- c) The plight of the landowner is due to circumstances unique to the property not created by the landowner; and
- d) The variance, if granted, will not alter the essential character of the locality.

Table 10-1: Lot Standards

Standards	I-P (Industrial Park) CD-1,CD-2, CD-3,CD-4 (Commercial Development)	I-1 (Light Industry)	GF (Government Facilities)
Lot Size	1 acre	1 acre	1 acre
Lot Width **	200 ft.	200 ft.	200 ft.
Front Yard Setbacks *	30 ft.	30 ft.	30 ft.
Side Yard Setbacks	10 ft.	30 ft.	10 ft.
Rear Yard Setbacks ***	20 ft.	20 ft.	10 ft.

*All setbacks refer to the minimum distance between a given lot line and any building, other structure, or curb line or pavement edge of any driveway, aisle, sidewalk or parking lot.*

EXCEPTION: Non-residential structures or uses shall not be located or conducted closer to any lot line of any other lot in any "R" or "PUD" District than the distances specified in the following schedule:

- Twenty Feet Off-street parking spaces and access drives for non-residential uses, churches, schools, and public or semi-public functions, recreational facilities, entertainment facilities, motels, all business uses, and all industrial uses.

*\*\*For lots wholly abutting the turnaround circle portion of a cul-de-sac street, the Lot Width may be 60 feet as measured at the right-of-way line. For lots partially abutting the*



turnaround circle portion of a cul-de-sac street, the total of that frontage plus the remaining frontage on the street must total 200 or more feet.

\*\*\*Commercial Condominiums under Article 10-550(D) of this Code may have a Rear Yard Setback of 10 feet.

<b>Standards</b>	<b>R-A (Rural Res)</b>	<b>R-1 (Single-Family Res)</b>	<b>RS-1 &amp; RS-2 (Shoreland Res.)</b>
<b>Lot Size</b>	1 acre	1 acre	1 acre
<b>Lot Width **</b>	200 ft.	200 ft.	200 ft.
<b>Front Yard Setbacks *</b>	30 ft.	30 ft.	30 ft.
<b>Side Yard Setbacks *****</b>	10 ft.	10 ft.	10 ft.
<b>Rear Yard Setbacks *****</b>	10 ft. – Accessory Buildings, 50 ft. for All other structures	10 ft. – Accessory Buildings, 50 ft. for All other structures	10 ft. – Accessory Buildings, 50 ft. for All other structures
<b>Standards</b>	<b>PUD (Planned Unit Dev.)</b>		
<b>Lot Size</b>	1 acre		
<b>Lot Width **</b>	200 ft.		
<b>Front Yard Setbacks *</b>	30 ft.		
<b>Side Yard Setbacks</b>	10 ft.		
<b>Rear Yard Setbacks</b>	50 ft.		
<b>Standards</b>	<b>R-AH (Aff. Housing)</b>	<b>Townhomes</b>	<b>Other</b>
<b>Lot Size</b>	Sufficient for Sewerage	50'x 50'***** or 1 A.	***
<b>Lot Width</b>	***	***	***
<b>Front Setback *</b>	***	***	***
<b>Side Setback</b>	***	***	***
<b>Rear Setback</b>	***	***	***

<b>Standards</b>	<b>R-2 (Multiple Family Residential)</b>
<b>Lot Size</b>	3 acres or more for two unit buildings; four acres or more for three unit buildings; five acres or more for four unit buildings. For buildings having more than four units, five acres plus one acre for every unit in excess of four units.
<b>Lot Width</b>	300 ft.
<b>Front Yard Setbacks *</b>	30 ft.
<b>Side Yard Setbacks</b>	10 ft.
<b>Rear Yard Setbacks</b>	50 ft.

\* 50 Ft. when abutting any State or County Highway

\*\* For lots located on cul-de-sacs the width may be 60 feet at the right-of-way line.

\*\*\* As approved by the City Council

\*\*\*\* If used in connection with Common Areas owned by Association

\*\*\*\*\* For corner lots, the lot owner, at the time of application for the first building permit on the lot, may choose which of the non-road frontage lot lines shall be considered the side yard and which shall be the rear yard, regardless of which road provides the driveway access. Once this selection is made, this choice shall apply to all future building permits on this lot. For corner lots abutting two streets, both street lines shall be considered front yard, not side yard, lot lines for purposes of applying the setback requirements.

Physical Standards for RS-1 and RS-2 lands shall be identical with CD-1 or CD-2 Standards for Commercial Uses, I-1 Standards for Industrial Uses, R-A Standards for Residential Agricultural Uses, PUD Standards for planned Unit Development Uses, all subject to any modification imposed by Article 12 of this Code.

Updated through Ord 21-02, 22-04

Danette,

As you know, your parcel has approximately 350 feet of frontage on Bunker Lake Boulevard NE. Current lot standards require any new parcels that are created to have 200 feet of frontage on an improved road. The attached information was reviewed and discussed by the City Administrator, the City Attorney, City Council members, the Building Official and the City Engineer. Their feedback is your parcel does not have enough frontage on Bunker Lake Boulevard to be divided and the reasons you listed for wanting the City to consider a variance, do not constitute practical difficulties (listed below) as defined by Code.

### **9-360 Variances**

The City Council upon appeal or upon direct request made under this Code shall have the power to authorize variances from the requirements of this Code, and to attach such conditions to the variance as it deems necessary to assure compliance with the purpose of this Code. A variance may be permitted if the following requirements are met:

- a) The variance is in harmony with the general purpose and intent of the Code and is consistent with the Comprehensive Plan.
- b) There are practical difficulties in complying with the Code, meaning that:
  - i) The property owner proposes to use the property in a reasonable manner that is otherwise not permitted by the Code; and
  - ii) The plight of the landowner is due to circumstances unique to the property not created by the landowner; and
  - iii) The variance, if granted, will not alter the essential character of the locality.

Variances may not be granted to permit a land use that is not a permitted, conditional or temporary conditional use in the particular zoning district. The provision of Minnesota Statutes Chapter 462.357 Subd. 6 (2) relating to solar energy and temporary two-family dwellings shall also be observed. Economic conditions alone do not constitute practical difficulties.

A variance to allow you to split your lot cannot be approved.

Sincerely,  
Jennifer

**Jennifer Bohr**

**Building & Zoning Clerk/Deputy City Clerk**

City of Ham Lake

763-434-9555

[www.ci.ham-lake.mn.us](http://www.ci.ham-lake.mn.us)

## Reply to 9-360 Variances

According to the City of Ham Lake code I do not have the necessary 200 feet of frontage road to divide 2509 Bunker Lake Blvd., NE. I have since petitioned to ask for a variance to allow the division. According to the email response I received, "a variance may be permitted if the following requirements are met:"

a) The variance is in harmony with the general purpose and intent of the Code and is consistent with the Comprehensive Plan.

Response: Although I realize the Code requires 200 feet of frontage, I am asking for a variance for that part of existing Code as I believe my proposal is consistent and in harmony with the Comprehensive Plan. As previously requested, I would like an understanding of why 200 feet of frontage was made a requirement to fully understand the general purpose and intent of the Code.

B) There are practical difficulties in complying with the Code, meaning that:

i) The property owner proposes to use the property in a reasonable manner that is otherwise not permitted by the Code; and

ii) The plight of the landowner is due to circumstances unique to the property not created by the landowner; and

iii) The variance, if granted, will not alter the essential character of the locality.

Response:

i) The practical difficulty I have in complying with the Code is that I do not have the required 200 feet of frontage road; however, I do propose to use the property in a reasonable manner.

ii) The circumstances for the variance request have not been created by the landowner. Due to the expansion of Blaine residential builds on Lexington, and the addition of the traffic light at Bunker and Lexington, the volume of traffic has increased exponentially. Traffic has not been managed properly to posted speeds. Semis detour to avoid traffic on Main Street which is also congested due to the number of traffic lights on the stretch over HWY 65. In addition, the private diagnosis, which I will provide if necessary, of my mental health is also something that I did not create.

lii) Considering my lot is double the size of all surrounding properties, dividing the lot will actually be consistent with neighbors and will not alter the character of the local.

# Anoka County Parcel Viewer



2509 bunker lake blvd ne X Q

Show search results for 2509 b...



Split Request

2408

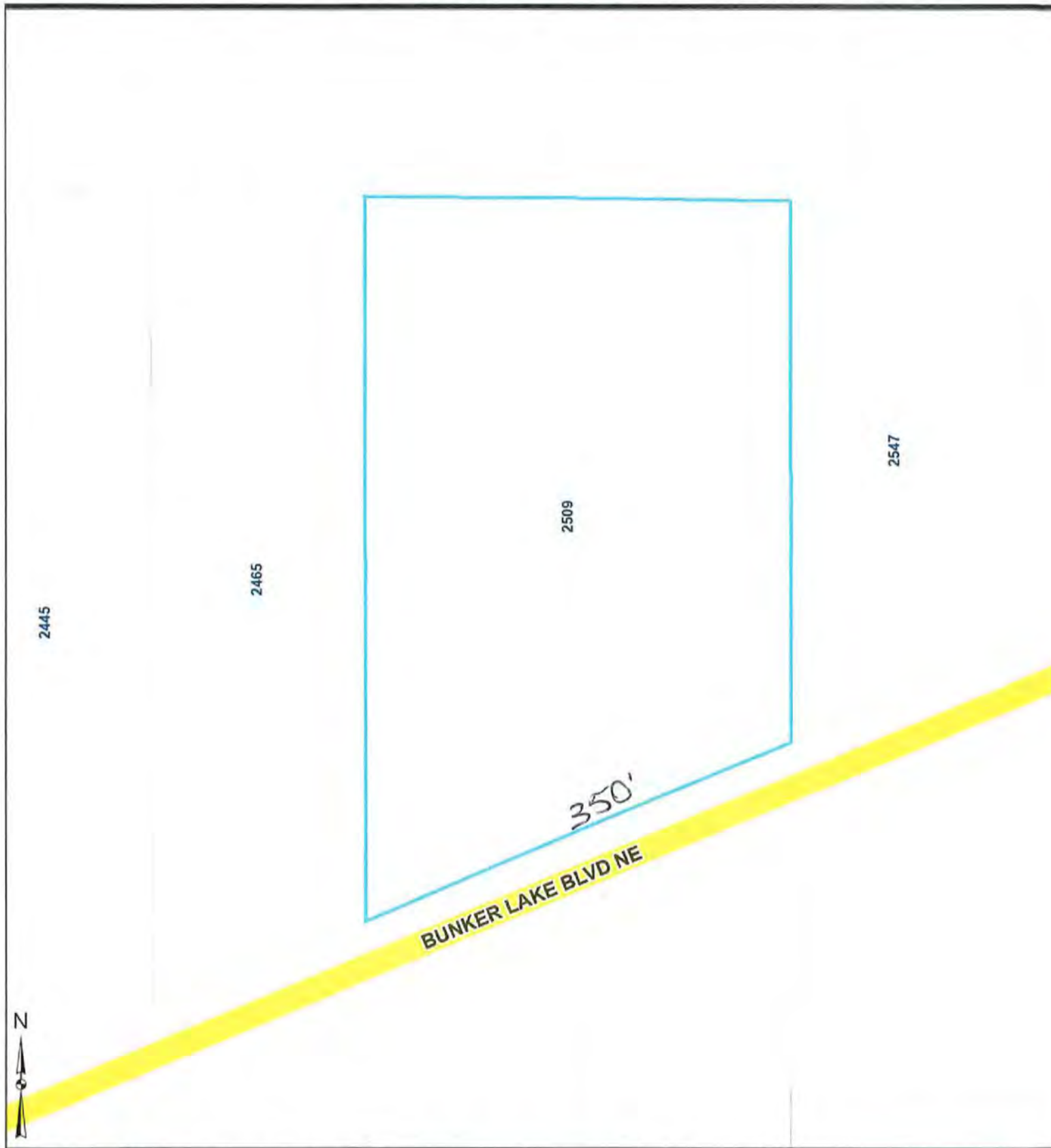
2509

2547

BUNKER LAKE BLVD NE

100ft  
\$15,895,732 167,900,978 Feet

# Anoka County Parcel Viewer



**Parcel Information:**

33-32-23-14-0004  
2509 BUNKER LAKE BLVD NE  
HAM LAKE  
MN 55304  
Plat:

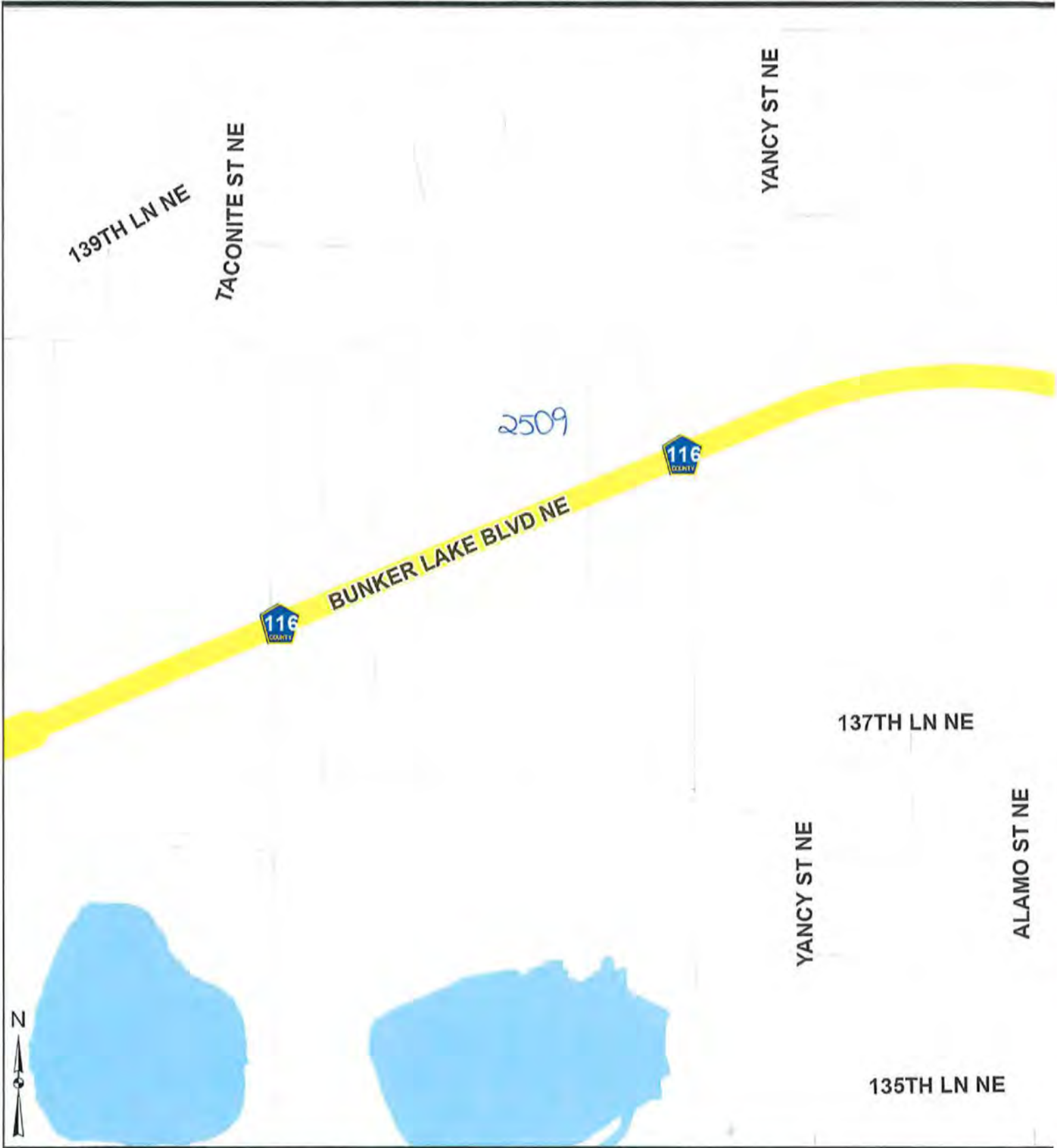
Approx. Acres: 3.64269328  
Commissioner: JULIE BRAASTAD

**Owner Information:**

ALZAMAN, SAYED  
1864 MARSHALL AVE UNIT 2  
ST PAUL  
MN  
55104



# Anoka County Parcel Viewer



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33-32-23-14-0004  
2509 BUNKER LAKE BLVD NE  
HAM LAKE  
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Plat:

Approx. Acres: 3.64269328

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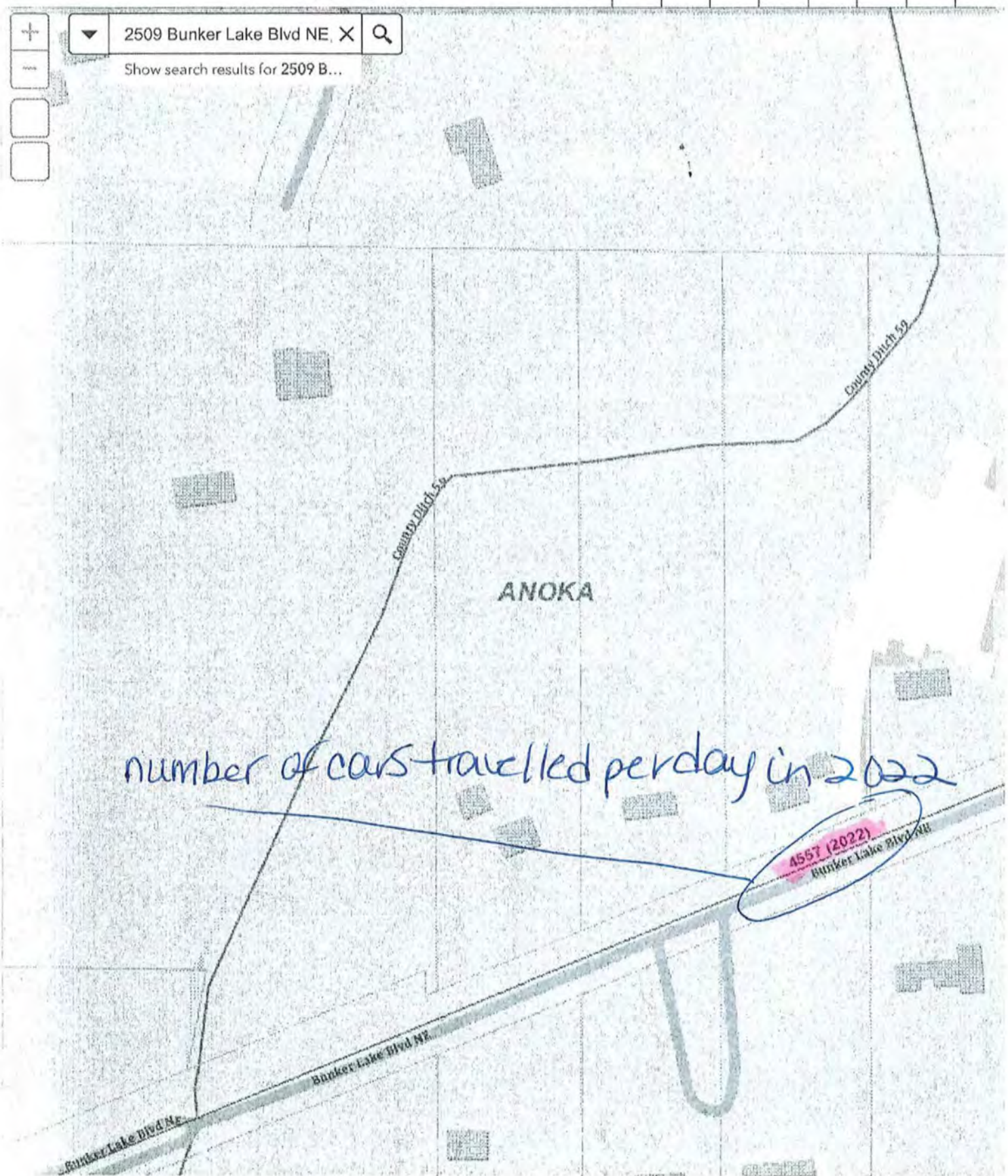
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55104



# Traffic Mapping Application

▼ 2509 Bunker Lake Blvd NE X Q  
Show search results for 2509 B...



number of cars travelled per day in 2022

4557 (2022)  
Bunker Lake Blvd NE

100ft  
-93.207 45.221 Degrees