



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, SEPTEMBER 20, 2021

- 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance**
- 2.0 PUBLIC COMMENT**
- 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS**
- 3.1 Lt. Schuldt, Anoka County Sheriff's Office Monthly Report

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

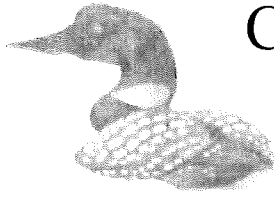
- 4.1 Approval of minutes of September 7, 2021
- 4.2 Approval of claims
- 4.3 Approval of a Resolution ordering the preparation of the assessment roll and scheduling a Public Hearing for Street Light Assessments for 2021/ 2022
- 4.4 Approval of a Resolution rescinding Resolution No. 20-34 and adoption of a Resolution accepting the assessment roll and scheduling a Public Hearing for the improvement of 155th Avenue NE from Naples Street NE to Lexington Avenue NE
- 4.5 Approval of accepting the Local Partnership Program Grant Funding for construction of the streets within the Crosstown Business Park
- 4.6 Approval of ordering the Plan and Specifications for the proposed Crosstown Business Park on the east side of Highway 65 NE and South of Crosstown Boulevard NE from Chisholm Street NE/Baltimore Street NE from Crosstown Boulevard NE to 171st Avenue NE
- 4.7 Approval of a 3% increase for RFC Engineering, Inc, effective January 1, 2022
- 4.8 Approval of a 50% reduction for the Performance Security for Coon Creek Commercial Park
- 4.9 Approval of hiring Architects for the construction of Fire Station 3

5.0 PLANNING COMMISSION RECOMMENDATIONS

- 5.1 Kevin Evans requesting a Home Occupation Permit to operate 14er Firearms at 16911 Leyte Street NE
- 5.2 Jeff LaBonne, La Machine Shop, Inc., requesting Commercial Site Plan Approval to construct an addition at 15740 Lincoln Street NE (L2, B1, Ham Lake Industrial Park)
- 5.3 Jeff Stalberger, HFN Properties, LLC, requesting Final Plat approval for Hidden Forest East Third Addition (38 Single Family Residential lots) in Section 25 and adoption of a Rezoning Ordinance
- 5.4 Jeff Stalberger, HFN Properties, LLC, requesting Final Plat approval for Hidden Forest East Park Addition (2 Single Family Residential lots) in Section 25 and adoption of a Rezoning Ordinance
- 5.5 Jeff Stalberger, Crosstown Development LLC, requesting Final Plat approval for Crosstown Rolling Acres Third Addition (49 Single Family Residential Lots) in Section 6 and adoption of a Rezoning Ordinance
- 5.6 Roger and Sue Haugen, S & R Developers LLC, requesting Final Plat approval for Enchanted Estates Third Addition (8 Single Family Residential lots) in Section 14

- 6.0 ECONOMIC DEVELOPMENT AUTHORITY – None**

- 7.0 APPEARANCES – None
- 8.0 CITY ATTORNEY
- 9.0 CITY ENGINEER
- 10.0 CITY ADMINISTRATOR
- 11.0 COUNCIL BUSINESS
- 11.1 Committee Reports
- 11.2 Discussion of funding options for Law Enforcement
- 11.3 Announcements and future agenda items



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES TUESDAY, SEPTEMBER 7, 2021

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Tuesday, September 7, 2021 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Van Kirk and Councilmembers Jim Doyle, Gary Kirkeide, Brian Kirkham and Jesse Wilken

MEMBERS ABSENT: None

OTHERS PRESENT: City Attorney, Joe Murphy; City Engineer, Dave Krugler; City Administrator, Denise Webster; and Deputy City Clerk, Dawnette Shimek

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Mayor Van Kirk called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

2.0 PUBLIC COMMENT - None

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS - None

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of August 16, 2021 and August 24, 2021
- 4.2 Approval of claims in the amount of \$399,058.15
- 4.3 Approval of Ordinance No. 21-06 regarding signage
- 4.4 Approval of Ordinance No. 21-07 rezoning of Holiday Station Store Ham Lake Development
- 4.5 Approval of Ordinance No. 21-08 rezoning Creekside Farms
- 4.6 Approval of Resolution No. 21-28 designating polling site for the 2022 Elections
- 4.7 Approval of Resolution No. 21-29 requesting the use of Anoka County Housing and Redevelopment Authority (HRA) funds to construct Crosstown Business Park on the east side of Highway 65 NE and South of Crosstown Boulevard NE
- 4.8 Approval of Compensation Plan Adjustment
- 4.9 Approval of the 2022 Law Enforcement Contract with the Anoka County Sheriff's Office
- 4.10 Approval of the updated Weekend Duty Officer Program and Compensation Plan
- 4.11 Approval of services contract with CMT Janitorial Services for janitorial services for City Buildings
- 4.12 Approval of a Field Party License for Ham Lake Chamber of Commerce located at Ham Lake Lanes, 16465 Highway 65 NE on October 9, 2021
- 4.13 Approval of scheduling the truth-in-taxation meeting allowing public input for December 6, 2021 at 6:01 p.m. to consider the 2022 Budget and Property Tax Levy

Councilmember Doyle requested that item 4.1 be removed from the consent agenda.

Motion by Kirkeide, seconded by Wilken, to approve the September 7, 2021 Consent Agenda with the omission of item 4.1. All in favor, motion carried.

Motion by Kirkham, seconded by Wilken, to approve item 4.1 of the September 7, 2021 Consent Agenda. Mayor Van Kirk and Councilmembers Kirkeide, Kirkham and Wilken voted yes. Councilmember Doyle abstained. Motion carried.

5.0 PLANNING COMMISSION RECOMMENDATIONS

5.1 Joseph P. Toupal requesting a Special Home Occupation Permit to operate Great Northern Engraving at 14954 Naples Street NE

Motion by Doyle, seconded by Kirkham, to concur with the Planning Commission and approve the Special Home Occupation Permit as requested by Joseph P. Toupal to operate Great Northern Engraving at 14954 Naples Street NE, subject to meeting the guidelines for Special Home Occupation Permits per Article 9-350.3, no discharging of firearms on-site, no customer traffic, no on-street parking, generating no noise that is audible to neighboring properties, no outdoor storage, operating hours of 9:00 a.m. to 5:00 p.m. Monday through Friday, obtaining a Federal Firearms License and providing a copy of the license to the City before engraving any firearms and meeting at State, City and County requirements. All in favor, motion carried.

5.2 Xiao Xin Qu, of A Massage, requesting a Conditional Use Permit to practice massage therapy at 1444 147th Avenue NE, Suite 250

Motion by Kirkham, seconded by Doyle, to concur with the Planning Commission and approve the Conditional Use Permit requested by Xiao Xin Qu of A Massage, to practice massage therapy at 1444 147th Avenue NE, Suite 250, subject to the Conditional Use Permit being issued only to Xiao Xin Qu (It is non-transferable.), the permit holder shall maintain compliance with the licensing and certification criteria as listed in Article 9-330.5 of the Ham Lake City Code at all times, allowing one additional massage therapist that meets the requirements of Article 9-330.5, hours of operation being 9:30 a.m. to 9:30 p.m. seven days a week and the permit holder is to maintain compliance with all City, State and County requirements. All in favor, motion carried.

6.0 ECONOMIC DEVELOPMENT AUTHORITY

Mayor Van Kirk stated that the City has received the metro Local Partnership Program Funding from the Minnesota Department of Transportation for the new frontage road located south of Crosstown Boulevard NE. Councilmember Kirkham added that the City received the maximum amount of \$710,000.00.

7.0 APPEARANCES – None

8.0 CITY ATTORNEY

8.1 Discussion of the request from John Swanberg, 3905 149th Avenue NE, for payment of right-of-way for the 1992 road improvement of 149th Avenue NE

Mr. Swanberg was present. Mayor Van Kirk explained to Mr. Swanberg that the deed was never signed and that is why Mr. Swanberg was not paid for the right-of-way back in 1992. The right-of-way in question has since been obtained through the area development. Mayor Van Kirk advised Mr. Swanberg that he could take legal action if he feels that is necessary. **It was the consensus of the City Council to not pay John Swanberg for right-of-way for the 149th Avenue NE 1992 road project because Mr. Swanberg never signed the right-of-way deed.**

- 9.0 CITY ENGINEER – None
10.0 CITY ADMINISTRATOR – None

11.0 COUNCIL BUSINESS

11.1 Committee Reports

Councilmember Kirkeide stated that the Code Review Committee met prior to the City Council meeting and discussed a number of updates to the City Code. Attorney Murphy stated that he would prepare the ordinance in time to allow for publication of the public hearing to be held before the Planning Commission at its September 27, 2021 meeting.

11.2 Consideration of Resolution No. 21-30 approving the proposed 2022 budget and the proposed 2021 levy for payable in 2022

Finance Director Worcester presented the proposed 2022 budget and 2021 levy. Finance Director Worcester explained nothing had changed from the City Council meeting held on August 16, 2021 to discuss the budget. Finance Director Worcester stated that the City was still slated to levy \$5,391,443 for the general fund which would slightly decrease the tax rate by 0.49 percent. Finance Director Worcester also stated the Anoka County Sheriff's contract was budgeted for the full amount and if the City Council decided to deviate from this budgeted amount, the savings would be put into the reserves. Mayor Van Kirk stated that the levy for 2022 was raised, but it was to help pay for the Anoka County Sheriff's Law Enforcement contract, Revolving Street Fund and the future construction of Fire Station #3. Mayor Van Kirk stated it is better to increase the levy now when the City can benefit from the additional development while maintaining a lower tax rate. Finance Director Worcester also added that this year the budget is balanced, which helps the City not use reserves.

Motion by Van Kirk, seconded by Doyle, to adopt Resolution No. 21-30 approving the proposed 2022 budget and the proposed 2021 ley for payable in 2022. All in favor, motion carried.

11.3 Discussion of a COVID Guidance Resolution presented by Councilmember Wilken

Mayor Van Kirk read Resolution No. 21-31 regarding COVID Guidance. The resolutions intent is to uphold and protect the Constitutional rights of the citizens and employees of the City of Ham Lake. **Motion by Van Kirk, seconded by Doyle, to adopt Resolution No. 21-31 regarding COVID Guidance. All in favor, motion carried.**

11.4 Announcements and future agenda items

Councilmember Doyle stated that it has been 20 years since the Terrorist attack and to keep them in our prayers. Mayor Van Kirk added to also keep the troops in Afghanistan in our prayers.

Mayor Van Kirk stated that he would like to meet with Councilmember Jesse Wilken and move forward with the CERT (Community Emergency Response Team) Program.

Motion by Kirkeide, seconded by Kirkham, to adjourn the meeting at 6:22 p.m. All in favor, motion carried.

Dawnette Shimek, Deputy City Clerk

**CITY OF HAM LAKE
CLAIMS SUBMITTED TO COUNCIL
September 20, 2021**

CITY OF HAM LAKE

EFTS, CHECKS, AND BANK DRAFTS	9/10/21 - 9/22/21	
EFT	# 1519 - 1527	\$ 39,733.84
CHECKS	# 63291 - 63326	\$ 80,811.82
BANK DRAFTS	DFT0002259 - DFT0002263	\$ 24,168.41
TOTAL EFTS, CHECKS, AND BANK DRAFTS		<u>\$ 144,714.07</u>
PAYROLL CHECKS		
09/10/21		\$ 35,917.47
TOTAL PAYROLL CHECKS		<u>\$ 35,917.47</u>
TRUST CHECKS	#5735 - 5740	\$ 66,430.39
TOTAL OF ALL PAYMENTS		<u>\$ 247,061.93</u>

VOID CHECKS
 EFT
 CHECKS
 TRUST CHECKS

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 20TH DAY OF SEPTEMBER 2021

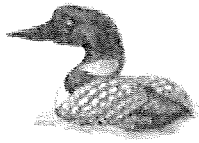
MAYOR

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER



Payment Dates 9/10/2021 - 9/22/2021

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1519	OPTUM BANK - 6011	Health Savings Account-6011	Flexible spending	100-21705	54.17
1520	WELLS FARGO - 6003	Health Savings Account-6003	Flexible spending	100-21705	125.00
1521	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	112.69
1521	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1521	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	105.67
1521	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1521	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1521	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-44101-2210	105.67
1521	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1521	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-44101-2210	110.96
1522	MEDTOX LABORATORIES	REJECTED DRUG TEST	Personnel testing & recruitme	100-42201-3150	7.00
1523	O'REILLY AUTOMOTIVE STORE	GENERATOR BATTERY	Building repair & maintenanc	100-41702-2310	113.16
1523	O'REILLY AUTOMOTIVE STORE	GENERATOR BATTERY	Building repair & maintenanc	100-43104-2310	113.15
1523	O'REILLY AUTOMOTIVE STORE	OIL FILTER	Operating supplies	100-43101-2290	7.96
1524	RFC ENGINEERING, INC.	147TH, ABERDEEN - HASTING	Engineering	431-43301-3135	32.30
1524	RFC ENGINEERING, INC.	ABERDEEN, 144TH - 145TH	Engineering	431-43301-3135	3,683.12
1524	RFC ENGINEERING, INC.	155TH, NAPLES - LEXINGTON	Engineering	431-43301-3135	954.03
1524	RFC ENGINEERING, INC.	165TH, FRAIZER, 167TH	Engineering	431-43301-3135	40.35
1524	RFC ENGINEERING, INC.	SODERVILLE DRIVE	Engineering	431-43301-3135	134.34
1524	RFC ENGINEERING, INC.	TWIN BIRCH ACRES	Engineering	431-43301-3135	3,245.52
1524	RFC ENGINEERING, INC.	LUND'S LAKEVIEW FOREST	Engineering	431-43301-3135	8,928.17
1524	RFC ENGINEERING, INC.	COUNCIL MEETING	Engineering	100-41101-3135	228.67
1524	RFC ENGINEERING, INC.	149TH AVE DATA REQUEST-Q	Engineering	100-41101-3135	67.26
1524	RFC ENGINEERING, INC.	HAM LAKE BUILDING PERMIT	Engineering	100-41101-3135	24.63
1524	RFC ENGINEERING, INC.	DAVINCI ACADEMY	Engineering	100-41101-3135	295.93
1524	RFC ENGINEERING, INC.	3905 - 149TH AVE ROW	Engineering	100-41101-3135	26.90
1524	RFC ENGINEERING, INC.	L6 B1 HEDGEWOOD EASEME	Engineering	100-41101-3135	26.90
1524	RFC ENGINEERING, INC.	3317 INTERLACHEN DRIVE	Engineering	100-41101-3135	40.35
1524	RFC ENGINEERING, INC.	ROAD COMMITTEE MEETING	Engineering	100-41101-3135	67.26
1524	RFC ENGINEERING, INC.	159TH AVE ROW W OF LINCO	Engineering	100-41101-3135	26.90
1524	RFC ENGINEERING, INC.	COMP PLAN UPDATE	Engineering-comprehensive p	100-41101-3136	36.95
1524	RFC ENGINEERING, INC.	CITY CODE UPDATE	Engineering	100-41102-3135	67.25
1524	RFC ENGINEERING, INC.	HAM LAKE BUILDING PERMIT	Engineering	100-41601-3135	40.35
1524	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	100-41601-3135	197.08
1524	RFC ENGINEERING, INC.	PLANNING COMMISSION MEE	Engineering	100-41601-3135	269.02
1524	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	100-41601-3135	67.25
1524	RFC ENGINEERING, INC.	L4 B1 HAM LAKE INDUSTRIAL	Engineering	100-41601-3135	53.80
1524	RFC ENGINEERING, INC.	L1 B1 LANDBORG IND'L PARK	Engineering	100-41601-3135	107.60
1524	RFC ENGINEERING, INC.	ZEST ST VACATION S OF 139T	Engineering	100-41601-3135	67.25
1524	RFC ENGINEERING, INC.	L2 B1 CROSSTOWN ROLLING	Engineering	100-42401-3135	174.86
1524	RFC ENGINEERING, INC.	HAM LAKE BUILDING PERMIT	Engineering	100-42401-3135	26.90
1524	RFC ENGINEERING, INC.	5 YEAR PLAN	Engineering	100-43101-3135	430.43
1524	RFC ENGINEERING, INC.	HAM LAKE GIS WEB CONVERS	Engineering	100-43101-3135	197.08
1524	RFC ENGINEERING, INC.	COON LAKE CHANNEL DREDG	Engineering	100-43101-3135	91.89
1524	RFC ENGINEERING, INC.	2029 - 151ST AVE DRAINAGE	Engineering	100-43103-3135	49.27
1524	RFC ENGINEERING, INC.	DRAINAGE SOUTH PORTION	Engineering	100-43103-3135	61.59
1524	RFC ENGINEERING, INC.	CCWD RULES AMENDMENTS	Engineering	100-43201-3135	283.45
1524	RFC ENGINEERING, INC.	NPDES	Engineering	230-43201-3135	107.61
1524	RFC ENGINEERING, INC.	BUNKER, JEFFERSON - TH65	Engineering	431-43301-3135	26.90
1524	RFC ENGINEERING, INC.	181ST, CONCORD - HWY 65	Engineering	431-43301-3135	40.35
1524	RFC ENGINEERING, INC.	2021 REHAB	Engineering	431-43301-3135	26.90
1524	RFC ENGINEERING, INC.	COPART	Engineering	431-43301-3135	53.80
1524	RFC ENGINEERING, INC.	SWEDISH DRIVE ROW	Engineering	431-43301-3135	26.90
1524	RFC ENGINEERING, INC.	E FRONT RD CSAH 18 - 171ST	Engineering	431-43301-3135	1,977.30

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1524	RFC ENGINEERING, INC.	RADISSON SUNSET ESTATES	Engineering	890-90001-3135	580.97
1524	RFC ENGINEERING, INC.	CATCHERS CREEK	Engineering	890-90001-3135	116.29
1524	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 3RD	Engineering	890-90001-3135	13.45
1524	RFC ENGINEERING, INC.	ENTSMINGER MINOR PLAT	Engineering	890-90001-3135	13.45
1524	RFC ENGINEERING, INC.	WHITETAIL CROSSING 2ND	Engineering	890-90001-3135	24.79
1524	RFC ENGINEERING, INC.	A MASSAGE LABELS	Engineering	890-90001-3135	25.00
1524	RFC ENGINEERING, INC.	HOLIDAY BALTIMORE ST VAC S	Engineering	890-90001-3135	25.00
1524	RFC ENGINEERING, INC.	HOLIDAY STATION STORES	Engineering	890-90001-3135	25.00
1524	RFC ENGINEERING, INC.	CREEKSIDE FARMS	Engineering	890-90001-3135	660.81
1524	RFC ENGINEERING, INC.	LIVE WIRE ELECTRIC	Engineering	890-90001-3135	1,006.56
1524	RFC ENGINEERING, INC.	CONSTANCE BLVD TERRACE	Engineering	890-90001-3135	124.94
1524	RFC ENGINEERING, INC.	HOLIDAY STATION STORE	Engineering	890-90001-3135	3,569.14
1524	RFC ENGINEERING, INC.	GALLAGHER SHORES	Engineering	890-90001-3135	187.94
1524	RFC ENGINEERING, INC.	ENCHANTED ESTATES (3RD)	Engineering	890-90001-3135	201.76
1524	RFC ENGINEERING, INC.	CROSTOWN ROLLING ACRES	Engineering	890-90001-3135	253.11
1524	RFC ENGINEERING, INC.	COON CREEK COMMERCIAL P	Engineering	890-90001-3135	258.39
1524	RFC ENGINEERING, INC.	L2 B1 H.L. IND'L PARK - LA MA	Engineering	890-90001-3135	309.37
1524	RFC ENGINEERING, INC.	GREAT NORTHERN ENGRAVIN	Engineering	890-90001-3135	25.00
1524	RFC ENGINEERING, INC.	HOLIDAY BALTIMORE ST VAC S	Engineering	890-90001-3135	67.25
1524	RFC ENGINEERING, INC.	NETTAS PRESERVE	Engineering	890-90001-3135	109.02
1524	RFC ENGINEERING, INC.	RYLIES WAY	Engineering	890-90001-3135	115.20
1524	RFC ENGINEERING, INC.	EVERGREEN ESTATES	Engineering	890-90001-3135	3,836.99
1524	RFC ENGINEERING, INC.	MEADOW PARK RECONSTRUC	Engineering	431-43301-3135	199.34
1524	RFC ENGINEERING, INC.	GROUP PERMIT BILLING	Engineering	100-43501-3135	2,881.60
1524	RFC ENGINEERING, INC.	ABERDEEN, 144TH - 145TH R	Engineering	431-43301-3135	41.31
1524	RFC ENGINEERING, INC.	SODERVILLE DRIVE ROW2019-	Engineering	431-43301-3135	201.77
1524	RFC ENGINEERING, INC.	LUNDS LAKEVIEW FOREST RO	Engineering	431-43301-3135	53.80
1524	RFC ENGINEERING, INC.	CREEK VALLEY RECONSTRUCTI	Engineering	431-43301-3135	137.75
1524	RFC ENGINEERING, INC.	MSA GROUP BILLING	Engineering	431-43301-3135	742.38
1524	RFC ENGINEERING, INC.	POLK STREET	Engineering	431-43301-3135	100.79
1524	RFC ENGINEERING, INC.	TIPPECANOE STREET	Engineering	431-43301-3135	218.28
1527	STAR TRIBUNE MEDIA COMPA	A MASSAGE	Legal notices/publications/bid	890-90001-3950	47.16
1527	STAR TRIBUNE MEDIA COMPA	GREAT NORTHERN ENGRAVIN	Legal notices/publications/bid	890-90001-3950	48.47
1527	STAR TRIBUNE MEDIA COMPA	HOLIDAY PLAT & REZONE	Legal notices/publications/bid	890-90001-3950	81.22
1527	STAR TRIBUNE MEDIA COMPA	HOLIDAY SKETCH (BALTIMORE	Legal notices/publications/bid	890-90001-3950	222.70
63291	ACE SOLID WASTE INC	AUGUST YARDWASTE	Waste management & recycli	231-43601-3630	1,729.38
63292	ACE SOLID WASTE INC	SEPTEMBER ORGANICS	Waste management & recycli	231-43601-3630	295.69
63293	ASPEN EQUIPMENT CO.	#69 BOOM INSPECTION AND	Equipment repair & maintena	100-43101-3440	1,894.16
63294	ASPEN MILLS INC	UNIFORM - BH	Clothing & personal protectiv	100-42201-2210	187.08
63295	CENTERPOINT ENERGY	CITY HALL	Natural gas	100-41702-3620	63.73
63295	CENTERPOINT ENERGY	FIRE #1	Natural gas	100-42202-3620	25.89
63295	CENTERPOINT ENERGY	FIRE #2	Natural gas	100-42202-3620	27.96
63295	CENTERPOINT ENERGY	PW	Natural gas	100-43104-3620	66.91
63295	CENTERPOINT ENERGY	H.L. PARK BUILDING	Natural gas	100-44102-3620	21.00
63295	CENTERPOINT ENERGY	H.L. PARK PAVILION	Natural gas	100-44102-3620	22.59
63295	CENTERPOINT ENERGY	SR CENTER	Natural gas	100-44202-3620	34.31
63296	CITY OF COLUMBUS	AUG SIGNAL LEXINGTON & BR	Electricity	100-43401-3610	24.20
63297	CITY OF ROSEVILLE	2021 DW LASERFICHE & ADO	Software licenses & upgrades	100-41201-2510	19.33
63297	CITY OF ROSEVILLE	2021 DS, SHARED LASERFICHE	Software licenses & upgrades	100-41301-2510	477.58
63297	CITY OF ROSEVILLE	2021 AW, SK LASERFICHE & A	Software licenses & upgrades	100-41401-2510	24.92
63297	CITY OF ROSEVILLE	2021 JB LASERFICHE & ADOBE	Software licenses & upgrades	100-41601-2510	19.33
63297	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-41701-3210	115.83
63297	CITY OF ROSEVILLE	IT SERVICE	Computer & software support	100-41707-3120	3,499.60
63297	CITY OF ROSEVILLE	2021 TM LASERFICHE & ADOB	Software licenses & upgrades	100-42201-2510	24.92
63297	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-42201-3210	64.25
63297	CITY OF ROSEVILLE	2021 NW, TD LASERFICHE & A	Software licenses & upgrades	100-42401-2510	44.25
63297	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-42401-3210	102.83
63297	CITY OF ROSEVILLE	2021 JW ADOBE LICENSE	Software licenses & upgrades	100-43101-2510	5.58
63297	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-43101-3210	64.25
63297	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-44101-3210	12.83

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
63297	CITY OF ROSEVILLE	PHONES	Phones/radios/pagers	100-44201-3210	51.42
63297	CITY OF ROSEVILLE	TK NET MOTION	Phones/radios/pagers	100-42401-3210	308.57
63298	COMFORT PEST CONTROL OF	SR CTR INSECT CONTROL	Building repair & maintenanc	100-44202-3420	60.00
63299	COMMERCIAL ASPHALT CO.	1.03 TN HOTMIX	Street repair & maintenance s	100-43101-2330	64.74
63300	CUSTOM CAP & TIRE	#57 TIRES	Equipment parts & supplies	100-43101-2320	3,014.00
63301	DEHN OIL CO	105 GAL GASOLINE	Fuel	100-43101-2230	291.38
63301	DEHN OIL CO	600 GAL DIESEL	Fuel	100-43101-2230	1,554.00
63302	EVERGREEN RECYCLING LLC	MATRESS RECYCLING	Waste management & recycli	231-43601-3630	374.00
63303	FLEETPRIDE	FILTERS	Operating supplies	100-43101-2290	7.46
63303	FLEETPRIDE	#75 VALVE	Vehicle parts & supplies	100-43101-2340	16.99
63303	FLEETPRIDE	FILTERS	Operating supplies	100-43101-2290	54.21
63303	FLEETPRIDE	FILTER	Operating supplies	100-43101-2290	32.80
63304	GRATITUDE FARMS	AUGUST ANIMAL CONTROL	Other professional services	100-42501-3190	250.00
63305	HAM LAKE HARDWARE INC	MISC PARTS	Operating supplies	100-43101-2290	91.74
63306	INSPIRE ARCHITECTS	FIRE #3 PLANS	Capital assets	420-42201-5110	2,042.34
63307	LEAGUE OF MINNESOTA CITIE	MEMBERSHIP DUES 2021/202	Prepaid expense	100-15501	10,141.33
63307	LEAGUE OF MINNESOTA CITIE	MEMBERSHIP DUES 2021/202	Dues & subscriptions	100-41101-3920	5,070.67
63308	LEAGUE OF MN CITIES	MEMBERSHIP DUES - MVK 20	Dues & subscriptions	100-41101-3920	30.00
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Prepaid expense	100-15501	15,967.50
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41101-1510	15.18
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41201-1510	161.97
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41301-1510	116.02
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41401-1510	195.95
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41601-1510	85.32
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-42201-1510	6,261.19
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-42401-1510	312.86
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-43101-1510	4,312.93
63309	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-44101-1510	812.08
63310	LEW VANDENBERG	ACFIT CALL MILEAGE	Mileage	100-42201-3960	17.36
63311	LINCOLN NATIONAL LIFE INSU	AUG ST DISABILITY MJ, DW, J	Other payroll deductions	100-21706	9.78
63311	LINCOLN NATIONAL LIFE INSU	OCT LT DISABILITY	Other payroll deductions	100-21706	408.43
63311	LINCOLN NATIONAL LIFE INSU	OCT ST DISABILITY	Other payroll deductions	100-21706	772.97
63311	LINCOLN NATIONAL LIFE INSU	SEPT ST DISABILITY MJ, DW, J	Other payroll deductions	100-21706	17.82
63312	MACQUEEN EQUIPMENT/MA	O'RINGS	Equipment parts & supplies	100-42201-2320	20.82
63313	MENARDS-BLAINE	GRAY GROMMETS	Operating supplies	100-43101-2290	3.29
63314	MINNESOTA EQUIPMENT	#53 SPINDLE, LOW VISCOSITY	Equipment parts & supplies	100-44101-2320	187.17
63315	MN METRO NORTH TOURISM	JULY LODGING TAX	Convention bureau	263-46101-4120	3,385.77
63316	MN PEIP	OCTOBER HEALTH INSURANC	Flexible spending	100-21705	13,309.12
63317	NARDINI FIRE EQUIPMENT CO	SILV-EX PLUS CLASS A FIRE CO	Operating supplies	100-42201-2290	540.00
63318	POSITIVE PROMOTIONS INC	PENCIL POUCHES	Fire prevention-supplies	100-42201-2810	291.45
63319	PREMIUM WATERS INC	AUGUST WATER	Equipment rentals	100-41701-3320	34.80
63319	PREMIUM WATERS INC	AUGUST WATER COOLER REN	Equipment rentals	100-41701-3320	14.00
63319	PREMIUM WATERS INC	AUGUST WATER BOTTLE DEP	Equipment rentals	100-41701-3320	-12.00
63320	S & S INDUSTRIAL SUPPLY INC	NUT	Operating supplies	100-43101-2290	-4.01
63320	S & S INDUSTRIAL SUPPLY INC	LOCKNUT SOCKET	Small tools	100-43101-2410	28.67
63321	SIGNS PLUS BANNERS	MAGNETIC BLANKS	Street signs	100-43401-2250	17.28
63322	TDS METROCOM INC	763-434-0454 ELEVATOR	Phones/radios/pagers	100-41701-3210	39.78
63322	TDS METROCOM INC	763-434-9605 FIRE #2	Phones/radios/pagers	100-42201-3210	37.78
63323	TOWMASTER INC	VALVE PRESSURE PROTECTIO	Vehicle parts & supplies	100-43101-2340	47.08
63324	UNLIMITED SUPPLIES INC	MISC SUPPLIES	Operating supplies	100-43101-2290	328.00
63325	MINUTEMAN PRESS INC	STREETLIGHT ASSESMENT CA	Other professional services	232-43701-3190	361.61
63326	US POSTMASTER	POSTAGE FOR STREETLIGHT P	Postage	232-43701-2120	389.80
DFT0002259	MN STATE DEPT OF REVENUE-	AUGUST '21 FUEL TAX	Fuel	100-43101-2230	74.67
DFT0002260	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	1,600.00
DFT0002260	EMPOWER	Roth IRA	Deferred compensation	100-21704	100.00
DFT0002261	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	4,977.08
DFT0002261	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,532.00
DFT0002261	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	6,106.88
DFT0002262	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,271.82
DFT0002263	PERA	Retirement-Coordinated	PERA	100-21703	6,450.63

Council Approval List

Payment Dates: 9/10/2021 - 9/22/2021

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
DFT0002263	PERA	Retirement-Police & Fire	PERA	100-21703	1,055.33
Grand Total:					<u>144,714.07</u>

Report Summary

Fund Summary

Fund	Payment Amount
100 - GENERAL	103,213.49
230 - FUTURE DRAINAGE	107.61
231 - RECYCLING	2,399.07
232 - STREET LIGHT	751.41
263 - LODGING TAX	3,385.77
420 - FIRE EQUIPMENT	2,042.34
431 - REVOLVING STREET	20,865.40
890 - TRUST FUND	11,948.98
Grand Total:	144,714.07

Account Summary

Account Number	Account Name	Payment Amount
100-15501	Prepaid expense	26,108.83
100-21701	Federal WH/FICA/MC	12,615.96
100-21702	State W/H	2,271.82
100-21703	PERA	7,505.96
100-21704	Deferred compensation	1,700.00
100-21705	Flexible spending	13,488.29
100-21706	Other payroll deductions	1,209.00
100-41101-1510	Worker's comp insuranc	15.18
100-41101-3135	Engineering	804.80
100-41101-3136	Engineering-comprehen	36.95
100-41101-3920	Dues & subscriptions	5,100.67
100-41102-3135	Engineering	67.25
100-41201-1510	Worker's comp insuranc	161.97
100-41201-2510	Software licenses & upgr	19.33
100-41301-1510	Worker's comp insuranc	116.02
100-41301-2510	Software licenses & upgr	477.58
100-41401-1510	Worker's comp insuranc	195.95
100-41401-2510	Software licenses & upgr	24.92
100-41601-1510	Worker's comp insuranc	85.32
100-41601-2510	Software licenses & upgr	19.33
100-41601-3135	Engineering	802.35
100-41701-3210	Phones/radios/pagers	155.61
100-41701-3320	Equipment rentals	36.80
100-41702-2310	Building repair & mainte	113.16
100-41702-3620	Natural gas	63.73
100-41707-3120	Computer & software su	3,499.60
100-42201-1510	Worker's comp insuranc	6,261.19
100-42201-2210	Clothing & personal prot	187.08
100-42201-2290	Operating supplies	540.00
100-42201-2320	Equipment parts & suppl	20.82
100-42201-2510	Software licenses & upgr	24.92
100-42201-2810	Fire prevention-supplies	291.45
100-42201-3150	Personnel testing & recr	7.00
100-42201-3210	Phones/radios/pagers	102.03
100-42201-3960	Mileage	17.36
100-42202-3620	Natural gas	53.85
100-42401-1510	Worker's comp insuranc	312.86
100-42401-2510	Software licenses & upgr	44.25
100-42401-3135	Engineering	201.76
100-42401-3210	Phones/radios/pagers	411.40
100-42501-3190	Other professional servi	250.00
100-43101-1510	Worker's comp insuranc	4,312.93
100-43101-2210	Clothing & personal prot	218.36
100-43101-2230	Fuel	1,920.05
100-43101-2240	Safety supplies	48.00

Account Summary

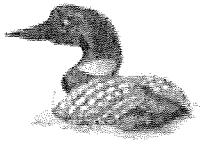
Account Number	Account Name	Payment Amount
100-43101-2290	Operating supplies	521.45
100-43101-2320	Equipment parts & suppl	3,014.00
100-43101-2330	Street repair & mainten	64.74
100-43101-2340	Vehicle parts & supplies	64.07
100-43101-2410	Small tools	28.67
100-43101-2510	Software licenses & upgr	5.58
100-43101-3135	Engineering	719.40
100-43101-3210	Phones/radios/pagers	64.25
100-43101-3440	Equipment repair & mai	1,894.16
100-43103-3135	Engineering	110.86
100-43104-2310	Building repair & mainte	113.15
100-43104-3620	Natural gas	66.91
100-43201-3135	Engineering	283.45
100-43401-2250	Street signs	17.28
100-43401-3610	Electricity	24.20
100-43501-3135	Engineering	2,881.60
100-44101-1510	Worker's comp insuranc	812.08
100-44101-2210	Clothing & personal prot	216.63
100-44101-2320	Equipment parts & suppl	187.17
100-44101-3210	Phones/radios/pagers	12.83
100-44102-3620	Natural gas	43.59
100-44201-3210	Phones/radios/pagers	51.42
100-44202-3420	Building repair & mainte	60.00
100-44202-3620	Natural gas	34.31
230-43201-3135	Engineering	107.61
231-43601-3630	Waste management & r	2,399.07
232-43701-2120	Postage	389.80
232-43701-3190	Other professional servi	361.61
263-46101-4120	Convention bureau	3,385.77
420-42201-5110	Capital assets	2,042.34
431-43301-3135	Engineering	20,865.40
890-90001-3135	Engineering	11,549.43
890-90001-3950	Legal notices/publicatio	399.55
	Grand Total:	144,714.07

Project Account Summary

Project Account Key	Payment Amount
None	109,463.67
200511-100	32.30
200912-100	3,724.43
200922-100	53.80
201102.033-100	26.90
201302.089-100	954.03
201402.136-100	40.35
201709-100	336.11
201805-100	3,245.52
201902.93-100	100.79
201907-100	8,981.97
202002.057-100	40.35
202002.083-100	1,977.30
202102.053-100	218.28
202103-100	199.34
202105-100	137.75
231002001	374.00
231004009	1,729.38
231009001	295.69
Comp Plan-100	36.95
MISC-100	796.18

Project Account Summary

Project Account Key	Payment Amount
Trust-110	1,574.32
Trust-200	72.16
Trust-210	10,229.03
Trust-305	73.47
Grand Total:	<u>144,714.07</u>



City of Ham Lake, MN

EFT Payroll Check Register Report Summary

Pay Period: 8/22/2021-9/4/2021

Packet: PYPKT01196 - PPE 9/4/21 PAID 9/10/21

Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	35	35,917.47
Total	35	35,917.47

12:01 PM

09/15/21

Accrual Basis

CITY OF HAM LAKE-TRUST
MONTHLY CHECK REGISTER
September 2 - 20, 2021

Type	Date	Num	Name Contact	Memo	Amount
Sep 2 - 20, 21					
Check	09/07/2021	5735	MATTHEW LASZLO	8/28/21 LIONS PARK DEPOSIT	-150.00
Check	09/07/2021	5736	PAUL EMMERICH CONSTRUCTION	TURF ESCROW 3644 - 172ND LANE	-2,500.00
Check	09/09/2021	5737	PGM INC	DEMO ESCROW 14334 HWY 65	-30,000.00
Check	09/10/2021	5738	ADVANCED PAINTING CONCEPTS	TURF ESCROW 4656 - 144TH AVE	-2,500.00
Check	09/15/2021	5739	WILLIAM SJOBECK	9/12/21 HAM LAKE PARK DEPOSIT	-150.00
Check	09/15/2021	5740	JAKE SLAUGHTER	09/11/21 LIONS PARK DEPOSIT	-150.00
Check	09/20/2021	5741	JEFFREY ENSTMINGER	COON CREEK COMM BOND	-30,980.39
Sep 2 - 20, 21					-66,430.39

Meeting Date: September 20, 2021



CITY OF HAM LAKE

MEMO

To: Mayor and Councilmembers
Denise Webster, City Administrator

From: Andrea Worcester, Finance/HR Director

Subject: Preparing Assessment Roll and Scheduling Public Hearing for Street Light Billing

Introduction:

On February 1, 2021 City Council approved the new contract with Ham Lake Haulers. This contract took away using them as our third party billers for Street Lights. This was done due to the complicated process to reconcile the billings and accounts. The last billing completed by Ham Lake Haulers was in July and it was for the months of August through October. Upon closing out our accounts with Ham Lake Haulers on September 13, 2021, there was a past due total of \$1,796.19. Any payments received by Ham Lake Haulers after September 13th will be refunded to the payee.

Going forward, Street Lights are now going to be assessed on a yearly basis to properties in developments with street light clauses in the Development Agreement. The 2022 assessment for street lights will be \$52.50, which includes November and December of 2021 and all of 2022 at a rate of \$3.75 per month. Any accounts with past due amounts from the Ham Lake Hauler accounts will be added to the \$52.50.

In order to assess to properties, a public hearing will need to be scheduled as well as ordering of an assessment roll. City staff is proposing to schedule a public hearing on October 4, 2021 at 6:02 in order to give residences time to prepay the assessment by November 15, 2021, if they choose.

Recommendation:

Approve the Resolution Ordering Preparation of Assessment Roll and Scheduling a Public Hearing for Street Light Billing.

RESOLUTION NO. 21-XX

CITY OF HAM LAKE

RESOLUTION ORDERING THE FINANCE DIRECTOR TO PREPARE AN ASSESSMENT ROLL AND SCHEDULE A PUBLIC HEARING TO ASSESS FOR DELINQUENT AND 2021/2022 STREET LIGHTING FEES

WHEREAS, the Finance Director will prepare and send public hearing notices for the proposed assessment of Delinquent Street Lighting Fees and 2021/2022 Street Lighting Fees, and

WHEREAS, each property owner shall have an opportunity to present their account at a public hearing to be scheduled for **October 4, 2021 at 6:02 pm**.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HAM LAKE, MINNESOTA:

1. The Finance Director is hereby directed to prepare an assessment roll and public hearing notices for Delinquent Street Lighting Fees based off of the account receivable report as of September 13, 2021 from the Ham Lake Haulers as well as the Street Lighting Fees for November and December of 2021 and all of 2022. This assessment roll be on file with the Finance Department for public inspection. The final assessment roll will be presented to Council for approval following the public hearing.
2. The Finance Director will hereby be directed to cause a notice of hearing on the proposed assessment to be published once in the official newspaper at least two weeks prior to the hearing.
3. A hearing shall be held on October 4, 2021 in the City Hall at 6:02 p.m. to pass upon such proposed assessment and at such time and place all persons owning property affected by such improvement will be given an opportunity to be heard with reference to such assessment.

Adopted by the City Council of the City of Ham Lake this 20th day of September, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

Meeting Date: September 20, 2021



***CITY OF HAM LAKE
STAFF REPORT***

To: Mayor and Councilmembers

From: Dawnette Shimek, Deputy City Clerk

Item/Title/Subject: Approval of a Resolution rescinding Resolution No. 20-34 and adoption of a Resolution accepting the assessment roll and scheduling the public hearing for the improvement of 155th Avenue NE from Naples Street NE to Lexington Avenue NE.

Introduction/Discussion:

Resolution No. 20-34 was approved by the City Council on October 19, 2020 ordering the preparation of the assessment roll for the reconstruction of 155th Avenue NE from Naples Street NE to Lexington Avenue NE. Due to the delay in the project and it not being accepted until March 1, 2021 by the City Council, Resolution No. 20-34 will need to be rescinded and an updated Resolution needs to be adopted.

Recommendation: Approval of a Resolution rescinding Resolution No. 20-34 and adoption of a Resolution accepting the assessment roll and scheduling the public hearing for the improvement of 155th Avenue NE from Naples Street NE to Lexington Avenue NE project.

RESOLUTION NO. 21-XX

Rescinding Resolution No. 20-34

WHEREAS, a contract was let (costs have been determined) for the reconstruction of 155th Avenue NE from Naples Street NE to Lexington Avenue NE, and the contract price for such improvement is \$1,292,225.50.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HAM LAKE, MINNESOTA:

1. The portion of the cost to be assessed against benefited property owners is declared to be \$576,000.00.
2. Assessments shall be payable in equal annual installments extending over a period of 20 years, the first of the installment to be payable on or before the first Monday in January, 2022, and shall bear interest at the rate of 0.25 percent per annum from the date of adoption of the assessment resolution.
3. The City Clerk, with the assistance of the City Engineer shall forthwith calculate the proper amount to be specially assessed for such improvement against every assessable lot, piece or parcel of land with the district affected, without regard to cash valuation, as provided by law, and he shall file a copy of such proposed assessment in his office for public inspection.
4. The clerk shall upon the completion of such proposed assessment, notify the Council thereof.

Adopted by the City Council of the City of Ham Lake this 20th day of September, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

RESOLUTION NO. 20-34

WHEREAS, a contract was let (costs have been determined) for the reconstruction of 155th Avenue NE from Naples Street NE to Lexington Avenue NE, and the contract price for such improvement is \$1,234,738.69.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HAM LAKE, MINNESOTA:

1. The portion of the cost to be assessed against benefited property owners is declared to be \$576,000.00.
2. Assessments shall be payable in equal annual installments extending over a period of 20 years, the first of the installment to be payable on or before the first Monday in January, 2021, and shall bear interest at the rate of 0.25 percent per annum from the date of adoption of the assessment resolution.
3. The City Clerk, with the assistance of the City Engineer shall forthwith calculate the proper amount to be specially assessed for such improvement against every assessable lot, piece or parcel of land with the district affected, without regard to cash valuation, as provided by law, and he shall file a copy of such proposed assessment in his office for public inspection.
4. The clerk shall upon the completion of such proposed assessment, notify the Council thereof.

Adopted by the City Council of the City of Ham Lake this 19th day of October, 2020.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

RESOLUTION NO. 21-XX

WHEREAS, by a Resolution passed by the Council on October 19, 2020, the City Clerk was directed to prepare a proposed assessment of the cost of the reconstruction of 155th Avenue NE from Naples Street NE to Lexington Avenue NE.

AND WHEREAS; the Clerk has notified the Council that such proposed assessment has been completed and filed in her office for public inspection,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HAM LAKE, MINNESOTA:

1. A hearing shall be held on the October 4, 2021, in the City Hall at 6:01 p.m. to pass upon such proposed assessment and at such time and place all persons owning property affected by such improvement will be given an opportunity to be heard with reference to such assessment.
2. The City Clerk is hereby directed to cause a notice of the hearing on the proposed assessment to be published once in the official newspaper at least two weeks prior to the hearing, and the Clerk shall state in the notice the total cost of the improvement. The City Clerk shall also cause mailed notice to be given to the owner of each parcel described in the assessment roll not less than two weeks prior to the hearings.
3. The owner of any property so assessed may, at any time prior to certification of the assessment to the county auditor, pay the whole of the assessment on such property, with interest accrued to the date of payment, to the City Clerk, except that no interest shall be charged if the entire assessment is paid within 30 days from the adoption of the assessment. They may at any time thereafter, pay to the City Clerk the entire amount of the assessment remaining unpaid, with interest accrued to December 31 of the year in which such payment is made. Such payment must be made before November 15 or interest will be charged through December 31 of the succeeding year.

Adopted by the City Council of the City of Ham Lake this 20th day of September, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

CITY OF HAM LAKE
FUND # XXXXX
155th Avenue Street Project

PIN	PIN ADDRESS	Total Assessments	Active	Deferred	GRAND	Deferred	Active	Total	1st	2nd - 19th	Last	2022		2023		2024		2025		2026		20	
					TOTAL	Assessment	Assessment	Interest	Installment	Installment	Installment	P	I	P	I	P	I	P	I	P	I	P	
23-32-23-11-0007	4005 155th Ave Ne		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-12-0004	3959 155th Ave Ne		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-12-0005	3949 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-13-0002	4002 155th Ave Ne		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-13-0003	3958 155th Ave Ne		5	1	4	\$ 80,433.02	\$ 64,000.00	\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98
23-32-23-14-0002	UNASSIGNED ADDRESS		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-14-0003	4012 155TH AVE NE		2	1	1	\$ 32,433.02	\$ 16,000.00	\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98
23-32-23-21-0003	3715 155th Ave Ne		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-21-0004	3751 155th Ave Ne		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-21-0005	3631 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-23-0001	UNASSIGNED ADDRESS		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-24-0011	3658 155th Ave Ne		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-24-0012	3752 155th Ave Ne		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-24-0014	3728 155th Ave Ne		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
23-32-23-24-0015	3714 155th Ave Ne		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-21-0002	15510 LEXINGTON AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-21-0003	4545 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-21-0007	4411 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-21-0008	4515 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-21-0015	4451 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-21-0016	4441 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-22-0003	4325 155TH AVE NE		2	1	1	\$ 32,433.02	\$ 16,000.00	\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98
24-32-23-22-0004	UNASSIGNED ADDRESS		2	1	1	\$ 32,433.02	\$ 16,000.00	\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98
24-32-23-23-0002	UNASSIGNED ADDRESS		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-23-0006	4218 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-23-0007	4234 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-24-0002	4424 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-24-0008	4530 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
24-32-23-24-0009	4516 155TH AVE NE		1		\$ 16,433.02		\$ 16,000.00	\$ 433.02	\$ 830.81	\$ 821.17	\$ 821.14	\$ 790.79	\$ 40.02	\$ 783.12	\$ 38.05	\$ 785.08	\$ 36.09	\$ 787.04	\$ 34.13	\$ 789.01	\$ 32.16	\$ 790.98	
Total					\$ 588,557.52	\$ 112,000.00	\$ 464,000.00	#####	*The 1st installment amount is based on adopting the assessment on October 4th, 2021 with one year and 88 days interest. The interest rate is 0.25% over 20 years. (LIBOR Rate)														

Memorandum

Date: September 15, 2021
To: Mayor and Councilmembers
From: Tom Collins, City Engineer *TPC*
Subject: Crosstown Business Park

Introduction:

The proposed Trunk Highway 65 East Frontage Road (Chisholm Street / 173rd Lane / Baltimore Street) between Crosstown Boulevard and 171st Avenue, thru the Crosstown Business Park was selected to receive funding from the MnDOT Local Partnership Program for fiscal year 2023 (July 1, 2022 thru June 30, 2023). The MnDOT offer of \$710,000 is the maximum award available for individual projects.

Discussion:

The May 26th grant application was approved at the May 17th City Council meeting. The overall cost estimate for the project is estimated at approximately \$1,620,000, which includes the cost to widen the street section such that pedestrian trails can be constructed in both directions as per the Anoka County Housing & Redevelopment Authority (HRA) funding submittal. The estimated City participation cost of \$910,000, will be paid by Anoka County HRA funding and is also eligible for reimbursement through municipal state aid funds.

Recommendation:

It is recommended that the City Council, by motion, accepts the Local Partnership Program funds in the amount of \$710,000 and authorizes submittal of the attached letter to MnDOT.

September 3, 2021

Tom Collins
City Engineer
13635 Johnson Street NE
Ham Lake, MN 55304

Re: Successful Request for FY 2023 Metro Local Partnership Program Funding
TH 65 access improvements with construction of new frontage road in the City of Ham Lake.
Control Section (CS) # 0208

Dear Mr. Collins,

I am writing to inform you of the decision reached by the Fiscal Year (FY) 2023 Metro Local Partnership Program Selection Committee regarding the above referenced project. Your project was one of those selected from the 11 candidate projects submitted for consideration. The offer is for \$710,000, which includes money for State-funding eligible construction and up to 8% of the eligible construction amount for Construction Engineering.

The award is for TH 65 access improvements with construction of new frontage road. The funds are intended to construct a project as outlined in your proposal and may be used to supplement other applicable state and local funds being applied towards the project.

The referenced funding amount is the total amount of MnDOT Metro Local Partnership Program (LPP) funding available for this project for Fiscal Year 2023. LPP funds can only be used for construction items that can be justified in accordance with the MnDOT Cost Participation Policy. If the cost of eligible items falls below this maximum amount, the funds awarded will be reduced to match the cost of the eligible items. A copy of the MnDOT Cost Participation Policy can be viewed at <http://www.dot.state.mn.us/policy/financial/fm011.html>.

If this funding is accepted by your agency, you will be expected to provide project plans and specifications to my office that conform to the MnDOT Trunk Highway design format. The *Municipal Agreement Program Plan Preparation, Design and Construction Guide* will be useful in project development and can be viewed at <http://www.dot.state.mn.us/metro/stateaid/greenbook2015.pdf>. The project plans and specifications will be reviewed and commented on by MnDOT functional groups and by Central Office. We will provide the LPP process information upon request. All costs for Right-of-Way acquisition, Utility Relocation (as applicable) and Preliminary Engineering are the responsibility of the local agency. In addition, you will be required to request a *Historical/Archeological Review* through the State Aid website: <http://www.dot.state.mn.us/stateaid/environmental-forms.html> (under "Required Forms.")

A Cooperative Construction Agreement will be written by MnDOT's Office of Technical Support and must be fully executed prior to award of the project. To receive the funds, this project must be let by June 30, 2023. After that date the money may be unavailable to our office.

Tom Collin
September 3, 2021
Page 2

Please reply by letter or email by **September 17, 2021** if the City of Ham Lake would like to accept this funding. The written confirmation should include acceptance of the conditions of Right-of-Way, Utility Relocation and Design along with the funding level proposed and a tentative project schedule. If funding is accepted by the City, a project kickoff meeting will be set up before project plan development starts.

If you have any questions about the selection process or funding situation please let me know.

Sincerely,

A handwritten signature in black ink that reads "Justin Attipou". The signature is written in a cursive, flowing style.

Justin Attipou
Local Partnership Project Manager
Metro State Aid

ecopy: Melissa Barnes, MnDOT Area Engineer
Jennifer Wiltgen, MnDOT Area Manager
Ashley Roup, MnDOT Traffic Support Area Manager
Denise Webster, City of Ham Lake

September 21, 2021

Justin Attipou
Cooperative Agreements Project Manager
Minnesota Department of Transportation
1500 W County Road B2
Roseville, Minnesota 55113

Re: Request for FY 2023 Local Partnership Program Funding
TH 65 East Frontage Road between Crosstown Boulevard and 171st Avenue
Control Section (CS) #0208
City of Ham Lake

Dear Mr. Attipou,

The City of Ham Lake accepts Fiscal Year 2023 Local Partnership Program funding of a maximum of \$710,000 for the construction of the Trunk Highway 65 East Frontage Road (Chisholm Street / 173rd Lane / Baltimore Street) between Crosstown Boulevard and 171st Avenue. Reimbursement of funds will take place upon execution of a Cooperative Construction Agreement between MnDOT and the City of Ham Lake. The City accepts the conditions of right-of-way/easement acquisition, utility relocation and design as the responsibility of the City. Thank you for your continued support with the City of Ham Lake efforts to improve the safety and level of service of Highway 65.

Sincerely,

RFC Engineering, Inc.



Tom Collins, P.E.
Ham Lake City Engineer

cc: Denise Webster, City Clerk
cc: Melissa Barnes, MnDOT Area Engineer
cc: Jennifer Witgen, MnDOT Area Manager
cc: Ashley Roup, MnDOT Traffic Support Area Engineer
cc: file 2002.083
cc: 2102 correspondence

Memorandum

Date: September 15, 2021
To: Mayor and Councilmembers
From: Tom Collins, City Engineer *TPC*
Subject: Crosstown Business Park
Construction of Chisholm Street/173rd Lane/Baltimore Street

Introduction:

An application was submitted to MnDOT for Local Partnership Program funding in the amount of their maximum grant of \$710,000 on May 26th. The City Council authorized a funding request to the Anoka County Housing and Redevelopment Authority at the September 6th meeting

Discussion:

The City received notification from MnDOT on September 3rd that the City was offered the \$710,000 request. This offer, which is the maximum amount thru the Program, is for fiscal year 2023 (July 1, 2022 thru June 30, 2023). The City received notification on September 14th that the Anoka County Housing and Redevelopment Authority Management Committee unanimously recommended that the City's funding request, in the amount not to exceed \$1,900,000, be approved by the Anoka County Housing and Redevelopment Authority Board at their September 28th meeting.

Recommendation:

It is recommended that the City Council, by motion, orders the preparation of plans and specifications for construction of Chisholm Street/173rd Lane/Baltimore Street.



Description
 LOT AND INFRASTRUCTURE LAYOUT

Drawn
 TPC

Date
 9/8/21

Project No.
 2002.083

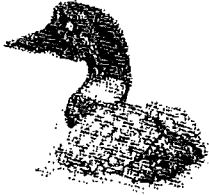
Figure No.
 1

Project
 CROSTOWN BUSINESS PARK

13635 Johnson Street
 Ham Lake, MN 55304
 Voice: 763.862.8000
 Fax: 763.862.8042



Meeting Date: September 20, 2021



CITY OF HAM LAKE

STAFF REPORT

To: Mayor and Councilmembers
From: Denise Webster, City Administrator
Subject: Rate Increase for RFC Engineering

Introduction/Discussion: The Personnel Liaisons, Mayor Van Kirk and Councilmember Doyle, and I discussed the consideration of the request of RFC Engineering for a 3% increase for his staff. It was the consensus of the Personnel Liaisons to approve this request.

Recommendation: The Personnel Liaisons are recommending a 3% increase for RFC Engineering as outlined in the attached memo effective January 1, 2022.

Memorandum

Date: September 14, 2021
To: Denise Webster
From: Tom Collins, City Engineer *TPC*
Subject: Proposed engineering billing rates

Introduction:

The Engineering Service Contract with Ham Lake has a billing rate range for engineering employees that is typically adjusted in the fall. Increased billing rates are proposed for RFC employees, with a uniform increase of 3% proposed per employee. All billing rates include a 2.7 multiplier to hourly rates, which would start January 1, 2022.

Discussion:

RFC employees' current and proposed billing hourly rates, with the 2.7 multiplier, are as follows:

	<u>Present Billing Rate</u>	<u>Proposed Billing Rate</u>
Tom Collins, principal engineer	\$134.51	\$138.56
Dave Krugler, professional engineer	\$123.17	\$126.87
Cindy Adriaens, engineer-in-training	\$ 82.62	\$ 85.10
Luke Zellmer, engineer-in-training	\$ 72.68	\$ 74.87
Kyle DuFrene, engineer-in-training	\$ 72.68	\$ 74.87
Beth Palo, office manager/accountant	\$ 53.95	\$ 55.57

Denise Webster

From: Tom Collins <TCollins@rfcengineering.com>
Sent: Tuesday, September 14, 2021 8:57 AM
To: Dawnette Shimek
Cc: Denise Webster; Jeff Entsminger
Subject: Coon Creek Commercial Park

Caution: This email originated outside our organization; please use caution.

Dawnette,

The City policy is that there is a one-time reduction of performance security. The policy is a 50% reduction after 75% completion. Entsminger Enterprises, LLC posted \$61,650 in cash for the Coon Creek Commercial Park development project. More than 75% of the construction items covered by the performance security have been completed. Approval of reducing the performance security for Coon Creek Commercial Park from \$61,650 to \$30,825 should be placed on the consent agenda of the September 20th City Council meeting. Thanks.

Tom Collins

RFC Engineering, Inc.
13635 Johnson Street
Ham Lake, Minnesota 55304
(763) 862-8000
(763) 862-8042
tcollins@rfcengineering.com

Meeting Date: September 20, 2021

CITY OF HAM LAKE
STAFF REPORT

To: Mayor and Councilmembers
From: Mike Raczkowski, Fire Chief
Item/Title/Subject: Fire Station 3 Architects

Introduction/Discussion:

After discussion with Fire Department liaisons Mayor Van Kirk and Councilmember Kirkham on the preliminary drawing (attached) for Fire Station 3, the consensus was to see about moving forward with the next step and have plans drawn up to get an accurate idea of the cost for this station. The next step would involve hiring Inspire Architects and engineers for Civil, Structural, Mechanical, Electrical, Plumbing, and Fire protection. The cost for these services would be approximately \$75,000 to \$80,000. Each of the recommended companies chosen would have experience in the development and designing of fire stations. Funds for this part of the project would be coming out of the Fire Department Equipment Fund budget.

Recommendation:

To Hire Inspire Architects and their recommended companies and to have a set of plans drawn up for Fire Station 3 at an estimated cost between \$75,000 and \$80,000 for these services.

REVISION	DATE



Inspire Architecture
1500 O'Fallon Drive
Suite 100
Crest Park, MN 55024
952-461-1000
www.inspirearch.com

The information contained herein may not be used or copied in any manner without the written consent of Inspire Architecture.

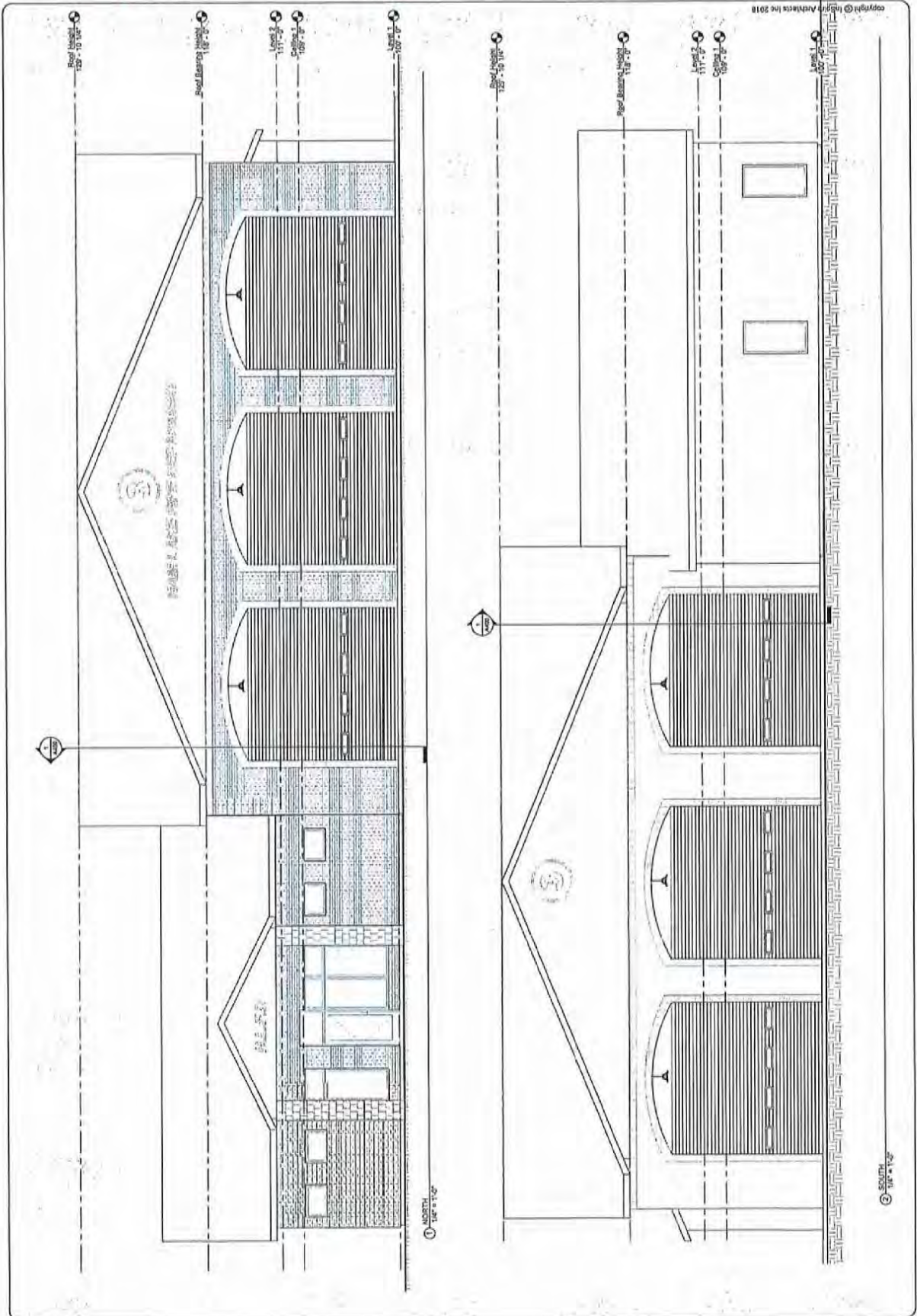
I hereby certify that this report was prepared by me or under my direct supervision and I am a duly Licensed Architect in the State of MN.
 Project Name: Ham Lake Fire Station #3
 Date: 08/23/2018
 Drawing No: A300

CONSTRUCTION

Sheet Title: Exterior Elevations
 Project Name: Ham Lake Fire Station #3
 Location: Ham Lake, MN

Project Number: 2018-02
 Date: 08/23/2018
 Designer: [Blank]
 Checker: [Blank]
 Construction Documents

A300



Copyright © Inspire Architecture Inc 2018

© 2018 Inspire Architecture

REVISION	DATE



INSPIRE ARCHITECTS
 10500 Highway 105
 Suite 105
 Circle Pines MN 55024
 Tel: 612-251-1050
 info@inspirearch.com

The information
 may not be used or copied in
 any manner without the
 written consent of
 Inspire Architects.

I hereby certify that this
 drawing was prepared
 by me or under my
 direct supervision and
 that I am a duly
 Licensed Architect
 in the State of MN.
 Print Name: [Name]
 Signature: [Signature]
 License No: 138442
 Exp: 12/31/2024
 PIN: 43333

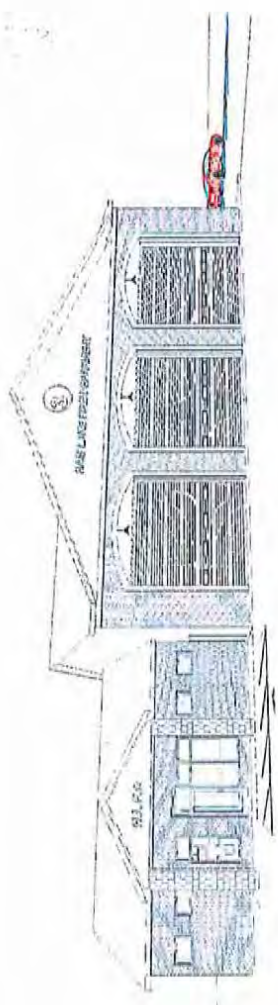
CONSTRUCTION

Sheet Title: **Exterior Elevations**
 Project Name: **Helm Lake Fire Station #3**
 Location: **Helm Lake MN**

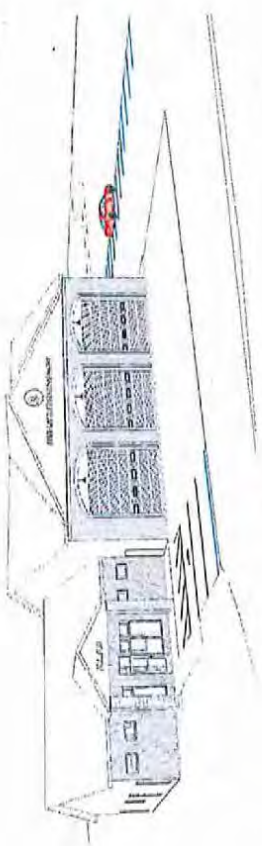
Project Number: 2018-03
 Date: _____
 Drawn by: _____
 Checked by: _____
 Construction Document

A301

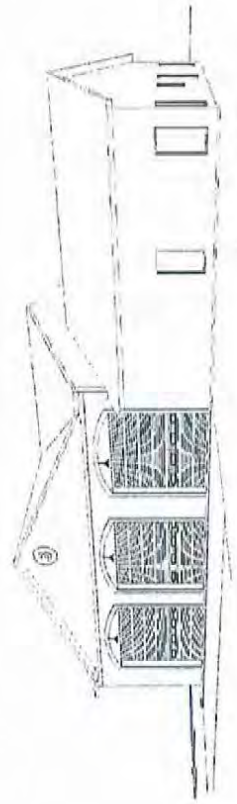
Copyright © Inspire Architects Inc 2018



1 Front



2 Side 1



3 Rear View 1

REVISED	DATE



Inspire Architects
 10000 Grand Ave
 Suite 110
 Circle Pines MN 55024
 Tel: 952-469-1100
 www.inspirearch.com

The information may not be used or copied in any manner without the written consent of Inspire Architects.

I hereby certify that this information was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.

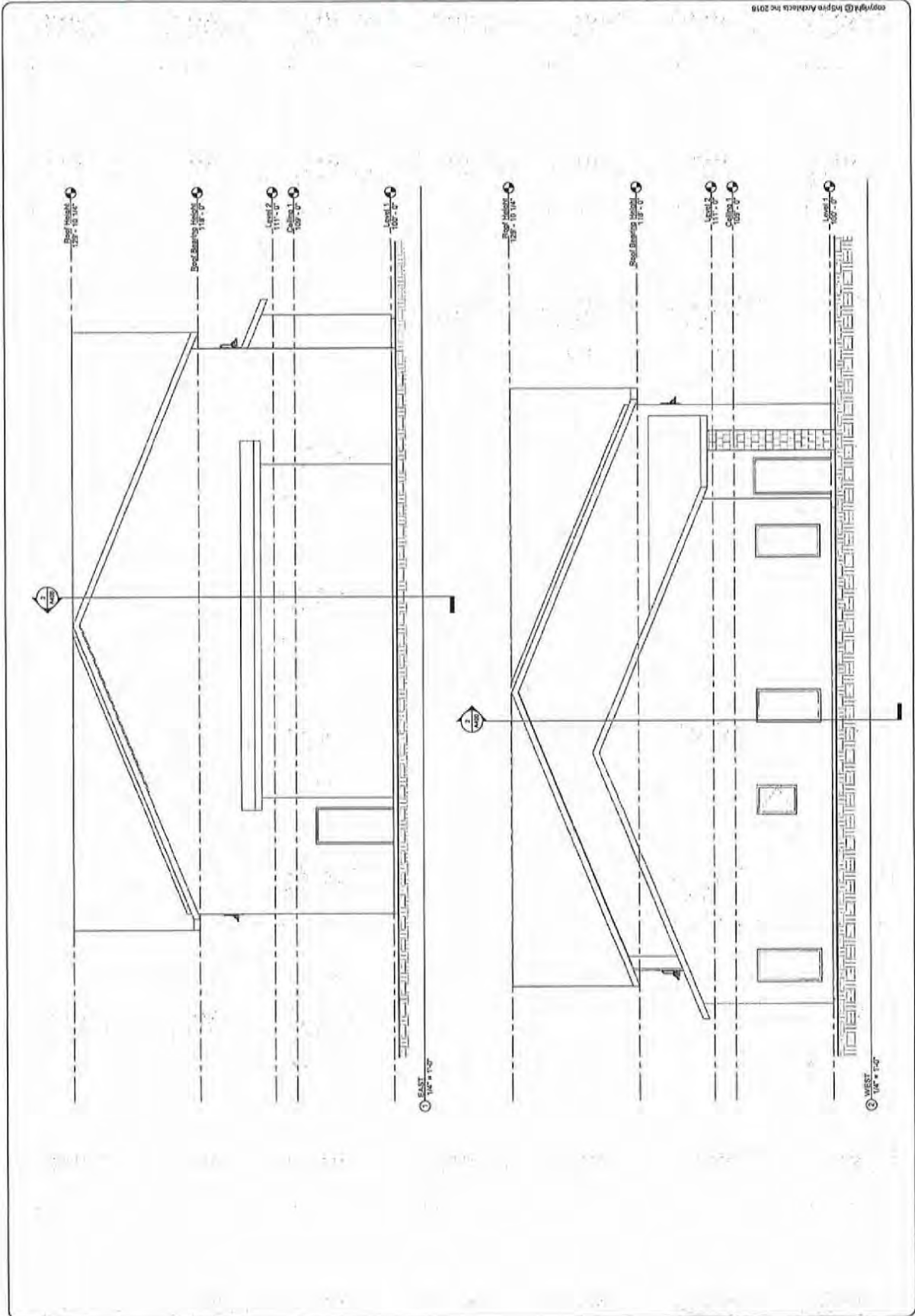
Project Name: Ham Lake Fire Station #3
 Project Number: 2018-02
 Date: 08/28/18
 EA: 44333

Sheet Title: Exterior Elevations
 Project Name: Ham Lake Fire Station #3
 Location: Ham Lake MN

Project Number: 2018-02
 Date: 08/28/18
 Drawn by: BF
 Checked by: JRH
 Construction Documents

A302

Copyright © Inspire Architects Inc 2018



Revised:	date



INSPIRE Architects
 800 University Ave
 Suite 120
 Circle Pines MN 55004
 763-376-8342
 info@inspirearchitect.com

The information on this drawing was prepared by me or under my direct supervision and I, as a Licensed Architect, am responsible for its accuracy and completeness. I hereby certify that this information was prepared by me or under my direct supervision and I, as a Licensed Architect, am responsible for its accuracy and completeness.

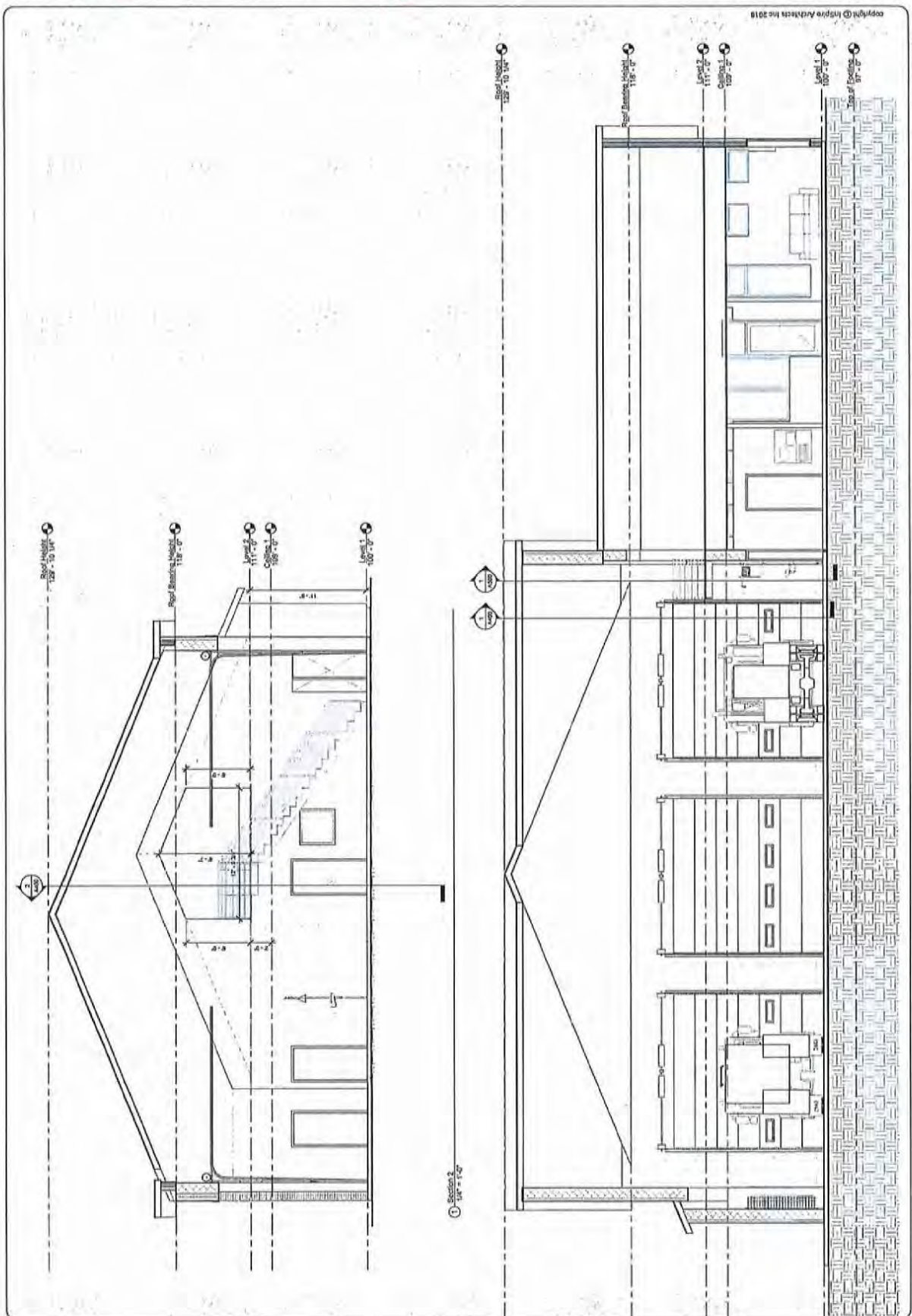
CONSTRUCTION

Project Name: Ham Lake Fire Station #3
 Location: Ham Lake MN

Sheet Title: Building Sections

Project Number: 2017A02
 Date:
 Drawn by:
 Checked by:
 Construction Documents

A400



Copyright © Inspire Architects Inc 2018

REVISED	DATE



INSPIRE ARCHITECTS
 650 Civic Drive
 Suite 100
 Clarksville, TN 37040
 TEL: 615.332.5342
 JAC@InspireArch.com

The information
 not be used or copied in
 any way without the
 written permission of
 Inspire Architects.

I hereby certify that this
 plan, specification,
 or report was prepared
 by me or under my
 direct supervision and
 that I am a duly
 Licensed Architect.
 License Number: 1987
 State of TN
 Print Name: J. Andrew
 Signature: [Signature]
 Date: 08/23/2018
 Scale: 1/8" = 1'-0"
 BNA 0823-2018-50
 A1223

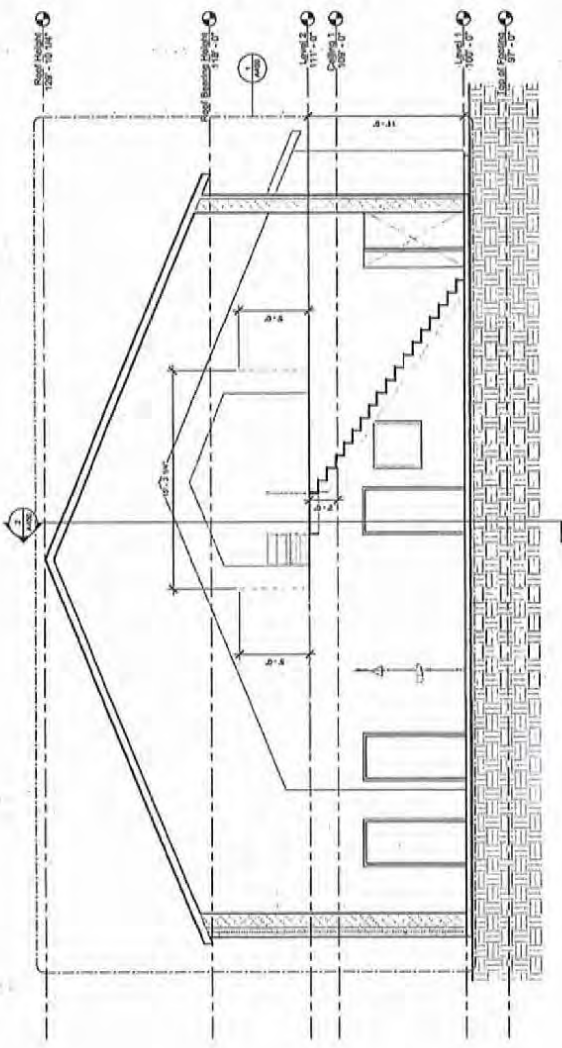
CONSTRUCTION

Sheet Title: Wall Sections
 Project Name: Ham Lake Fire Station #3
 Location: Ham Lake TN

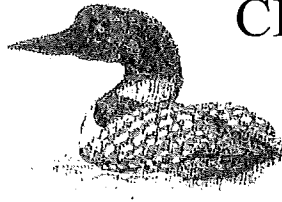
Project Number:	2018-02
Date:	
Drawn by:	Author
Checked by:	Checker
Construction Documents:	

A500

Copyright © Inspire Architects Inc 2018



Section 1
 1/4" = 1'-0"



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, SEPTEMBER 13, 2021

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: August 23, 2021

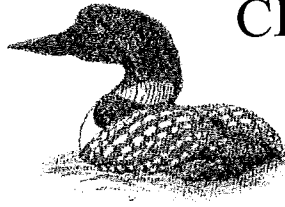
PUBLIC HEARINGS: None

NEW BUSINESS:

1. Keith Evans requesting a Home Occupation Permit to operate 14er Firearms at 16911 Leyte Street NE.
2. Roger and Sue Haugen, S & R Developers LLC, requesting Final Plat approval for Enchanted Estates Third Addition (8 Single Family Residential lots) in Section 14.
3. Jeff Stalberger, HFN Properties, LLC, requesting Final Plat approval for Hidden Forest East Third Addition (35 Single Family Residential lots) in Section 25.
4. Jeff Stalberger, HFN Properties, LLC, requesting Final Plat approval for Hidden Forest East Park Addition (2 Single Family Residential lots) in Section 25.
5. Jeff Stalberger, Crosstown Development LLC, requesting Final Plat approval for Crosstown Rolling Acres Third Addition (49 Single Family Residential Lots) in Section 6.
6. Jeff LaBonne, La Machine Shop, Inc., requesting Commercial Site Plan Approval to construct an addition at 15740 Lincoln Street NE (L2, B1, Ham Lake Industrial Park).

COMMISSION BUSINESS:

1. City Council Update



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, SEPTEMBER 13, 2021

The Ham Lake Planning Commission met for its regular meeting on Monday, September 13, 2021 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Chair Brian Pogalz and Commissioners Kyle Lejonvarn, Dave Ringler, Jonathan Fisher Scott Heaton and Erin Dixon

MEMBERS ABSENT: Commissioner Jeff Entsminger

OTHERS PRESENT: City Engineer, Tom Collins and Building and Zoning Clerk, Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Dixon, seconded by Ringler, to approve the minutes of the August 23, 2021 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING: None

NEW BUSINESS:

Keith Evans requesting a Home Occupation Permit to operate 14er Firearms at 16911 Leyte Street NE.

Mrs. Keith Evans was present representing Keith Evans. Mrs. Evans stated 14er Firearms is a home-based gun dealing business. Mrs. Evans stated all business is conducted on-line. Mrs. Evans stated the business does not have a social media site or website, guns are sold online through hunting/shooting forums and Gunbroker; there will be no signage and no foot traffic. Commissioner Fisher completed the inspection, a copy which is on file. Commissioner Fisher stated he spoke with Mr. Evans via telephone and asked him to send a picture of his office arrangement; the office did have a safe in it. **Motion by Fisher, seconded by Heaton, to recommend approval of a Home Occupation Permit, as requested by Keith Evans, to operate 14er Firearms at 16911 Leyte Street NE, subject to meeting the guidelines for Home Occupation Permits per Article 9-350, no discharging of firearms on-site, obtaining an updated Federal Firearms License and providing a copy of the license to the City within 30 days of**

receipt and meeting all City, State and County requirements. All present in favor, motion carried. *This item will be on the September 20, 2021 City Council Agenda.*

Chair Pogalz stated the agenda item for La Machine Shop Inc. would be reviewed next as representatives were present. Chair Pogalz stated Mr. Stalberger's applications will be reviewed next with item number two, final plat approval for Enchanted Estates Third Addition, being last.

Jeff LaBonne, La Machine Shop, Inc., requesting Commercial Site Plan Approval to construct an addition at 15740 Lincoln Street NE (Lot 2, Block 1, Ham Lake Industrial Park).

Mr. Jeff LaBonne, owner, and Mr. Roger Johnson, architect, were present. Mr. Johnson stated the business would like to add 689 square feet of office space to the southeast corner of the existing building to give current office employees more work space; there will be no change to employment. Mr. Johnson displayed the site plan to show where the addition would be added to the building and to show where parking modifications were going to be made. Commissioner Heaton completed the inspection, a copy which is on file. Commissioner Heaton stated the building consists of office space and shop space; there is one issue to be addressed related to meeting Minnesota State Fire Code fire access road requirements. Engineer Collins stated Minnesota State Fire Code, Section 503.1.1, requires fire apparatus access roads that extend within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building; currently this requirement cannot be met on this parcel. Engineer Collins stated options on how to resolve this issue were presented to Mr. LaBonne; Mr. LaBonne is working on an agreement with the owner of the neighboring property at 15760 Lincoln Street NE to obtain a private access easement to La Machine Shop's building via the asphalt drive on the southern portion of their property, that remains accessible and available to the fire department's emergency equipment; this agreement will need to be recorded with Anoka County when it is complete. **Motion by Heaton, seconded by Fisher, to recommend approval of the Commercial Site Plan to construct a 689 square foot addition to the building at 15740 Lincoln Street NE (Lot 2, Block 1, Ham Lake Industrial Park) as presented by Jeff LaBonne, subject to providing proof that a private access easement with the neighboring property at 15760 Lincoln Street NE has been recorded with Anoka County, meeting the requirements of the City Building Official, and meeting all City, State and County requirements. All present in favor, motion carried.** *This item will be placed on the September 20, 2021 City Council Agenda.*

Jeff Stalberger, HFN Properties, LLC, requesting Final Plat approval for Hidden Forest East Third Addition (35 Single Family Residential Lots) in Section 25.

Mr. Jeff Stalberger was present. Mr. Stalberger stated there will be thirty-five residential lots in the development instead of thirty-eight. Mr. Stalberger stated he has a purchase agreement for the 40 acres to the north; Outlot A has been created in the northeast corner of the plat so that Stutz Street NE could be extended to the north and then to the west out to Lexington Avenue NE when he develops the fourth addition of Hidden Forest East for another point of access to and from the Hidden Forest East developments. Mr. Stalberger stated some easements will also need to be vacated. Engineer Collins stated

the city requires Outlot A be combined with the adjacent property to the north. Engineer Collins stated the easement vacation Mr. Stalberger referenced is a cul-de-sac in the south, southwest portion of Hidden Forest East Second Addition; exhibits that show where utilities are located in that area are needed. Engineer Collins stated FEMA Letters of Map Amendment (LOMA) are needed for Lots 3-5 and 8-9 of Block 1 and Lots 1 and 2 of Block 2; no building permits can be issued on those lots until the LOMA's are received. Engineer Collins stated no parkland was dedicated with this plat; the Hidden Forest East Park Addition plat includes parkland to satisfy the parkland requirement for the Hidden Forest East Third Addition plat. Mr. Stalberger stated he would like to discuss combining Outlot A with adjacent property further. Chair Pogalz asked if the motion needed to contain a condition stating Outlot A was to be combined with adjacent property. Engineer Collins stated it was not necessary as it will be addressed in the development agreement. Chair Pogalz asked Mr. Stalberger for an update related to the grievances residents expressed during the preliminary plat public hearing for this development. Mr. Stalberger stated things are better; he hasn't received any additional complaints. Mr. Stalberger stated the residents that attended the Planning Commission meeting did not attend the following City Council meeting. Mr. Stalberger stated he has put up a large sign reminding people to slow down and contractors to clean up any debris they create. The Planning Commissioners thanked Mr. Stalberger for addressing the residents' concerns. **Motion by Pogalz to recommend approval of the Final Plat of Hidden Forest East Third Addition, 35 Single Family Residential lots, in Section 25 as presented by HFN Properties, LLC, meeting the requirements of the City Engineer and meeting all City, State and County requirements.** There was discussion related to combining Outlot A with an adjacent property; it was determined the outlot matter would be addressed in the development agreement. **The motion was seconded by Lejonvarn. All present in favor, motion carried.** *This item will be placed on the September 20, 2021 City Council Agenda.*

Jeff Stalberger, HFN Properties, LLC, requesting Final Plat approval for Hidden Forest East Park Addition (2 Single Family Residential Lots) in Section 25.

Mr. Stalberger stated this plat has two single family residential lots and a park. Mr. Stalberger stated he is dedicating some parkland and the City is purchasing some additional land for the park. Engineer Collins stated the Final Plat conforms to the Preliminary Plat approved by the City Council on July 6, 2021. Engineer Collins stated the development dedicates 27.12 acres of parkland of which 16.48 acres is upland; the parkland dedication was coordinated with the adjacent developments of Hidden Forest East, Hidden Forest East Second Addition and Hidden Forest East Third Addition. Engineer Collins stated a license agreement is required for Lot 2 as the driveway crosses a drainage and utility easement. **Motion by Lejonvarn, seconded by Fisher, to recommend approval of the Final Plat of Hidden Forest East Park Addition, 2 Single Family Residential lots and a park, in Section 25 as presented by HFN Properties, LLC, filing a license agreement for Lot 2, meeting the requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried.** *This item will be placed on the September 20, 2021 City Council Agenda.*

Jeff Stalberger, Crosstown Development, LLC, requesting Final Plat approval for Crosstown Rolling Acres Third Addition (49 Single Family Residential Lots) in Section 6. Mr. Stalberger stated this plat has two separate sections west of Polk Street NE, one section consists of twelve lots and the other section has thirty-seven. Mr. Stalberger stated this addition contains the parkland dedicated with the Crosstown Rolling Acres developments. Mr. Stalberger stated there are three outlots in the southwesterly portion of the development which will be combined with neighboring parcels to the south; new paved access onto the street or highway will be done at no expense to those homeowners. Engineer Collins stated there were no changes to the plans since Preliminary Plat approval. Engineer Collins stated Mr. Stalberger will need to convey the fee title of the outlots to be combined with properties to the south of the development to the property owners who own the adjacent property to the south; this conveyance will need to be recorded with Anoka County after the plat is recorded and before any building permits can be issued. **Motion by Pogalz, seconded by Fisher, to recommend approval of the Final Plat of Crosstown Rolling Acres Third Addition, 49 Single Family Residential lots in Section 6, as presented by Crosstown Development, LLC, meeting the requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. This item will be placed on the September 20, 2021 City Council Agenda.**

Roger and Sue Haugen, S & R Developers, LLC, requesting Final Plat approval for Enchanted Estates Third Addition (8 Single Family Residential lots) in Section 14. No one was present to represent the applicants. Engineer Collins stated the Final Plat is the exact same lot configuration as the Preliminary Plat that was presented and approved at the June 21, 2021 City Council meeting. Engineer Collins stated the plat had some encroachments within a conservation easement but the applicant's engineering firm was able to revise the plans to meet livability requirements. Engineer Collins stated parkland dedication requirements were addressed in 2003 and will be included in the development agreement, the infrastructure is in place and Coon Creek Watershed District has approved and issued a permit. Engineer Collins stated a license agreement is needed for Lot 1, Block 2 due to a septic line crossing a drainage and utility easement. **Motion by Pogalz, seconded by Heaton, to recommend approval of the Final Plat of Enchanted Estates Third Addition, 8 Single Family Residential lots in Section 14, as presented by S & R Developers, LLC, subject to meeting the requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. This item will be placed on the September 20, 2021 City Council Agenda.**

COMMISSION BUSINESS:

City Council Update

Commissioner Heaton attended the August 23, 2021 City Council meeting; the City Council concurred with the recommendations of the Planning Commission. Chair Pogalz will attend the September 20, 2021 City Council meeting.

ADJOURNMENT:

Motion by Heaton, seconded by Ringler, to adjourn the Planning Commission meeting at 6:41 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 7/21/2021

Date of Receipt 7-27-21
Receipt # 90358

Meeting Appearance Dates:
Planning Commission 9-13-21

City Council 9-20-2021

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Private Kennel License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: 14er Firearms

Address/Location of property: 16911 Leyte St. NE, Ham Lake, MN, 55304

Legal Description of property: Lot 10 Block 2 Fox Run 4th ADD

PIN # 10-32-23-14-0027 Current Zoning R-1 Proposed Zoning -

Notes: _____

Applicant's Name: Keith Evans

Business Name: 14er Firearms

Address 16911 Leyte St. NE

City Ham Lake State MN Zip Code 55304

Phone 936-777-5050 Cell Phone 936-777-5050 Fax _____

Email address 14er Firearms@gmail.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 7/21/2021

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 9-13-2021
City Council _____

PROPERTY TAXES CURRENT YES NO

14er Firearms

I have been an FFL holder for approximately three years under the DBA of 14er Firearms. My business is buying and reselling used firearms with a focus on high end custom bolt action rifles. I do NOT do any face-to-face transactions whatsoever, therefor I never have any foot traffic at my home nor any signage, advertising, etc. I do not maintain a website nor a Facebook page with business information and the only place my address is listed is on publicly available ATF documents of federal firearms licensees. I sell firearms strictly online through online hunting/shooting forums as well as Gunbroker (think of eBay, but for firearms). ALL firearms I sell are shipped to other FFL holders where they perform background checks prior to giving the firearm to the purchaser. While my license gives me the ability, I choose not to conduct any background checks or inbound firearms transfers. I do not maintain an active inventory of firearms related to my business, the typical process is that I receive a firearm I purchased and within a week I will list it online for sale with a 7 day auction, so the vast majority of guns are in my possession for under a month. As previously mentioned, I focus on high end custom guns, therefor my volumes are very low and some months I won't buy or sell any at all.

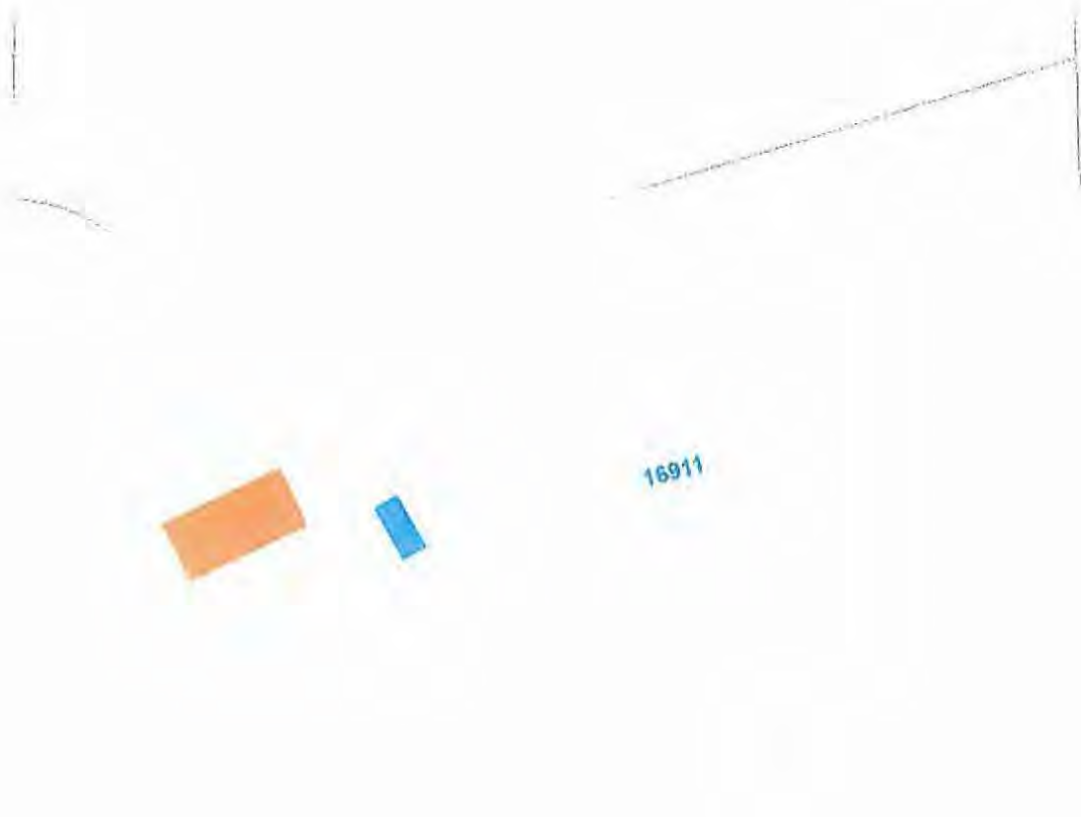
I am requesting that you allow my business to process through the town hall meeting on Monday 08/23/2021 so that I can obtain approval to begin the transfer of my license through the ATF. I cannot begin this process with the ATF until I have approval for my Home Occupation Permit from the City.

Being that my business is conducted in its entirety as online only, I will not hold any business hours at my residence. Firearms are acquired and disposed of legally via USPS, UPS and FedEx shipping methods (each carrier has its own requirements regarding the shipment of firearms and/or ammunition, all of which are adhered to). When firearms are received they are immediately logged into my ATF's Acquisition & Disposition log and then placed into one of my locked safes to prevent any unwanted access by children or intruders.

Thank you for your consideration,

Keith Evans

Keith Evans



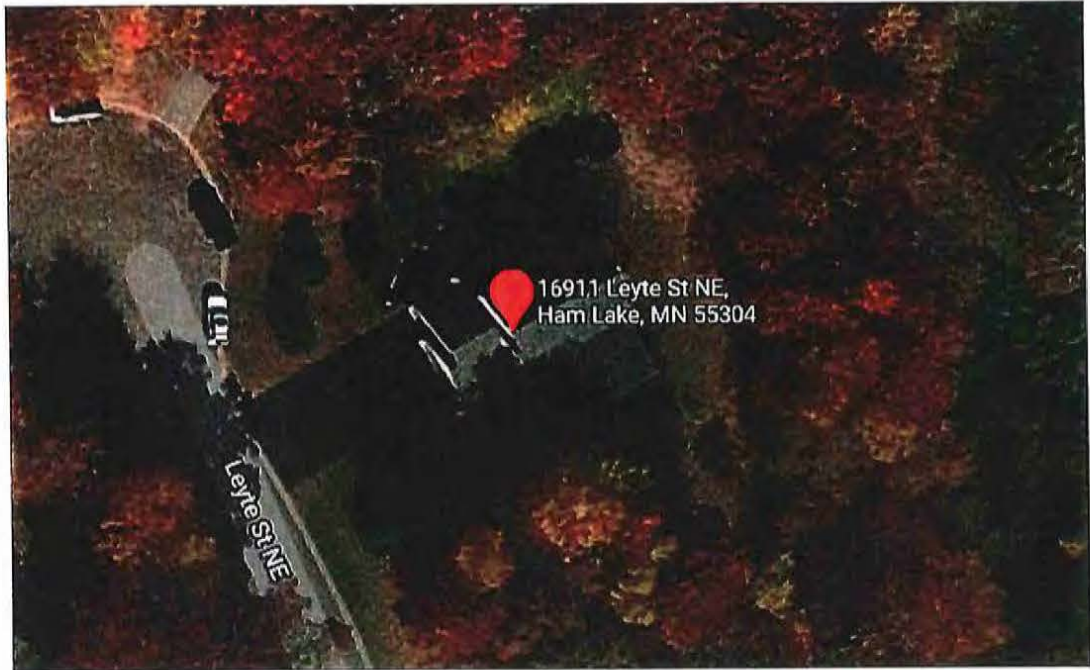
GIS Map of 16911 Leyte St NE, Ham Lake, MN 55304

Home is approximately 2,964 square feet. Business would be conducted in the home office (noted in photo as the blue rectangle) which consists of roughly 100 square feet. Driveway/parking is shown in orange.

14er Firearms Application for Home Occupation Permit – detailed illustration of property

Note: The property is roughly 55,000 square feet (1.27 acres) and the home itself is 2,964 square feet. This is a view of the main floor only. All business will take place in the dedicated home office which is approximately 100 square feet.





9-350 Home Occupation Permits

A *Home Occupation* is a for-profit enterprise carried on in a residential dwelling, which meets the criteria specified below. A *Home Occupation* permit may be issued by the City Council after review and recommendation by the *Planning Commission*, and subject to any conditions imposed by the City Council. A *Home Occupation* permit may be revoked by the City Council, after affording due process of law to the applicant, if the conditions of issuance or any other ordinance feature are violated.

9-350.1 Criteria The following criteria must be observed for any usage to qualify for a Home Occupation Permit.

- a) **Incidental Usage** The usage must be clearly incidental and subservient to the usage of the premises as a dwelling, and may not occupy a significant portion of the dwelling unit living space;
- b) **Indoors** All activities must be carried on indoors. No outside storage, except the parking of motor vehicles, shall be permitted;
- c) **Parking** No on-street parking shall be generated, and no more than a total of four passenger motor vehicles may be parked at the premises in conjunction with the occupation, including employee and customer parking. All parking shall be on paved surfaces;
- d) **Employees** No more than one employee who does not live at the residence shall be permitted;
- e) **Traffic** The activity may not generate any traffic in excess of that normally generated by a residential dwelling unit;
- f) **Nuisance and Compliance** The usage shall not generate any nuisance, and the landowner shall at all times be compliant with all other municipal codes, and the regulations of all other jurisdictions;

9-350.2 Annual Review All *Home Occupation* permits shall be reviewed annually by the City Staff, and shall automatically be renewed unless complaints have been received, in which case the permit shall be re-submitted to the *Planning Commission* for review and recommendation to the City Council.

9-350.3 Special Home Occupation Permits A party desiring to conduct a Home Occupation in a Garage or Accessory Building under conditions meeting the remaining requirements of Article 9-350 may apply for a Special Home Occupation Permit under the following procedure:

- a) The applicant shall submit a site plan drawn to scale showing the locations and dimensions of all buildings and driveways on the premises, and identifying the location where the Home Occupation activity will take place.

b) The applicant shall submit a narrative in sufficient detail to describe all aspects of the activity to be conducted and the locations of all such activity.

c) The Planning Commission shall conduct a Public Hearing on the proposed application, with mailed notice to all resident whose property lines come within 750 feet of the property lines of the applicant's lot, and published notice at least ten days prior to the hearing.

d) Following the Public Hearing, the Planning Commission shall make recommendations to the City Council, including such conditions as are deemed appropriate.

Notwithstanding any provision in Article 9-350.1 (a) to the contrary, a Special Home Occupation shall be mainly confined to the Garage or Accessory Building. A Special Home Occupation Permit shall be subject to the same provisions for revocation as Home Occupation Permits. In addition, notwithstanding any provision in Article 9-350.1 to the contrary, a Special Home Occupation may include uses that are normally not found in residential dwellings, as long as there are no obvious outward indicia of the activities being carried on under the Special Home Occupation Permit, no noise generated which is audible to nearby properties, no odor or vibration generated that is detectable to nearby properties, no outside storage which is visible from nearby properties or public ways and no customer traffic.

Special Home Occupations may involve up to one commercial delivery/pickup by outside delivery service van (such as UPS or Federal Express) or postal vehicle per day. Deliveries of goods produced at the site may be limited in scope and frequency by the approval process, including specifying the type of delivery vehicles that can be used, and including prohibition on commercial logos being displayed on delivery vehicles.



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE
Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application August 9, 2021

Date of Receipt 8-9-2021

Receipt # 90437

Meeting Appearance Dates:

Planning Commission Sept 13, 2021 City Council 9-20-2021

Please check request(s):

- | | |
|---|--|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input checked="" type="checkbox"/> Commercial Building Permit |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other _____ |

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: La Machine Shop

Address/Location of property: 15740 Lincoln St. NE

Legal Description of property: Lot 2, Block 1, Ham Lake Industrial Park

PIN # _____ Current Zoning IP Proposed Zoning IP

Notes: No change in use or zoning.

Applicant's Name: Jeff LaBonne

Business Name: La Machine Shop

Address 15740 Lincoln St. NE

City Ham Lake State MN Zip Code 55304

Phone (763) 434-6108 Cell Phone _____ Fax (763) 434-6188

Email address jeff@lamachineshop.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Jeff LaBonne DATE 8/9/2021

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 9-13-2021
City Council _____

PROPERTY TAXES CURRENT (YES) NO

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: La Machine Shop, Inc., requesting a 689 Square foot Addition at 15740 Lincoln Street NE

Introduction/Discussion:

La Machine Shop is a Family Owned Precision Machine shop located at 15740 Lincoln Street NE, in the Ham Lake Industrial Park First Addition. La Machine is not adding additional employees, but are wanting to provide a larger working space for existing employees. An addition of 689 square feet will be added to the southeast corner to the existing building, and the existing office area will be remodeled to increase office space. The properties fire access requires compliance with current regulations in the interests of furthering public health, welfare and safety. The 150-foot fire apparatus access road requirements of Section 503.1.1 of the Minnesota State Fire Code are currently not being met. A private access easement with the neighboring property to the north (15760 Lincoln Street NE) for a fire access for the Fire Department would need to be obtained and filed with Anoka County.

Section 503.1.1

Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45,720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Exception: Fire apparatus access roads need not be provided where there are two or fewer Group R-3 or Group U occupancy buildings. 503.1.1.1 Increases allowed. The 150-foot distance shall be permitted to be increased for the following:

- 1. When the building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2, or 903.3.1.3.*
- 2. For Group R occupancies equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2, or 903.3.1.3, the fire apparatus access road shall extend to within 600 feet (183 m).*
- 3. Where fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades, or other similar conditions, and an approved alternative means of fire protection is provided, the fire apparatus access road shall extend to within 300 feet (91.4 m).*

Recommendation:

I recommend approving La Machine Shop's construction of a 689 square foot addition as presented with the addition of the following requirement: Prior to issuance of a building permit, La Machine Shop, Inc., will be required to show proof that an easement has been record with Anoka County for a private access easement with the neighboring property located at 15760 Lincoln Street NE to ensure the access to their building remains accessible and available to the fire department's emergency equipment.

August 9, 2021

Ms. Jennifer Bohr
Zoning and Building Clerk/Deputy City Clerk
15544 Central Ave NE
Ham Lake, MN 55304

RE: LaMachine Shop, 15740 Lincoln St.

Tom LaBonne started his Machine Shop in the 1970's in Cedar, and then as a member of the Ham Lake Development Committee, he was one of the first to build his new shop in the Ham Lake Industrial Park in 1982. In 1991 he added another 7,200 SF, doubling the size of the shop, but not the offices. (See sheets 2 & 3)

The business has grown and is now managed by his four children on the same site without interruption.

The current project is to expand the much-needed office space. Six office staff occupy 840 SF, for an average of 140 SF, when the national average is 250 SF. The addition of 689 SF is only 5% of the total building, but will bring the average space for office staff to approximately 255 SF per person. (See sheets 5 & 6)

The expansion will eliminate three parking spaces, and the proposed project will project will add four spaces for net gain of one parking space. While there are no plans to change the number of employees, 35 total at this time, this will add one more guest parking space. (See Sheet 4)

Stormwater runoff will be unchanged by the addition of approximately 3% more asphalt. After the addition, the impervious surface total of 37,953 SF will only be 36% of the 2.39-acre site.

Traffic to and from the site will be unchanged. The driveway access will remain as-is, and there will be no increase in employees.

Ms. Jennifer Bohr

August 9, 2021

Page 2

Sewage treatment is currently handled by the original (2) 1,500-gallon septic tanks and 1,000 SF of drain field on the east. This originally handled three water closets, one urinal, and three sinks. With the 1991 addition, two water closets, one urinal, and two sinks were eliminated to make more space in the office area. One water closet and one sink would remain on that system. At the same time, four water closets, one urinal, and three sinks were added along with a second septic system to the west as part of the 1991 addition. The proposed plan will add one hand sink at the coffee bar in the office area, and bring the current single toilet into ADA compliance. The current systems are functioning properly.

(See Sheets 2 & 3)

The proposed addition will include an entrance canopy to call attention to the guest entry and provide some protection from the elements. This will enhance the "entry experience". The addition will be constructed of similar materials as the existing building. We will match the existing decorative block and the paint colors. (See Sheets 7 & 8)

The proposed project will eliminate one dogwood and two cedar trees which will be replaced and augmented by new plantings in the entry area,

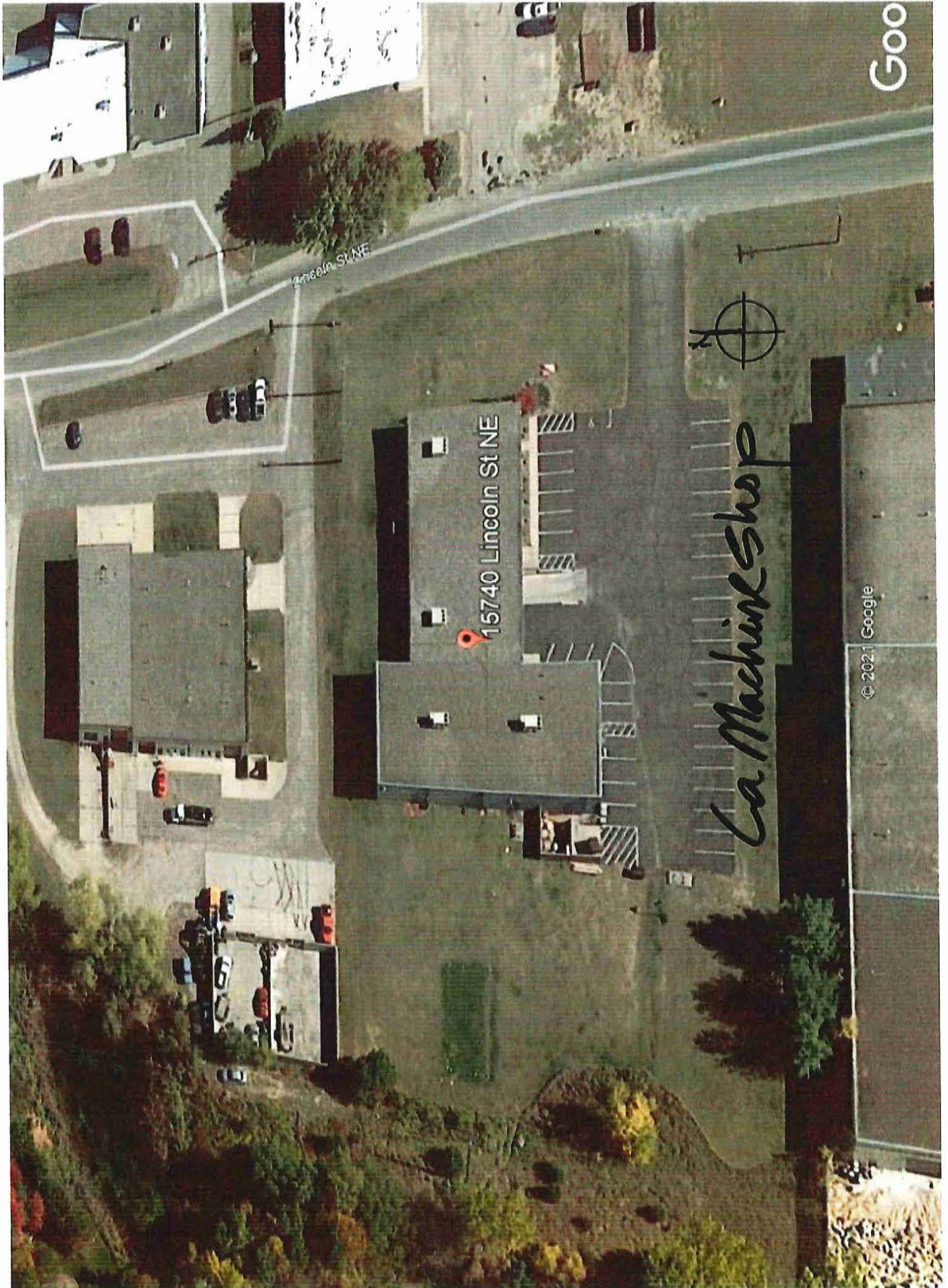
Based on the above statement, we respectfully request an exception to the Planning Commission and City Council review process per Ham Lake City Code, Article 9, Section 9-220 Mercantile Districts, (copy attached for your convenience.)

Sincerely,



Roger J. Johnson, Architect

cc: Jeff LaBonne
Broadview Builders



Sheela St NE

15740 Lincoln St NE



La. Machine Shop

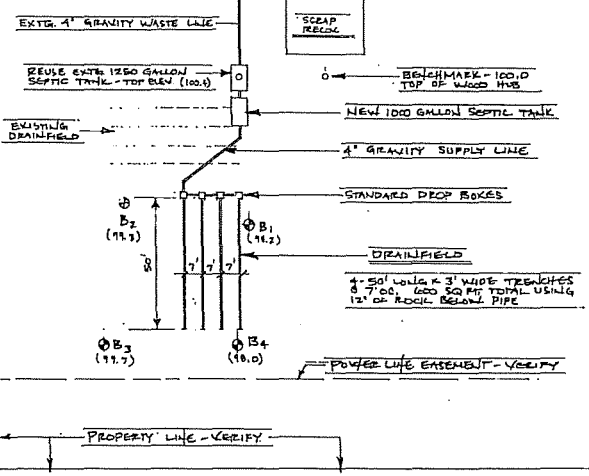
© 2021 Google

Goo

ORIGINAL BUILDING

NEWER BUILDING

SOIL BORING LAYOUT
SEPTIC DESIGN
SCALE - 1" = 30'



North

2000 Repair
by Enviro Sound Septics

Anoka County Parcel Viewer



Parcel Information:
17-32-23-34-0003
15740 LINCOLN ST NE
HAM LAKE
MN 55304

Approx. Acres: 2.41
Piat: HAM LAKE INDUSTRIAL PARK
Commissioner: JULIE BRAASTAD

Owner Information:

Anoka County GIS

1:600

Date: 8/12/2021

Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.

HAM LAKE INDUSTRIAL PARK

City of Ham Lake, County of Anoka

KNOW ALL PERSONS BY THESE PRESENTS that the City of Ham Lake, a Political Subdivision, fee owner of the following described property situated in the County of Anoka, State of Minnesota:

All that part of the Southeast Quarter of the Southwest Quarter of Section 17, Township 32, Range 23, Anoka County, Minnesota described as follows:
Beginning at the southwest corner of said Southeast Quarter of the Southwest Quarter; thence North 0 degrees 34 minutes 59 seconds West, grid bearing, Minnesota State Coordinate System, Central Zone, a distance of 773.01 feet; thence North 88 degrees 19 minutes 17 seconds East a distance of 400.00 feet; thence North 0 degrees 34 minutes 59 seconds West a distance of 60.96 feet; thence North 89 degrees 25 minutes 01 seconds East a distance of 66.00 feet; thence North 88 degrees 19 minutes 17 seconds East a distance of 445.00 feet; thence South 0 degrees 34 minutes 59 seconds East a distance of 494.94 feet; thence South 29 degrees 48 minutes 46 seconds East a distance of 151.35 feet; thence South 60 degrees 11 minutes 24 seconds West a distance of 208.82 feet; thence westerly along a tangential curve concave to the north a distance of 274.31 feet, said curve having a radius of 558.63 feet, a central angle of 28 degrees 08 minutes 03 seconds and a chord bearing of South 74 degrees 15 minutes 15 seconds West; thence South 1 degree 40 minutes 43 seconds East a distance of 40.00 feet to the south line of said Southeast Quarter of the Southwest Quarter; thence South 88 degrees 19 minutes 17 seconds West, along said line, a distance of 542.26 feet to the point of beginning.

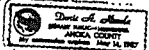
Has caused the same to be surveyed, platted and known as HAM LAKE INDUSTRIAL PARK and do hereby donate and dedicate to the public for public use forever the avenue, street, utility and drainage easements as shown on this plat. In witness whereof said City of Ham Lake, a Political Subdivision, has caused these presents to be signed by Eldon F. Bentges, Mayor, and Anne D. Roseland, Clerk, and its corporate seal to be hereunto affixed this 14th day of December, 1981.

CITY OF HAM LAKE
Eldon F. Bentges
Eldon F. Bentges, Mayor
Anne D. Roseland
Anne D. Roseland, Clerk

STATE OF MINNESOTA
COUNTY OF ANOKA

The foregoing instrument was acknowledged before me this 14th day of December, 1981, by Eldon F. Bentges, Mayor, and Anne D. Roseland, Clerk, of the City of Ham Lake, a Political Subdivision, on behalf of the City.

William A. Hinkle
Notary Public, Anoka County, Minnesota
My Commission expires 9/14/87



I hereby certify that I have surveyed and platted the land described on this plat as HAM LAKE INDUSTRIAL PARK, that this plat is a correct representation of said survey; that all distances are correctly shown on said plat in feet and hundredths of a foot; that all monuments have been correctly placed in the ground as shown on said plat; that the outside boundary lines are correctly designated on said plat; and that there are no public highways or wetlands to be designated on said plat other than as shown thereon.

Ron Murphy
Ron Murphy, Land Surveyor
Minnesota Registration No. 10832

STATE OF MINNESOTA
COUNTY OF ANOKA

The foregoing instrument was acknowledged before me this 14th day of December, 1981, by Ron Murphy, Land Surveyor.

Phyllis M. Pedregon
Phyllis M. Pedregon, Notary Public
Anoka County, Minnesota
My Commission Expires March 27, 1984



We hereby certify that the City Council of Ham Lake, Minnesota, duly accepted and approved the plat of HAM LAKE INDUSTRIAL PARK at a regular meeting thereof held this 16th day of December, 1981.

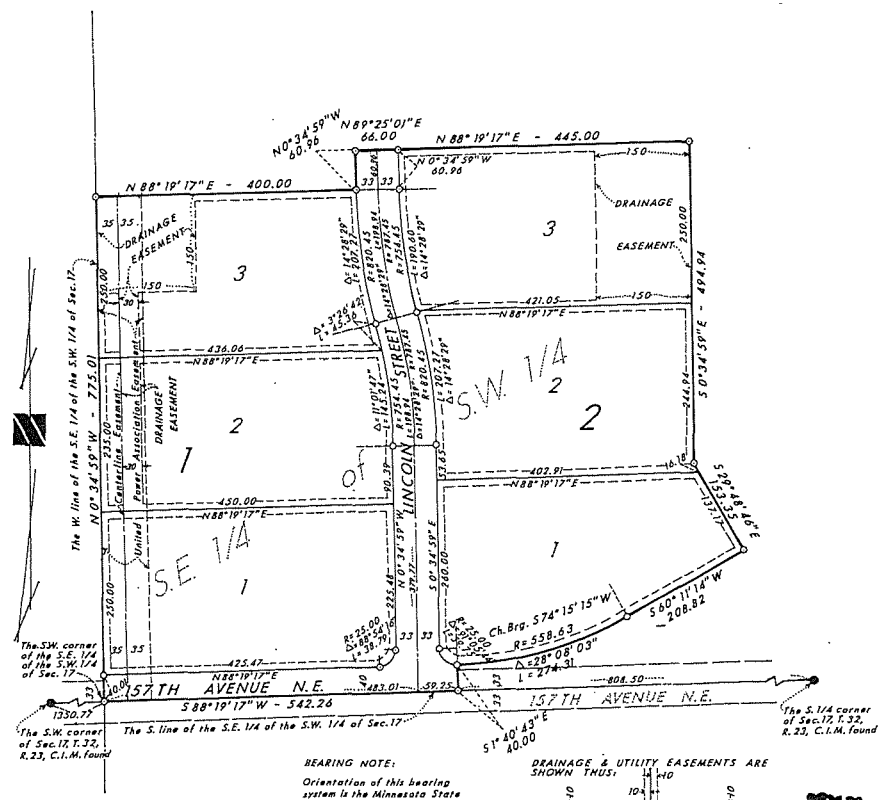
CITY COUNCIL OF HAM LAKE, MINNESOTA
Eldon F. Bentges
Eldon F. Bentges, Mayor
Anne D. Roseland
Anne D. Roseland, Clerk

This plat of HAM LAKE INDUSTRIAL PARK was checked and approved by me this 14th day of December, 1981.

Roland W. Anderson
Roland W. Anderson, Anoka County Surveyor

"NO DELINQUENT TAXES AND TRANSFER ENTERED"

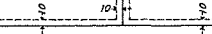
Don 10th 1981
William A. Hinkle
Auditor, Anoka County
By 10th 1981
Deputy



BEARING NOTE:
Orientation of this bearing system is the Minnesota State Coordinate System, South Zone.

○ Denotes iron monument set and capped RLS 10832

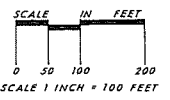
DRAINAGE & UTILITY EASEMENTS ARE SHOWN THUS:



Being 10 feet in width, unless otherwise indicated, and adjoining lot lines and feet in width adjoining streets and rear lot lines, as shown on the plat.

OFFICE OF COUNTY RECORDS
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the DEC 14 1981 A.D. 19
at 2:20 o'clock P.M. and was duly recorded in book 3288 page 35

Richard O. Marshall
County Recorder
By 14th 1981
Deputy



COMSTOCK & DAVIS, INC.

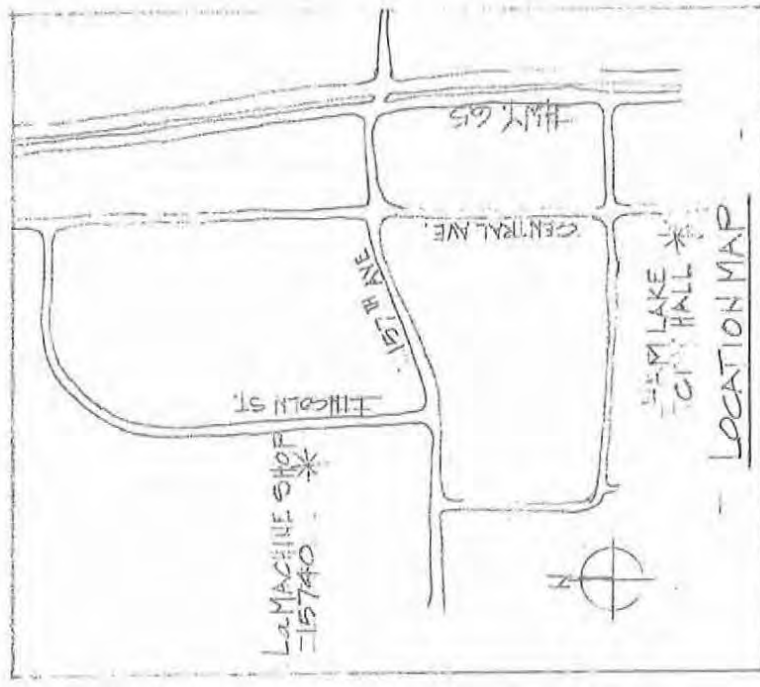
CONSULTING ENGINEERS & LAND SURVEYORS

SITE DATA

AREA 2.39 ACRES; 104,005 SF
 LEGAL DESCRIPTION LOT 2, BLOCK 1
 HAM LAKE INDUSTRIAL PARK
 ZONING IP INDUSTRIAL PARK
 PARKING EXISTING 40, PROPOSED 41
 IMPERVIOUS 36% AFTER PROPOSED ADDITION

MINNESOTA BUILDING CODE

CHAPTER 3 USE & OCCUPANCY
 SEC. 506.3 LOW HAZARD INDUSTRIAL
 GROUP F-2 METAL PRODUCTS
 FABRICATION & ASSEMBLY
 CHAPTER 5 BUILDING HEIGHTS & AREA
 TABLE 503 (F-2, IIB)
 18,000 SF ALLOWABLE AREA
 18,089 SF AFTER PROPOSED ADDITION
 CHAPTER 6 TYPE OF CONSTRUCTION, IIB
 TABLE 601 RATING OF BLDG. ELEMENTS
 EXTERIOR BEARING WALLS 2HR



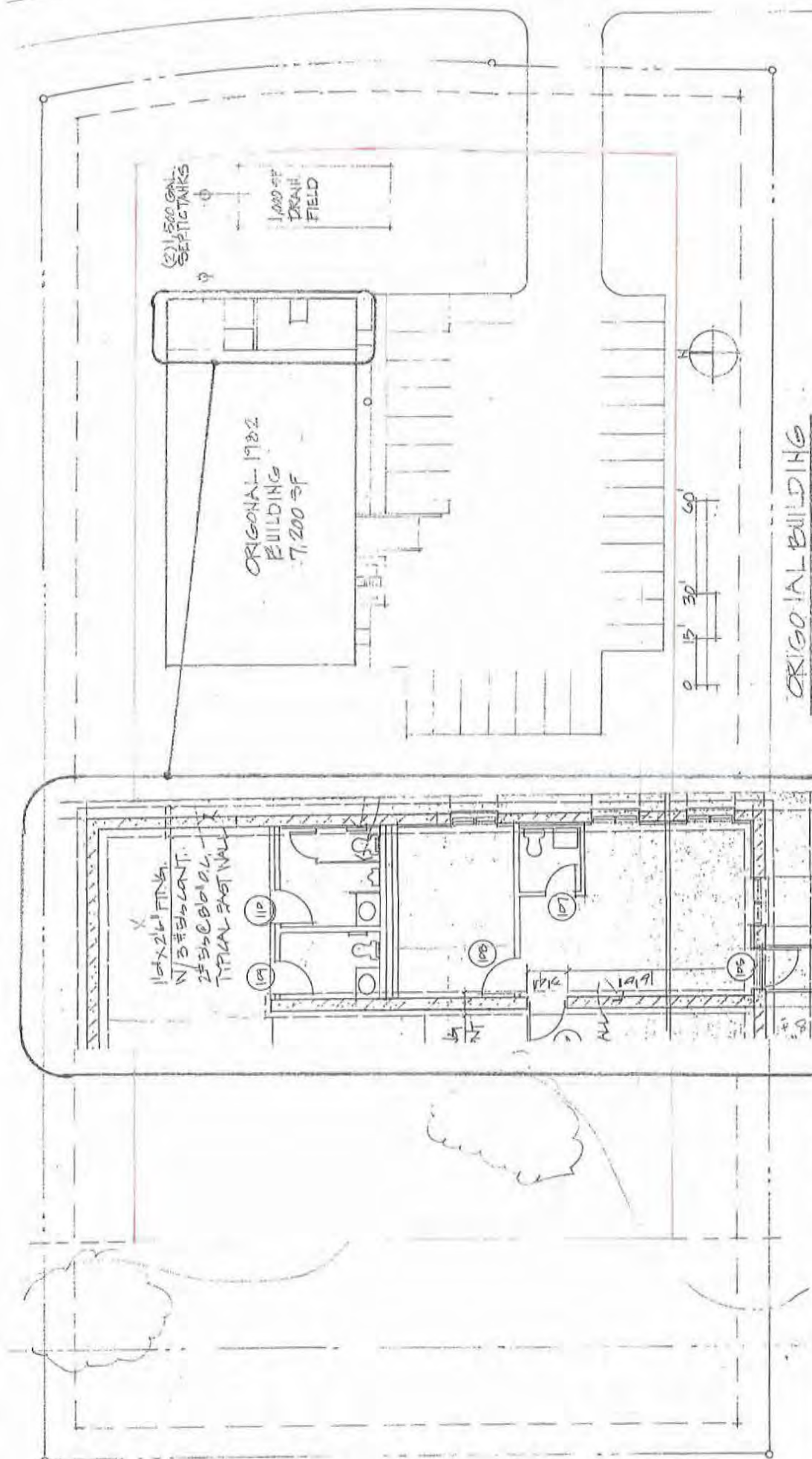
DRAWINGS LIST

1. COVER SHEET
2. ORIGINAL BUILDING 1972
3. ADDITION 1991
4. PARKING
5. PROPOSED ADDITION 2021
6. PROPOSED FLOOR PLAN
7. PROPOSED SOUTH ELEVATION
8. PROPOSED EAST ELEVATION

La MACHINE SHOP
 15740 LINCOLN ST. NE
 HAM LAKE, MN 55304

AUGUST 9, 2021

Roger Johnson
 Architecture and Planning
 3240 LOREY LN, ST. LOUIS PARK, MN 55426



(2) 1,500 GAL. SEPTIC TANKS
 1,000 SF DRAIN FIELD

ORIGINAL BUILDING
 1982
 7,200 SF



0 15 30 60

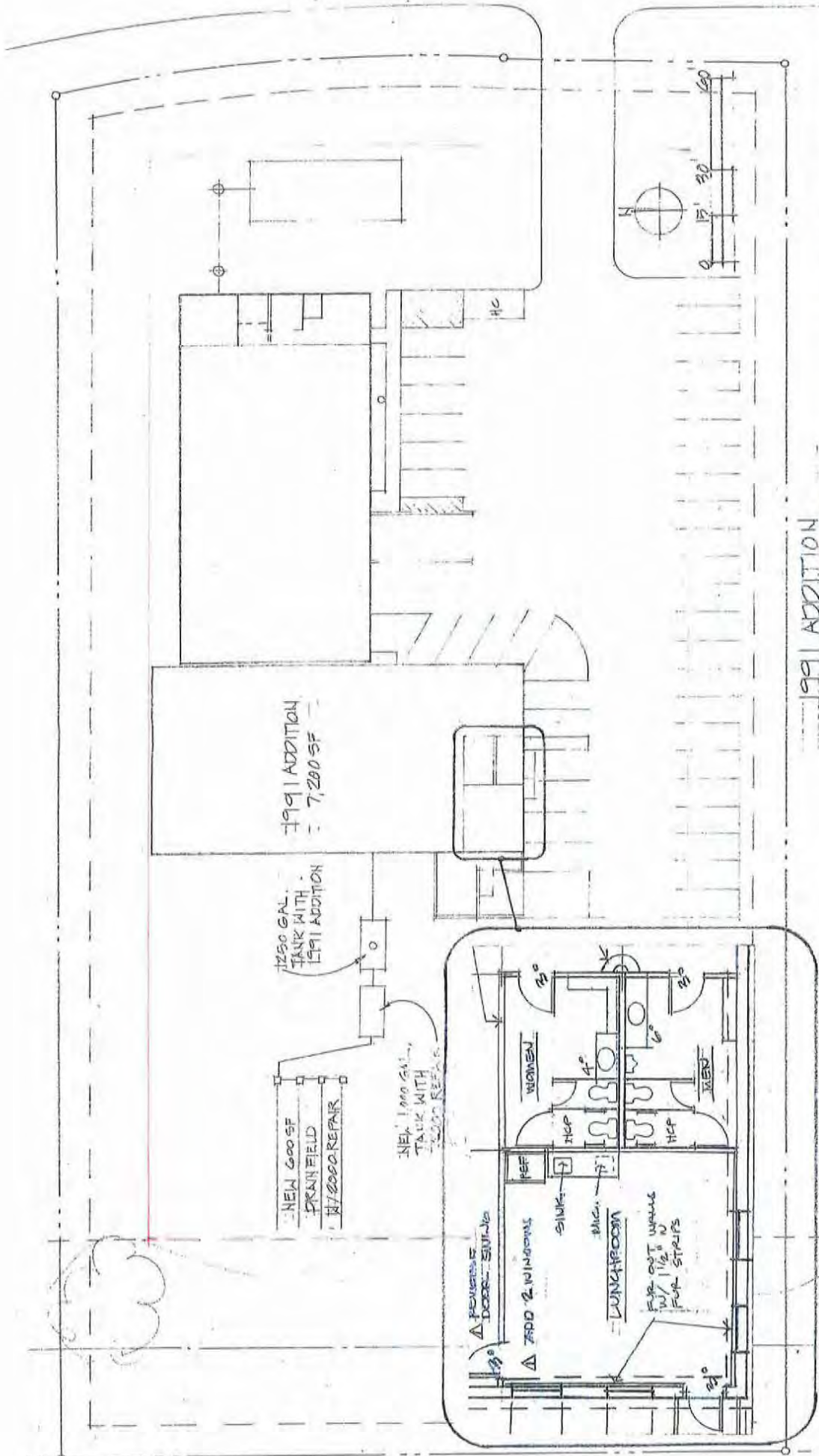
ORIGINAL BUILDING

AUGUST 9, 2021

2

Roger J. Johnson
 Architecture and Planning
 3340 Liberty Ln, St. Louis Park, MN 55426

LA MACHINE SHOP
 15740 LINCOLN ST. NE
 HANNA LAKE, MN 55304

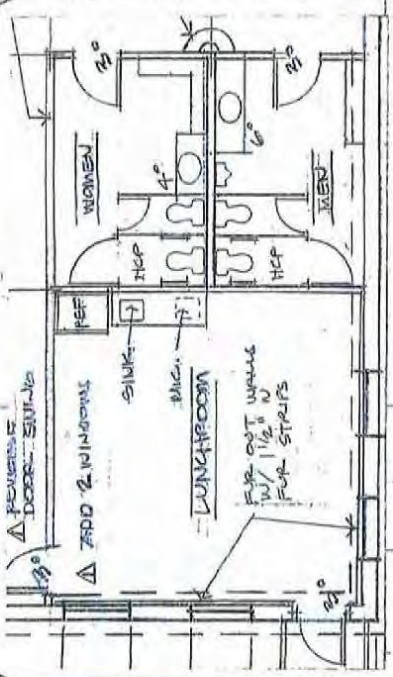


1991 ADDITION
= 7,200 SF

NEW 1250 GAL. TANK WITH 1991 ADDITION

NEW 1000 GAL. TANK WITH 2500 REPAIR

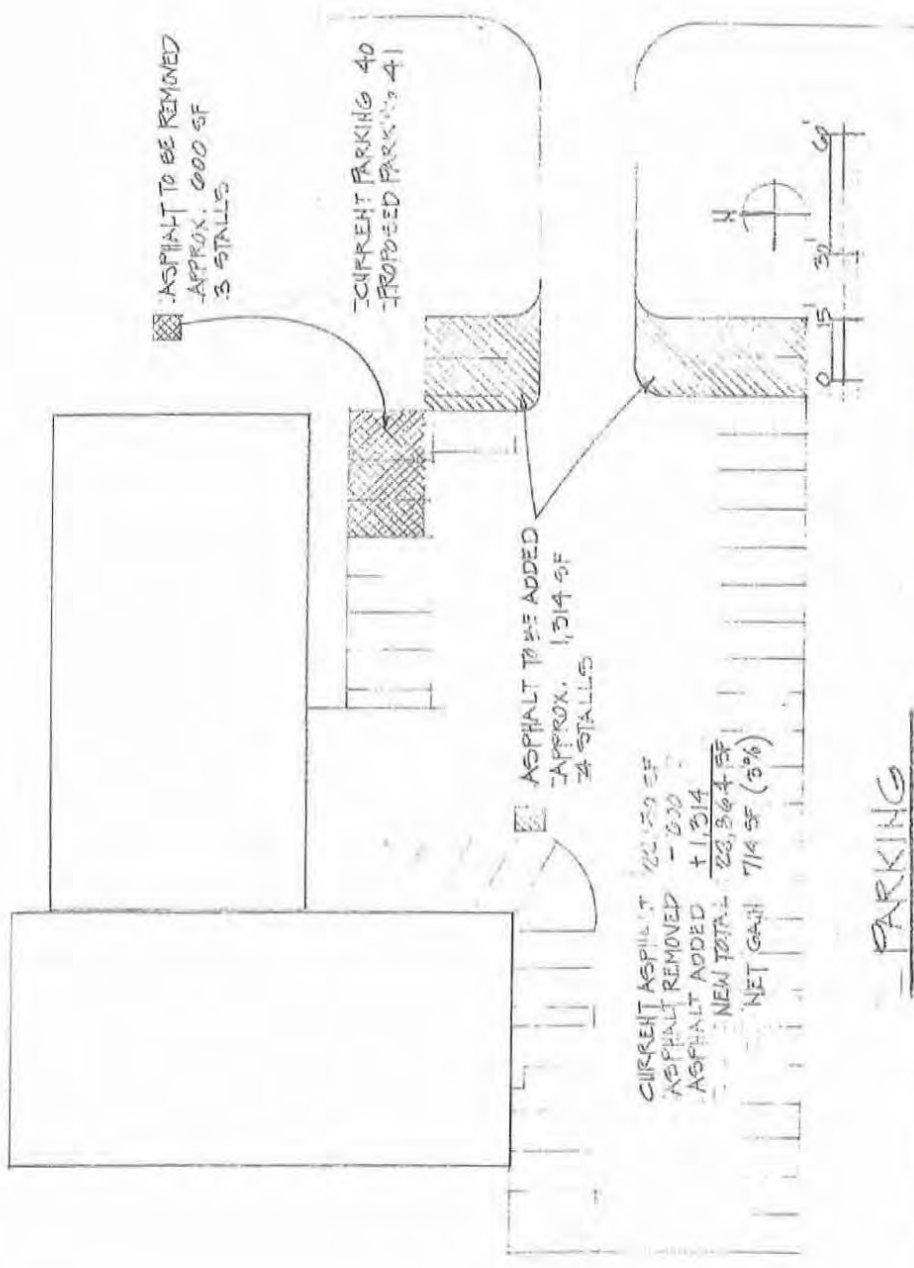
NEW 600 SF PARKING FIELD
NEW 2000 REPAIR



1991 ADDITION

La MACHIE SHOP
12740 LINCOLN ST. NE
HAM LAKE, MN 55304

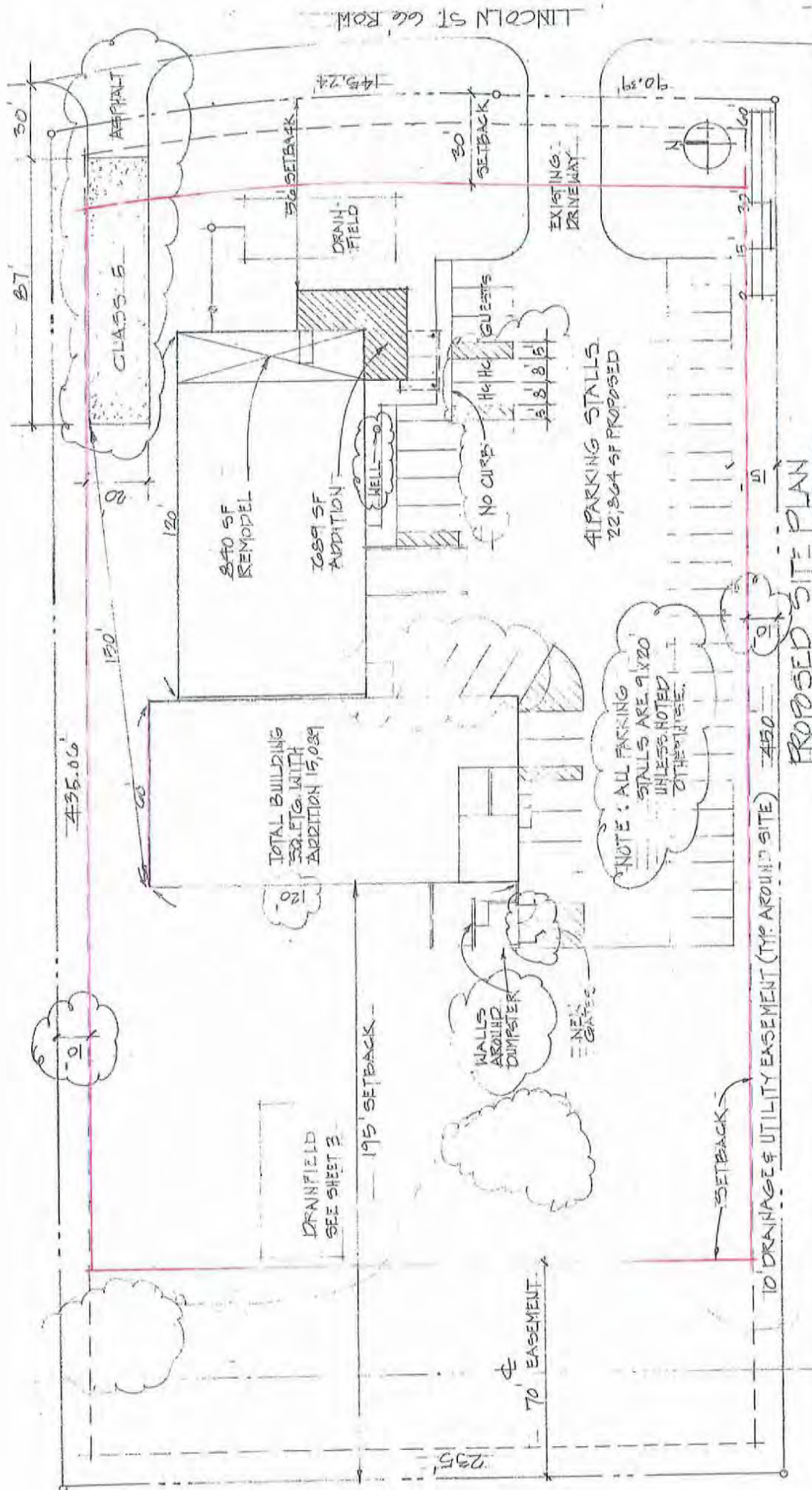
AUGUST 9, 2021
AUGUST 10, 2021
ADDED DETAIL FOR WEST SEPTIC SYSTEM



CURRENT ASPHALT 22,229 SF
 ASPHALT REMOVED - 600
 ASPHALT ADDED + 1,314
 NEW TOTAL 22,943 SF
 NET GAIN 714 SF (3%)

PARKING

	<p><u>LaMACHINE SHOP</u> 15740 LINCOLN ST. NE HAM LAKE, MN 55304</p>	<p>AUGUST 9, 2021</p>	<p>Roger J. JOHNSON Architecture and Planning 3340 Liberty Ln. St. Louis Park, MN 55426</p>	<p>4</p>
--	--	-----------------------	--	-----------------



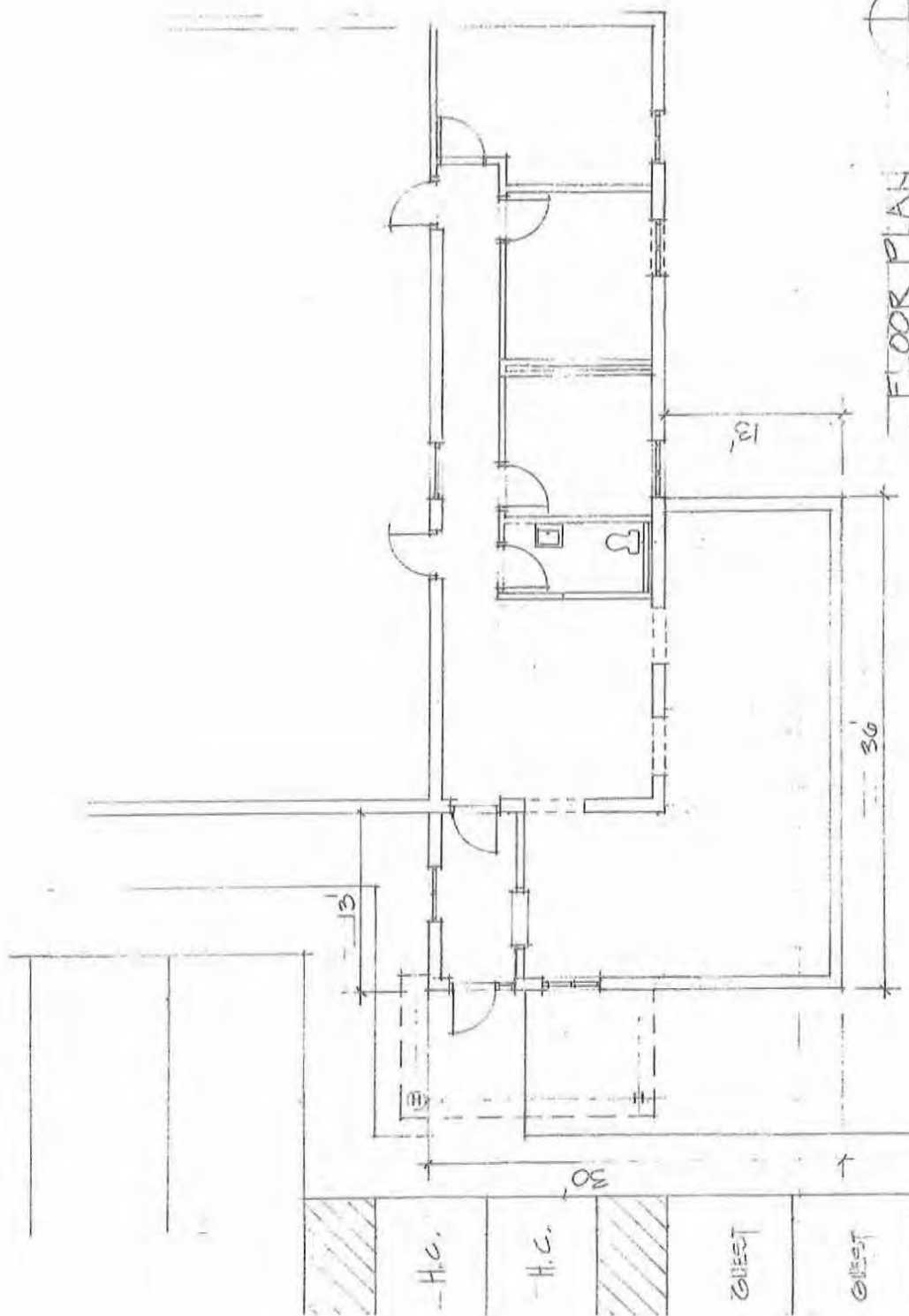
5

Roger Johnson
 Architecture and Planning
 3340 Liberty Ln. St. Louis Park, MN 55426

AUGUST 9, 2021
 AUGUST 19, 2021
 REVISED PER
 CITY COMMENTS
 SEPT. 5, 2021 (RE ACCESS
 GATES, PARKING)

LAMACHINE SHOP
 15740 LINCOLN ST. NE
 HAM LAKE, MN 55304

PROPOSED SITE PLAN



FLOOR PLAN

La. MACHINE SHOP
 15740 LINCOLN ST. NE
 HAY LAKE, MN 55304

August 9, 2021

Roger J. Johnson
 Architecture and Planning
 3940 Leray Ln. St. Louis Park, MN 55426

SILVER COPING &
FASCIA - ANODIZED
ALUM. OR ELECTRO-
STATIC PAINT

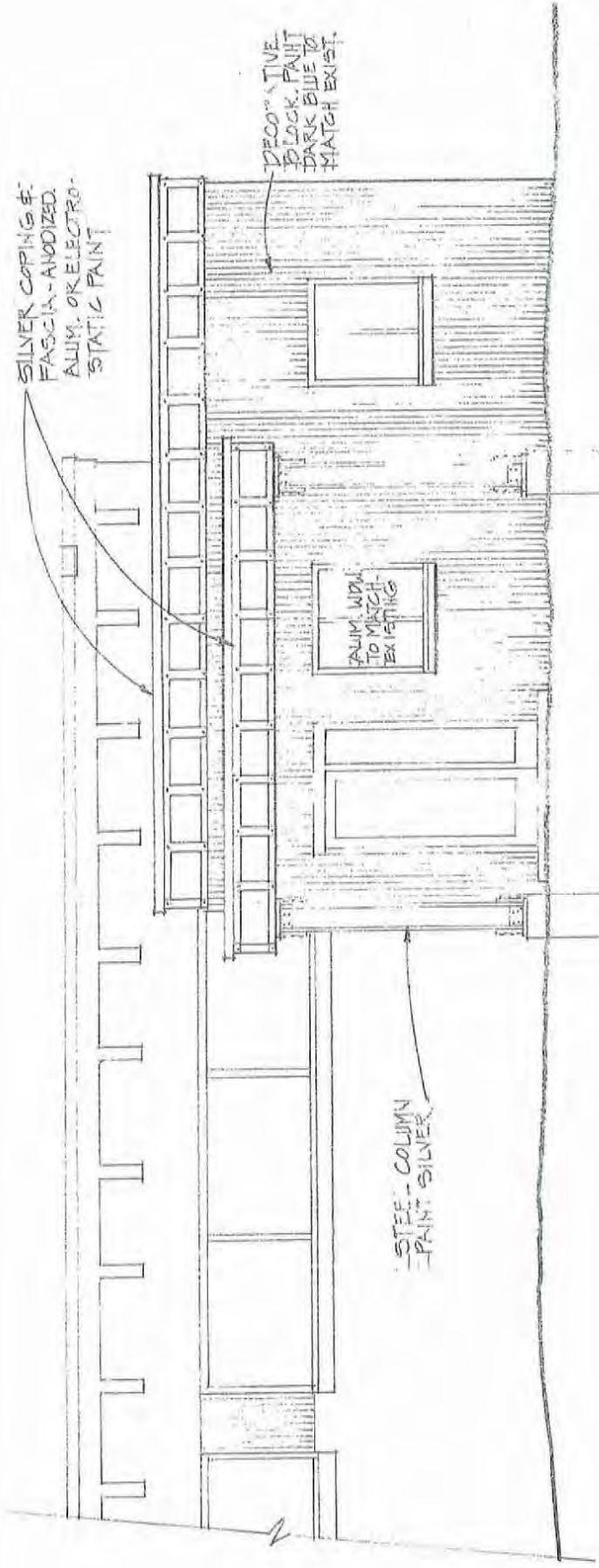
DECORATIVE
BLOCK PAINT
DARK BLUE TO
MATCH EXIST.

ALUM. W/DM
TO MATCH
EXISTING

STEEL COLUMN
PAINT SILVER



SOUTH ELEVATION



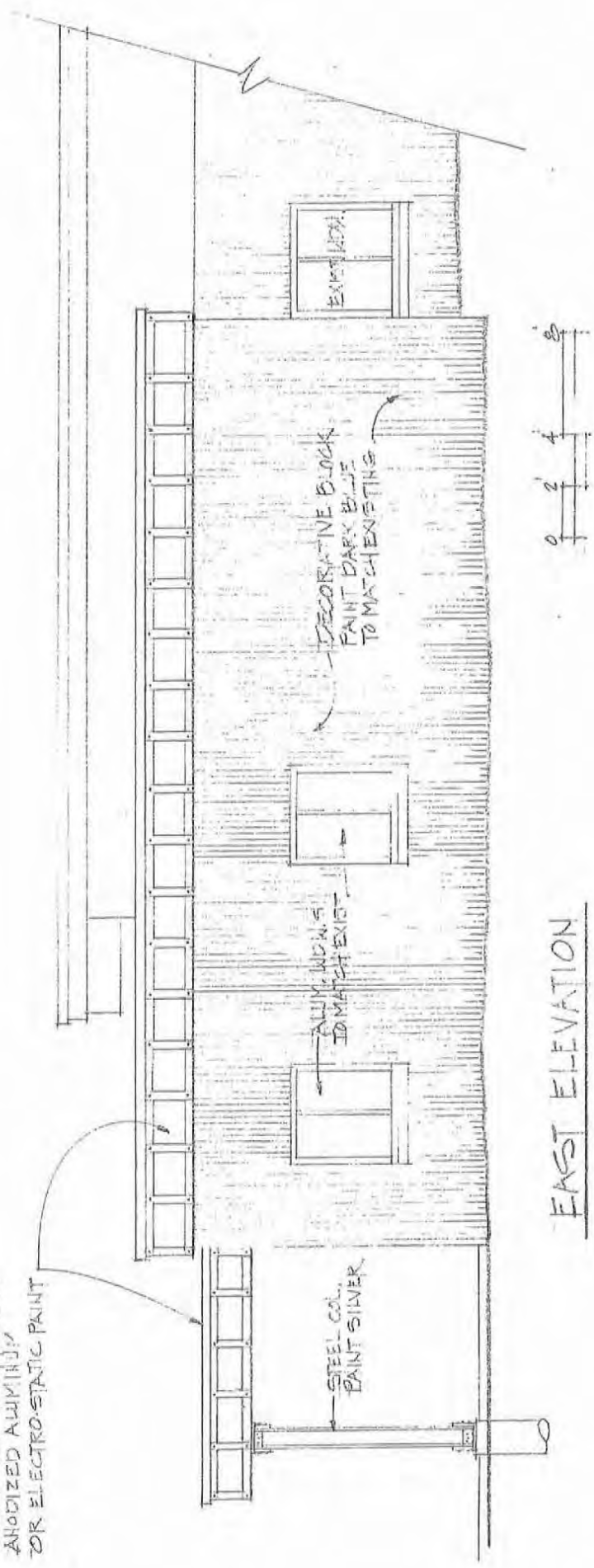
LA MACHINE SHOP
15740 LINCOLN ST. NE
HAM, AK, MN 55304

AUGUST 9, 2021

Roger J. Johnson
Architecture and Planning

3340 Liberty Ln, St. Louis Park, MN 55426

SILVER, CORING & FASCIA
ANODIZED ALUMINUM
OR ELECTRO-STATIC PAINT



EAST ELEVATION

LA MACHINE SHOP
15740 LINCOLN ST. NE
HAM LAKE, MN 55304

August 9, 2021

Roger J. Johnson
Architecture and Planning
3940 Liberty Ln. St. Louis Park, MN 55426



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 9-7-2021

Date of Receipt _____

Receipt # _____

Meeting Appearance Dates:

Planning Commission 9-13-21

City Council 9-20-2021

Please check request(s):

Metes & Bounds Conveyance

Commercial Building Permit

Sketch Plan

Certificate of Occupancy

Preliminary Plat Approval*

Home Occupation Permit

Final Plat Approval

Conditional Use Permit (New)*

Rezoning*

Conditional Use Permit (Renewal)

Multiple Dog License*

Other _____

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: HFN Properties LLC

Address/Location of property: _____

Legal Description of property: Hidden Forest EAST Third Addition

PIN # 25-32-23-12-0001 Current Zoning R-1 Proposed Zoning —

Notes: Parts of 25-32-23-13-0002 + 14-0002, Tract B+C RLS 281

Applicant's Name: JEFFREY A. STAIBERGER

Business Name: HFN Properties LLC

Address 17404- WARD LK. Dr. NW

City Andover State Mn. Zip Code 55304

Phone 612-799-6471 Cell Phone _____ Fax _____

Email address STALLY68@MSN.COM

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 9-7-2021

- FOR STAFF USE ONLY -


ACTION BY: Planning Commission 9-13-2021
City Council _____

PROPERTY TAXES CURRENT YES NO

Memorandum

Date: September 9, 2021

To: Planning Commissioners

From: David A. Krugler, Senior Engineer 

Subject: Hidden Forest East 3rd Addition

Introduction:

The Final Plat was received September 9th and the Utility Plans – Storm Sewer Plan/Profile, Outlet Structures, Details, Stormwater Pollution Prevention Plan and Stormwater Drainage Report were received July 29th for the proposed 35 lot residential development located on the 80.91 combined acres of parcels 25-32-23-13-0002 (Tract B of RLS 281) and 25-32-23-14-0002 (Tract C of RLS 281) and a portion of parcel 25-32-23-11-0001.

Discussion:

The Final Plat conforms to the Preliminary Plat and Plans that received City Council approval on July 6th. Outlot A is the remaining three lots which is approximately 14.4 acres that were approved with the Preliminary Plat which is anticipated to be platted at a future date. Outlot A will be required to be tied to parcel 25-32-23-11-0001 within the development agreement.

Parkland dedication is being proposed within the Hidden Forest East Park Addition, which is located on the 143rd Avenue access to the proposed 3rd Addition. The City Council concurred with the Park and Tree Commission recommendation that the next phase after Hidden Forest East 2nd Addition include parkland dedication. The September 19, 2018 Park and Tree meeting minutes are attached. Part of the stipulation of approving the plat was dedication of parkland area, which is proposed with Hidden Forest East Park Addition. The City Attorney will need to negotiate a price with the developer for the parkland dedication prior to the developer agreement being executed.

A proposed Hidden Forest East monument is proposed in the northeast corner of Lexington Avenue and 143rd Avenue. The monument is proposed within a drainage and utility easement, that was dedicated in conjunction with the 143rd Avenue upgrade associated with the Hidden Forest East plat. Per the attached Monument Exhibit, Public Works access for access and maintenance of the stormwater treatment outlet within the easement will not be compromised by the monument. A License Agreement will be required, which will be covered in the Development Agreement.

A FEMA Letter of Map Amendment is required for Lot 3-5 and Lots 8-9, Block 1 and Lots 1 and 2 of Block 2. The Development Agreement will stipulate that these lots are not eligible for a building permit until the Letter of Map Amendment is approved by FEMA. The attached Coon Creek Watershed District Permit was issued August 2nd. The April 5th Tradewell Soil Testing septic certification certifies that the lots will support two standard septic systems in accordance with Minnesota Rules 7080.

The September 11, 2020 Rare Plant Survey Report documented the presence of black huckleberry within the properties, which the DNR has classified as threatened. Per the attached Rare Species Avoidance Plan dated April 13th, no black huckleberry plants are to be disturbed. Blanding's turtles have been reported in the vicinity of the proposed project and may be encountered on site. If during construction Blanding's turtles are encountered, they are to be moved by hand out of harm's way, otherwise they are to be left undisturbed.

Recommendations:

It is recommended that the Final Plat of Hidden Forest East Third Addition be recommended for approval.

ORDINANCE NO. 21-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Hidden Forest East Third Addition).

The land referred to herein is situated in the State of Minnesota, Anoka County described as follows:

Parcel ID#'s	25-32-23-12-0001
	25-32-23-11-0001
Parts of	25-32-23-13-0002
	25-32-23-14-0002

Tract B and Tract C, Registered Land Survey 281, Anoka County, Minnesota and Part of the Northeast Quarter of the Northeast Quarter of Section 25, Township 32, Range 23, Anoka County, Minnesota.

Presented to the Ham Lake City Council on July 6, 2021 and adopted by a unanimous vote this 20th day of September, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

PRELIMINARY COPY

FILED: 2023 JUL 27 10:51 AM
REGISTERED LAND SURVEY NO. 290-15
LOCATION: 5000 145TH AVE NE, HAM LAKE, MN 55120
FILE NAME: 20230727-PLAT-FLAC.DWG
FILE SIZE: 3.47 MB

HIDDEN FOREST EAST THIRD ADDITION

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 25, T32N, R23W

KNOW ALL PERSONS BY THESE PRESENTS: That HFN Properties, LLC, a Minnesota limited liability company, owner of the following described property:

Tract B, Registered Land Survey No. 281, Anoka County, Minnesota.
(Torrens Property/Certificate of Title No. 148138)

AND

Tract C, Registered Land Survey No. 281, Anoka County, Minnesota, and
(Torrens Property/Certificate of Title No. 148138)

AND

Tract C, Registered Land Survey No. 290, Anoka County, Minnesota.
(Torrens Property/Certificate of Title No. 148138)

Has caused the same to be surveyed and platted as HIDDEN FOREST EAST THIRD ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said HFN Properties, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

HFN PROPERTIES, LLC

Jeffrey A. Stalberger, Administrator

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____ by Jeffrey A. Stalberger, Administrator of HFN Properties, LLC, a Minnesota limited liability company.

(Signature)

(Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____ by Jason E. Rud.

(Signature)

(Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF TRACT C, REGISTERED LAND SURVEY NO. 290, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 10 MINUTES 12 SECONDS EAST.

- ◆ DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED RLS NO. 41578.
- DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 12251, UNLESS OTHERWISE SHOWN.
- DENOTES WETLAND AS DELINEATED BY KOUHALG ENVIRONMENTAL IN JULY, 2023

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of HIDDEN FOREST EAST THIRD ADDITION was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ham Lake, Minnesota

By _____ Mayor

By _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

David M. Ziegemeier
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

Property Tax Administrator

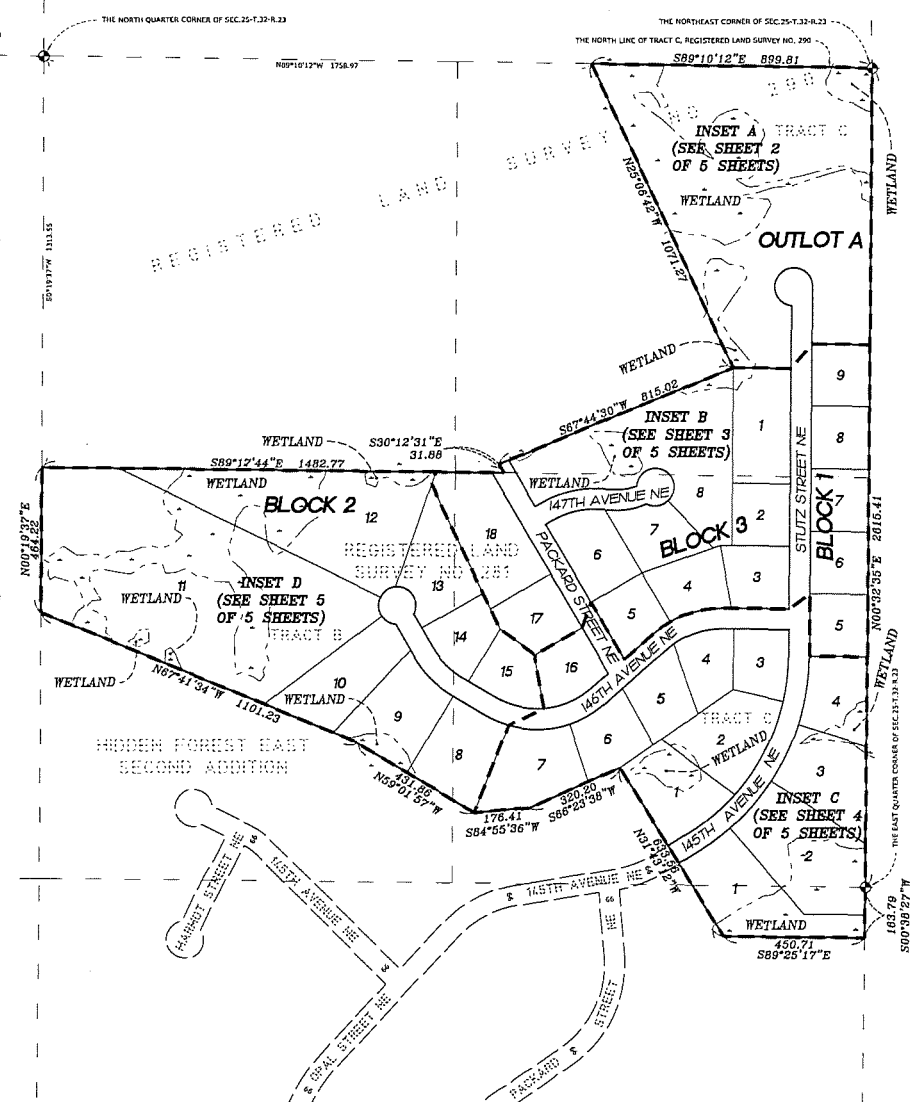
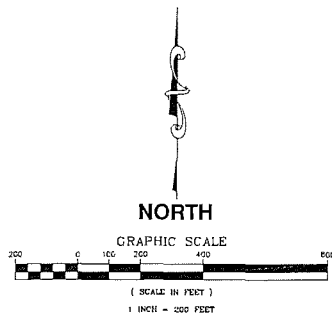
By _____ Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of HIDDEN FOREST EAST THIRD ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20____, at _____ o'clock _____ M., and was duly recorded as Document Number _____.

County Recorder/Registrar of Titles

By _____ Deputy



E. G. RUD & SONS, INC.
Professional Land Surveyors
EST. 1917

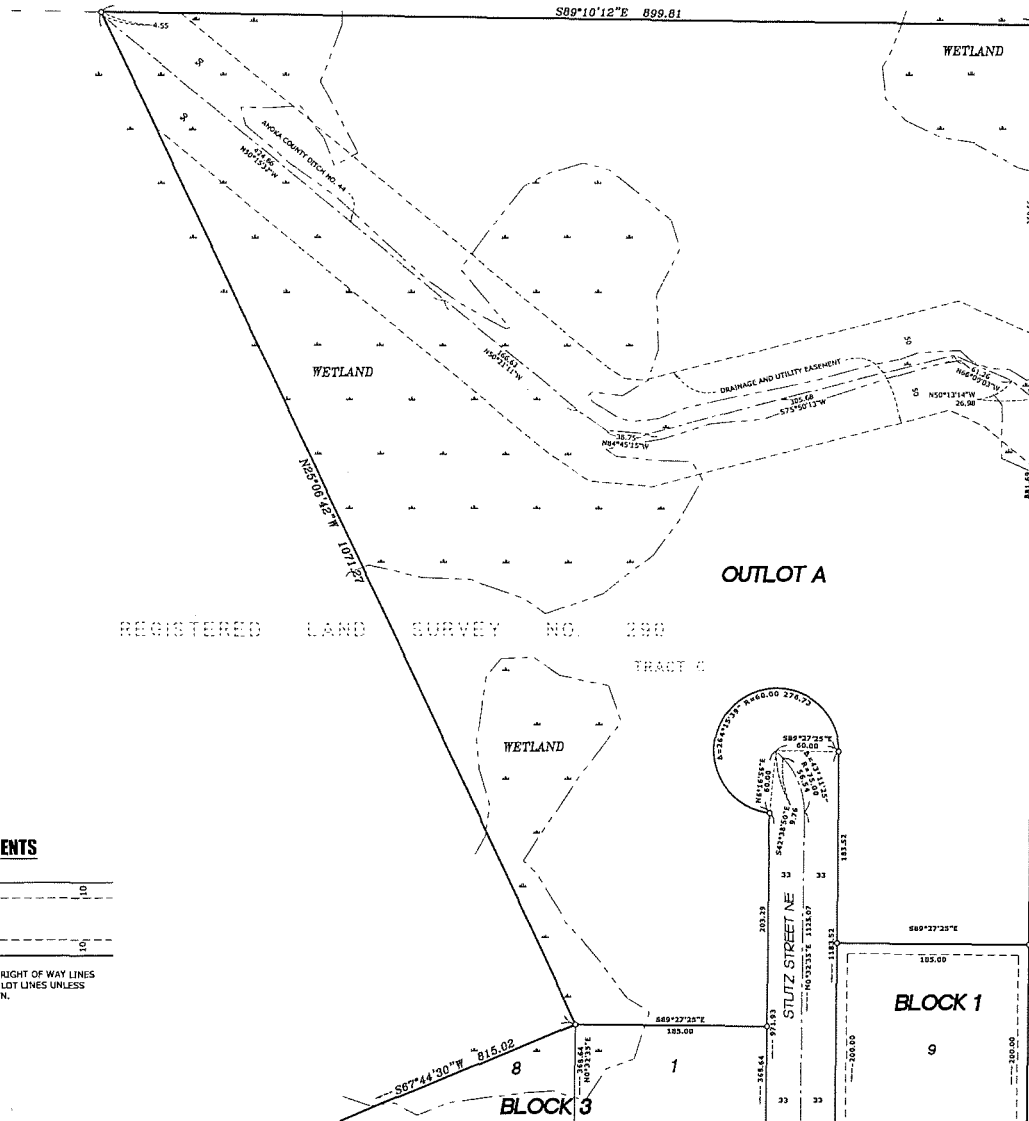
PRELIMINARY COPY

LAST SAVED BY: CASSSETT on Thursday, September 7, 2023 at 2:06:41 PM
LOCATION: E:\RUD\CAD\PROJECTS\2023\23-001\11.DWG
PLOT DATE: 09-07-2023
PLOT SIZE: 34.718

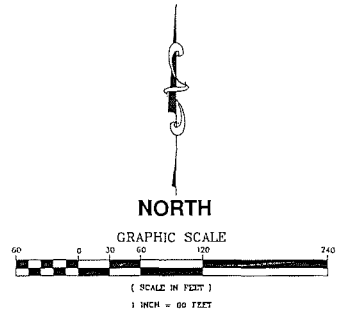
INSET A

HIDDEN FOREST EAST THIRD ADDITION

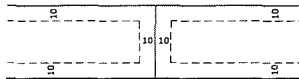
CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 25, T32N, R23W



- ⊕ DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED RLS NO. 41578.
- DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 12251, UNLESS OTHERWISE SHOWN.
- ▭ DENOTES WETLAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL IN JULY, 2020



TYPICAL EASEMENTS (NOT TO SCALE)

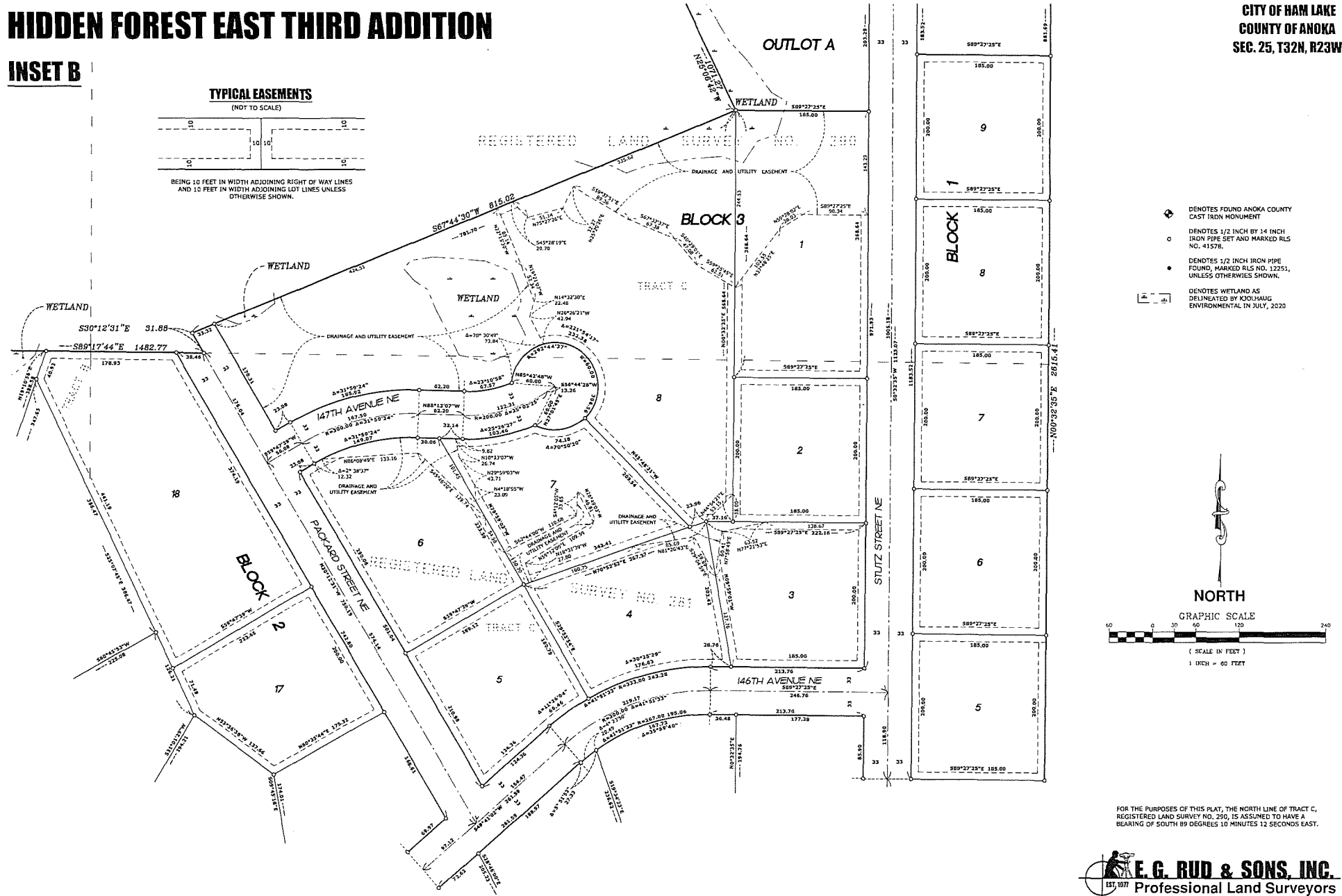
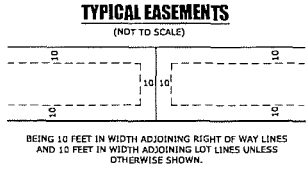


BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES
AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS
OTHERWISE SHOWN.

FOR THE PURPOSES OF THIS PLAN, THE NORTH LINE OF TRACT C,
REGISTERED LAND SURVEY NO. 290, IS ASSUMED TO HAVE A
BEARING OF SOUTH 89 DEGREES 10 MINUTES 12 SECONDS EAST.

HIDDEN FOREST EAST THIRD ADDITION

INSET B



CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 25, T32N, R23W

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF TRACT C, REGISTERED LAND SURVEY NO. 250, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 10 MINUTES 12 SECONDS EAST.

PRELIMINARY COPY

LAST REVISION: 08/06/2024, 10:00 AM
LOCATION: 580°25'17"E 460.71'
FILE NAME: 20240806-PLAT-FLD.DWG
PLOT SIZE: 24'x18'

INSET C

HIDDEN FOREST EAST THIRD ADDITION

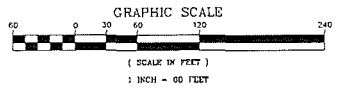
CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 25, T32N, R23W



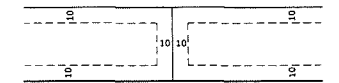
- DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE SET AND MARKED RLS NO. 41578.
- DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 12251, UNLESS OTHERWISE SHOWN.
- ▭ DENOTES WETLAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL IN JULY, 2022



NORTH



TYPICAL EASEMENTS (NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF TRACT C, REGISTERED LAND SURVEY NO. 250, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 10 MINUTES 12 SECONDS EAST.



PRELIMINARY COPY

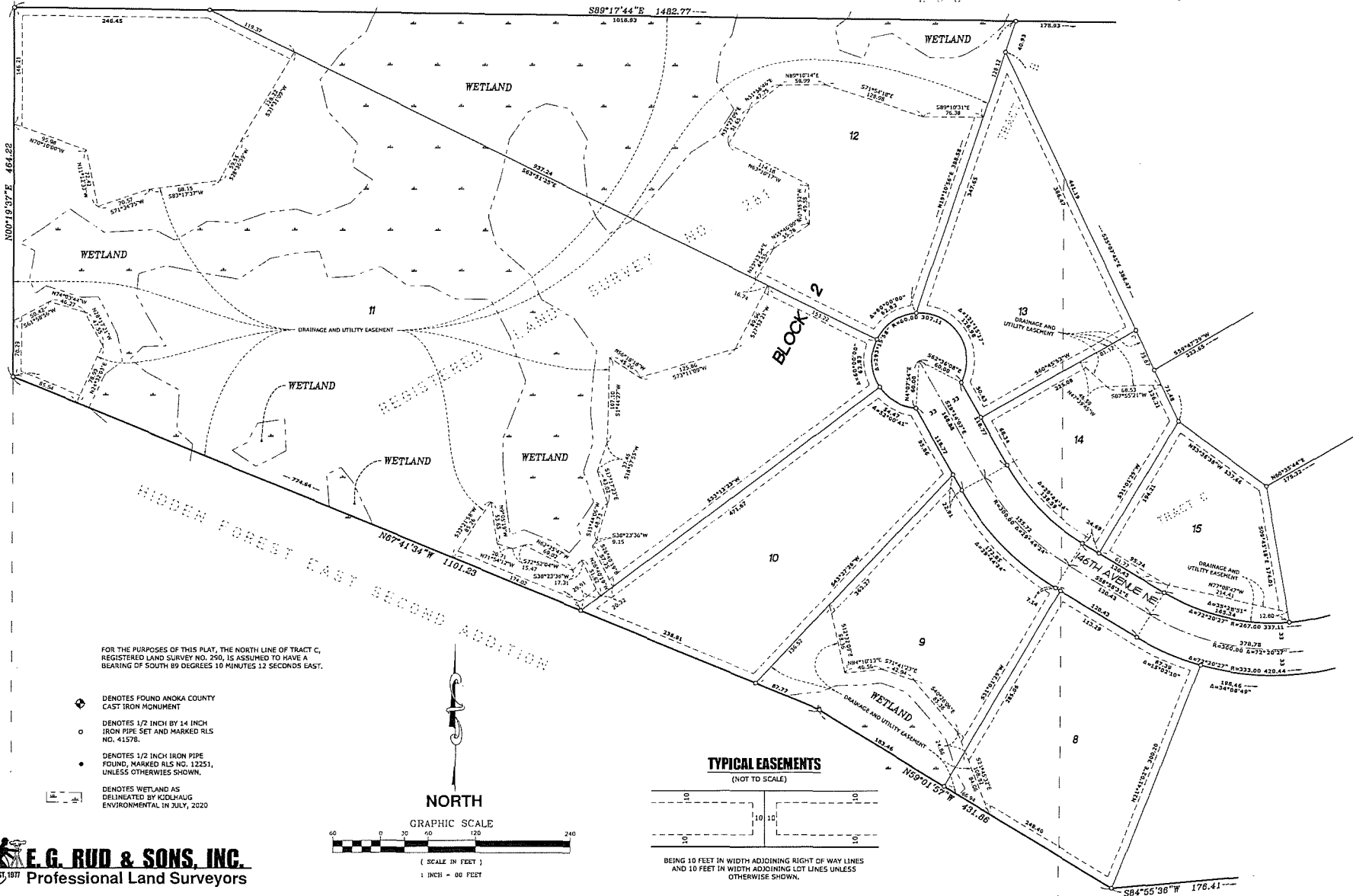
LISTED UNDER THE PROFESSIONAL LAND SURVEYORS ACT, CHAPTER 211, SECTION 211.01(1) AND (2).
LOCATION: 5700 W. 20TH AVE., DENVER, CO 80202
FIRM: E. G. RUD & SONS, INC.
DATE: 10/15/2024

INSET D

HIDDEN FOREST EAST THIRD ADDITION

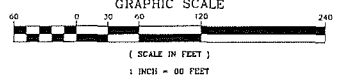
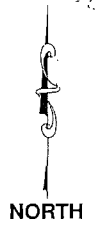
**CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 25, T32N, R23W**

REGISTERED LAND SURVEY NO. 290

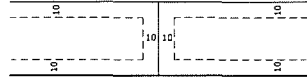


FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF TRACT C, REGISTERED LAND SURVEY NO. 250, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 10 MINUTES 12 SECONDS EAST.

- DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED RLS NO. 41578.
- DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 12251, UNLESS OTHERWISE SHOWN.
- ▭ DENOTES WETLAND AS DELINEATED BY KIDDAHLG ENVIRONMENTAL IN JULY, 2020



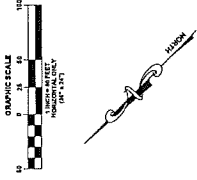
TYPICAL EASEMENTS
(NOT TO SCALE)



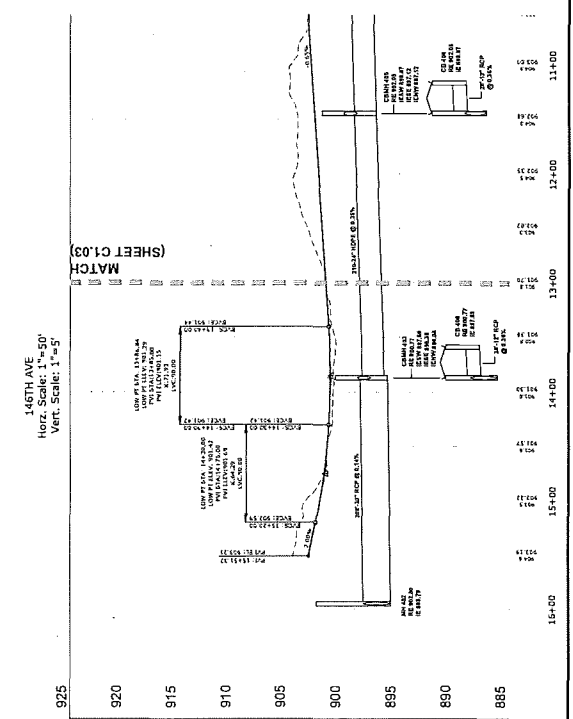
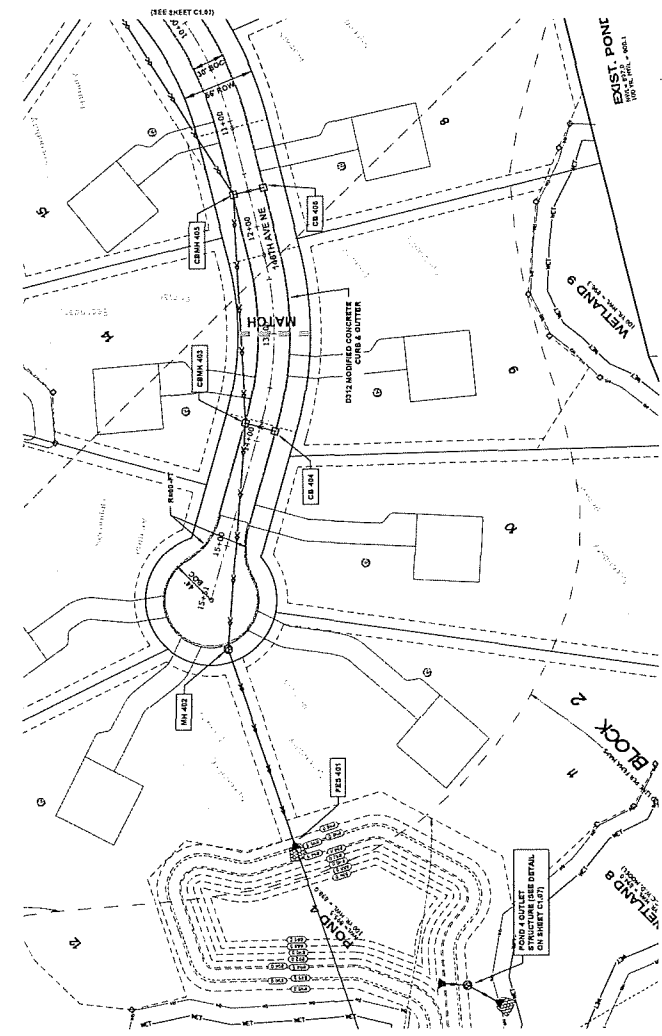
DESIGNED BY: JEFF STALLBERGER
 DATE: 07/21/2011
 DRAWN BY: JEFF STALLBERGER
 CHECKED BY: JEFF STALLBERGER
 IN CHARGE: JEFF STALLBERGER
 LICENSE NUMBER: 15001
 PROFESSIONAL ENGINEER
 STATE OF MINNESOTA
 UNDER THE LAWS OF THE STATE OF MINNESOTA
 I HEREBY CERTIFY THAT THE PLAN PREPARED
 BY ME OR UNDER MY SUPERVISION AND CONTROL
 IS ACCURATE AND COMPLETE.

NO.	DATE	DESCRIPTION
1	07/21/2011	ISSUED FOR PERMITS
2	07/21/2011	ISSUED FOR PERMITS
3	07/21/2011	ISSUED FOR PERMITS
4	07/21/2011	ISSUED FOR PERMITS
5	07/21/2011	ISSUED FOR PERMITS
6	07/21/2011	ISSUED FOR PERMITS
7	07/21/2011	ISSUED FOR PERMITS
8	07/21/2011	ISSUED FOR PERMITS
9	07/21/2011	ISSUED FOR PERMITS
10	07/21/2011	ISSUED FOR PERMITS

PLowe
 ENGINEERING & ARCHITECTURE, P.C.
 10000 UNIVERSITY AVENUE, SUITE 100
 HAM LAKE, MN 55434
 PHONE: (763) 881-8888
 FAX: (763) 881-8889
 WWW.PLOWEENGINEERING.COM



SEE SHEET C1.01 FOR
 STORM SEWER
 STRUCTURE SCHEDULE



- GENERAL NOTES**
1. THE INFORMATION SHOWN ON THESE DRAWINGS IS THE PROPERTY OF PLOWE ENGINEERING & ARCHITECTURE, P.C. AND IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SHOWN THEREON. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF PLOWE ENGINEERING & ARCHITECTURE, P.C. IS STRICTLY PROHIBITED.
 2. ALL UTILITIES LOCATED BY OTHER ENGINEERS OR CONTRACTORS SHALL BE SHOWN AND LOCATED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAM LAKE AND THE STATE OF MINNESOTA.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAM LAKE AND THE STATE OF MINNESOTA.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAM LAKE AND THE STATE OF MINNESOTA.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAM LAKE AND THE STATE OF MINNESOTA.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAM LAKE AND THE STATE OF MINNESOTA.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAM LAKE AND THE STATE OF MINNESOTA.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAM LAKE AND THE STATE OF MINNESOTA.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAM LAKE AND THE STATE OF MINNESOTA.

- STORM SEWER NOTES**
1. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 2. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 3. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 4. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 5. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 6. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 7. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 8. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 9. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.
 10. ALL STORM SEWER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR STORM SEWER STRUCTURES.

- CURB & BITUMINOUS NOTES**
1. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.
 2. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.
 3. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.
 4. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.
 5. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.
 6. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.
 7. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.
 8. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.
 9. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.
 10. ALL CURB AND BITUMINOUS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HAM LAKE STANDARD SPECIFICATIONS FOR CURB AND BITUMINOUS.

GENERAL NOTES

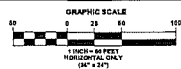
1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE. SHALL INCLUDE, THE CONTRACTOR IS RESPONSIBLE FOR MARKING HIS OWN UTILITIES AND TO TYPE AND LOCATION OF UTILITIES AS HE BELIEVES TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATION.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATE.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CONWA) MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL LEADING TELEPHONE AND GAS EXPOSURES INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

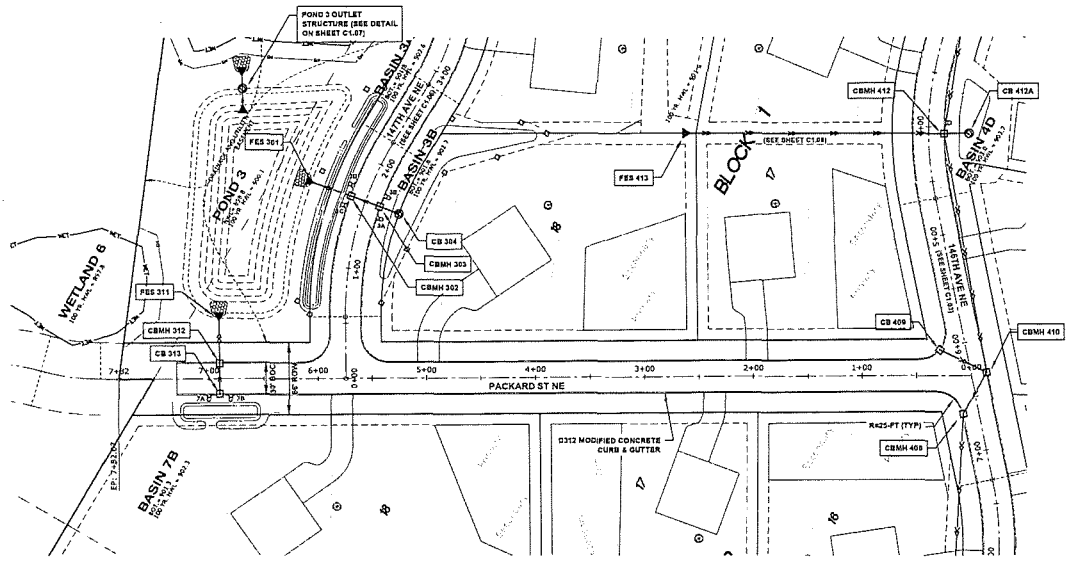
1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE 18" RIBBED CONCRETE PIPE (RCP) AND CB WITH 4" GASKETS. IN PIPE JOINTS SHALL MEET THE REQUIREMENTS OF AASHTO M248, TYPE B WITH WATER-TIGHT CONNECTIONS. USE SAFETY BANDS OF MATERIAL FOR EXCAVATIONS AND CONNECTION OF HOPEVIC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D211.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSTALLED BY CITY.
4. TRAFFIC BARRIERS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROTECT CLASS II RCP WITH FILTER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING APPROX. FOR CONCRETE PIPE LESS THAN 48" IN DIAMETER.
7. STORM SEWER LINES INCLUDE THE LATHING LENGTH OF THE FLARED-END SECTION. LATHING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEEDING FROM EXISTING PIPE.
9. SEE SHEET C1.01 FOR STRUCTURE SCHEDULE.

CURB & BITUMINOUS NOTES

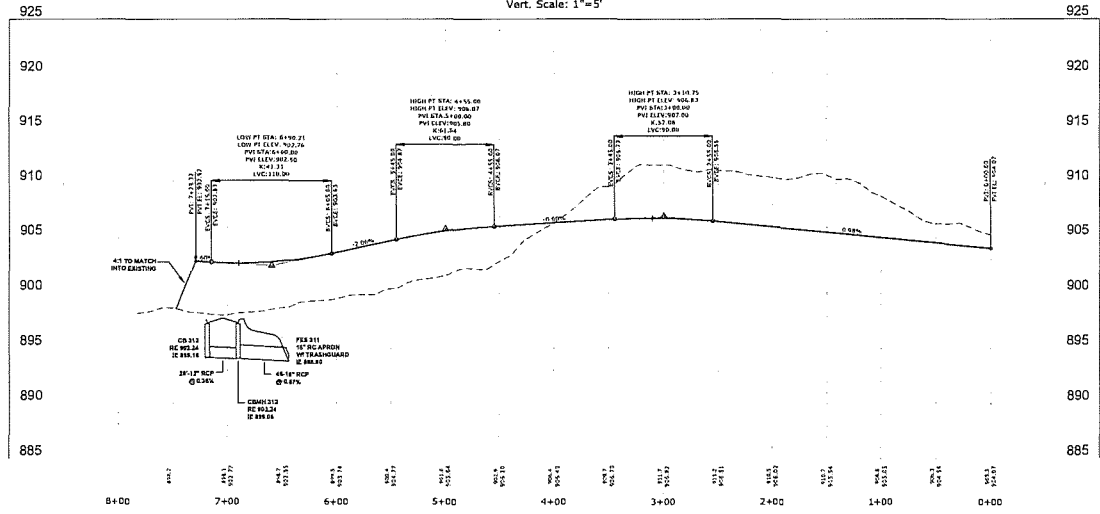
1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAN-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.



SEE SHEET C1.01 FOR STORM SEWER STRUCTURE SCHEDULE



PACKARD STREET
Horz. Scale: 1"=50'
Vert. Scale: 1"=5'



LEGEND

- | | | | |
|--|----------------------------------|--|--|
| | EXISTING STORM SEWER | | PROPOSED STORM SEWER PIPE |
| | EXISTING STORM MANHOLE | | PROPOSED STORM MANHOLE |
| | EXISTING CATCH BASIN | | PROPOSED CATCH BASIN |
| | EXISTING FLARED END SECTION | | PROPOSED FLARED END SECTION |
| | EXISTING DELINEATED WETLAND EDGE | | PROPOSED RAIN GUARDRAIL |
| | WETLAND BUFFER | | PROPOSED RCP AP |
| | WETLAND BUFFER SIGNAGE | | PROPOSED SPOT ELEVATION (GUTTER/INLET) |



PLOW ENGINEERING, INC.
674 LAKE DRIVE
SUITE 100
LINO LAKE, MN 55814

PHONE: (855) 381-4210
FAX: (855) 381-4791

DRAWN BY: CWF
CHECK BY: CWF

JOB NO: 201804
DATE: 02/01/21

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE PROVISIONS OF MINNESOTA STATUTES. DATE: 02/11/2021 License No. 0493

HIDDEN FOREST EAST 3RD ADDITION
CITY OF HAIN LAKE, MINNESOTA
PLAN/PROFILE - PACKARD ST NE
PREPARED BY: JEFF STALLBERGER

SHEET
C1.05

GENERAL NOTES

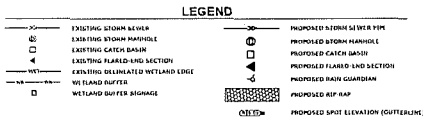
1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "X" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATION.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATION.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRICAL, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY ANY SPECIFIC CODES. ALL UTILITY DISCONNECTING SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATION.
2. STORM SEWER SHALL BE 18" DIAMETER CONCRETE PIPE (CCP) AND 18" WITH 84" MANHOLE. 18" PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M29, TYPE B WITH WATERPROOF CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR SAND FILLING AND CONNECTION OF STORM SEWER PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D221.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
4. TRANS CURB AND ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLEAR 8" TOP RAMP WRITER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE INCLUDING APRON FOR CONCRETE PIPE LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LATENT LENGTH OF THE FLARED-END SECTION. LATENT LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ARCS PIPE JOINTS MUST BE REPAIRED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEWERAGE FROM ENTERING PIPE. SEE SHEET C1.07 FOR STRUCTURE DETAIL.

CURB & BITUMINOUS NOTES

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL WATER POINTS AND PAVEMENT PATCHES TO BE RAVEN CUT AT FULL DEPTH.
3. REPAIRS TO EXISTING STREET TO EXISTING OR BETTER SECTION.
4. SLOPE/GRAD OF CURB IS INCIDENTAL TO CURB INSTALLATION.



8774 LAKE DRIVE
SUITE 110
LIND LAKE, MN 55874
PHONE: (818) 381-8219
FAX: (818) 381-8478

DRAWN BY: CHECK BY:
AD CWP

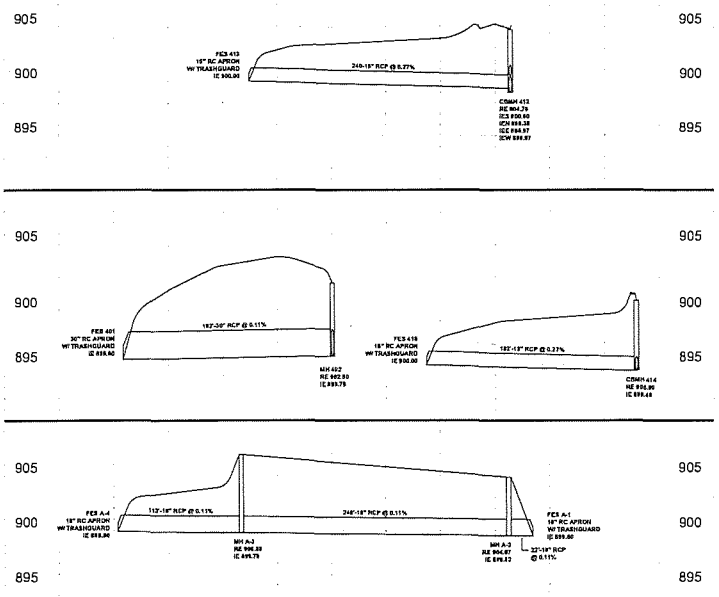
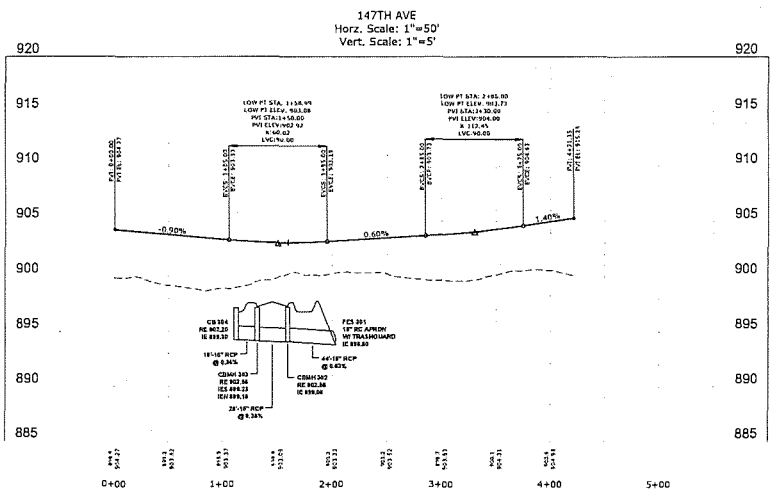
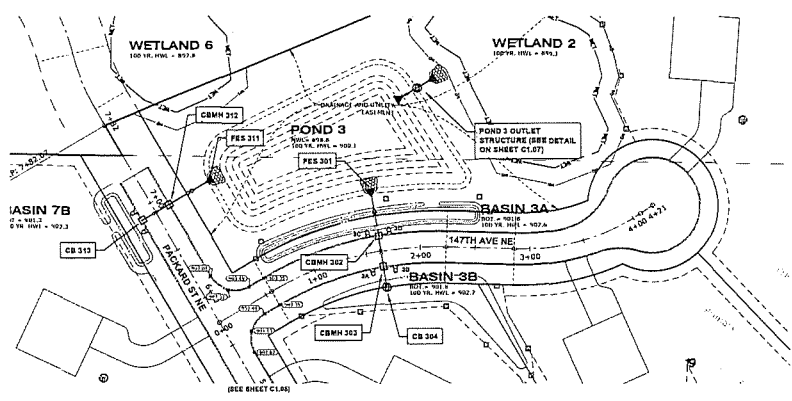
JOB NO: DATE:
20-1934 03/24/21

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

THESE DRAWINGS HAVE BEEN PREPARED BY A PROFESSIONAL ENGINEER AND I AM A duly Licensed Professional Engineer under the laws and regulations of the State of Minnesota.
[Signature]
DATE: 03/24/2021 License No. 42943

HIDDEN FOREST EAST 3RD ADDITION
CITY OF HAM LAKE, MINNESOTA
PLAN/PROFILE - 147TH AVENUE
PREPARED BY: JEFF STALLBERGER

SHEET
C1.06



GENERAL NOTES

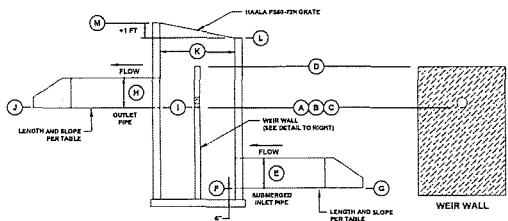
1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING THE LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "X" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATION.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (COWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATION. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
 - a. REINFORCED CONCRETE PIPE (RCP) AN 18" WITH R-4 GADGETS.
 - b. 18" RCP SHALL MEET THE REQUIREMENTS OF AASHTO M294 TYPE IV WITH TERRITORY CONNECTIONS. USE SANDWICH-LAMINAR MATERIAL FOR DISK/FILLING AND SANDWICH-LAMINAR RCP WITH R-4 GADGETS.
3. RCPY GADGETS CATCH BASINS SHALL BE FABRIC WHEM IS RESPECTED BY CITY.
4. TRAP GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 4" IN DIAMETER.
5. FRENCH GLASS FIBER REINFORCED FILTER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE INCLUDING APPROX. FIVE CONCRETE PIPES LESS THAN 4" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LATEST LENGTH OF THE FLARED-END SECTION. LATEST LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM LATEST LENGTH OF PIPE.
8. JUNCTION JOINTS MUST BE REINFORCED WITH FABRIC OR OTHER PROTECTION TO PREVENT EROSION FROM EXTERIOR PIPE.
9. SEE SHEET E-11 FOR STRUCTURE VERTICAL.

CURB & BITUMINOUS NOTES

1. REPAIR AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE MARKED AT FIELD OFFICE.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. REPAIRING OF CURB IS INCIDENTAL TO CURB INSTALLATION.



POND O.C.S. DETAIL
N.T.S.



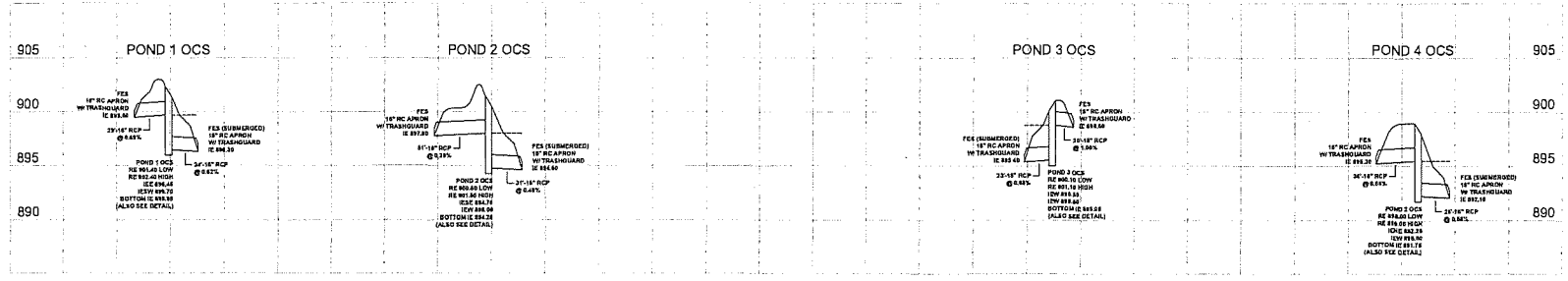
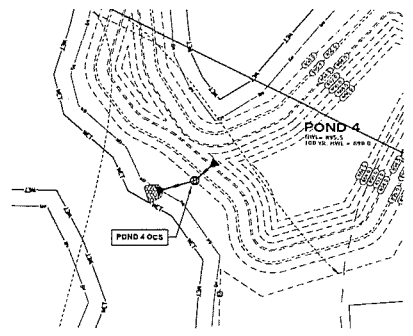
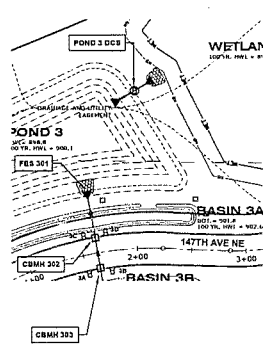
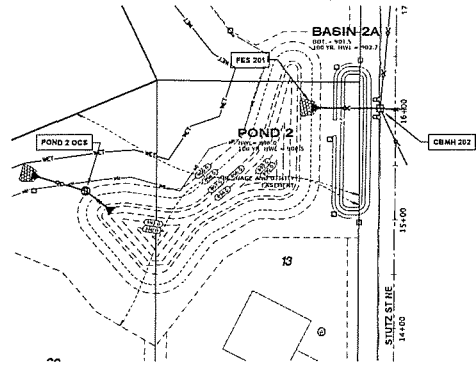
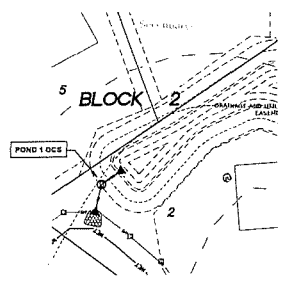
PLOWE ENGINEERING, INC.
SITE PLANNING & ENGINEERING

4714 LAKE DRIVE
SUITE 10
LINO LAKE, MN 55814
PHONE: (818) 343-4319
FAX: (818) 343-4479

DRAWN BY: CWP
CHECK BY: CWP
JOB NO: 20-1934
DATE: 10/27/2021

LEGEND

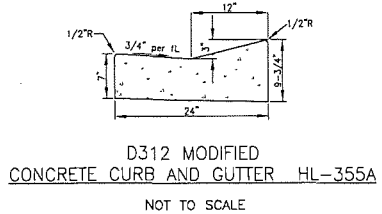
—	EXISTING STORM SEWER	—	PROPOSED 18" RCP SEWER PIPE
⊡	EXISTING STORM MANHOLE	⊡	PROPOSED STORM MANHOLE
□	EXISTING CATCH BASIN	□	PROPOSED CATCH BASIN
—	EXISTING FLARED-END SECTION	—	PROPOSED FLARED-END SECTION
—	EXISTING DELIMITED WETLAND EDGE	—	PROPOSED RAIN GUARDIAN
—	WETLAND BUFFER	—	PROPOSED RCP RAMP
⊡	WETLAND BUFFER SIGNAGE	⊡	PROPOSED SPOT ELEVATION (GUTTERLINE)



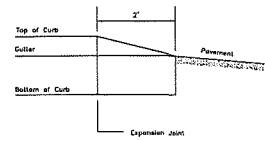
PERMANENT RECORD DRAWING
THIS DRAWING IS THE PROPERTY OF PLOWE ENGINEERING, INC.
IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON.
NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PLOWE ENGINEERING, INC.
DATE: 10/27/2021
DRAWN BY: CWP

HIDDEN FOREST EAST 3RD ADDITION
CITY OF HAM LAKE, MINNESOTA
OUTLET STRUCTURES
PREPARED FOR: JTB STALLBERGER

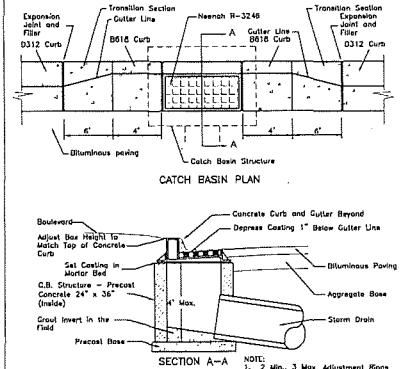
SHEET
C1.07



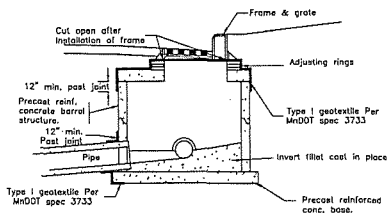
D312 MODIFIED CONCRETE CURB AND GUTTER HL-355A
NOT TO SCALE



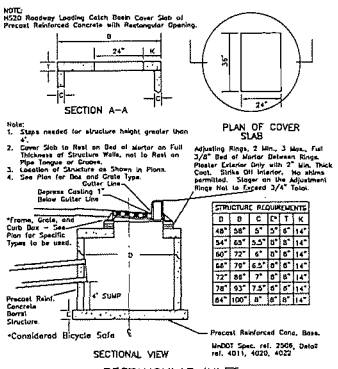
CURB END DETAIL HL-380A
NOT TO SCALE



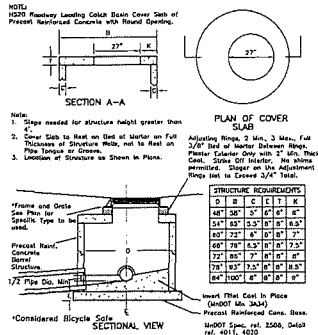
RECTANGULAR CATCH BASIN HL-459B
NOT TO SCALE



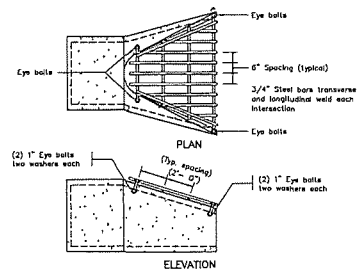
FABRIC AROUND CATCH BASIN HL-463A1
NOT TO SCALE



RECTANGULAR INLET FOR ROUND MANHOLE HL-465A2
NOT TO SCALE



ROUND MANHOLE HL-465C
NOT TO SCALE



RCP TRASH GUARD HL-466B
NOT TO SCALE

TABLE OF QUANTITIES
Riprap at RCP Outlets

Dia. Pipe (in.)	L (ft.)	Class II Riprap		Class IV Riprap	
		Depth (ft.)	Area (sq. ft.)	Depth (ft.)	Area (sq. ft.)
12	10	3.0	4.4	5.9	8.1
15	8	3.2	4.8	6.4	8.5
16	10	4.2	6.4	8.5	11.3
21	10	4.2	7.1	9.4	12.6
24	12	6.2	9.2	12.3	16.4
27	12	6.6	9.9	13.2	17.8
30	14	8.2	12.3	16.4	21.1
36	16	10.6	16.0	21.1	28.1
42	18	12.5	18.7	24.8	33.1
48	20	14.8	22.2	29.8	39.7

TABLE OF QUANTITIES
Riprap at RCP Outlets

Dia. Pipe (in.)	L (ft.)	Class II Riprap		Class IV Riprap	
		Depth (ft.)	Area (sq. ft.)	Depth (ft.)	Area (sq. ft.)
22	10	4.1	5.1	6.1	8.1
24	12	5.1	6.1	7.1	9.1
26	14	7.1	8.1	9.1	11.1
28	16	8.1	9.1	10.1	12.1
30	18	10.1	11.1	12.1	14.1
32	20	11.1	12.1	13.1	15.1
34	22	12.1	13.1	14.1	16.1
36	24	13.1	14.1	15.1	17.1
38	26	14.1	15.1	16.1	18.1
40	28	15.1	16.1	17.1	19.1
42	30	16.1	17.1	18.1	20.1
44	32	17.1	18.1	19.1	21.1
46	34	18.1	19.1	20.1	22.1
48	36	19.1	20.1	21.1	23.1
50	38	20.1	21.1	22.1	24.1

RIPRAP AT RCP OUTLETS HL-480A1
NOT TO SCALE



874 LANE DRIVE
SUITE 110
LINO LAKE, MN 56644

PHONE: (651) 461-2319
FAX: (651) 461-2391

DRAWN BY: CHECK BY:
AG CWP

JOB NO: DATE:
281834 02/24/21

IF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF PLOWE ENGINEERING, INC., THIS IS STRICTLY PROHIBITED.
DATE: 02/24/21
DRAWN BY: JEFF STALLBERGER

HIDDEN FOREST EAST 3RD ADDITION
CITY OF HAM LAKE, MINNESOTA
DETAILS

SHEET
C2.01



PLOWE ENGINEERING, INC.
1100 UNIVERSITY AVENUE
SUITE 100
MINNETONKA, MN 55345
PHONE: 952-895-1100
FAX: 952-895-1101

Table with 4 columns: NO., DATE, DESCRIPTION, and CHECK BY. It contains a single row with the date 08/21/2013 and the name JEFF STALLERSON.

MINNESOTA STATE UNIVERSITY
CITY OF HAM LAKE, MINNESOTA
HIDDEN FOREST EAST 3RD ADDITION
DRAWN BY: JEFF STALLERSON
CHECKED BY: JEFF STALLERSON
DATE: 08/21/2013

11. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
12. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
13. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

14. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
15. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
16. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

17. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
18. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
19. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

20. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
21. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
22. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

23. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
24. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
25. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

26. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
27. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
28. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

29. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
30. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
31. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

32. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
33. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
34. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

35. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
36. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
37. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

38. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
39. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
40. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

41. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
42. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
43. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

44. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
45. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
46. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

47. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
48. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
49. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

50. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
51. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
52. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

53. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
54. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
55. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

56. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
57. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
58. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

59. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
60. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
61. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

62. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
63. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
64. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

65. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
66. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
67. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

68. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
69. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
70. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

71. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
72. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
73. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

74. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
75. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
76. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

77. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
78. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
79. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

80. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
81. THE EXISTING SYSTEMS SHALL BE MAINTAINED...
82. THE EXISTING SYSTEMS SHALL BE MAINTAINED...

HIDDEN FOREST EAST 3RD ADDITION
CITY OF HAM LAKE, MINNESOTA
SWPPP
FOR AERONOFF, JEFF STALLERSON

REVISIONS: 1. REVISION 1: 11/15/2011
2. REVISION 2: 11/15/2011
3. REVISION 3: 11/15/2011
4. REVISION 4: 11/15/2011
5. REVISION 5: 11/15/2011
6. REVISION 6: 11/15/2011
7. REVISION 7: 11/15/2011
8. REVISION 8: 11/15/2011
9. REVISION 9: 11/15/2011
10. REVISION 10: 11/15/2011
11. REVISION 11: 11/15/2011
12. REVISION 12: 11/15/2011
13. REVISION 13: 11/15/2011
14. REVISION 14: 11/15/2011
15. REVISION 15: 11/15/2011
16. REVISION 16: 11/15/2011
17. REVISION 17: 11/15/2011
18. REVISION 18: 11/15/2011
19. REVISION 19: 11/15/2011
20. REVISION 20: 11/15/2011
21. REVISION 21: 11/15/2011
22. REVISION 22: 11/15/2011
23. REVISION 23: 11/15/2011
24. REVISION 24: 11/15/2011
25. REVISION 25: 11/15/2011
26. REVISION 26: 11/15/2011
27. REVISION 27: 11/15/2011
28. REVISION 28: 11/15/2011
29. REVISION 29: 11/15/2011
30. REVISION 30: 11/15/2011
31. REVISION 31: 11/15/2011
32. REVISION 32: 11/15/2011
33. REVISION 33: 11/15/2011
34. REVISION 34: 11/15/2011
35. REVISION 35: 11/15/2011
36. REVISION 36: 11/15/2011
37. REVISION 37: 11/15/2011
38. REVISION 38: 11/15/2011
39. REVISION 39: 11/15/2011
40. REVISION 40: 11/15/2011
41. REVISION 41: 11/15/2011
42. REVISION 42: 11/15/2011
43. REVISION 43: 11/15/2011
44. REVISION 44: 11/15/2011
45. REVISION 45: 11/15/2011
46. REVISION 46: 11/15/2011
47. REVISION 47: 11/15/2011
48. REVISION 48: 11/15/2011
49. REVISION 49: 11/15/2011
50. REVISION 50: 11/15/2011
51. REVISION 51: 11/15/2011
52. REVISION 52: 11/15/2011
53. REVISION 53: 11/15/2011
54. REVISION 54: 11/15/2011
55. REVISION 55: 11/15/2011
56. REVISION 56: 11/15/2011
57. REVISION 57: 11/15/2011
58. REVISION 58: 11/15/2011
59. REVISION 59: 11/15/2011
60. REVISION 60: 11/15/2011
61. REVISION 61: 11/15/2011
62. REVISION 62: 11/15/2011
63. REVISION 63: 11/15/2011
64. REVISION 64: 11/15/2011
65. REVISION 65: 11/15/2011
66. REVISION 66: 11/15/2011
67. REVISION 67: 11/15/2011
68. REVISION 68: 11/15/2011
69. REVISION 69: 11/15/2011
70. REVISION 70: 11/15/2011
71. REVISION 71: 11/15/2011
72. REVISION 72: 11/15/2011
73. REVISION 73: 11/15/2011
74. REVISION 74: 11/15/2011
75. REVISION 75: 11/15/2011
76. REVISION 76: 11/15/2011
77. REVISION 77: 11/15/2011
78. REVISION 78: 11/15/2011
79. REVISION 79: 11/15/2011
80. REVISION 80: 11/15/2011
81. REVISION 81: 11/15/2011
82. REVISION 82: 11/15/2011
83. REVISION 83: 11/15/2011
84. REVISION 84: 11/15/2011
85. REVISION 85: 11/15/2011
86. REVISION 86: 11/15/2011
87. REVISION 87: 11/15/2011
88. REVISION 88: 11/15/2011
89. REVISION 89: 11/15/2011
90. REVISION 90: 11/15/2011
91. REVISION 91: 11/15/2011
92. REVISION 92: 11/15/2011
93. REVISION 93: 11/15/2011
94. REVISION 94: 11/15/2011
95. REVISION 95: 11/15/2011
96. REVISION 96: 11/15/2011
97. REVISION 97: 11/15/2011
98. REVISION 98: 11/15/2011
99. REVISION 99: 11/15/2011
100. REVISION 100: 11/15/2011



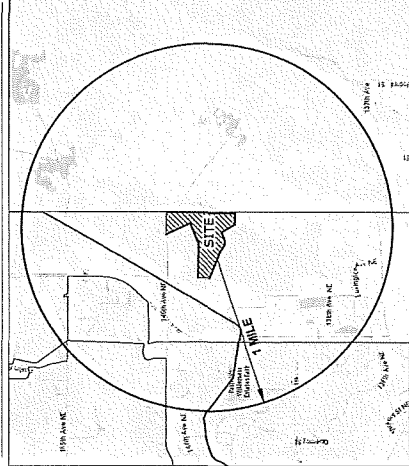
PLOME
Environmental Solutions, Inc.
1741 LANE DRIVE
LINO LAKE, MN 55124
PHONE: (952) 431-1111
WWW.PLOME.COM

DATE: 11/15/2011
DRAWN BY: JES
CHECKED BY: JES
DATE: 11/15/2011

Table with 2 columns: DATE, DESCRIPTION. Contains revision entries from 1 to 100.

NPDES DEFINITIONS

DEFINITION MEANS THE FEDERAL (USUALLY THE GENERAL CONTRACTOR, PERMITS) TO AN NPDES PERMIT. THE PERMIT IS A LEGAL DOCUMENT THAT GRANTS THE PERMITTEE THE RIGHT TO DISCHARGE POLLUTANTS INTO THE RECEIVING WATER BODY. THE PERMITTEE IS RESPONSIBLE FOR OBTAINING THE PERMIT AND FOR MONITORING AND REPORTING DISCHARGES TO THE RECEIVING WATER BODY. THE PERMITTEE IS ALSO RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT POLLUTION. THE PERMITTEE IS RESPONSIBLE FOR OBTAINING THE PERMIT AND FOR MONITORING AND REPORTING DISCHARGES TO THE RECEIVING WATER BODY. THE PERMITTEE IS ALSO RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT POLLUTION.



PERMITS AND REGULATIONS

THE PERMITTEE IS RESPONSIBLE FOR OBTAINING THE PERMIT AND FOR MONITORING AND REPORTING DISCHARGES TO THE RECEIVING WATER BODY. THE PERMITTEE IS ALSO RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT POLLUTION. THE PERMITTEE IS RESPONSIBLE FOR OBTAINING THE PERMIT AND FOR MONITORING AND REPORTING DISCHARGES TO THE RECEIVING WATER BODY. THE PERMITTEE IS ALSO RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT POLLUTION.

CONSTRUCTION SCHEDULE

Table with 2 columns: ITEM, SCHEDULE. Lists construction activities and their start/end dates.

CONTRACTOR INFORMATION

NAME: PLOME Environmental Solutions, Inc.
ADDRESS: 1741 LANE DRIVE, LINO LAKE, MN 55124
PHONE: (952) 431-1111
WWW.PLOME.COM

GENERAL CONTRACTOR

NAME: [Blank]
ADDRESS: [Blank]
PHONE: [Blank]
WWW: [Blank]

REGULATORY AGENCIES

MINNESOTA DEPARTMENT OF TRANSPORTATION AND INFRASTRUCTURE
MINNESOTA DEPARTMENT OF HEALTH
MINNESOTA DEPARTMENT OF AGRICULTURE

WATER QUALITY MONITORING

Table with 2 columns: WATER QUALITY MONITORING, STATUS. Lists monitoring points and their status.

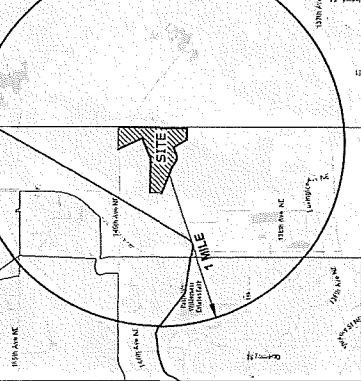
WATER QUALITY MONITORING

Table with 2 columns: WATER QUALITY MONITORING, STATUS. Lists monitoring points and their status.

WATER QUALITY MONITORING

Table with 2 columns: WATER QUALITY MONITORING, STATUS. Lists monitoring points and their status.

MAP OF SURFACE WATERS



CONSTRUCTION SCHEDULE

Table with 2 columns: ITEM, SCHEDULE. Lists construction activities and their start/end dates.

CONTRACTOR INFORMATION

NAME: [Blank]
ADDRESS: [Blank]
PHONE: [Blank]
WWW: [Blank]

GENERAL CONTRACTOR

NAME: [Blank]
ADDRESS: [Blank]
PHONE: [Blank]
WWW: [Blank]

REGULATORY AGENCIES

MINNESOTA DEPARTMENT OF TRANSPORTATION AND INFRASTRUCTURE
MINNESOTA DEPARTMENT OF HEALTH
MINNESOTA DEPARTMENT OF AGRICULTURE

WATER QUALITY MONITORING

Table with 2 columns: WATER QUALITY MONITORING, STATUS. Lists monitoring points and their status.

WATER QUALITY MONITORING

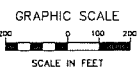
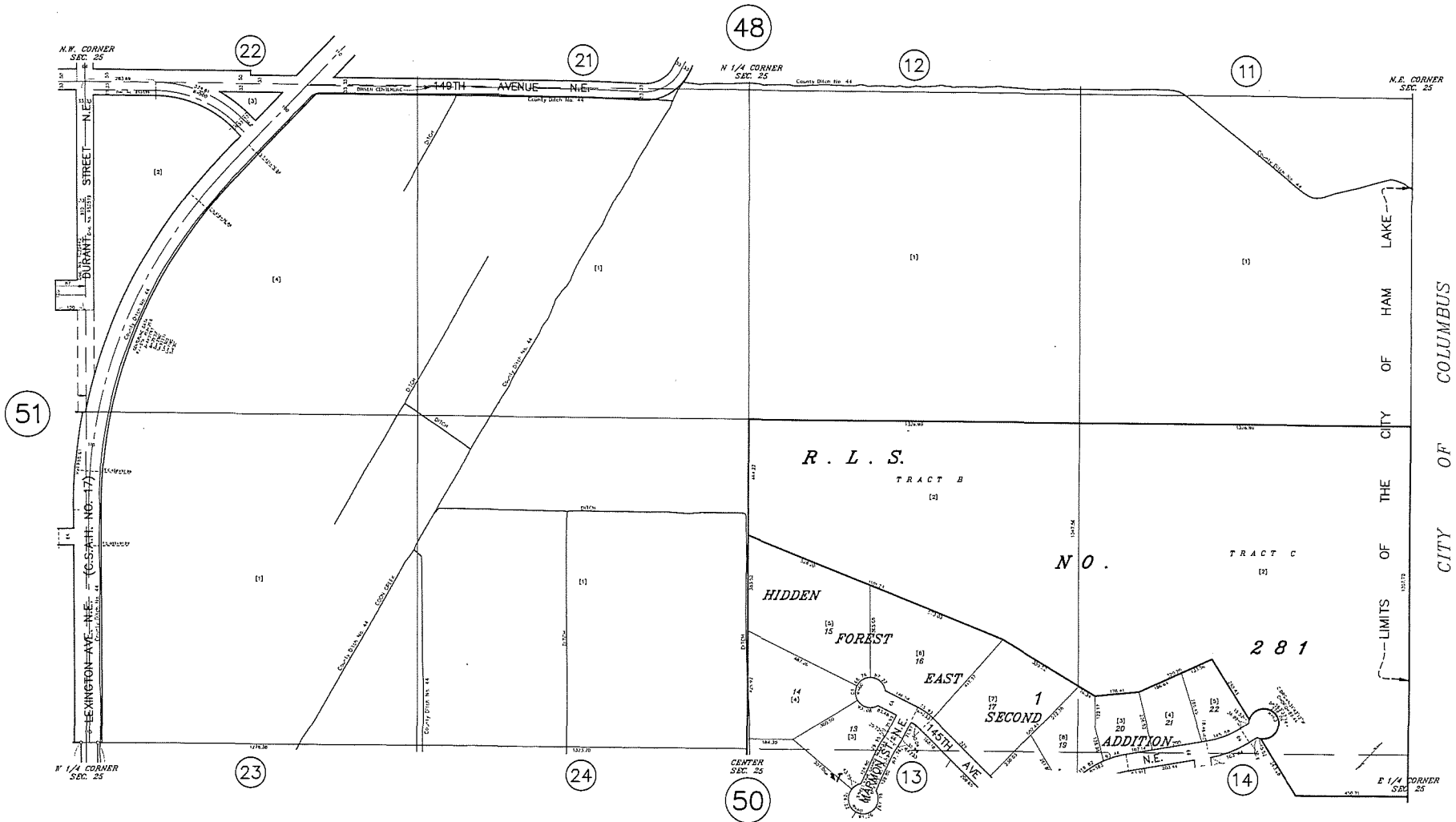
Table with 2 columns: WATER QUALITY MONITORING, STATUS. Lists monitoring points and their status.

WATER QUALITY MONITORING

Table with 2 columns: WATER QUALITY MONITORING, STATUS. Lists monitoring points and their status.

N 1/2 SECTION 25, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel Number
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: (1)
EXAMPLE OF PIN NUMBER: 25-12-23-13-001

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

REGISTERED LAND SURVEY NO. 281

**CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 25, T. 32, R. 23**

I, Jason E. Rud, hereby certify that, in accordance with the provisions of Minnesota Statutes, Section 508.47, I have surveyed the following described property situated in the County of Anoka, State of Minnesota:

The North Half of the Southeast Quarter of Section 25, Township 32, Range 23.

AND

The South Half of the Northeast Quarter of Section 25, Township 32, Range 23.

I hereby certify that this Registered Land Survey was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that this Registered Land Survey is a correct representation of said parcel of land.

Dated this 5th day of August, 2019.


Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

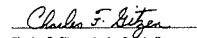
CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

We do hereby certify that on the 5th day of August, 2019, the City Council of the City of Ham Lake, Minnesota, has approved this Registered Land Survey.

 Mayor
 Clerk

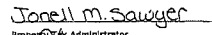

ANOKA COUNTY SURVEYOR

Pursuant to Minnesota Statutes, Section 389.09, Subd. 1, this Registered Land Survey has been reviewed and approved this 8th day of August, 2019.


Charles F. Gitzen, Anoka County Surveyor

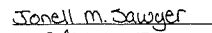

COUNTY AUDITOR/TREASURER

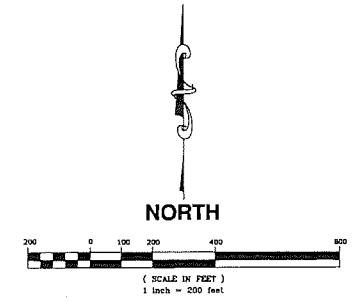
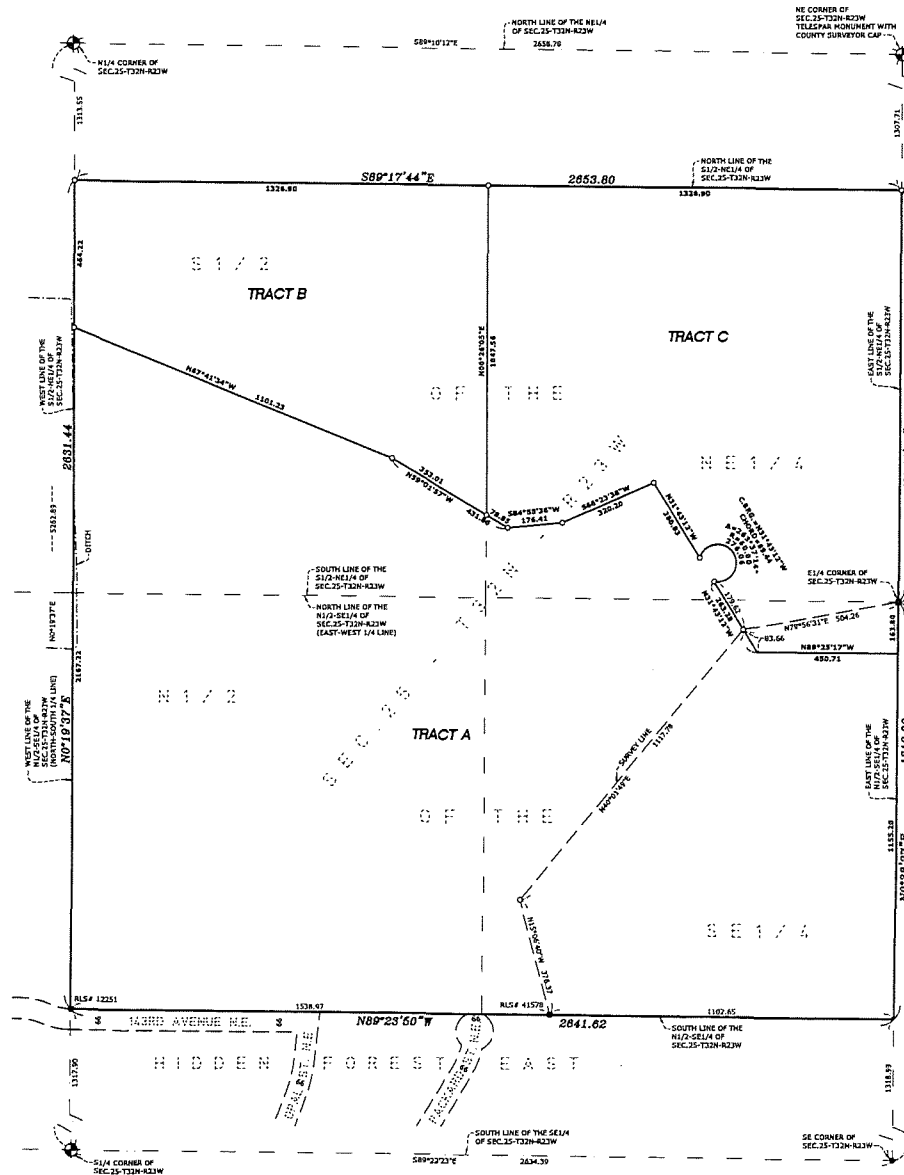
Pursuant to Minnesota Statutes, Section 508.47, Subd. 4, taxes payable in the year 2019 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this 8th day of August, 2019.


Jonell M. Sawyer
Property Tax Administrator
By  Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this REGISTERED LAND SURVEY NO. 281 was filed in the office of the County Recorder/Registrar of Titles for public record on this 8th day of August, 2019, at 10:00 o'clock A.M., and was duly recorded as Document Number 568448.001.


Jonell M. Sawyer
County Recorder/Registrar of Titles
By  Deputy



- LEGEND**
- DENOTES 1/2 INCH BY 1/4 INCH IRON MONUMENT SET MARKED BY RLS NO. 41578
 - DENOTES FOUND 1/2 INCH IRON MONUMENT AS LABELED.
 - ⊙ DENOTES ANOKA COUNTY CAST IRON MONUMENT, UNLESS OTHERWISE SHOWN.
 - DENOTES FOUND CONCRETE MONUMENT

FOR THE PURPOSES OF THIS REGISTERED LAND SURVEY THE WEST LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREES 19 MINUTES 37 SECONDS EAST.





CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE PARK AND TREE COMMISSION MINUTES WEDNESDAY, SEPTEMBER 19, 2018

The Ham Lake Park and Tree Commission met for its regularly scheduled meeting on Wednesday, September 19, 2018 at 6:00 p.m. at the Ham Lake City Hall, 15544 Central Avenue NE, Ham Lake, Minnesota.

MEMBERS PRESENT: Vice Chair Tim Donnay and Commissioners, Al Stauffacher, Tara Lanigan and Doug Miller

MEMBERS ABSENT: Patrick Wolfgram

OTHERS PRESENT: Public Works Superintendent, Tom Reiner and Deputy City Clerk, Jennifer Bohr

CALL TO ORDER:

Vice Chair Donnay called the meeting to order at 6:00 p.m. and the Pledge of Allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Stauffacher, seconded by Miller, to approve the minutes of the July 18, 2018 Park and Tree Commission meeting as written. All present in favor. Motion carried.

CITY COUNCIL UPDATE: None

1.0 APPEARANCES:

1.1 Jeff Stalberger, HFN Properties, LLC, consideration of Parkland Dedication for Sketch Plan of Hidden Forest East 2nd Addition (42 Single Family Residential Lots) in Section 25.

Jeff Stalberger of HFN Properties, LLC was present. Mr. Stalberger stated he developed the plat of Hidden Forest East last spring and Hidden Forest East 2nd Addition will be to the north of that plat. Vice Chair Donnay asked Mr. Stalberger if he has plans to develop additional land in this area and would those developments include a park. Superintendent Reiner stated that the Comprehensive Plan identifies an area north of the Hidden Forest East 2nd Addition as a potential future park location. Mr. Stalberger stated he prefers to offer the City money in lieu of parkland but he would be willing to work with the Knolls, current owners of the adjacent property, and the City to negotiate a purchase of land for a park, perhaps in a section to the southwest of Hidden Forest East 2nd Addition. Superintendent Reiner suggested that Mr. Stalberger purchase land in the next phase of development that could be parkland. Discussion followed regarding dedication of future parkland bordering Carlos Avery Wildlife

Management Area (WMA); there was concern that hunters would utilize any parkland bordering Carlos Avery WMA as an entrance to the WMA for hunting and cause parking issues. Commissioner Miller voiced his concern with the limited amount of parkland the City has obtained in the past two years and that tonight's discussion is only speculative; there is no guarantee the City will obtain parkland in future phases of development in this area. Vice Chair Donnay asked Mr. Stalberger when he would develop the next phase in the Hidden Forest East development. Mr. Stalberger stated it could possibly be eighteen months from now. Vice Chair Donnay asked if Mr. Stalberger would be willing to plan a park in the next phase. Mr. Stalberger stated he would be willing to plan a park in the next phase. Commissioner Stauffacher stated that if money is accepted in lieu of parkland for this development a park needs to be required in the next phase. Commissioner Miller stated the maximum amount of parkland needs to be obtained in the next phase. **Motion by Donnay, seconded by Lanigan, to recommend to City Council to accept monies in lieu of parkland for the Sketch Plan of Hidden Forest East 2nd Addition (42 Single Family Residential Lots) in Section 25. Commissioners Donnay and Lanigan voted yes, Commissioners Stauffacher and Miller voted no.** Commissioner Stauffacher said he would like a stipulation included in the motion to require parkland in the next phase of the Hidden Forest East development. **Donnay moved to amend the motion by adding the following to the motion on the table: with the understanding parkland will be required in the next phase of the Hidden Forest East development. Seconded by Stauffacher. Commissioners Donnay, Lanigan and Stauffacher voted yes, Commissioner Miller voted no. Motion carried.** *(This item will be placed on the October 1, 2018 City Council Agenda.)*

2.0 PARK & TREE COMMISSION BUSINESS:

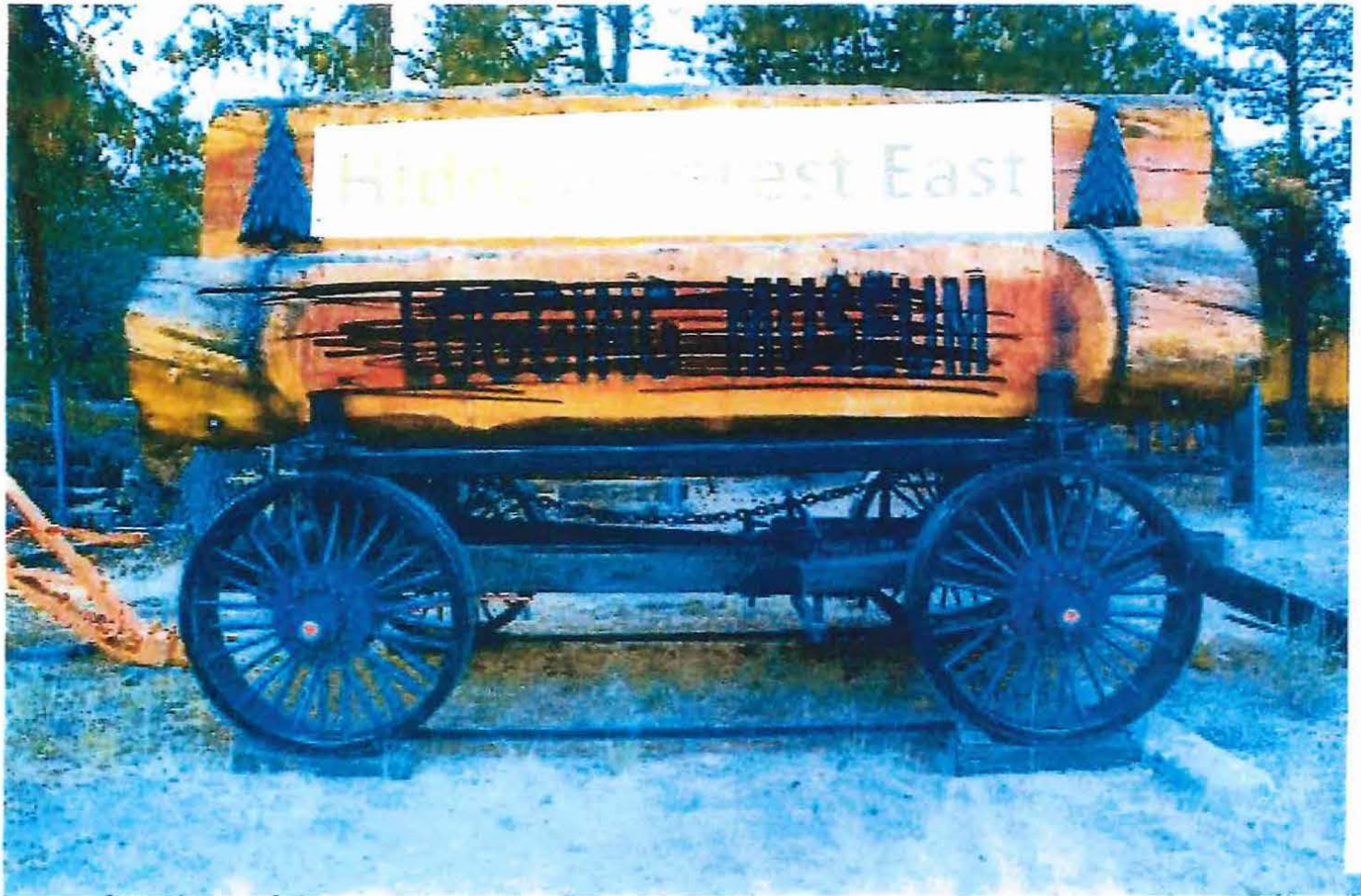
2.1 Discussion of recommending a feasibility study for construction of a 1.75 mile bike trail on the west side of Radisson Road NE from 139th Avenue NE to 153rd Avenue NE

Superintendent Reiner stated extending the pedestrian trail on the west side of Radisson Road NE was discussed at the April 4, 2018 workshop meeting and the July 18, 2018 Park and Tree Commission meeting. Superintendent Reiner stated a recommendation was made to City Council for Engineer Collins to contact Anoka County to ask if the County would allow the City to purchase and construct a trail in the county right-of-way; Engineer Collins has contacted Anoka County and they are open to the trail extension. Superintendent Reiner stated the trail would connect to the current bike lane on 149th Avenue NE, which connects to a trail going into Blaine. Superintendent Reiner stated the next step in this process would be to conduct a feasibility study. **Motion by Stauffacher, seconded by Miller, to recommend to City Council that Engineer Tom Collins conduct a feasibility study for the 1.75 mile bike trail along the west side of Radisson Road NE between 139th Lane NE and 153rd Avenue NE. All present in favor. Motion carried.** *(This item will be placed on the October 1, 2018 City Council Agenda.)*

3.0 TREE UPDATE:

3.1 Oak Wilt Tree Inspections

Superintendent Reiner stated tree inspectors have completed road side inspections for oak wilt; 159 notices were sent to residents to inform them that their oak trees have symptoms of



Double sided sand blast or oth
Sign on top

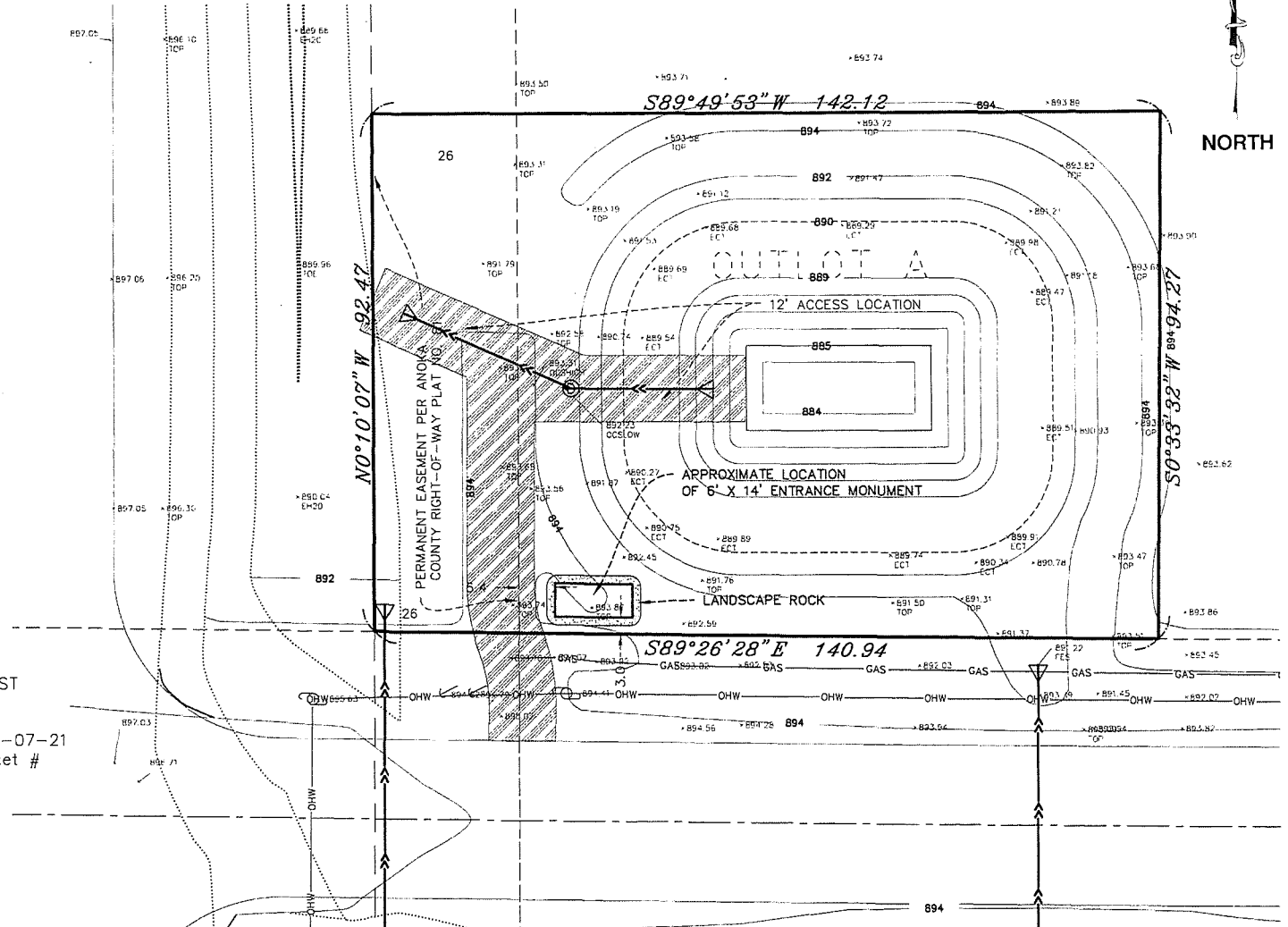
A few logs with no bark from
the development

12' to 14' in length

Proposed Monument

MONUMENT EXHIBIT

~for~ HFN PROPERTIES, LLC.



NOTES

- Bearings shown are on Anoka County datum.
- Exhibit was prepared using HIDDEN FOREST EAST grading plan and field verification.
- E.G. Rud and Sons, Inc. visited the site on 06-07-21 to locate utilities marked by Gopher State One Ticket # 211522277.

OUTLOT A, HIDDEN FOREST EAST, Anoka County, Minnesota.

Scale 1" = 20'	● Denotes Iron Monument	Bearing Datum: Assumed	Job No. 200949	Drwg By MMD
<p>I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.</p> <p>E. G. RUD & SONS, INC.</p> <p>By: <i>[Signature]</i></p> <p>Dated this 17th day of June 2021, Minnesota License No. 41578</p>				
<p>E. G. RUD & SONS, INC. PROFESSIONAL LAND SURVEYORS 6776 LAKE DRIVE NE, SUITE 110 LINO LAKES, MINNESOTA 55014 TEL. (651) 361-8200 FAX (651) 361-8701 www.egrund.com</p>				

Tom Collins

From: Mark Jones <MJones@ci.ham-lake.mn.us>
Sent: Thursday, April 15, 2021 2:49 PM
To: 'ricoh_scanner@ham-lake.com'
Cc: Tom Collins; Jennifer Bohr
Subject: Monument sign

Jeff,

Talking it over with Joe Murphy you could simply do an amendment to the prior development agreement to HFE. You would need to show where on the plot the sign location, meet all setbacks, and show how the sign would interfere with maintaining the any ponding within that area. This would also have to be approved by Tom Collins. See code notes below.

11-340 Standards in Specific Residential Districts No signs shall be permitted in any area zoned R-1, R-M, R-AH, PUD, RS-1 or

RS-2 except for temporary signs that are no greater than six square feet in size, except that Neighborhood Monument Signs as defined in Article 11-350.4 of this code may be up to 40 square feet in size, as measured on the perimeter of the border of the message displayed (excluding structural components of the sign). Only one sign may be placed on a residential lot, except that if it is a corner lot with two road frontages, one sign may be permitted facing each road. Such signs may be in place for no more time than is necessary to accomplish the intended purpose of the sign. A single "monument" or other sign erected by a neighborhood association or land developer may be placed on private property at any road entrance to the neighborhood, provided that the sign is maintained by the property owner on whose parcel the sign is placed.

11-350.4 Neighborhood Monument Signs A "Neighborhood Monument Sign" is a sign that is erected by a residential subdivision developer or owner's association at the time of marketing and construction of the subdivision. Neighborhood Monument Signs shall be constructed of materials requiring little or no ongoing maintenance, such as masonry. No portion of any Neighborhood Monument Sign shall be located closer than ten feet from any road right-of-way. No Neighborhood Monument Sign shall be permitted unless, as a part of the development agreement for the subdivision, a reasonable system for ongoing maintenance of the sign is provided, at no cost or expense to the City. Further, the development agreement shall provide that if the sign is not properly maintained, the City may, upon reasonable notice to the residents of the neighborhood, come upon the property upon which the sign sits and remove the signage.

Mark Jones
City of Ham Lake

PERMIT
COON CREEK WATERSHED DISTRICT
13632 Van Buren St NE
Ham Lake, MN 55304
Permit Number: 2205

Project: Hidden Forest East 3rd Addition

Issued to: Jeff Stalberger
17404 Ward Lake Dr. NW
Andover, MN 55304

Location: Packard St NE at 145th Ave NE, Ham Lake

Permit Application #: 20-143

Purpose: 38 lot residential subdivision, and associated stormwater features

At its meeting on April 26, 2021, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Grading Plans (16 sheets); by Plowe Engineering, dated 4/14/2021, received 4/14/2021.
2. Civil Plans (15 sheets); by Plowe Engineering, dated 7/21/2021, received 7/30/2021.
3. Stormwater Drainage Report; by Plowe Engineering, dated 7/29/2021, received 7/30/2021.
4. Storm Sizing Calculations; by Plowe Engineering, dated 4/14/2021, received 4/14/2021.
5. Anticipated High Water Level Map, undated, received 2/24/2021.
6. Concept Plans; by E.G. Rud, dated 9/4/2020, received 2/24/2021.
7. Geotechnical Report; by Braun Intertec, dated 8/13/2003, received 2/24/2021.
8. Preliminary Soil Borings; by Tradewell Soil Testing, dated 4/21/2003, received 2/24/2021.
9. Infiltration Borings; by Tradewell Soil Testing, dated 12/23/2020, received 3/31/2021.
10. Soil Certification Letter; by Tradewell Soil Testing, dated 4/05/2021, received 4/14/2021.
11. Wetland Delineation Report; by Kjolhaug, dated 9/17/2020, received 9/17/2020.
12. Rare Plant Survey; by MNR, dated 9/11/2020, received 2/24/2021.

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 3 stipulations.

1. Submittal of as-builts for the following stormwater management practices, including volume and proof of installation for hydrodynamic separators:

Stormwater Treatment Practices	Number
Wet Sedimentation Pond	4
Infiltration Basin	8
RainGuardians	13
Outlet Control Structure	5

2. Completion of post construction infiltration tests on Infiltration Basins 1A, 1B, 2A, 3A, 3B, 4D, 7A and 7B by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. If dewatering, either DNR dewatering permit (if required) or well-field location, rates, discharge location, schedule and quantities must be submitted to the District 7 days prior to activity for review and approval.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: 8/2/2021
Date of Expiration: 7/30/2022



Ed Matthiesen, District Engineer

cc: File- 20-143
Eileen Weigel, Stantec
Danielle Tourillott, Stantec
Tom Collins, Ham Lake

*****IMPORTANT PERMIT REQUIREMENTS OUTLINED ON REVERSE*****

GENERAL PERMIT STIPULATIONS:

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

REFUNDING OF ESCROWS: Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

April 5th, 2021

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304
Attention: Tom Collins

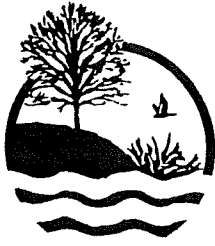
Dear Mr. Collins:

As a licensed site evaluator who conducted the soil borings in Hidden Forest East 3rd Addition for Jeff Stalberger, I found the following: Each boring has at least 12" of natural, undisturbed and unmottled soil. In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of mottling is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Tradewell". The signature is fluid and cursive, with a large initial "M" and "T".

Mark Tradewell
MPCA #307



KJOLHAUG ENVIRONMENTAL SERVICES COMPANY

Providing Sound, Balanced, Comprehensive Natural Resource Solutions

Memorandum

Date: April 13, 2021

To: Becky Horton, MN DNR

Cc: Erin Edison, Coon Creek Watershed District
Jeff Stalberger, HFN Properties, LLC
Adam Ginkel, Plowe Engineering, Inc.

From: Melissa Barrett, Kjolhaug Environmental Services Company (KES)

Re: Rare Species Avoidance Plan
Hidden Forest East 3rd Addition, Ham Lake
KES#2020-104

The Hidden Forest East 3rd Addition project is located on 82.8 acres in Section 26, Township 32 North, Range 23 West, Ham Lake, Anoka County, Minnesota. The site is situated east of Lexington Avenue and north of 125th Avenue NE.

A plant survey conducted on the site by Midwest Natural Resources (MNR) on August 23, 2020 (**Attachment A**) identified 69 individuals of the state-threatened black huckleberry (*Gaylussacia baccata*) in the northeast corner of the site (**Figure 1**).

The proposed plan for the site is included as **Attachment B**. According to the plan, the nearest grading activity is more than 260 feet from the rare plant population (**Figure 2**).

Prior to site construction, silt fence as shown on the plans will be installed along the grading limits thereby ensuring avoidance of the subject plants.

Project approval requires DNR concurrence with the Rare Plant Survey and concurrence that additional investigation is not required.

At this time, we are requesting DNR approval of this avoidance plan and the MNR plant survey. We are also requesting that DNR provides a determination to CCWD regarding whether further investigation is required for this project.

Thank you.

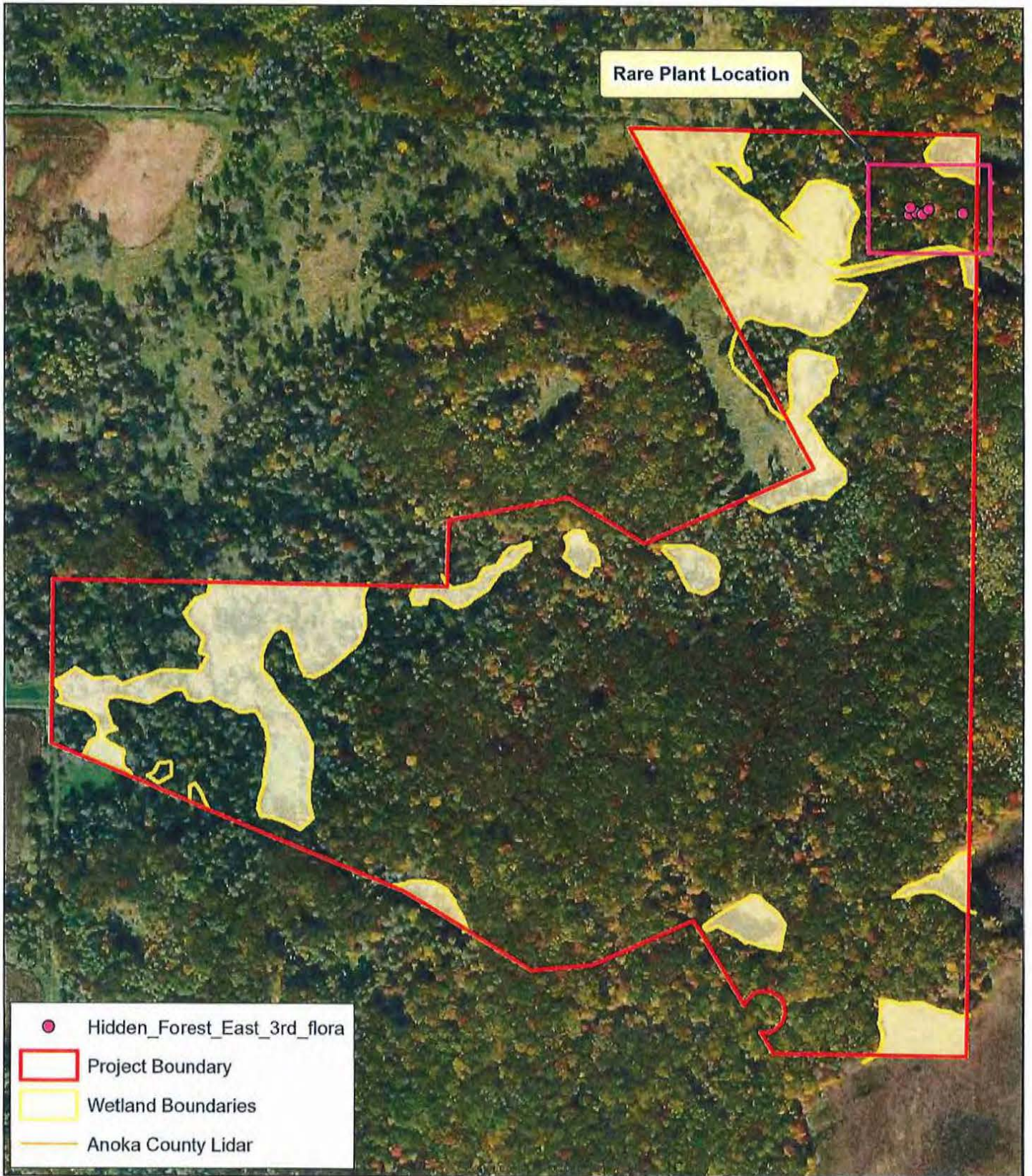



Figure 1 - Rare Plant Population Location



N



0 500 Feet



Hidden Forest East 3rd Addition (KES 2020-104)
Ham Lake, Minnesota

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

KJOLHAUG ENVIRONMENTAL SERVICES COMPANY

Source: MNGEO Spatial Commons

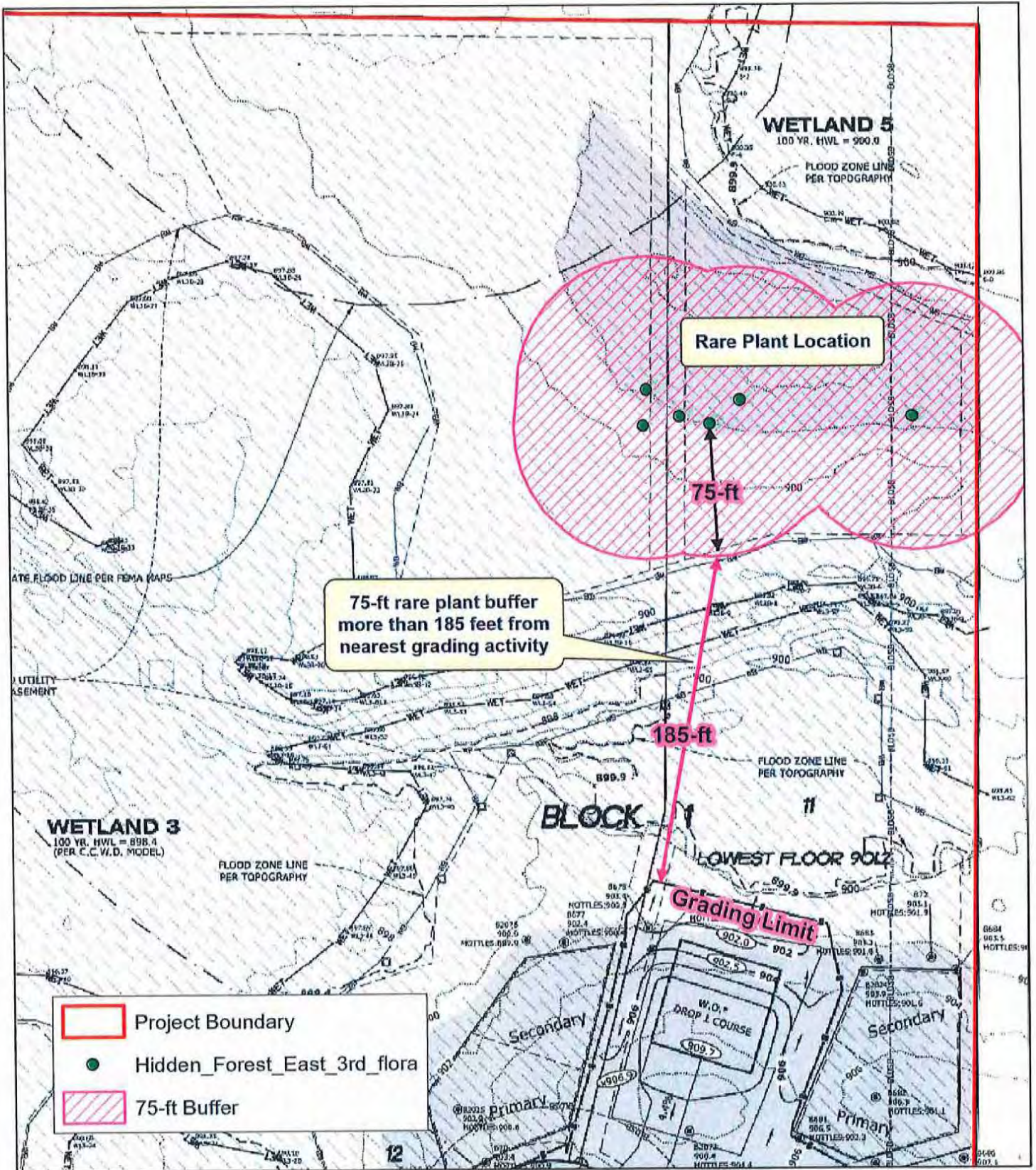


Figure 2 - Rare Plant Distance from Grading Activities

**Hidden Forest East 3rd Addition (KES 2020-104)
Ham Lake, Minnesota**

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

125 Feet

KJOLHAUG ENVIRONMENTAL SERVICES COMPANY

Source: MNGEO Spatial Commons

Hidden Forest East 3rd Addition, Ham Lake

Rare Species Avoidance Plan

Attachment A

RARE PLANT SURVEY REPORT

HIDDEN FOREST EAST 3RD ADDITION PROJECT

Prepared for:
Mr. Jeffrey Stalberger
HFN Properties, LLC
17404 Ward Lake Dr. NW
Andover, MN 55304



SEPTEMBER 11, 2020

Prepared by:
Midwest Natural Resources, Inc.
1032 West 7th Street, Suite 150
St. Paul, Minnesota 55102





Mr. Jeffrey Stalberger
HFN Properties, LLC
17404 Ward Lake Dr. NW
Andover, MN 55304

September 11, 2020

Mr. Stalberger,

The following document discusses the results of the recent rare plant survey conducted by Midwest Natural Resources, Inc. (MNR) for the proposed Hidden Forest East 3rd Addition residential development project. The proposed project is located east of Lever Street Northeast in Ham Lake, Minnesota (**Figure 1**).

Project Limits and Existing Background Data

The project area, which is approximately 82.5 acres, is located in Township 32 North, Range 23 West in the NENE, NWNE, SWNE, SENE, and NESE quarter-quarter sections of Section 25 (**Figure 2**). Available background data reviewed pertaining to the overall landscape included the USGS Topographic Map (**Figure 3**), LiDAR imagery (**Figure 4**), and the Anoka County Soil Survey digital data layer (**Figure 5**). The site includes four different soils series: Isanti fine sandy loam (Iw), Lino loamy fine sand (LnA), Markey muck (Ma), and Zimmerman fine sand (ZmB). Additionally, the Minnesota Department of Natural Resources (DNR) Native Plant Community (NPC) data layer was examined to determine if NPCs were mapped within the project site (**Figure 6**). This data layer identifies a large portion of the site as Southern Dry-Mesic Oak (Maple) Woodland, Oak – (Red Maple) Woodland type (FDs37a). The site is additionally identified as an Outstanding Site of Biological Significance (**Figure 7**).

Methods

Prior to conducting field surveys, MNR submitted a rare plant survey protocol to the DNR Endangered Species Coordinator (**Appendix A**). Field efforts, consisting of meander surveys, were conducted on August 23, 2020 by MNR botanists Otto Gockman, Jake Walden, and the undersigned. Follow-up surveys efforts were conducted on September 5, 2020. A general species list was collected during field efforts, as were representative site photographs. State-listed plant populations observed were spatially documented using a Trimble® Geo XT 6000 sub-meter GPS unit, capturing the extent of a given population or colony. Collected spatial data was then post-processed following survey efforts in order to provide sub-meter quality data.

Results

The majority of the project area is a Southern Dry-Mesic Oak (Maple) Woodland, Oak – (Red Maple) Woodland community type (FDs37a), matching the NPC data layer. The conservation status of this native plant community in the state is ranked as S4, meaning apparently secure, uncommon but not rare.

The canopy of this community is continuous with prominent species including white oak (*Quercus alba*), northern pin oak (*Q. ellipsoidalis*), northern red oak (*Q. rubra*), and red maple (*Acer rubrum*). The shrub layer ranges from sparse to patchy, and the ground layer is patchy to interrupted with hog peanut (*Amphicarpaea bracteata*), Pennsylvania sedge (*Carex pensylvanica*), large-leaved aster (*Eurybia macrophylla*), interrupted fern (*Claytosmunda claytoniana*¹, formerly *Osmunda claytoniana*), and bracken fern (*Pteridium aquilinum*). The survey area additionally includes a number of open wetland features throughout. These wetlands are generally degraded and dominated by reed canary grass (*Phalaris arundinacea*) along with stinging nettle (*Urtica dioica*) and arrow-leaved tearthumb (*Persicaria sagittata*).

Overall, 138 species were noted during survey efforts (**Appendix B**), including the state-threatened black huckleberry (*Gaylussacia baccata*). Approximately 69 individuals were documented in the northeast corner of the project area (**Figure 8**) growing in the fire dependent forest growing in association with *Quercus alba*, *Q. rubra*, *Acer rubrum*, *Amphicarpaea bracteata*, *Carex pensylvanica*, *Claytosmunda claytoniana*, American hazelnut (*Corylus americana*), bush honeysuckle (*Diervilla lonicera*), woodbine (*Parthenocissus vitacea*), and lowbush blueberry (*Vaccinium angustifolium*). A portion of one individual was collected for documentation purposes and collected under Special Permit No. 22798. This voucher will be submitted to the DNR in the near future and ultimately provided to the University of Minnesota Herbarium (MIN).

Representative site photos, as well as photos of the *Gaylussacia baccata*, are provided in **Appendix C**.

Conclusion

As noted, one state-threatened species, *Gaylussacia baccata*, was documented during survey efforts. This species is protected by state law, which prohibits the taking, importing, transporting, or selling of any part of a threatened or endangered species. A takings permit through the DNR will be required if impacts are unavoidable, and we can assist you in that case.

Please also note that we will be submitting this report to the DNR for concurrence and we will additionally submit our spatial data for incorporation into the Natural Heritage Information System database.

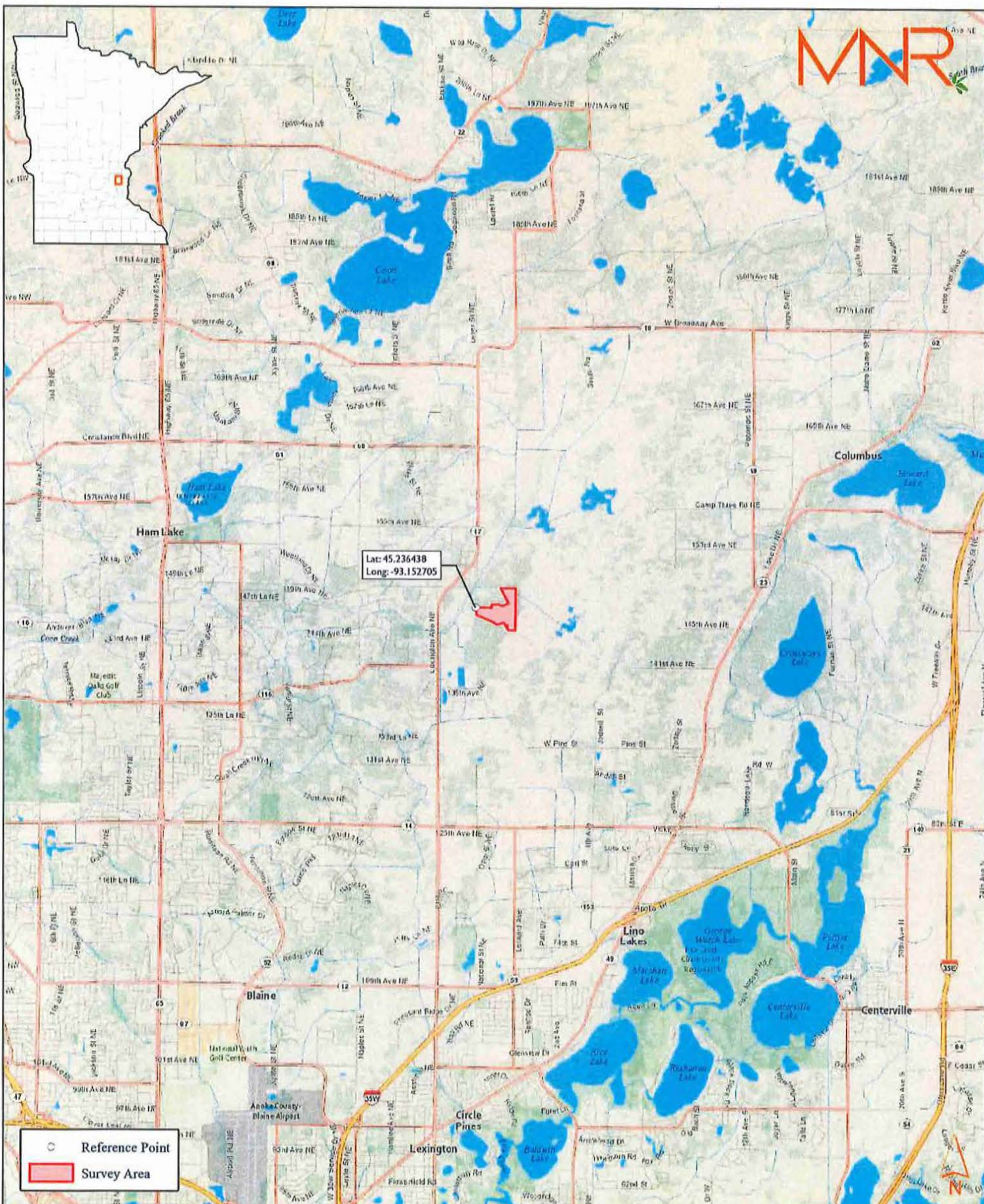
We appreciate the opportunity to assist you with your project and we welcome any questions or comments.

Respectfully submitted,



Scott A. Milburn, M.S.
Principal Botanist/President
Midwest Natural Resources, Inc.

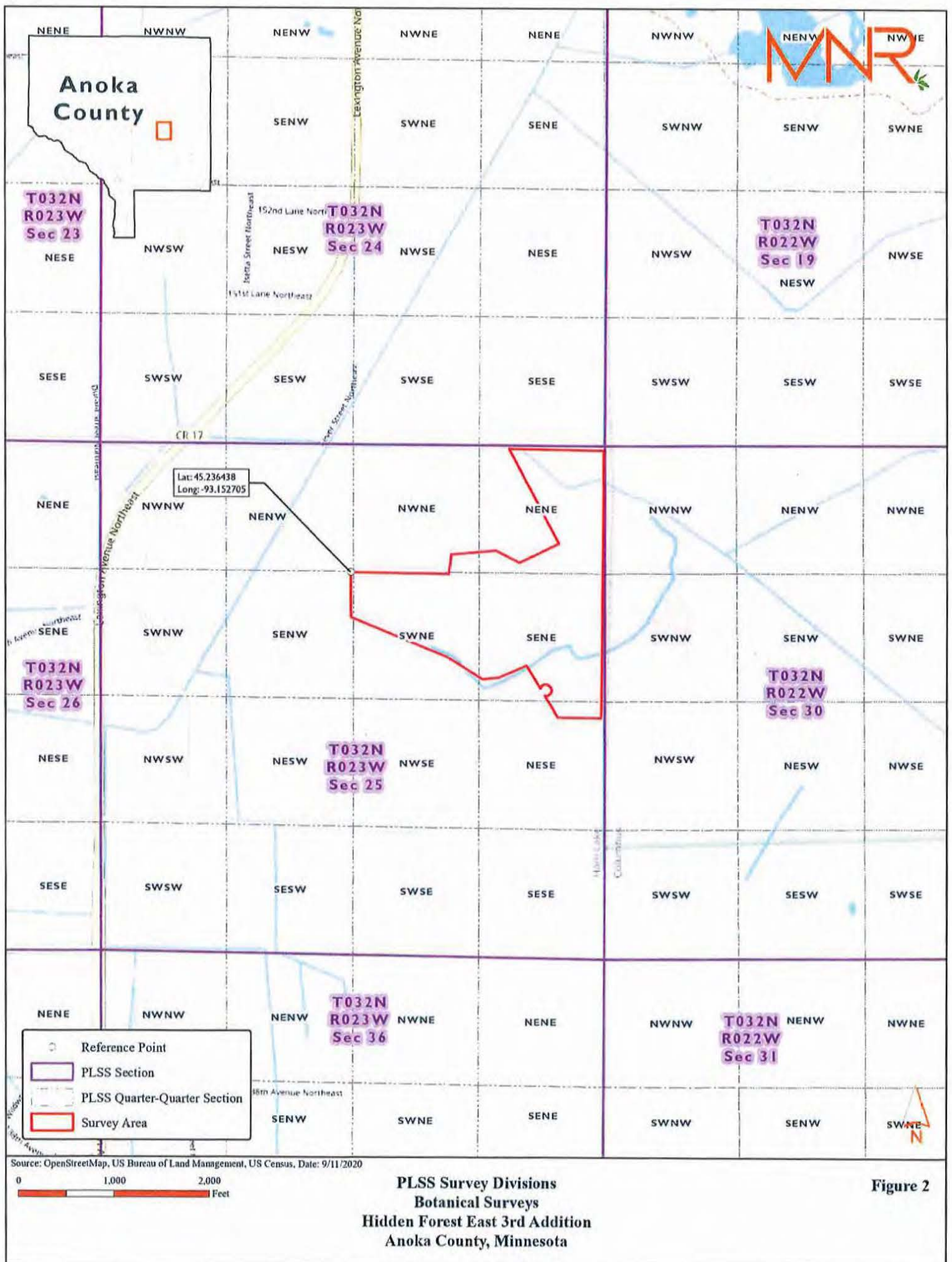
1. *Claytosmunda claytoniana* (L.) Metzgar & Rouhan

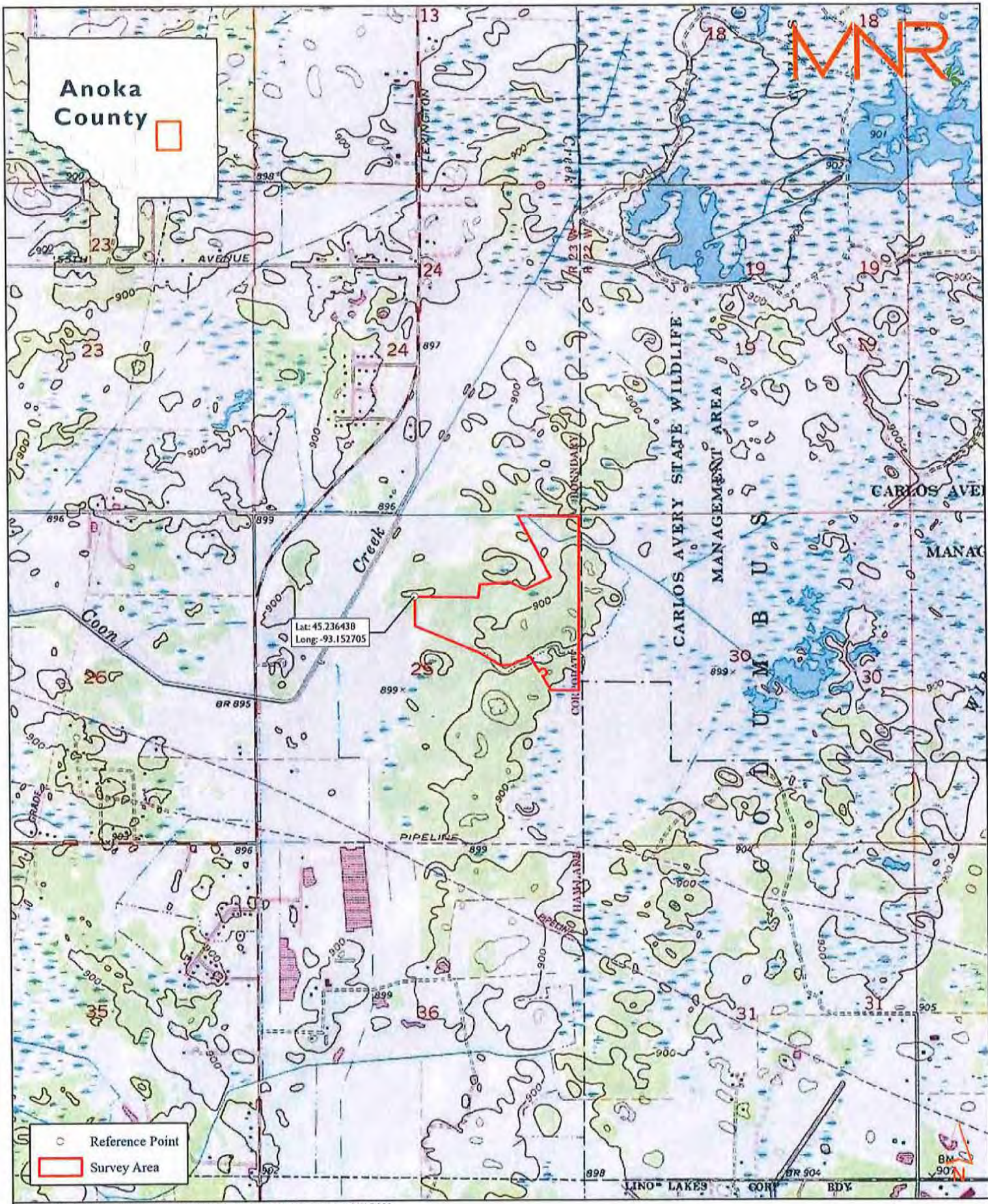


Source: National Geographic World Map, US Census, Date: 9/11/2020

Survey Site Location
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota

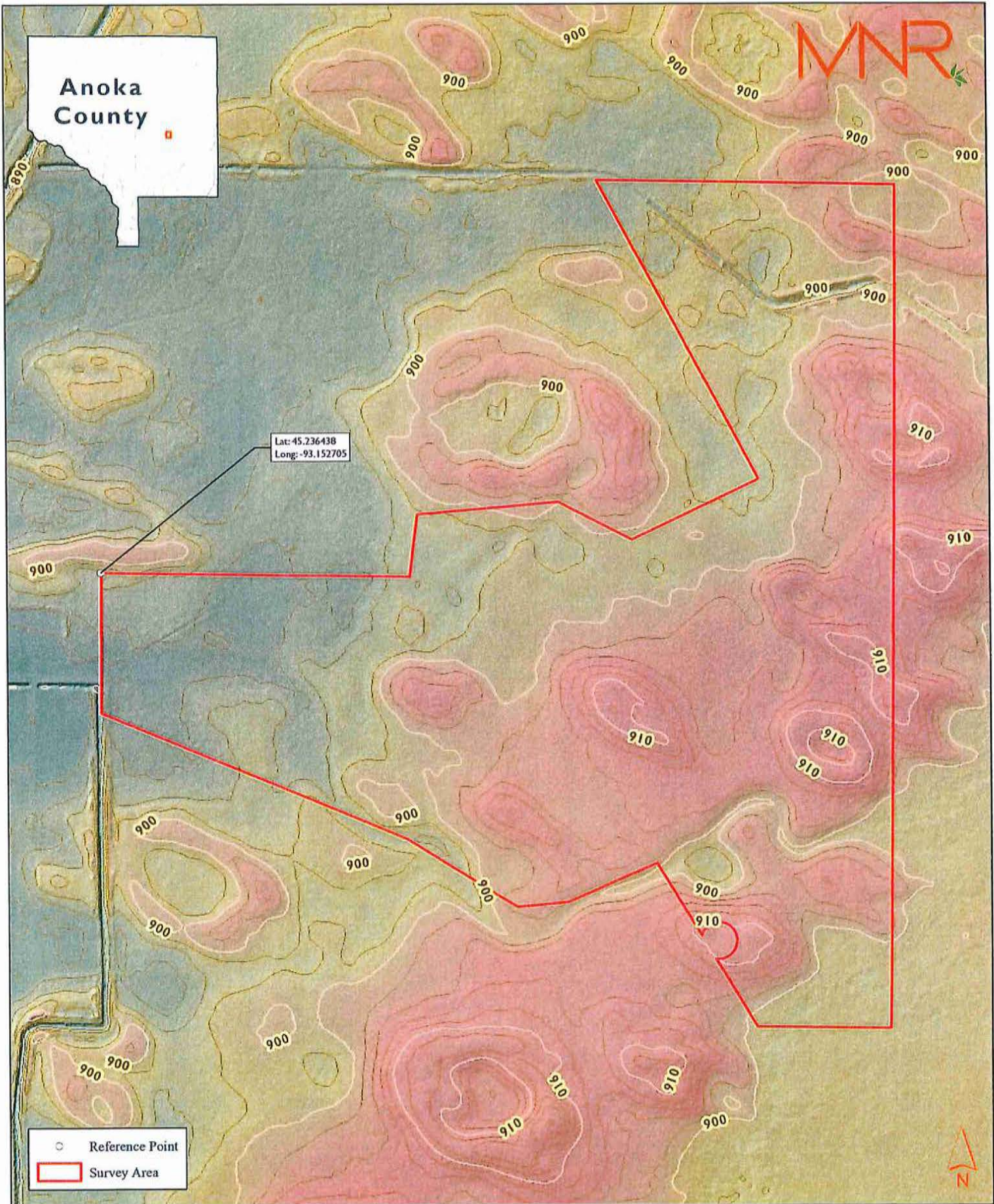
Figure 1





USGS Topographic Map
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota

Figure 3



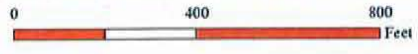
Anoka
County

MNR

Lat: 45.236438
Long: -93.152705

- Reference Point
- ▭ Survey Area

Source: MnGeo, Minnesota DNR, US Census, Date: 9/11/2020



LiDAR Elevation Data: Hillshade / Contours
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota

Figure 4



Source: MnGeo, Minnesota DNR, USDA Natural Resources Conservation Service, US Census, Date: 9/11/2020



**Anoka County Soil Survey
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota**

Figure 5

Anoka
County

Lat: 45.236438
Long: -93.152705

- Reference Point
- FDs37a - Oak - (Red Maple) Woodland
- WFn55b - Black Ash - Yellow Birch - Red Maple - Basswood Swamp (Eastcentral)
- Survey Area

Source: MnGeo, Minnesota DNR, US Census. Date: 9/11/2020



**Native Plant Communities
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota**

Figure 6



MNR

Anoka
County

Lat: 45.236438
Long: -93.152705

CARLOSAVERY
NATURAL AREA

- Reference Point
- ▭ Survey Area
- MN Biological Survey Mapped:
- Outstanding

Source: MnGeo, Minnesota DNR, US Census, Date: 9/11/2020
0 400 800 Feet

MBS Sites of Biological Significance
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota

Figure 7

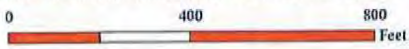


Anoka
County

Lat: 45.236438
Long: -93.152705

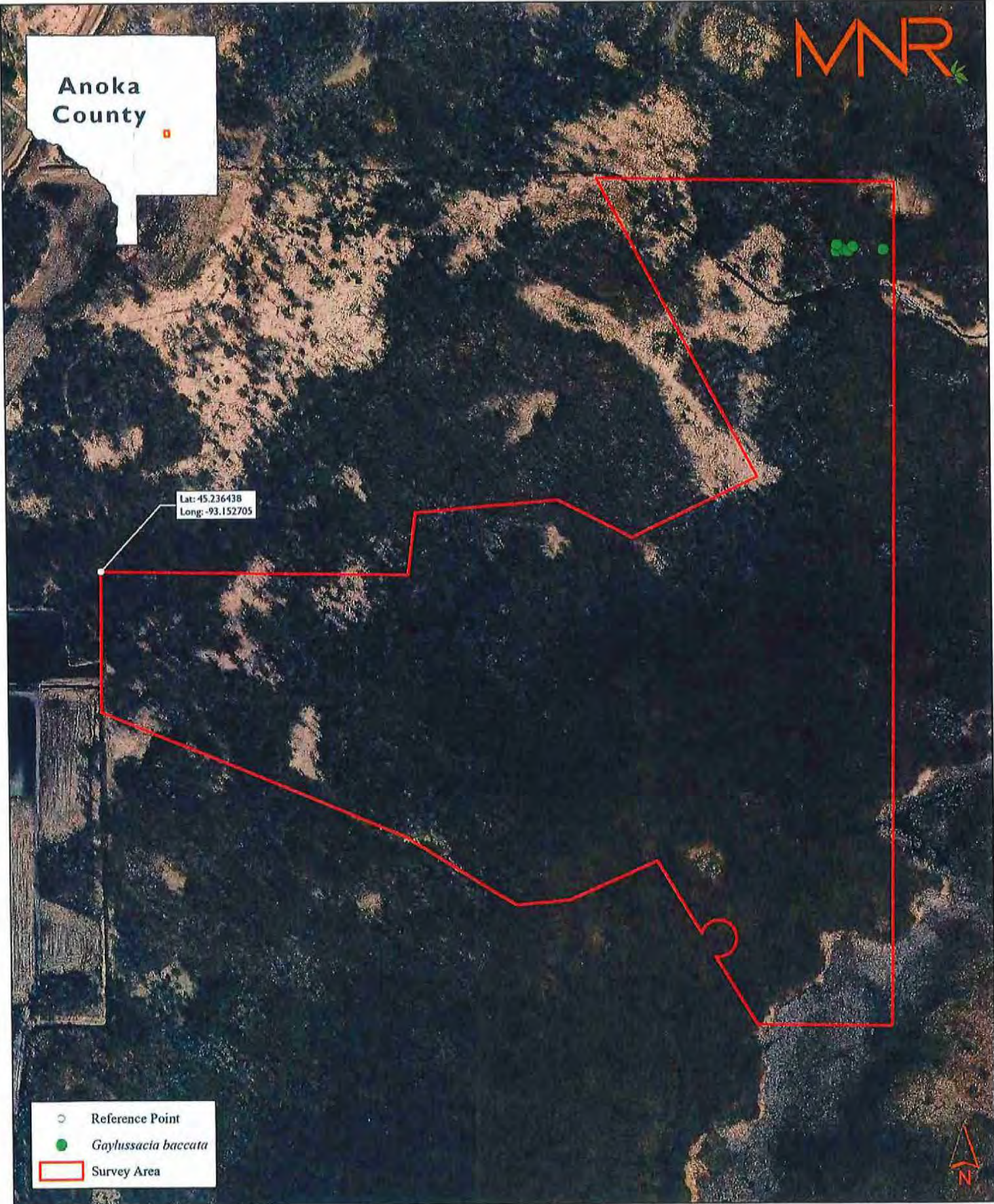
- Reference Point
- *Gaylussacia baccata*
- ▭ Survey Area

Source: MnGeo, Minnesota DNR, US Census, Date: 9/11/2020



Survey Results
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota

Figure 8



Appendix A

Survey Protocol Correspondence



Ms. Lisa Joyal
Endangered Species Review Coordinator
Minnesota Department of Natural Resources
Ecological & Water Resources
500 Lafayette Road
St. Paul, MN 55155

August 20, 2020

Ms. Joyal,

Midwest Natural Resources, Inc. (MNR) is intending to conduct a rare plant survey within the 82.5-acre property located east of Lever Street Northeast in Ham Lake, Minnesota (**Figure 1**). This survey effort is being conducted for a proposed residential development project.

A formal request of the Natural Heritage Information System (NHIS) has not been requested at this time. However, we have been asked to conduct rare plant surveys within the project boundary. Given recent project authorization, we are looking to survey the site on this Saturday, August 22, 2020. Survey efforts will be conducted by two of our DNR approved rare plant species surveyors (Jake Walden/Scott Milburn).

Survey efforts will involve documenting all species observed during this visit. Rare species, if encountered, will be documented spatially using sub-meter GPS units (Trimble GeoXT 6000 units). Species documentation will include notes on habitat, associate species, number of individuals observed within each population documented, and representative photos. Voucher collections will be made following the DNR's collection guidance procedure.

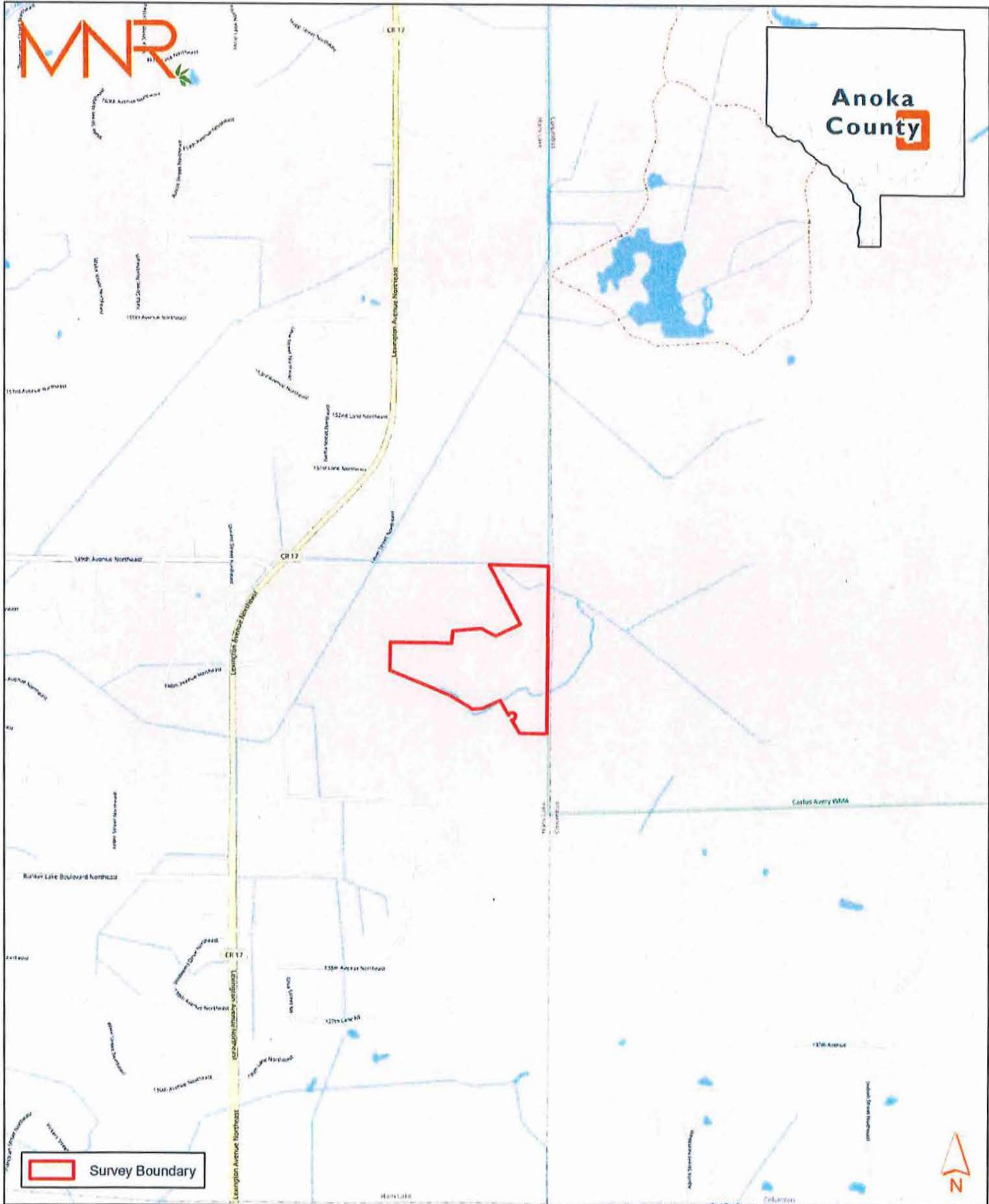
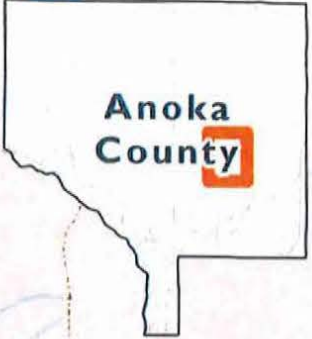
We will also evaluate the site at this time to determine the potential need for additional surveys next spring. A recommendation for further surveys will be made should we deem it to be necessary.

A summary report will be produced at the conclusion of field efforts. This document will include survey methods, survey results, report figures/graphics, and appendices (species lists and representative photos). The report along with the GIS shapefile, associated spreadsheet, and an email from Welby Smith verifying specimen identification will be submitted to the designated NHIS email address should we have positive results.

Please let us know if you have any questions.



Scott A. Milburn, M.S.
Principal Botanist/President
Midwest Natural Resources, Inc.



Source: Esri World Imagery, MnGeo, Minnesota Metropolitan Council, US Census, Date: 8/20/2020



Survey Area
Hidden Forest East
Anoka County, Minnesota

Figure 1

Appendix B

Species List

Species List		
<i>Acer negundo</i>	<i>Eleocharis ovata</i>	<i>Phalaris arundinacea</i>
<i>Acer rubrum</i>	<i>Elymus hystrix</i>	<i>Phragmites australis</i>
<i>Ageratina altissima</i>	<i>Epilobium coloratum</i>	<i>Phryma leptostachya</i>
<i>Alisma subcordatum</i>	<i>Epilobium leptophyllum</i>	<i>Poa palustris</i>
<i>Amelanchier sp.</i>	<i>Equisetum fluviatile</i>	<i>Polygonatum pubescens</i>
<i>Amphicarpaea bracteata</i>	<i>Equisetum sylvaticum</i>	<i>Populus grandidentata</i>
<i>Anemone quinquefolia</i>	<i>Erechtites hieraciifolius</i>	<i>Populus tremuloides</i>
<i>Apocynum androsaemifolium</i>	<i>Erigeron strigosus</i>	<i>Prunus serotina</i>
<i>Aquilegia canadensis</i>	<i>Eurybia macrophylla</i>	<i>Pteridium aquilinum</i>
<i>Aralia nudicaulis</i>	<i>Fallopia scandens</i>	<i>Quercus alba</i>
<i>Athyrium filix-femina</i>	<i>Festuca subverticillata</i>	<i>Quercus ellipsoidalis</i>
<i>Betula papyrifera</i>	<i>Fraxinus pennsylvanica</i>	<i>Quercus rubra</i>
<i>Bidens connata</i>	<i>Galeopsis tetrahit</i>	<i>Ranunculus abortivus</i>
<i>Bidens frondosa</i>	<i>Galium boreale</i>	<i>Ranunculus sceleratus</i>
<i>Boehmeria cylindrica</i>	<i>Galium triflorum</i>	<i>Rhamnus cathartica</i>
<i>Botrychium virginianum</i>	<i>Gaylussacia baccata</i>	<i>Ribes cf. hirtellum</i>
<i>Brachyelytrum aristosum</i>	<i>Geum canadense</i>	<i>Ribes missouriense</i>
<i>Bromus pubescens</i>	<i>Glyceria borealis</i>	<i>Rubus allegheniensis</i>
<i>Calamagrostis canadensis</i>	<i>Glyceria grandis</i>	<i>Rubus cf. dissensus</i>
<i>Carex cf. projecta</i>	<i>Hackelia deflexa</i>	<i>Rubus idaeus var. strigosus</i>
<i>Carex debilis var. rudgei</i>	<i>Helianthus hirsutus</i>	<i>Rubus occidentalis</i>
<i>Carex deweyana</i>	<i>Ilex verticillata</i>	<i>Rubus pubescens</i>
<i>Carex gracillima</i>	<i>Impatiens capensis</i>	<i>Sagittaria latifolia</i>
<i>Carex intumescens</i>	<i>Iris virginica</i>	<i>Salix petiolaris</i>
<i>Carex lacustris</i>	<i>Lactuca biennis</i>	<i>Scirpus cyperinus</i>
<i>Carex pennsylvanica</i>	<i>Leersia oryzoides</i>	<i>Scirpus pedicellatus</i>
<i>Carex radiata</i>	<i>Lindernia dubia</i>	<i>Scutellaria galericulata</i>
<i>Carex retrorsa</i>	<i>Liparis loeselii</i>	<i>Scutellaria lateriflora</i>
<i>Carex stricta</i>	<i>Lycopus uniflorus</i>	<i>Solidago altissima</i>
<i>Cicuta bulbifera</i>	<i>Maianthemum canadense</i>	<i>Solidago gigantea</i>
<i>Cicuta maculata</i>	<i>Matteuccia struthiopteris</i>	<i>Spiraea alba</i>
<i>Circaea lutetiana</i>	<i>Monotropa uniflora</i>	<i>Spirodela polyrrhiza</i>
<i>Cirsium arvense</i>	<i>Myosoton aquaticum</i>	<i>Stachys palustris</i>
<i>Cirsium vulgare</i>	<i>Onoclea sensibilis</i>	<i>Symphyotrichum lateriflorum</i>
<i>Claytosmunda claytoniana</i>	<i>Orthilia secunda</i>	<i>Thalictrum dioicum</i>
<i>Conyza canadensis</i>	<i>Oryzopsis asperifolia</i>	<i>Thelypteris palustris</i>
<i>Cornus racemosa</i>	<i>Osmorhiza claytonii</i>	<i>Toxicodendron rydbergii</i>
<i>Cornus sericea</i>	<i>Osmunda regalis</i>	<i>Trientalis borealis</i>
<i>Corylus americana</i>	<i>Osmundastrum cinnamomeum</i>	<i>Typha x glauca</i>
<i>Corylus cornuta</i>	<i>Ostrya virginiana</i>	<i>Ulmus americana</i>
<i>Cuscuta gronovii</i>	<i>Parthenocissus vitacea</i>	<i>Urtica dioica</i>
<i>Desmodium glutinosum</i>	<i>Persicaria arifolia</i>	<i>Uvularia sessilifolia</i>
<i>Doellingeria umbellata</i>	<i>Persicaria hydropiper</i>	<i>Vaccinium angustifolium</i>
<i>Dryopteris carthusiana</i>	<i>Persicaria lapathifolia</i>	<i>Vaccinium myrtilloides</i>
<i>Dryopteris cristata</i>	<i>Persicaria minor</i>	<i>Viburnum lentago</i>
<i>Echinochloa muricata</i>	<i>Persicaria sagittata</i>	<i>Viola conspersa</i>

Appendix C

Representative Photos



Southern Dry-Mesic Oak (Maple) Woodland, oak – (Red maple) woodland subtype (FDs37a)



Southern Dry-Mesic Oak (Maple) Woodland, oak – (Red maple) woodland subtype (FDs37a)



Representative Wetland Photo



Representative Wetland Photo



Representative Wetland Photo



Black huckleberry (*Gaylussacia baccata*)

Hidden Forest East 3rd Addition, Ham Lake

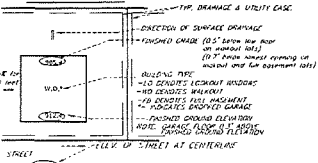
Rare Species Avoidance Plan

Attachment B

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ HIDDEN FOREST EAST 3RD ADDITION
 ~for~ HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT

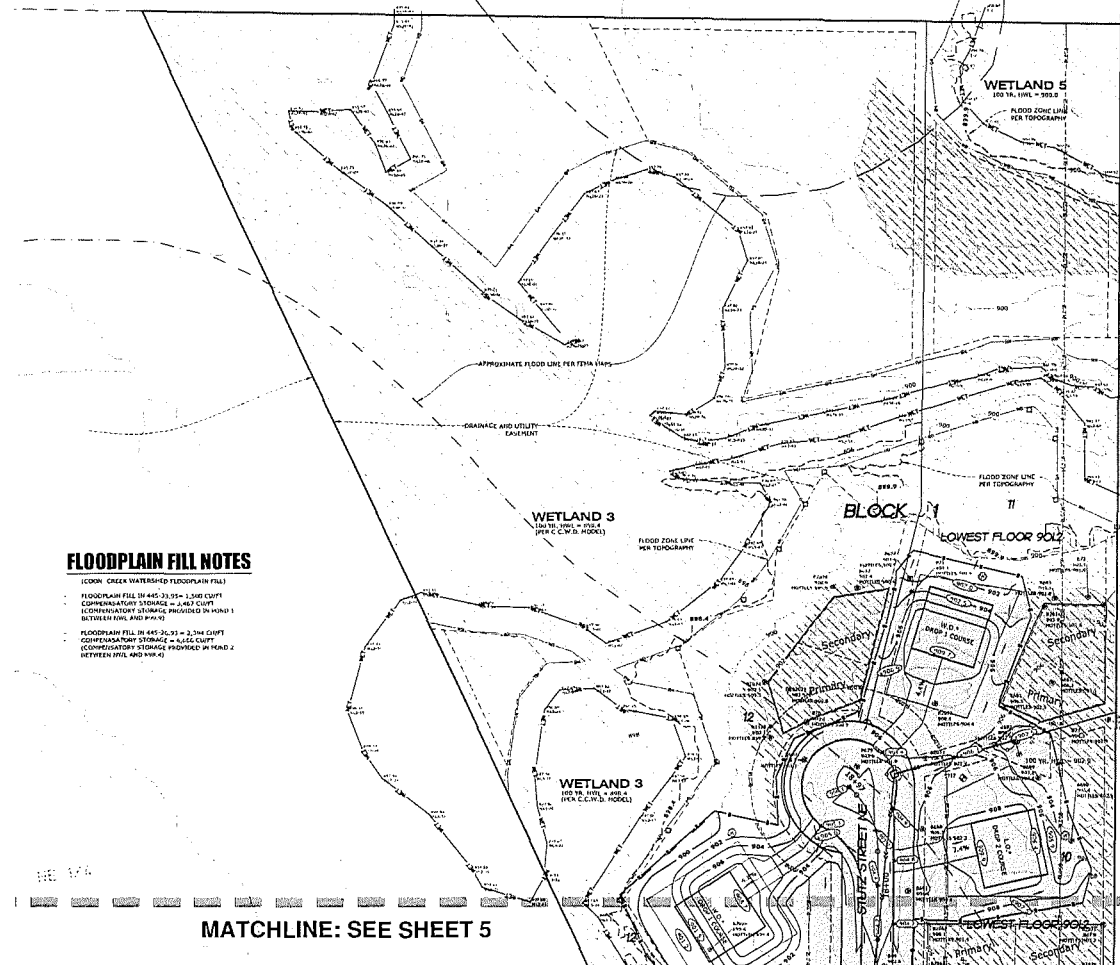


LEGEND

- DENOTES SOIL GRADING BY TRADEWELL SOIL TESTING
- DENOTES PRESENCE OF PENETRATION BORING BY BRAUN INTERTEC, INC.
- ▲ DENOTES EMERGENCY OVERFLOW ELEVATION
- ▽ DENOTES ENDING SPOT ELEVATION
- △ DENOTES WET LAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- MT DENOTES WETLAND DELINEATED BY QUANTUM ENVIRONMENTAL SERVICES COMPANY.
- DENOTES BANK HEEL LINE
- DENOTES SETBACK LINE
- DENOTES FROST-FREEZE/STORM SEWER
- DENOTES PROPOSED SILT / FILL PROTECTION FENCE
- DENOTES BOLLARDS TO BE INSTALLED
- DENOTES 1/2" FUTURE ADJACENT TO UTILITY
- DENOTES PROPOSED DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE HOPILES
- DENOTES INSTALLED INACTIVE HOPPER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES BUFFER PLANTING TO BE VEGETATED IN WETLAND BUFFERS
- DENOTES PROPOSED STORM SEWER DATE PROTECTION
- DENOTES PLANT SPECIES LOCATED BY INDIVIDUAL NATURAL RESOURCES
- DENOTES APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP FROM MISSOURI STATE PANEL NO. 0733 SUPPLEMENT, EFFECTIVE DATE DECEMBER 16TH, 2015.
- DENOTES TREE PRESERVATION AREA
- DENOTES 12' ROAD ACCESS
- DENOTES FLOODPLAIN FILL

FLOODPLAIN FILL NOTES

- FLOODPLAIN FILL IN 445 23 054 = 1,348 CU YD
- COMPENSATORY STORAGE = 4,864 CU YD
- FLOODPLAIN FILL IN 445 26 371 = 2,334 CU YD
- COMPENSATORY STORAGE = 4,624 CU YD
- COMPENSATORY STORAGE PROVIDED IN HAND 2 BETWEEN 2ND AND 3RD



MATCHLINE: SEE SHEET 5

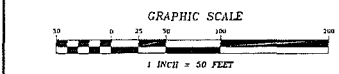
FORING CALCULATIONS AND STORM CROWN DESIGN BY
FLOW ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 8778 LAKE DRIVE
 LINO LAKES, MN 55014

SITE PLANNING & ENGINEERING PHONE: (612) 381-8810
 FAX: (612) 381-8799

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Ginkel
 ADAM GINKEL
 DATE: 04/14/2021 LIC. NO. 43093



EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO BEGIN GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEPICTED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE, TROPICAL, SEED, AND WOOD PROTECTED WITH A STRAIGHT SET OUT WITHIN SEVEN DAYS AFTER FINISH GRADING.
4. MAINTAIN AND CLEAN UP 5 STOP RENTS (ORIGINAL PLAN) OF ACCUMULATED SAWDUST UNTIL VEGETATION IS ESTABLISHED.
5. SEE "SHOW BALKER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

LOT GRADING NOTES

- PAD CONTOURS SHOWN ARE FOR DEMONSTRATION PURPOSES.
- PRIOR TO ANY GRADING THAT TAKES PLACE PRIOR TO PROGRESS ON THE GRADING PLAN REQUIRE A PLAN REVIEW BY THE CITY OF MINNAPOLIS.
- SILT FENCES TO BE INSTALLED BY FINISH PRIOR TO HOUSE CONSTRUCTION.
- THERE IS TO BE NO GRADING WITHIN SETBACK AREAS.

TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE PLANNED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SILT TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY ON CONSTRUCTION FENCE LOCATED WITHIN THE BUFFER AREA OF TREES IN THE TREE PROTECTION ZONE.
- FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO MAINTAIN SIGHTLINE TO TREES.
- "REMOVE TREES AND DEAD FAUL ARE TO BE CLEANED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. CLIPPING OF STUMPS SHALL OCCUR AFTER EROSION CONTROL MEASURE ARE INSTALLED.

NOTES

- BEGINNING SHOWN ARE ON ANNECA COUNTY MAPS.
- TOTAL LOT AREAS AND CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 3 FOOT CONTOUR FEDERAL (FEDS 80)
- CONTOURS SHOWN ARE PER FINISHED LINEAR DISTRIBUTION AND FIELD VERIFICATION.
- ALL MATERIALS AND WASTEWATER PATHWAYS TO BE SAUCUT AT FULL DEPTH.
- TURF AREA TO BE SEEDS WITHIN 7 DAYS AFTER COMPLETION OF HOUSE GRADING OR INACTIVITY.
- SEE PRELIMINARY UTILITY PLAN FOR STORM SEWER, SANITARY, AND GAS.
- TRADEWELL SOIL TESTING COMPLETED SUPPLY SOIL BORING ON AND ADJACENT TO THE AREA IN 2021. THESE BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING PLAN AND FIELD THROUGH CENTRAL PARTS OF TRADEWELL PRELIMINARY GRADING PLAN.
- TRADEWELL PREPARED ADDITIONAL SEPTIC BORINGS THAT WERE FIELD LOCATED BY E.C. RUD AND SONS, INC.
- DRAWN INTERTEC COMPLETED PENETRATION BORINGS AND SET PNEUMETERS ON AND ADJACENT TO THE SITE IN 2021, AND READ THE PENETROMETER ON INCH AND FEET. PENETROMETER WERE FIELD LOCATED AND ADDITIONAL READINGS WERE TAKEN ON TOTAL PENETRATION BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING PLAN AND EROSION CONTROL PLAN OF TRADEWELL'S PRELIMINARY DATED 08/20/20.
- ALL TREE GRADING PROVIDED WITH BRUSH GUARDS.
- PROVIDE CLASS III BURNUP WITH FILTER FABRIC FOR ALL PINE CUTTERS. INSTALL 4" OF TOPSOIL ON MOUND IN WETLAND BUFFERS AND SEED WITH SEED MIXTURE 32/68.
- IF DRAINAGE IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A PERM DRAINAGE PERMIT AND SHALL PROVIDE FIELD VERIFICATION, NOTES, DRAINAGE LOCATION, SCHEDULE AND QUANTITIES TO CITY 7 DAYS PRIOR TO ANY DRAINAGE OPERATIONS.
- CONTRACTORS MUST BE PROVIDED WITH OUR FURNISH FACT SHEETS ON BRANDON'S TURTLES.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 JASON E. RUD
 Date: 04/14/2021 License No. 41578

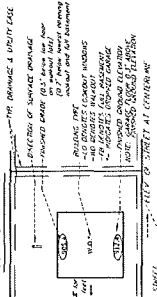
NO.	DATE	DESCRIPTION	BY
1	04/14/2021	CITY / WATERLINED COMMENTS	PHD
2	04/14/2021	CITY / WATERLINED COMMENTS	PHD
3			

E. G. RUD & SONS, INC.
 181, 187
 Professional Land Surveyors
 6776 Lake Drive, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of- HIDDEN FOREST EAST 3RD ADDITION
 ~for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



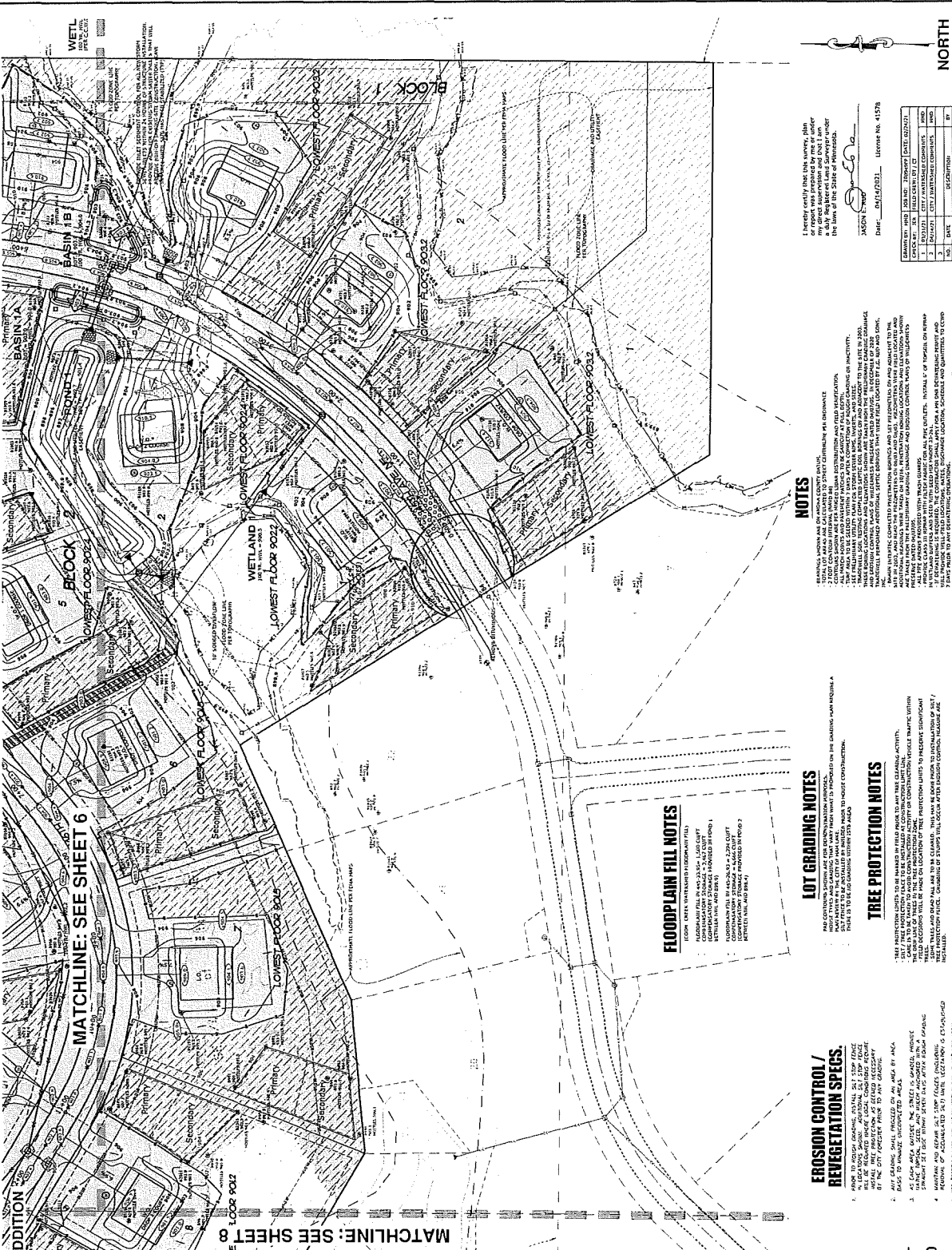
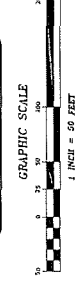
LEGEND

- 1. EXISTING DRIVEWAY
- 2. EXISTING DRIVEWAY
- 3. EXISTING DRIVEWAY
- 4. EXISTING DRIVEWAY
- 5. EXISTING DRIVEWAY
- 6. EXISTING DRIVEWAY
- 7. EXISTING DRIVEWAY
- 8. EXISTING DRIVEWAY
- 9. EXISTING DRIVEWAY
- 10. EXISTING DRIVEWAY
- 11. EXISTING DRIVEWAY
- 12. EXISTING DRIVEWAY
- 13. EXISTING DRIVEWAY
- 14. EXISTING DRIVEWAY
- 15. EXISTING DRIVEWAY
- 16. EXISTING DRIVEWAY
- 17. EXISTING DRIVEWAY
- 18. EXISTING DRIVEWAY
- 19. EXISTING DRIVEWAY
- 20. EXISTING DRIVEWAY
- 21. EXISTING DRIVEWAY
- 22. EXISTING DRIVEWAY
- 23. EXISTING DRIVEWAY
- 24. EXISTING DRIVEWAY
- 25. EXISTING DRIVEWAY
- 26. EXISTING DRIVEWAY
- 27. EXISTING DRIVEWAY
- 28. EXISTING DRIVEWAY
- 29. EXISTING DRIVEWAY
- 30. EXISTING DRIVEWAY
- 31. EXISTING DRIVEWAY
- 32. EXISTING DRIVEWAY
- 33. EXISTING DRIVEWAY
- 34. EXISTING DRIVEWAY
- 35. EXISTING DRIVEWAY
- 36. EXISTING DRIVEWAY
- 37. EXISTING DRIVEWAY
- 38. EXISTING DRIVEWAY
- 39. EXISTING DRIVEWAY
- 40. EXISTING DRIVEWAY
- 41. EXISTING DRIVEWAY
- 42. EXISTING DRIVEWAY
- 43. EXISTING DRIVEWAY
- 44. EXISTING DRIVEWAY
- 45. EXISTING DRIVEWAY
- 46. EXISTING DRIVEWAY
- 47. EXISTING DRIVEWAY
- 48. EXISTING DRIVEWAY
- 49. EXISTING DRIVEWAY
- 50. EXISTING DRIVEWAY
- 51. EXISTING DRIVEWAY
- 52. EXISTING DRIVEWAY
- 53. EXISTING DRIVEWAY
- 54. EXISTING DRIVEWAY
- 55. EXISTING DRIVEWAY
- 56. EXISTING DRIVEWAY
- 57. EXISTING DRIVEWAY
- 58. EXISTING DRIVEWAY
- 59. EXISTING DRIVEWAY
- 60. EXISTING DRIVEWAY
- 61. EXISTING DRIVEWAY
- 62. EXISTING DRIVEWAY
- 63. EXISTING DRIVEWAY
- 64. EXISTING DRIVEWAY
- 65. EXISTING DRIVEWAY
- 66. EXISTING DRIVEWAY
- 67. EXISTING DRIVEWAY
- 68. EXISTING DRIVEWAY
- 69. EXISTING DRIVEWAY
- 70. EXISTING DRIVEWAY
- 71. EXISTING DRIVEWAY
- 72. EXISTING DRIVEWAY
- 73. EXISTING DRIVEWAY
- 74. EXISTING DRIVEWAY
- 75. EXISTING DRIVEWAY
- 76. EXISTING DRIVEWAY
- 77. EXISTING DRIVEWAY
- 78. EXISTING DRIVEWAY
- 79. EXISTING DRIVEWAY
- 80. EXISTING DRIVEWAY
- 81. EXISTING DRIVEWAY
- 82. EXISTING DRIVEWAY
- 83. EXISTING DRIVEWAY
- 84. EXISTING DRIVEWAY
- 85. EXISTING DRIVEWAY
- 86. EXISTING DRIVEWAY
- 87. EXISTING DRIVEWAY
- 88. EXISTING DRIVEWAY
- 89. EXISTING DRIVEWAY
- 90. EXISTING DRIVEWAY
- 91. EXISTING DRIVEWAY
- 92. EXISTING DRIVEWAY
- 93. EXISTING DRIVEWAY
- 94. EXISTING DRIVEWAY
- 95. EXISTING DRIVEWAY
- 96. EXISTING DRIVEWAY
- 97. EXISTING DRIVEWAY
- 98. EXISTING DRIVEWAY
- 99. EXISTING DRIVEWAY
- 100. EXISTING DRIVEWAY

PLOWE ENGINEERING, INC.
 6776 LAKE DRIVE NE, SUITE 110
 LINO LAKES, MN 55014
 PHONE: (612) 291-8870
 FAX: (612) 291-8871

DATE: 04-14-2021 LIC. NO. A2828

ADAM O'NEILL



I hereby certify that the survey, plan or report was prepared by me or under my direct supervision and that I am a duly registered land surveyor under the laws of the State of Minnesota.

JASON P. PLOWE License No. 41578

NO.	DATE	DESCRIPTION	BY
1	04/14/2021	CONSTRUCTION	JP
2	04/14/2021	CITY / FINAL REVIEW	JP
3	04/14/2021	FIELD SURVEY BY E.C.	JP
4	04/14/2021	DESIGN	JP

NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.01.
2. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.02.
3. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.03.
4. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.04.
5. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.05.
6. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.06.
7. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.07.
8. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.08.
9. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.09.
10. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.10.

FLOODPLAIN FILL NOTES

1. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.11.
2. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.12.
3. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.13.
4. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.14.
5. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.15.
6. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.16.
7. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.17.
8. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.18.
9. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.19.
10. FLOODPLAIN FILL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.20.

LOT GRADING NOTES

1. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.21.
2. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.22.
3. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.23.
4. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.24.
5. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.25.
6. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.26.
7. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.27.
8. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.28.
9. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.29.
10. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.30.

TREE PROTECTION NOTES

1. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.31.
2. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.32.
3. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.33.
4. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.34.
5. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.35.
6. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.36.
7. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.37.
8. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.38.
9. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.39.
10. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.40.

EROSION CONTROL / REVEGETATION SPECS.

1. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.41.
2. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.42.
3. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.43.
4. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.44.
5. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.45.
6. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.46.
7. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.47.
8. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.48.
9. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.49.
10. ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF ANDOVER ORDINANCE 100.50.

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel: (651) 361-8220 Fax: (651) 361-8701



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 9-7-2021

Date of Receipt _____

Receipt # _____

Meeting Appearance Dates:
Planning Commission 9-13-21

City Council 9-20-2021

Please check request(s):

Metes & Bounds Conveyance

Commercial Building Permit

Sketch Plan

Certificate of Occupancy

Preliminary Plat Approval*

Home Occupation Permit

Final Plat Approval

Conditional Use Permit (New)*

Rezoning*

Conditional Use Permit (Renewal)

Multiple Dog License*

Other _____

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: HFN Properties, LLC

Address/Location of property: Hidden Forest East Park Addition

Legal Description of property: Tract C RLS 274/Outlot C

PIN # 25-32-23-31-0004 Current Zoning R-1 Proposed Zoning -

Notes: Park for HFE 3rd plus 2 lots

Applicant's Name: Jeff Stalburger

Business Name: HFN Properties LLC

Address 17404 - Woodlark Dr. NW

City Andover State MN Zip Code 55304

Phone 612-799-1471 Cell Phone _____ Fax _____

Email address STALLY68@MSN.COM

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.


SIGNATURE Jeff Stalburger DATE 9-7-2021

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 9-13-2021
City Council _____

PROPERTY TAXES CURRENT YES NO

Memorandum

Date: September 9, 2021
To: Planning Commissioners
From: David A. Krugler, Senior Engineer 
Subject: Hidden Forest East Park Addition

Introduction:

The Final Plat was received September 9th, the Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan and Stormwater Drainage Narrative were received June 17th and the Stormwater Pollution Prevention Plan and Stormwater Drainage Report were received June 2nd for the proposed two lot residential development located on 38.98 acres, which is Tract C of the attached 2017 Registered Land Survey No. 274 (<https://gis.anokacountymn.gov/propertysearch/?find=25-32-23-31-0004>)

Discussion:

The Final Plat conforms to the Preliminary Plat and Plans that received City Council approval on July 6th. The development dedicates 27.12 acres of parkland. The parkland is 16.48 acres of upland and 10.64 acres of wetland, per the attached Revised Figure 2 – Existing Conditions exhibit. The parkland dedication was coordinated with the adjacent developments of Hidden Forest East, Hidden Forest East 2nd Addition and proposed Hidden Forest East 3rd Addition. The City Council concurred with the Park and Tree Commission recommendation that the next phase include parkland dedication. The September 19, 2018 Park and Tree meeting minutes are attached. The northerly portion of the parkland is planted in sod, and the farmer has requested that they have until the end of 2023 for removal. The area is approximately 16.5 acres. A 200-scale 2020 aerial photo is attached. The timing for sod removal and City being able to utilize the entire parkland will be addressed in the Development Agreement. Custom grading of building pads is proposed, which will also be addressed in the Development Agreement.

The Lot 2 driveway crosses a drainage and utility easement. A License Agreement will be required, especially when considering that the City's maintenance access easement is partially over the proposed driveway. The attached CCWD Permit was issued August 2nd. The attached June 7th Tradewell septic certification certifies that the lots will support two standard septic systems in accordance with Minnesota Rules 7080. There are no rare plants or animals within the plat boundary, per the attached Rare Plant Survey Report.

Recommendations:

It is recommended that the Final Plat of Hidden Forest East Park Addition be recommended for approval.

ORDINANCE NO. 21-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Hidden Forest East Park Addition).

The land referred to herein is situated in the State of Minnesota, Anoka County described as follows:

Parcel ID# 25-32-23-31-0004 (Formerly 25-32-23-31-0002 and 25-32-23-31-0003)

TRACT C REG LAND SURVEY NO 274, TOG/W OUTLOT C HIDDEN
FOREST EAST, SUBJ TO EASE OF REC

Presented to the Ham Lake City Council on July 6, 2021 and adopted by a unanimous vote this 20th day of September, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

PRELIMINARY COPY

LAST SAVED BY: GRASSETT ON THURSDAY, SEPTEMBER 7, 2023 AT 1:07:37 PM
LOCATION: S:\000\2023\09\07\2023-09-07-143RD-ADD-PLAT.DWG
PLANNER: JLR

KNOW ALL PERSONS BY THESE PRESENTS: That HFN Properties, LLC, a Minnesota limited liability company, owner of the following described property:

Tract C, Registered Land Survey No. 274, Anoka County, Minnesota.
(Torrens Property/New Certificate Number has not been issued)

AND

Dutlot C, Hidden Forest East, Anoka County, Minnesota.
(Torrens Property/Certificate of Title No. 148261)

Has caused the same to be surveyed and platted as HIDDEN FOREST EAST PARK ADDITION and does hereby dedicate to the public for public use the public ways, the drainage and utility easements, and the park as shown on this plat.

In witness whereof said HFN Properties, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20__.

HFN PROPERTIES, LLC

Jeffrey A. Stalberger, Administrator

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20__ by Jeffrey A. Stalberger, Administrator of HFN Properties, LLC, a Minnesota limited liability company.

(Signature)

Notary Public, _____ County, Minnesota
My Commission Expires _____

I, Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wetlands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20__.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41576

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20__ by Jason E. Rud.

(Signature)

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of HIDDEN FOREST EAST PARK ADDITION was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this _____ day of _____, 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ham Lake, Minnesota

By _____ Mayor

By _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20__.

David H. Ziegler
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20__.

Property Tax Administrator

By _____ Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

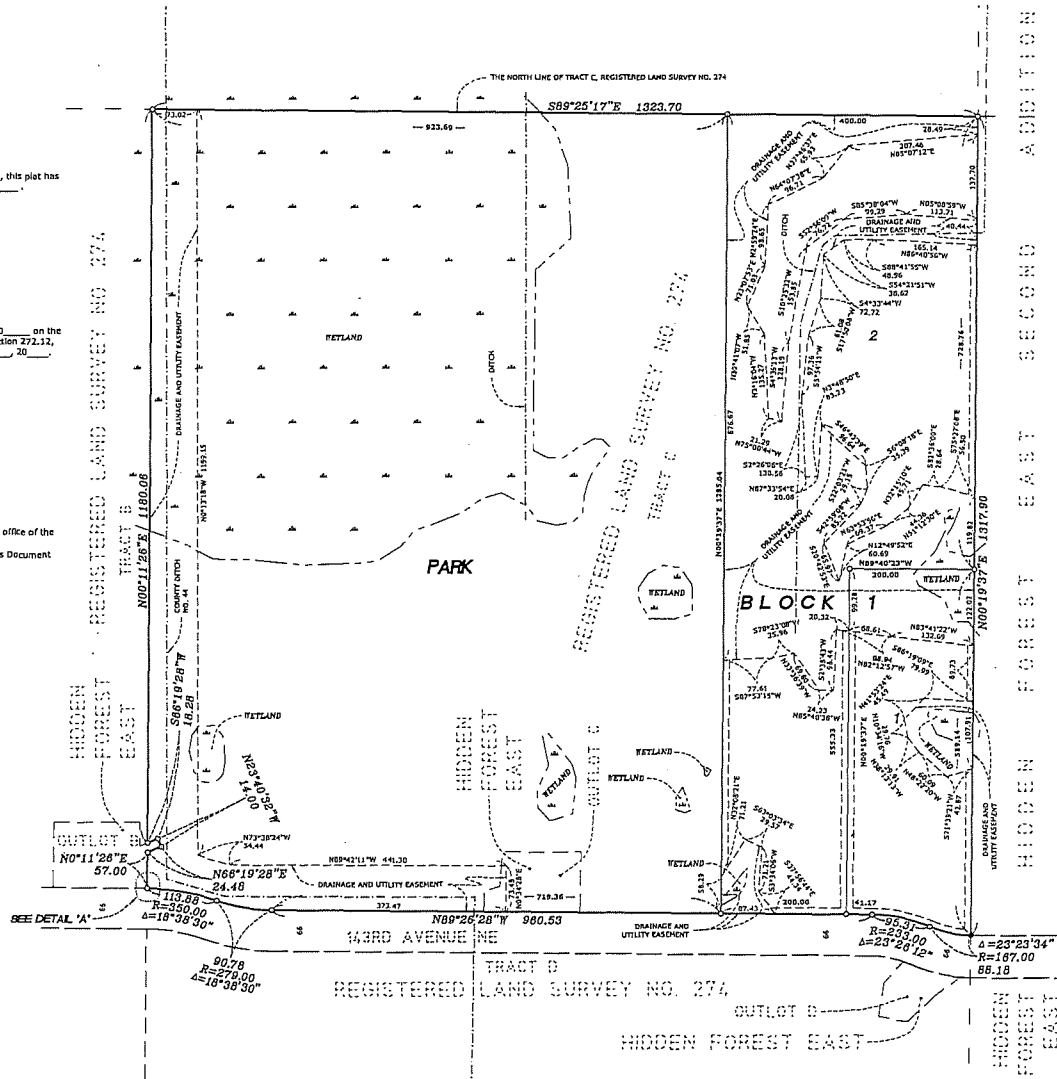
I hereby certify that this plat of HIDDEN FOREST EAST PARK ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20__ at _____ o'clock _____ P.M. and was duly recorded as Document Number _____.

County Recorder/Registrar of Titles

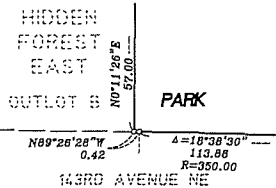
By _____ Deputy

HIDDEN FOREST EAST PARK ADDITION

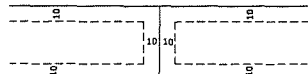
CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 25, T32N, R23W



DETAIL "A"
(NOT TO SCALE)



TYPICAL EASEMENTS
(NOT TO SCALE)



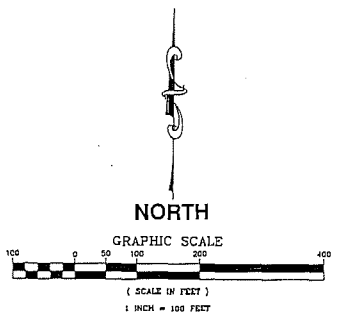
BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF TRACT C, REGISTERED LAND SURVEY NO. 274, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 25 MINUTES 17 SECONDS EAST.

○ DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 41576.

● DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 41576, UNLESS OTHERWISE SHOWN.

□ DENOTES WETLAND AS DELINEATED BY KOEHLIG ENVIRONMENTAL IN JULY, 2020



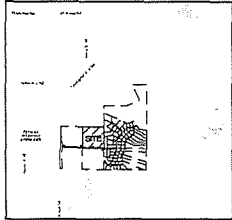
J. E. G. RUD & SONS, INC.
EST. 1877 Professional Land Surveyors

PRELIMINARY PLAT

~of~ HIDDEN FOREST EAST PARK ADDITION
 ~for~ HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

VICINITY MAP

PART OF SEC. 25, TWP. 32, RING. 23



ANOKA COUNTY, MINNESOTA
 (NO SCALE)

LEGEND

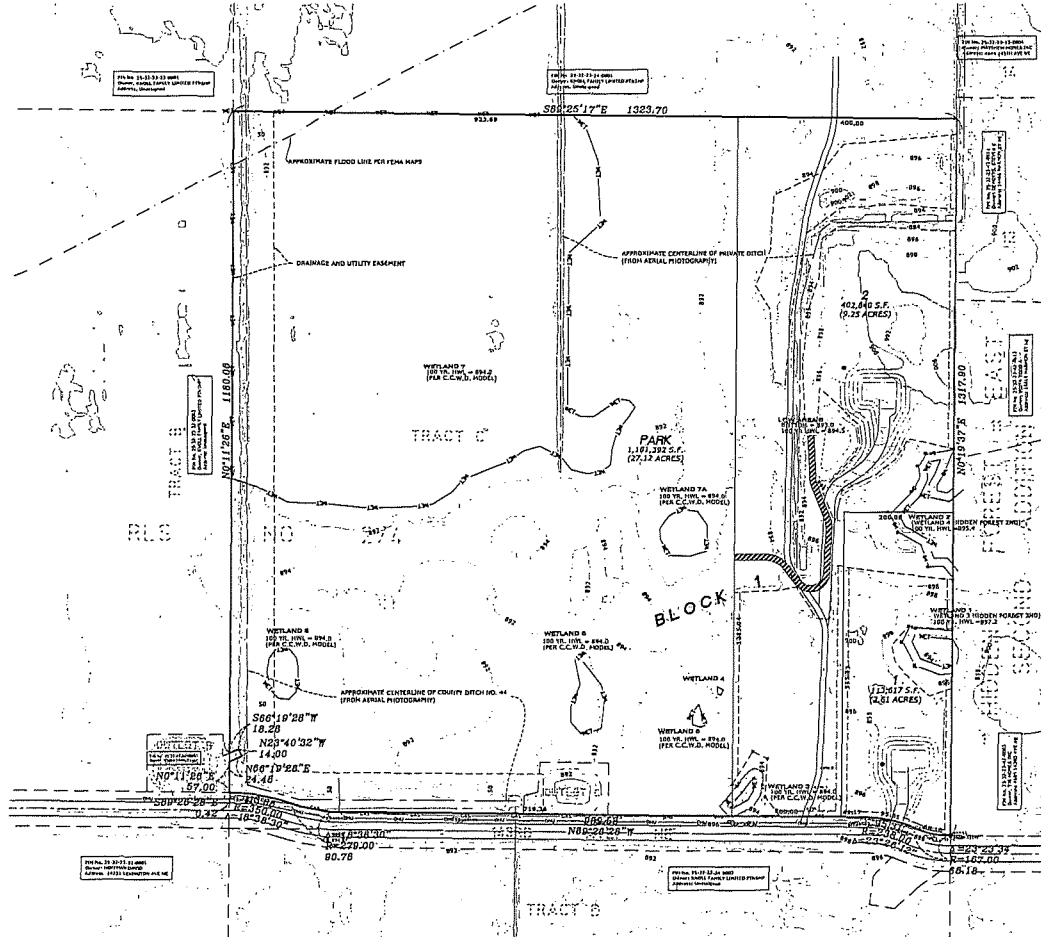
- DENOTES TACK MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS # 41378
- DENOTES EXISTING CONDUITS
- DENOTES AREA OF ACTIVE NOTICES
- DENOTES APPROPRIATE FLOOD ZONE A LINE FROM FLOOD INSURANCE RATE MAP NO. 27010C0118E, PANEL NO. 0333 SUPER C, EFFECTIVE DATE OCTOBER 18TH, 2013.

PROPERTY DESCRIPTION

TRACT C, REGISTERED LAND SURVEY NO. 274, Anoka County, Minnesota
 AND
 OUTLOT C, HIDDEN FOREST EAST, Anoka County, Minnesota

NOTES

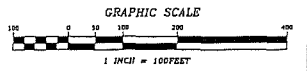
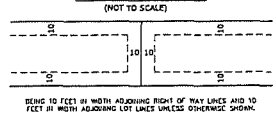
- Bearings shown are on Anoka County datum.
 - This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown herein. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
 - Wetlands delineated by Kjihaing Environmental Services, Inc.
- Parcel ID # 25-22-23-31-0004
 OWNER: HINDL FAMILY LIMITED PARTNERSHIP



DEVELOPMENT DATA

TOTAL SITE AREA = 38.084 ACRES
 2 PROPOSED SINGLE FAMILY LOTS
 PARK AREA TO BE DEDICATED = 27.124 ACRES
 PARK UPLAND AREA = 16.488 ACRES
 PARK WETLAND AREA = 10.644 ACRES
 AVERAGE LOT SIZE = 5.934 ACRES
 MINIMUM STREET FRONTAGE = 200 FEET
 MINIMUM LOT SIZE = 1.00 ACRES
 PROPOSED ZONING = R-1
 BUILDING SETBACKS FRONT = 30 FEET
 SIDE = 10 FEET
 REAR = 50 FEET

TYPICAL EASEMENTS



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

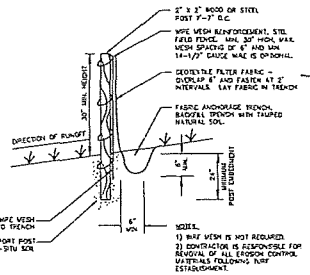
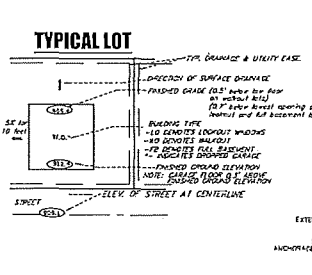
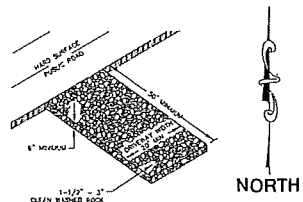
JACOB G. RUD
 Date: 06/17/2021 License No. 41378

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8220 Fax (651) 361-8701

OSHA# 891 1002	308 NO. 28943	DATE: 05/12/21
CHECK BY: JGR	FIELD CHECK BY: CT	
1 06/07/21	CITY TOWNSHIPS ZONINGS	HWID
2 06/07/21	REVISIT WETLAND 7 / AREA CALC	HWID
3 06/17/21	CITY COMMENTS	HWID
NO. DATE	DESCRIPTION	BY

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

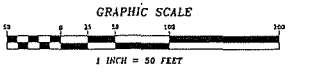
~of~ HIDDEN FOREST EAST PARK ADDITION
 ~for~ HFN PROPERTIES, LLC,
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



- ### LEGEND
- DENOTES SOIL BORING BY TRADITIONAL SOIL TESTING
 - DENOTES EMERGENCY ELEVATION
 - DENOTES EXISTING SPOT ELEVATION
 - DENOTES EXISTING 3 FOOT CONTOUR
 - DENOTES PROPOSED 3 FOOT CONTOUR
 - DENOTES WETLAND DELINEATED BY ANNUAL ENVIRONMENTAL SERVICES COMPANY
 - DENOTES EASEMENT LINE
 - DENOTES PROPOSED STORM SEWER
 - DENOTES PROPOSED SILT / TREE PROTECTION FENCE
 - DENOTES 600 GPM TO BE INSTALLED UNDER SILT FENCE ADJACENT TO WETLAND
 - DENOTES ELEVATION OF DRAINAGE
 - DENOTES PROPOSED SPOT ELEVATION
 - DENOTES PROPOSED CONTINUAL ELEVATION
 - DENOTES PROPOSED WELL LOCATION
 - DENOTES 1/2" ABOVE NOTICES
 - DENOTES WETLAND VEGETATIVE BUFFER
 - DENOTES WETLAND VEGETATIVE BUFFER SIGN
 - DENOTES BUFFER (LAPLAP TO BE VEGETATED IN WETLAND BUFFER)
 - DENOTES APPROPRIATE FLOOD FLOOD TONE A LINE FROM FIRM FLOOD INSURANCE RATE MAP (FIRM) FIRM NO. 6335 S-V-1-E, EFFECTIVE DATE DECEMBER 14TH, 2016.
 - DENOTES TREE PRESERVATION AREA
 - DENOTES 1/2" POND ADDRESS



- ### NOTES
1. BOUNDARIES SHOWN ARE ON ANGLIA COUNTY DATA.
 2. TOTAL LOT AREA ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
 3. 2 FOOT CONTOUR INTERVAL (PLANS ONLY).
 4. CONTOUR SHOWN ARE PER ANNUAL DATA DISTRIBUTION AND FIELD VERIFICATION.
 5. ALL PAVEMENT AND DRAINAGE PATTERNS TO BE SHOWN AT FULL CAPACITY.
 6. THIS AREA TO BE SECTED WITHIN 10 DAYS AFTER COMMENCEMENT OF GRADING OR INACTIVITY.
 7. ALL TREE PRESERVATION LIMITS TO BE FIELD VERIFIED AND STAKED.
 8. TRADITIONAL SOIL TESTING COMPLETE SEPTIC SOIL BORINGS ON SITE.
 9. ALL TREE STAKES TO BE 10 FEET HIGH.
 10. PROVIDE CLASS 1.5 BAGG WITH FILTER FABRIC FOR ALL POND OUTLETS. INSTALL 4" OF TOPSOIL ON BAGG IN WETLAND BUFFER AND 2" OF TOPSOIL ON BAGG OUTSIDE BUFFER.
 11. IF CENTERLINE IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A NEW CENTERLINE PERMIT AND SHALL PROVIDE NECESSARY LOCATION, SIZE, AND QUANTITIES TO BE 7 DAYS PRIOR TO ANY GRADING OPERATIONS.
 12. CONTRACTOR MUST BE PROVIDED WITH ONE PERMIT SHEET ON BLENCHER'S TABLET.



- ### EROSION CONTROL / REVEGETATION SPECS.
1. PRIOR TO BEGIN GRADING, INSTALL SILT STOP FENCE IN 100 FOOT SPACING. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
 2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNGRADED AREAS.
 3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NERVE TOPSOIL, SEED, AND MULCH AND/OR WITH A STRAIGHT ACE DEE WHEN SEED IS LAYED AFTER ROOFING GRADING.
 4. MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED DEBRIS) UNTIL VEGETATION IS ESTABLISHED.
 5. SET "TERRACE WATER POLLUTION PREVENTION PLAN" FOR JOBBOROUGH FRESHWATER, CONCRETE, AND SILT WASHING.

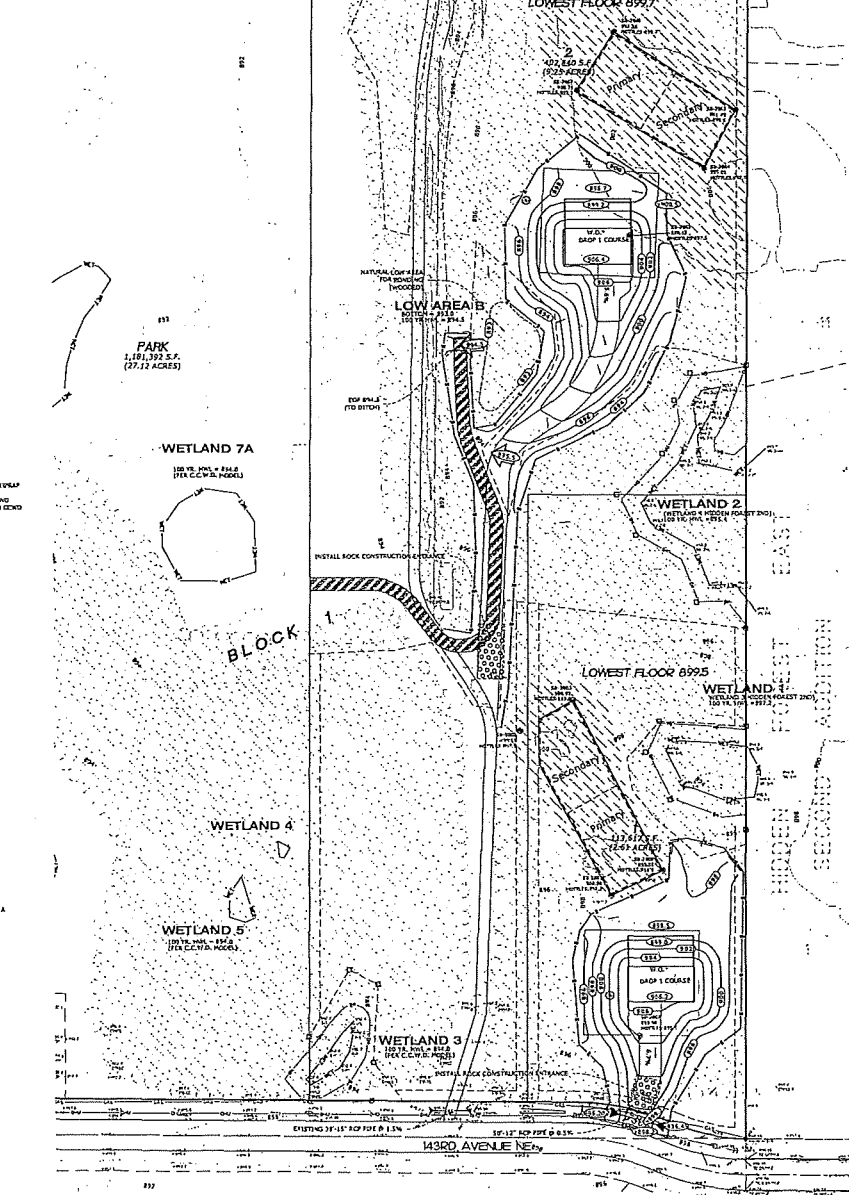
- ### LOT GRADING NOTES
- 1. FIRM CONTOURS SHOWN ARE FOR REPRESENTATION PURPOSES.
 - 2. HOUSE TYPES AND GRADING THAT HAVE NOT BEEN PROPOSED ON THE GRADING PLAN MAY BE PLANNED BY THE CITY OF MINNAPOLIS.
 - 3. EROSION FENCE TO BE INSTALLED AT EARLY STAGE TO HOUSE CONSTRUCTION. THERE IS TO BE NO GRADING WITHIN 10 FEET.

ROCKING CALCULATIONS AND STORM SEWER DESIGN BY
PLOWE ENGINEERING, INC.
 8724 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55114
 PHONE: (612) 281-8210
 FAX: (612) 281-8791

I HEREBY CERTIFY THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Charles W. Plowe
 CHARLES W. PLOWE
 DATE: 06/17/2021 LIC. NO. 18227

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8206 Fax (651) 361-8701



- ### TREE PROTECTION NOTES
- 1. TREE PROTECTION LIMITS TO BE MAINTAINED IN FIELD PRIOR TO ANY TREE GRADING ACTIVITY.
 - 2. ALL TREE PROTECTION LIMITS TO BE INSTALLED AT CONSTRUCTION START DATE.
 - 3. CALL TO TREE STAKES TO VERIFY CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE PROTECTION LIMITS.
 - 4. FIELD DECISIONS WILL BE MADE ON LOCATION OF THE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
 - 5. SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRADING OF STAKES THIS OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 DATE: 06/17/2021 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	06/17/2021	CITY / FIELD COMMENTS	PHD
2	06/17/2021	CITY COMMENTS	PHD
3			

LIVABILITY PLAN

~of- HIDDEN FOREST EAST PARK ADDITION
 ~for- HFN PROPERTIES, LLC,
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

LEGEND

- DEMOTES SOIL BORING BY TRIANGULAR SOIL TESTING
- DEMOTES RICHOMETER OR PHREATIMETER BORING BY BAUM HYDRA-TIC, INC.
- ▲ DEMOTES EXISTING SPOT ELEVATION
- DEMOTES WETLAND
- DEMOTES EXISTING 3 FOOT CONTOUR
- DEMOTES PROPOSED 3 FOOT CONTOUR
- WET DEMOTES WETLAND Delineated by BOUQUIN ENVIRONMENTAL SERVICES COMPANY.
- DEMOTES EASEMENT LINE
- DEMOTES EASEMENT LINE
- DEMOTES PROPOSED STORM SEWER
- DEMOTES PROPOSED 6" DIA. 12" DEPTH COLLECTION FENCE
- DEMOTES DIRECTION OF DRAINAGE
- DEMOTES PROPOSED WELL LOCATION
- DEMOTES WETLAND VEGETATIVE BUFFER
- DEMOTES WETLAND VEGETATIVE BUFFER SOON
- DEMOTES PROPOSED BUILDING PAD AREA
- DEMOTES PROPOSED YARD AREA
- DEMOTES PROPOSED DRIVEWAY
- DEMOTES 12' ROAD ACCESS

Livability Standards
 All residential lots shall contain at least 28,500 square feet of land which lies above the 100 year flood elevation. Of this 28,500 square feet, the following additional requirements must be met:

A. 1775 Area Each lot must contain at least 7,500 square feet of open space area which is situated to the rear of the proposed building and is at least 1775 feet wide. The 1775 Area must be bounded by the 100 year flood elevation and a 12' wide fence. The lot must be bounded by the 100 year flood elevation and a 12' wide fence. The 1775 Area may be irregular in shape, provided they do not encroach into areas reserved for drainage or otherwise for public purposes, and provided that all of the area can be reasonably used for 1775 purposes without any encroachments.

B. Eligible Building Area Each lot shall contain at least 13,000 square feet of open space area which is situated to the rear of the proposed building and is at least 1300 feet wide. The Eligible Building Area may be irregular in shape, provided they do not encroach into areas reserved for drainage or otherwise for public purposes, and provided that all of the area can be reasonably used for 1775 purposes without any encroachments. It may be used to create an eligible building area.

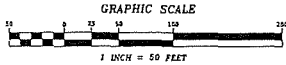
C. Yard Area Each lot shall contain at least 13,000 square feet of open space area which is situated to the rear of the proposed building and is at least 1300 feet wide. The Yard Area may be irregular in shape, provided they do not encroach into areas reserved for drainage or otherwise for public purposes, and provided that all of the area can be reasonably used for 1775 purposes without any encroachments. It may be used to create an eligible building area.

D. Building Pad Area The entire building pad must be within the Eligible Building Area, and it shall meet the applicable requirements for the Eligible Building Area.

E. Lot Floor Elevation
 1) The lot floor elevation shall be at least one foot above the 100 year flood elevation, but not exceeding the 100 year flood elevation, and shall meet the applicable requirements for the Eligible Building Area.
 2) In the event the lot floor elevation is not as determined by the City's engineer, the lot floor elevation shall be at least one foot above the 100 year flood elevation, but not exceeding the 100 year flood elevation, and shall meet the applicable requirements for the Eligible Building Area.

NOTES

- ELEVATIONS SHOWN ARE ON ANGLER'S DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 3 FOOT CONTOUR INTERVALS ARE USED FOR CONTOURING PER ORDINANCE.
- CONTOUR SHOWN ARE FOR PROPOSED DRAINAGE DISTRIBUTION AND FIELD VEGETATION.
- ALL RATES PERmits AND PERMITS MUST BE OBTAINED AT THE CITY OF ANDOVER.
- YARD AREA TO BE STORED WITHIN 3 DAYS AFTER COMPLETION OF RAISED CHANGING OR PLANTING.
- SEE PRELIMINARY UTILITY MAP FOR EXISTING SEWER, POWER, AND GAS LINES.
- TRAFFIC SIGNAL TESTING COMPLETED SEPTEMBER 2008 ON SITE.
- ALL TREE REMOVALS PROHIBITED WITH TREE GUARDS.
- PROVIDE CLARITY TO REPAIR WITH UTILITY PERMITS FOR ALL PUBLIC UTILITIES. INSTALL 6" OF TOPSOIL ON TOP OF WETLAND BUFFER AND AREA WITHIN 30 DAY PERMITS.
- IF NECESSARY TO REMOVE TREES, THE CONTRACTOR SHALL APPLY FOR A WETLAND CERTIFICATION PERMIT AND SHALL PROVIDE WETLAND RESTORATION PLAN, INCLUDING LOCATION, SIZE AND QUANTITIES TO BE PLANTED TO REPAIR AND RESTORE WETLANDS TO ORIGINAL CONDITION.
- CONTRACTORS MUST BE PROVIDED WITH ONE SET OF FACT SHEETS ON BALANCE'S TURTLES.



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

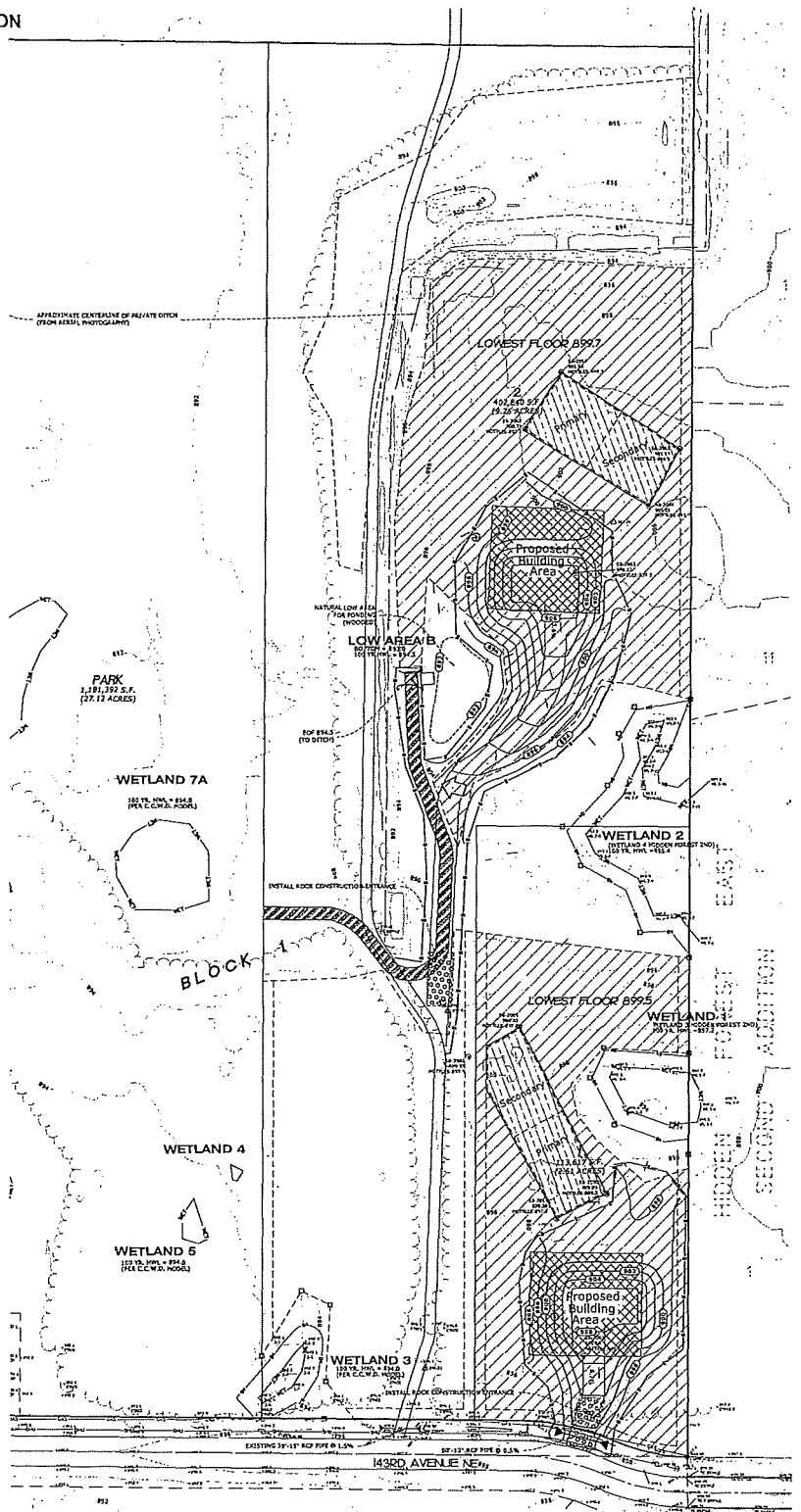
JACOB E. RUD
 Date: 06/17/2021 License No. 41578

BLANK BY	PPD	JOB NO.	DATE	DATE
1	1	1	1	1

PLOWE ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 (612) 251-2810
 (612) 251-2810

LIBERTY CERTIFY THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
 CHARLES W. PLOWE
 DATE: 08.17.2021 LIC. NO. 18227

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



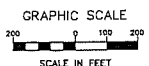
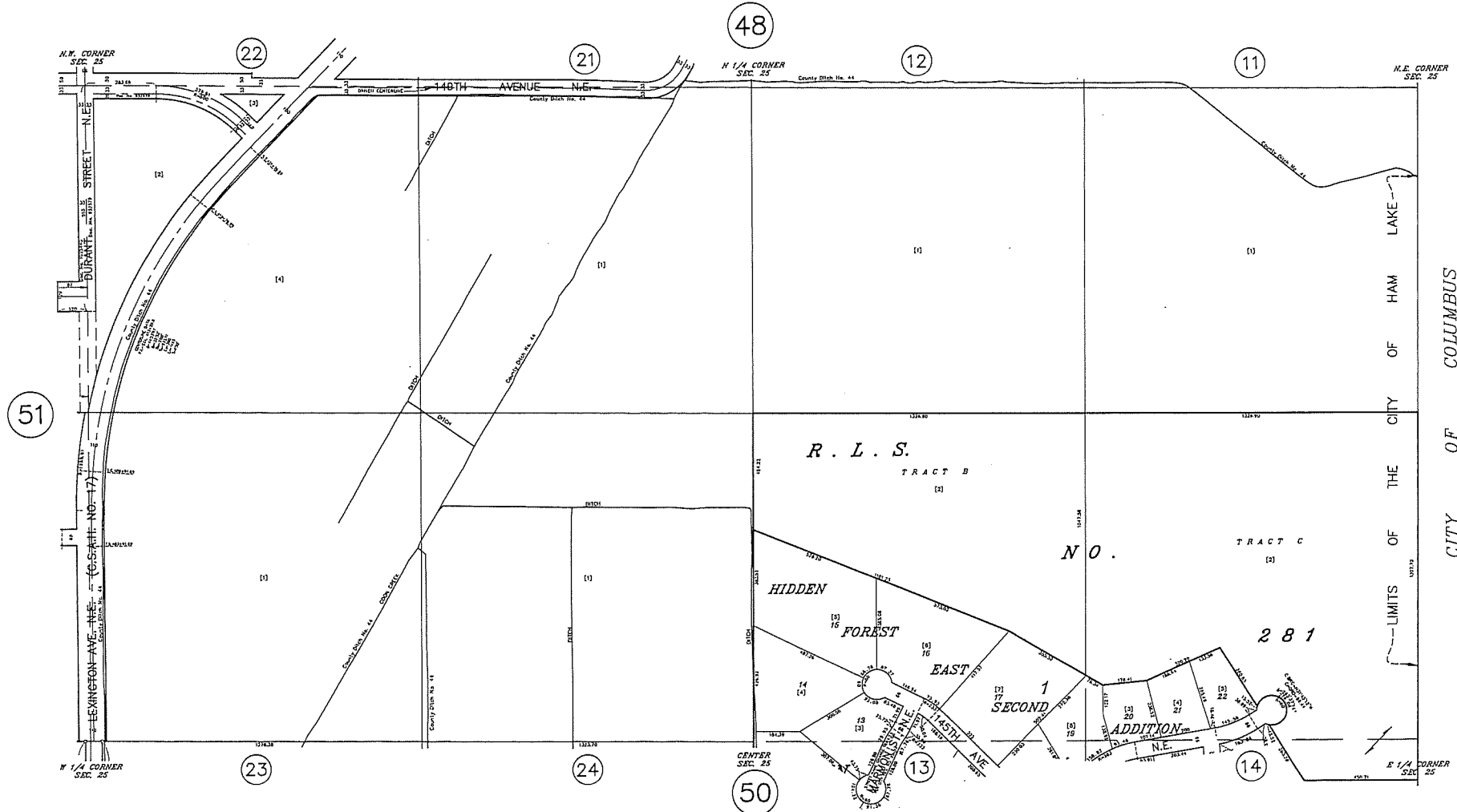
LIVABILITY CHART

Lot	Block	Total Lot Area (sq. ft.)	Yard Area (sq. ft.)	Septic Area (sq. ft.)	Building Pad Area (sq. ft.)	Proposed Building Pad Above Usable (sq. ft.)	Garage Floor Elevation	Proposed Low Floor Elev.	Proposed Low Floor Elev. Opening	Lowest Floor Elevation	Low Floor Elevation	Basement Factor	Basement Elevation	Notes	Building Type	Custom Graded
1	1	113,617	61,599	9,009	10,046	6,862	858.3	859.5	859.2	859.5	859.5	1.00	859.5	NO. 12'	YES	
2	1	401,850	68,583	8,807	10,049	4,601	256.7	899.7	899.7	899.7	1.00	899.7	NO. 12'	YES		
PAZK	1	1,181,392	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA

NOTES: * INDICATES GRADED GARAGE ELEVATION BASED UPON 12' COURSE 84 DATUM
 * INDICATES BORING USED TO DETERMINE LOW FLOOR

N 1/2 SECTION 25, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: (1)
EXAMPLE OF PIN NUMBER: 25-32-23-13-0001

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

REGISTERED LAND SURVEY NO. 274

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 25, T. 32, R. 23
Book 8 RLS Page 31

I, Jason E. Rud, hereby certify that, in accordance with the provisions of Minnesota Statutes, Section 508.47, I have surveyed the following described property situated in the County of Anoka, State of Minnesota:

The East Half of the Southwest Quarter, Section 25, Township 32, Range 23.
The Northwest Quarter of the Southwest Quarter, Section 25, Township 32, Range 23.
EXCEPT Parcel 55, Anoka County Highway Right-of-Way Plat No. 81.

I hereby certify that this Registered Land Survey was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that this Registered Land Survey is a correct representation of said parcel of land.

Dated this 20th day of March, 2017.

Jason E. Rud
Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

CITY COUNCIL CITY OF HAM LAKE, MINNESOTA
We do hereby certify that on the 20th day of March, 2017, the City Council of the City of Ham Lake, Minnesota, has approved this Registered Land Survey.

Thomas D. Holm
Thomas D. Holm, Anoka County Surveyor
Minnesota License No. 41578

ANOKA COUNTY SURVEYOR
Pursuant to Minnesota Statutes, Section 386.09, Subd. 1, this Registered Land Survey has been reviewed and approved this 21st day of March, 2017.

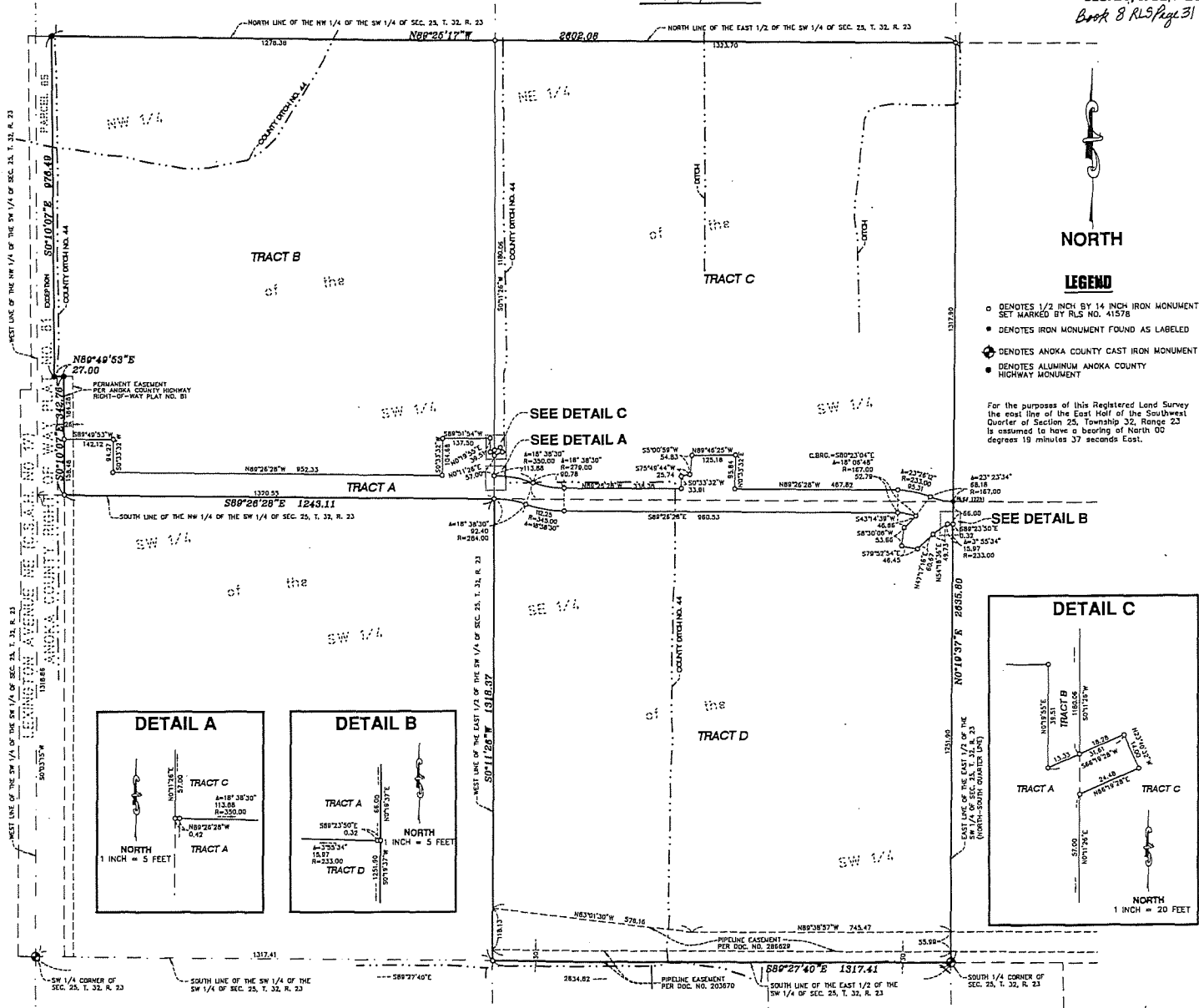
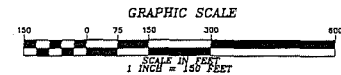
Larry D. Holm
Larry D. Holm, Anoka County Surveyor

COUNTY AUDITOR/TREASURER
Pursuant to Minnesota Statutes, Section 508.47, Subd. 4, taxes payable in the year 2017 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this 21st day of March, 2017.

Annell M. Sawyer
Annell M. Sawyer, Property Tax Administrator
By *Jason E. Rud*, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA
I hereby certify that this REGISTERED LAND SURVEY NO. 274 was filed in the office of the County Recorder/Registrar of Titles for public record on this 21st day of March, 2017, at 10:00 o'clock A.M., and was duly recorded in Book 8 RLS, Page 31, as Document Number 546966-001.

Annell M. Sawyer
Annell M. Sawyer, County Recorder/Registrar of Titles
By *Jason E. Rud*, Deputy

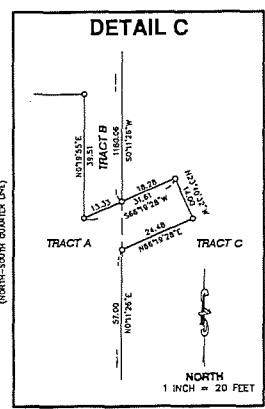
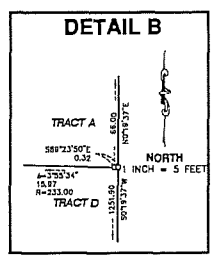
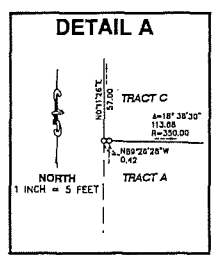


NORTH

LEGEND

- DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT
- SET MARKED BY RLS NO. 41578
- ◆ DENOTES IRON MONUMENT FOUND AS LABELED
- ⊕ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES ALUMINUM ANOKA COUNTY HIGHWAY MONUMENT


For the purposes of this Registered Land Survey the east line of the East Half of the Southwest Quarter of Section 25, Township 32, Range 23 is assumed to have a bearing of North 00 degrees 19 minutes 37 seconds East.



\$75.00




6/4/2021 Revised Figure 2 - Existing Conditions (2020 Metro Photo)




N

0 500



Feet

143rd Ave NE (KES 2020-178)
Ham Lake, Minnesota



KJOLHAUG ENVIRONMENTAL SERVICES COMPANY
Source: MNGEO Spatial Commons

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE PARK AND TREE COMMISSION MINUTES WEDNESDAY, SEPTEMBER 19, 2018

The Ham Lake Park and Tree Commission met for its regularly scheduled meeting on Wednesday, September 19, 2018 at 6:00 p.m. at the Ham Lake City Hall, 15544 Central Avenue NE, Ham Lake, Minnesota.

MEMBERS PRESENT: Vice Chair Tim Donnay and Commissioners, Al Stauffacher, Tara Lanigan and Doug Miller

MEMBERS ABSENT: Patrick Wolfgram

OTHERS PRESENT: Public Works Superintendent, Tom Reiner and Deputy City Clerk, Jennifer Bohr

CALL TO ORDER:

Vice Chair Donnay called the meeting to order at 6:00 p.m. and the Pledge of Allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Stauffacher, seconded by Miller, to approve the minutes of the July 18, 2018 Park and Tree Commission meeting as written. All present in favor. Motion carried.

CITY COUNCIL UPDATE: None

1.0 APPEARANCES:

- 1.1 Jeff Stalberger, HFN Properties, LLC, consideration of Parkland Dedication for Sketch Plan of Hidden Forest East 2nd Addition (42 Single Family Residential Lots) in Section 25.

Jeff Stalberger of HFN Properties, LLC was present. Mr. Stalberger stated he developed the plat of Hidden Forest East last spring and Hidden Forest East 2nd Addition will be to the north of that plat. Vice Chair Donnay asked Mr. Stalberger if he has plans to develop additional land in this area and would those developments include a park. Superintendent Reiner stated that the Comprehensive Plan identifies an area north of the Hidden Forest East 2nd Addition as a potential future park location. Mr. Stalberger stated he prefers to offer the City money in lieu of parkland but he would be willing to work with the Knolls, current owners of the adjacent property, and the City to negotiate a purchase of land for a park, perhaps in a section to the southwest of Hidden Forest East 2nd Addition. Superintendent Reiner suggested that Mr. Stalberger purchase land in the next phase of development that could be parkland. Discussion followed regarding dedication of future parkland bordering Carlos Avery Wildlife

Management Area (WMA); there was concern that hunters would utilize any parkland bordering Carlos Avery WMA as an entrance to the WMA for hunting and cause parking issues. Commissioner Miller voiced his concern with the limited amount of parkland the City has obtained in the past two years and that tonight's discussion is only speculative; there is no guarantee the City will obtain parkland in future phases of development in this area. Vice Chair Donnay asked Mr. Stalberger when he would develop the next phase in the Hidden Forest East development. Mr. Stalberger stated it could possibly be eighteen months from now. Vice Chair Donnay asked if Mr. Stalberger would be willing to plan a park in the next phase. Mr. Stalberger stated he would be willing to plan a park in the next phase. Commissioner Stauffacher stated that if money is accepted in lieu of parkland for this development a park needs to be required in the next phase. Commissioner Miller stated the maximum amount of parkland needs to be obtained in the next phase. **Motion by Donnay, seconded by Lanigan, to recommend to City Council to accept monies in lieu of parkland for the Sketch Plan of Hidden Forest East 2nd Addition (42 Single Family Residential Lots) in Section 25. Commissioners Donnay and Lanigan voted yes, Commissioners Stauffacher and Miller voted no.** Commissioner Stauffacher said he would like a stipulation included in the motion to require parkland in the next phase of the Hidden Forest East development. **Donnay moved to amend the motion by adding the following to the motion on the table: with the understanding parkland will be required in the next phase of the Hidden Forest East development. Seconded by Stauffacher. Commissioners Donnay, Lanigan and Stauffacher voted yes, Commissioner Miller voted no. Motion carried.** *(This item will be placed on the October 1, 2018 City Council Agenda.)*

2.0 PARK & TREE COMMISSION BUSINESS:

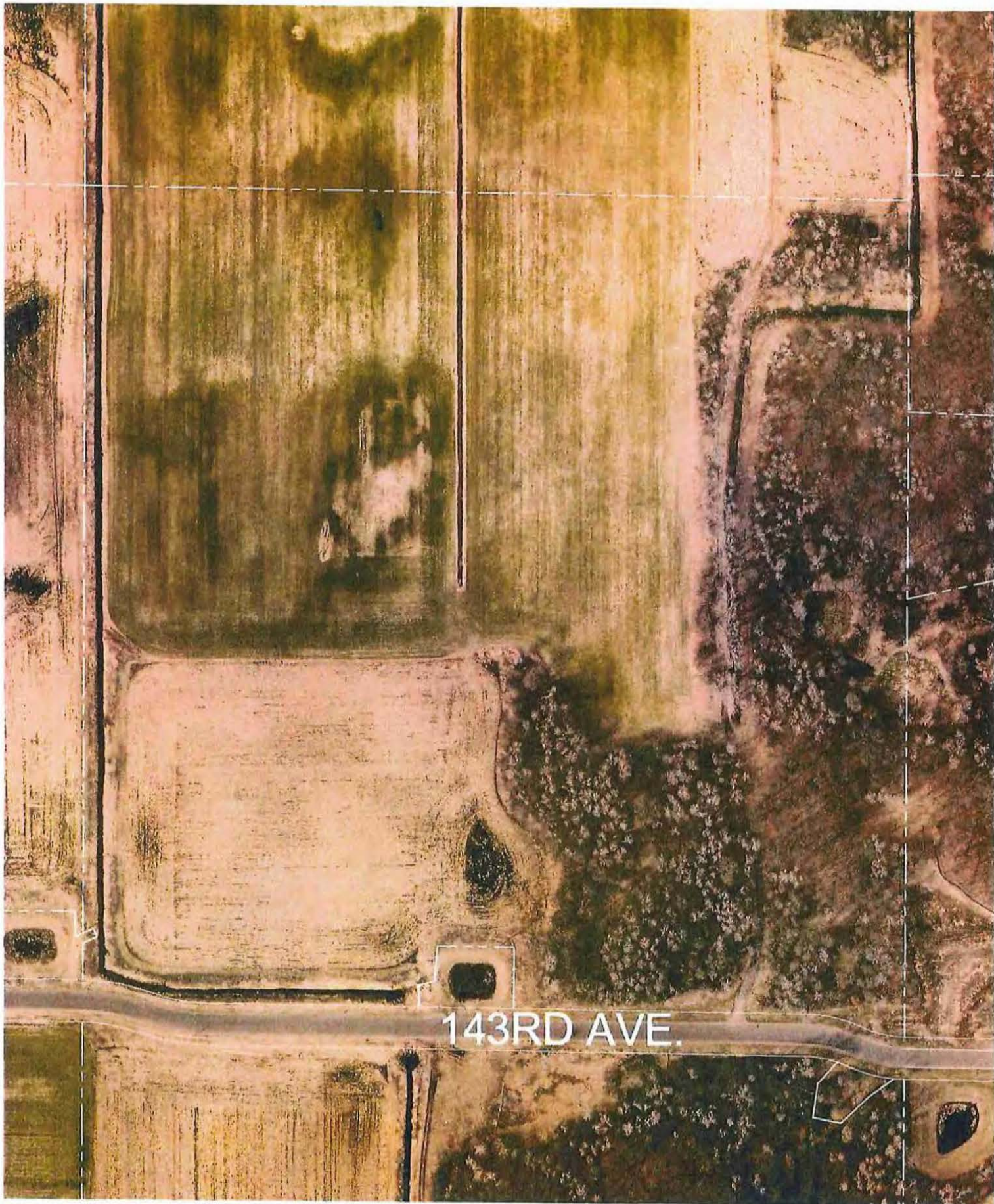
2.1 Discussion of recommending a feasibility study for construction of a 1.75 mile bike trail on the west side of Radisson Road NE from 139th Avenue NE to 153rd Avenue NE

Superintendent Reiner stated extending the pedestrian trail on the west side of Radisson Road NE was discussed at the April 4, 2018 workshop meeting and the July 18, 2018 Park and Tree Commission meeting. Superintendent Reiner stated a recommendation was made to City Council for Engineer Collins to contact Anoka County to ask if the County would allow the City to purchase and construct a trail in the county right-of-way; Engineer Collins has contacted Anoka County and they are open to the trail extension. Superintendent Reiner stated the trail would connect to the current bike lane on 149th Avenue NE, which connects to a trail going into Blaine. Superintendent Reiner stated the next step in this process would be to conduct a feasibility study. **Motion by Stauffacher, seconded by Miller, to recommend to City Council that Engineer Tom Collins conduct a feasibility study for the 1.75 mile bike trail along the west side of Radisson Road NE between 139th Lane NE and 153rd Avenue NE. All present in favor. Motion carried.** *(This item will be placed on the October 1, 2018 City Council Agenda.)*

3.0 TREE UPDATE:

3.1 Oak Wilt Tree Inspections

Superintendent Reiner stated tree inspectors have completed road side inspections for oak wilt; 159 notices were sent to residents to inform them that their oak trees have symptoms of



143RD AVE.

1" = 200'

PERMIT
COON CREEK WATERSHED DISTRICT
13632 Van Buren St NE
Ham Lake, MN 55304
Permit Number: 2114

Project: Hidden Forest East Park Addition

Issued to: Jeff Stalberger
17404 Ward Lake Dr. NW
Andover, MN 55304

Location: 143rd Ave NE, East of Lexington Ave, Ham Lake

Permit Application #: 20-169

Purpose: Development of 2 single family home lots with parkland

At its meeting on June 14, 2021, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:


1. Construction Plan set (3 pages); by EG RUD, dated 6/02/2021, received 6/02/2021.
2. SWPPP; by Plowe, dated 6/01/2021, received 6/02/2021.
3. Stormwater Management Report; by Plowe, dated 6/01/2021, received 6/02/2021.
4. Soil Borings; by Tradewell Soil Testing, dated 9/11/2020 & 10/26/2020, received 5/12/2021.
5. Revised Wetland Delineation Report; by Kjolhaug, dated 6/04/2021, received 6/04/2021.
6. Wetland Delineation Memo; by Kjolhaug, dated 5/3/2021, received 5/3/2021.
7. Rare Species Report; by MNR, dated 5/20/2021, received 6/02/2021.

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with no stipulations.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: 8/27/2021
Date of Expiration: 8/27/2022



Tim Kelly, District Administrator

cc: File- 20-169
Eileen Weigel, Stantec
Danielle Tourtillott, Stantec
Ed Matthiesen, Stantec
Tom Collins, Ham Lake

*****IMPORTANT PERMIT REQUIREMENTS OUTLINED ON REVERSE*****

GENERAL PERMIT STIPULATIONS:

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

REFUNDING OF ESCROWS: Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

June 7th, 2021

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304
Attention: Tom Collins

Dear Mr. Collins:

As a licensed site evaluator who conducted the soil borings in Hidden Forest Park Addition for Jeff Stalberger, I found the following: Each boring has at least 12" of natural, undisturbed and unmottled soil. In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of mottling is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Tradewell". The signature is fluid and cursive, with a large initial "M" and a long, sweeping underline.

Mark Tradewell
MPCA #307

143RD AVENUE NE - HAM LAKE, MN - RARE PLANT SURVEY REPORT

Prepared for:

**Mr. Jeffrey Stalberger
HFN Properties, LLC
17404 Ward Lake Dr. NW
Andover, MN 55304**



MAY 20, 2021



**Prepared by:
Midwest Natural Resources, Inc.
1032 West 7th Street, Suite 150
St. Paul, Minnesota 55102
www.mnrinc.us**



Mr. Jeffrey Stalberger
HFN Properties, LLC
17404 Ward Lake Dr. NW
Andover, MN 55304

May 20, 2021

Mr. Stalberger,

Midwest Natural Resources, Inc. (MNR) is pleased to provide the following report for botanical surveys of the Ham Lake property located north of 143rd Avenue NE, east of Lexington Avenue in Anoka County, Minnesota. (**Figure 1**).

Project Limits and Existing Background Data

The project area, which is approximately 38.7 acres, is located in Township 32 North, Range 23 West in the NESW and NWSW quarter-quarter sections of Section 25 (**Figure 2**). Background data evaluated includes digital soil data, the Minnesota Biological Survey (MBS) sites of biodiversity significance data layer, and the Minnesota Department of Natural Resources (DNR) Native Plant Community (NPC) data layer. According to the Anoka County Soil Survey (**Figure 3**), the site includes four different soil series: Isanti fine sandy loam (Iw), Lino loamy fine sand (LnA), Markey muck (Ma), and Rifle mucky peat (Rf). All of these soil series, with the exception of Zimmerman fine sand, are very poorly drained to somewhat poorly drained and are often associated with rare plant species occurrences. The MBS sites of biodiversity significance data layer identifies the eastern portion of the project area as a site of outstanding biodiversity significance (**Figure 4**). The majority of the area identified with this designation, the Carlos Avery Natural Area, continues well outside of the project area. This designation indicates locations that include occurrences of the rarest species, the best examples of the rarest native plant communities, and/or the largest, most ecologically intact or functional landscapes. However, no NPCs are mapped within the project site, and the landscape itself is not considered unique. Therefore, it is assumed that a rare species occurrence, either animal or plant, was previously documented somewhere within the mapped site of biodiversity significance.

Methods

Prior to conducting field surveys, MNR submitted a rare plant survey protocol to the DNR Endangered Species Coordinator (**Appendix A**). This survey protocol identified 39 state-listed vascular plant species to target during survey efforts.

Field efforts were conducted on May 13, 2021 by Otto Gockman, Jake Walden, and the undersigned. Meander surveys were conducted throughout the site and a general species list for all species observed was recorded (**Appendix B**). Due to the time of year, certain species were identified only to genus.

Results

The majority of the site serves as an operational sod farm that includes two north-south lateral drainage ditches. The lower southern third of the property is under active agricultural row-crop production, but was not planted at the time of the survey. This area additionally includes an excavated basin on south end of site, which was inundated at the time of the field review and dominated by cattails (*Typha* sp.) with bald spikerush (*Eleocharis* cf. *erythropoda*) along perimeter.

The site also includes an oak forest in the eastern half of the site which includes a number of depressional wetlands. The forest has an interrupted canopy that includes white oak (*Quercus alba*), northern pin oak (*Q. ellipsoidalis*), red oak (*Q. rubra*), and black cherry (*Prunus serotina*). Box elder (*Acer negundo*) and common buckthorn (*Rhamnus cathartica*) are prevalent throughout the shrub layer along with beaked hazel (*Corylus cornuta*). The ground layer has varying diversity and is wormed throughout. Common ground layer species include Pennsylvania sedge (*Carex pennsylvanica*), common enchanter's nightshade (*Circaea lutetiana* var. *canadensis*), wild geranium (*Geranium maculatum*), Canada mayflower (*Maianthemum canadense*), interrupted fern (*Osmunda claytoniana*), common buckthorn, and common blue violet (*Viola sororia*). This feature includes a north-south ditch near the edge of the forest as well. The wetland basins within the forest are generally open, species-depauperate depressional basins that are dominated by reed canary grass (*Phalaris arundinacea*). Much of the site was documented with representative photos; these photos are provided in **Appendix C**, and photo locations are displayed in **Figure 5**.

Conclusion

Nearby projects have resulted in the detection of the state-threatened black huckleberry (*Gaylussacia baccata*). However, this species was not observed within the project area nor were any other state-listed plant species. Furthermore, based on the conditions observed onsite, we are not recommending follow-up surveys later this year.

For recordkeeping purposes, we will provide this report to the DNR with your approval. We can also directly send this report to the Coon Creek Watershed District upon request.

Please feel free to contact us with any questions.

Respectfully submitted,



Scott A. Milburn, MS
Principal Botanist/President
Midwest Natural Resources, Inc.

Lat: 45.229443
Long: -93.157902

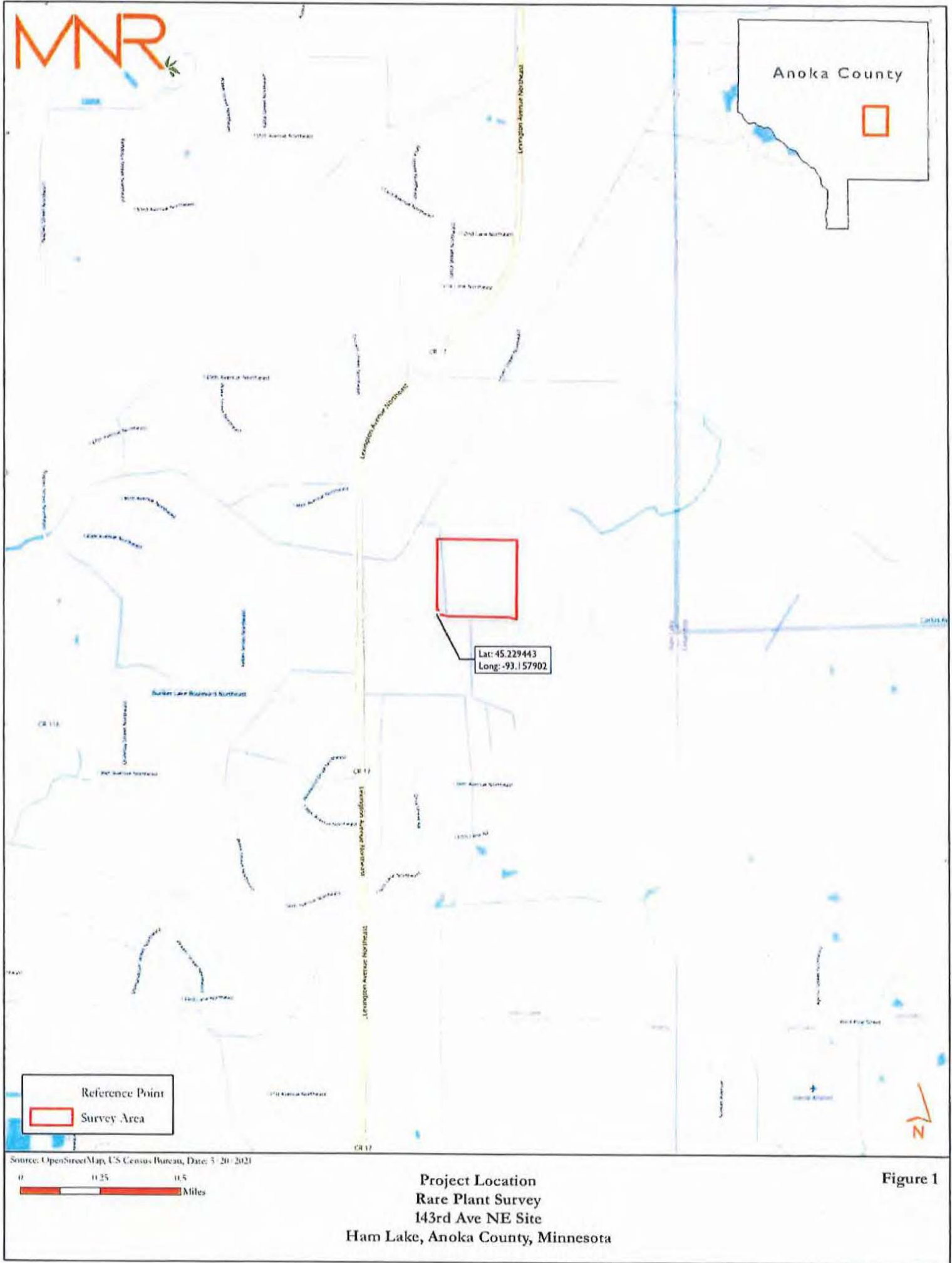
Reference Point
Survey Area

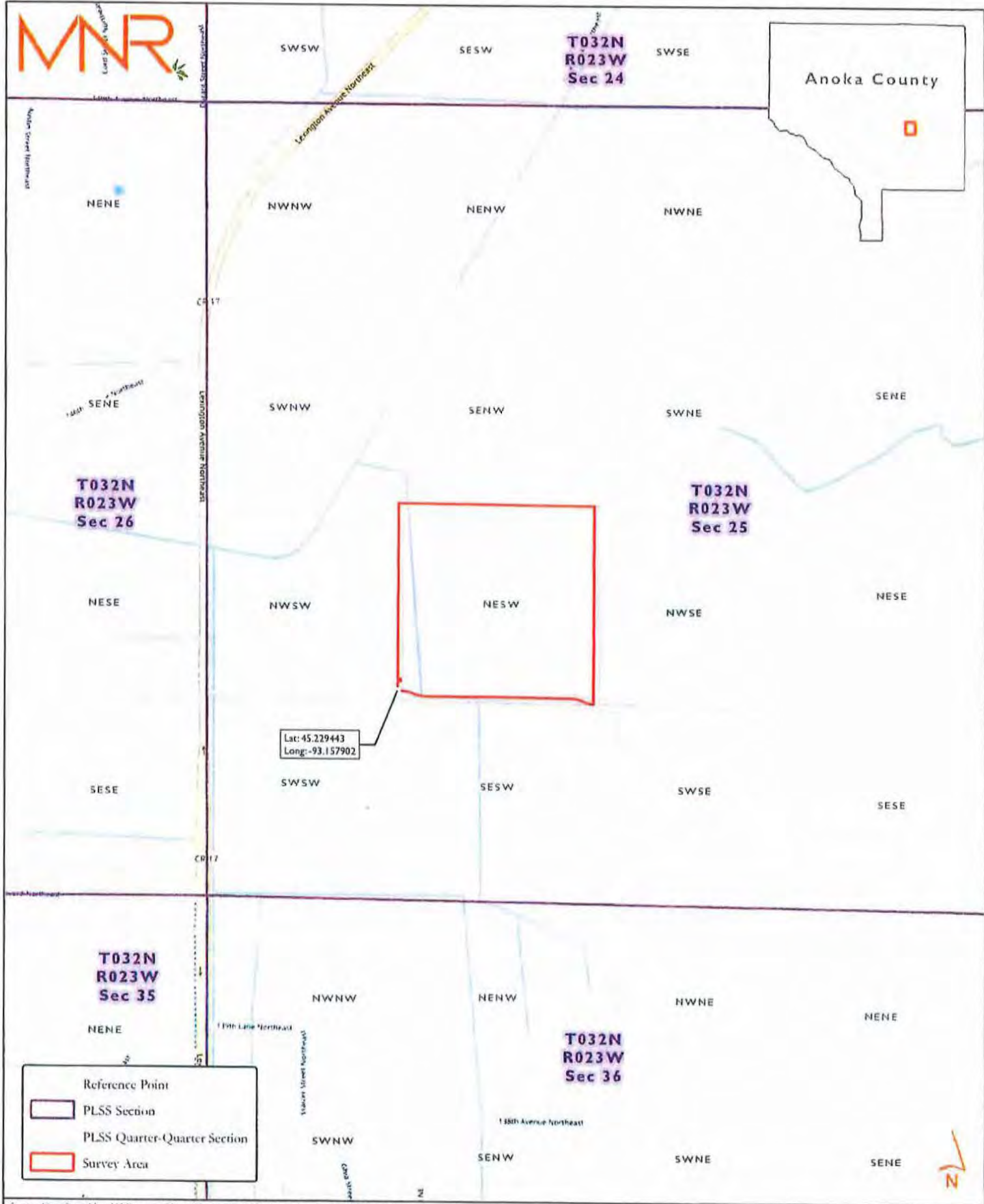
Source: OpenStreetMap, US Census Bureau, Date: 5/20/2021



Project Location
Rare Plant Survey
143rd Ave NE Site
Ham Lake, Anoka County, Minnesota

Figure 1





Source: OpenStreetMap, US Bureau of Land Management, US Census Bureau, Date: 5/20/2021



PLSS Survey Divisions
 Rare Plant Survey
 143rd Ave NE Site
 Ham Lake, Anoka County, Minnesota

Figure 2



Source: MGeo, MN Department of Natural Resources, USDA Natural Resources Conservation Service, US Census Bureau, Date: 5/20/2021

0 200 400 Feet

Anoka County Soil Survey
Rare Plant Survey
143rd Ave NE Site
Ham Lake, Anoka County, Minnesota

Figure 3

MNR

Anoka County

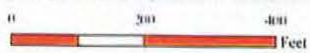


Lat: 45.229443
Long: -93.157902

CARLOSAVERY NATURAL AREA

Reference Point
Outstanding Significance
Survey Area

Source: MoGeo, MN Department of Natural Resources, US Census Bureau, Date: 5/20/2021



Sites of Biodiversity Significance
Rare Plant Survey
143rd Ave NE Site
Ham Lake, Anoka County, Minnesota

Figure 4

MNR

Anoka County



Photo_pt_0010

Photo_pt_0013

Photo_pt_0012

Lat: 45.229443
Long: -93.157902

Photo_pt_0014

Photo_pt_0015

Photo_pt_0006

Photo_pt_0007

Photo_pt_0005

Photo_pt_0004

Photo_pt_0003

Photo_pt_0009

Reference Point
X Photo Location
Land Parcel
Survey Area

Source: MxGeo, MN Department of Natural Resources, US Census Bureau, Date: 5/20/2021

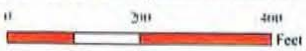


Photo Locations
Rare Plant Survey
143rd Ave NE Site
Ham Lake, Anoka County, Minnesota

Figure 5

Appendix A – Survey Protocol





Ms. Lisa Joyal
Endangered Species Review Coordinator
Minnesota Department of Natural Resources
Ecological & Water Resources
500 Lafayette Road
St. Paul, MN 55155

April 2, 2021

Ms. Joyal,

Midwest Natural Resources, Inc. (MNR) is proposing to conduct an early season rare plant survey within the 38-acre Ham Lake property located north of 143rd Ave NE, east of Lexington Ave, Anoka County, Minnesota (**Figure 1**).

We are unaware if a formal request of the Natural Heritage Information System (NHIS) has been made. Regardless, we are intending to conduct an early season rare plant survey in mid- to late-May.

Survey efforts will involve documenting all vascular plant species observed during this visit. Rare plant species, if encountered, will be documented spatially using sub-meter GPS units (Trimble GeoXT 6000). Rare plant species documentation will include notes on habitat, associate species, number of individuals observed within each population documented, and representative photos. Voucher collections will be made following the DNR's collection guidance procedure should the population allow for collecting. We will also evaluate the site at this time to determine the potential need for additional surveys later in the growing season. Species on the attached list will be considered as we determine the need for follow-up surveys.

A summary report will be produced at the conclusion of field efforts. This document will include information pertaining to survey methods, survey results, report figures/graphics, and appendices (species lists and representative photos). The report along with the GIS shapefile, associated spreadsheet, and an email from Welby Smith verifying specimen identification will be submitted to the designated NHIS email address should we have positive results.

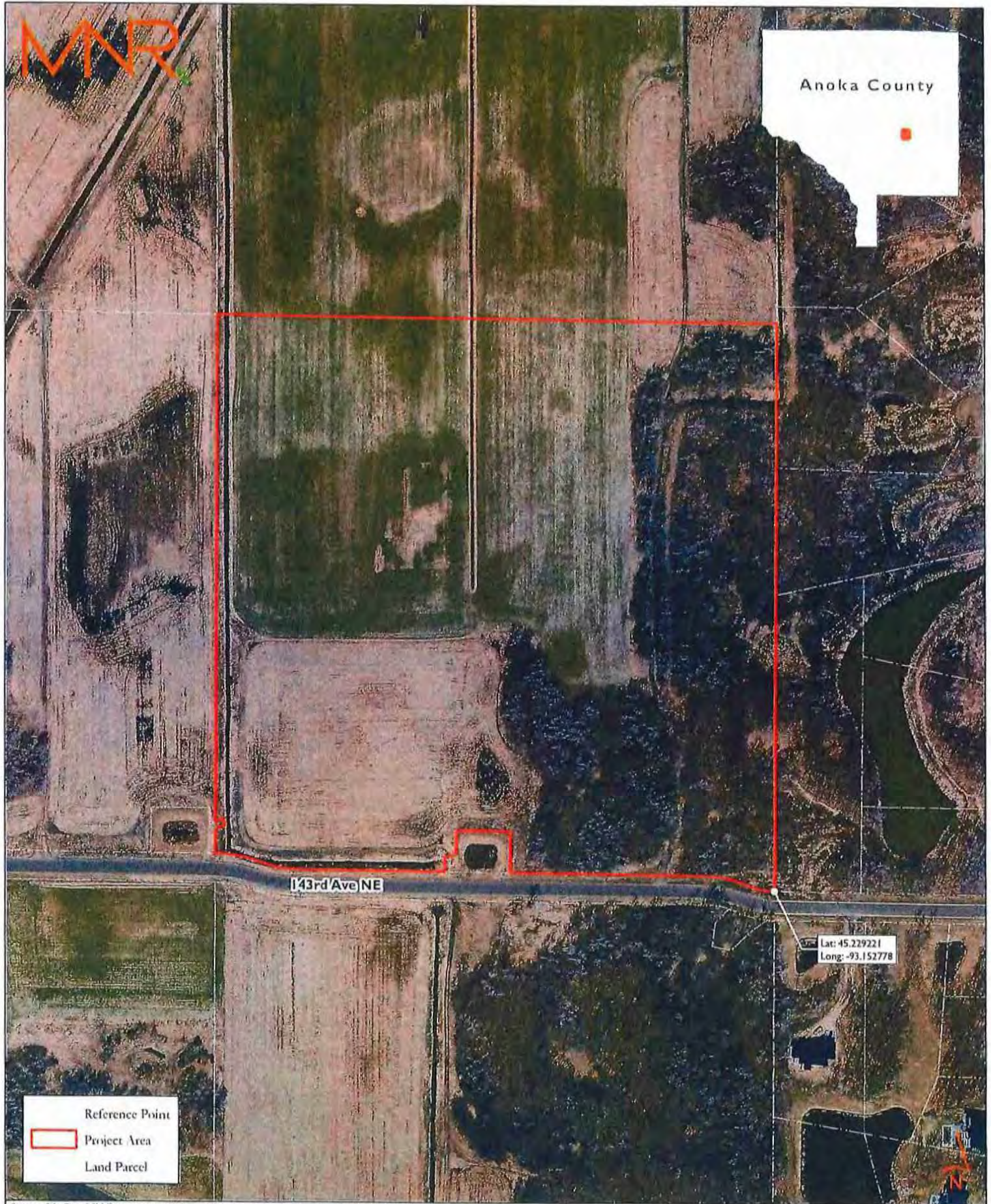
Please let us know if you have any questions.

A handwritten signature in blue ink, appearing to read 'S. Milburn', is written over a horizontal line.

Scott A. Milburn, MS
Principal Botanist/President
Midwest Natural Resources, Inc.

MNR

Anoka County



Source: MnGen, MN Department of Natural Resources, US Census Bureau, Date: 1/4/2021



Project Area
143rd Ave NE Site
Ham Lake, Anoka County, Minnesota

Figure 1

Target Species List		
Common name	Scientific name	State status
Slimspike Three-awn	<i>Aristida longespica</i> var. <i>geniculata</i>	endangered
Seaside Three-awn	<i>Aristida tuberculosa</i>	threatened
White Wild Indigo	<i>Baptisia lactea</i> var. <i>lactea</i>	special concern
Yellow Bartonia	<i>Bartania virginica</i>	endangered
Blunt-lobed Grapefern	<i>Botrychium oneidense</i>	threatened
St. Lawrence Grapefern	<i>Botrychium rugulosum</i>	special concern
Least Moonwort	<i>Botrychium simplex</i>	special concern
Gray's Sedge	<i>Carex grayi</i>	special concern
Ram's Head Orchid	<i>Cypripedium arietinum</i>	threatened
Water-willow	<i>Decadan verticillatus</i> var. <i>laevigatus</i>	special concern
Autumn Fimbry	<i>Fimbristylis autumnalis</i>	special concern
Black Huckleberry	<i>Gaylussacia baccata</i>	threatened
Beach Heather	<i>Hudsonia tomentoso</i>	threatened
Butternut	<i>Juglans cinerea</i>	endangered
Marginated Rush	<i>Juncus marginatus</i>	endangered
Rock Sandwort	<i>Minuartia dawsonensis</i>	threatened
Slender Naiad	<i>Najas gracillima</i>	special concern
Olive-colored Southern Naiad	<i>Najas guadalupensis</i> ssp. <i>olivacea</i>	special concern
Old Field Toadflax	<i>Nuttallanthus canadensis</i>	special concern
Rhombic Evening Primrose	<i>Oenothera rhombipetala</i>	special concern
One-flowered Broomrape	<i>Orobanche uniflora</i>	threatened
American Ginseng	<i>Panax quinquefolius</i>	special concern
Small Green Wood Orchid	<i>Platanthera clovellata</i>	special concern
Tuberclad Rein Orchid	<i>Platanthera flava</i> var. <i>herbiola</i>	threatened
Cross-leaved Milkwort	<i>Polygala cruciata</i>	endangered
Snailseed Pondweed	<i>Potamogeton bicupulatus</i>	endangered
Diverse-leaved Pondweed	<i>Potamogeton diversifolius</i>	endangered
Toothcup	<i>Rotala romasiar</i>	threatened
a bristle-berry	<i>Rubus fulleri</i>	threatened
Missouri Bristle-berry	<i>Rubus missouricus</i>	endangered
Kinnickinnick Dewberry	<i>Rubus multiflor</i>	special concern
Swamp Blackberry	<i>Rubus semisetosus</i>	threatened
A Bristle-berry	<i>Rubus stipulatus</i>	endangered
Vermont Bristle-berry	<i>Rubus vermontanus</i>	special concern
Tall Nutrush	<i>Scleria triglomerata</i>	endangered
Clinton's Bulrush	<i>Trichophorum clintonii</i>	threatened
Purple Sandgrass	<i>Triplasis purpurea</i> var. <i>purpurea</i>	special concern
Lance-leaf Violet	<i>Viola lanceolata</i> var. <i>lanceolata</i>	threatened
Twisted Yellow-eyed Grass	<i>Xyris torta</i>	endangered

Appendix B – Species Lists



Appendix C – Representative Photos





Photo pt 0003: Wetland basin dominated by reed canary grass (facing east)



Photo pt 0004: Oak forest with interrupted canopy (facing northwest)



Photo pt 0005: Wetland basin dominated by reed canary grass (facing northwest)



Photo pt 0006: Oak forest (facing west)



Photo pt 0007: North-south ditch near edge of oak forest community (facing north)



Photo pt 0009: Sod field (facing north)



Photo pt 0010: North-south ditch within sod field (facing north)



Photo pt 0012: North-south ditch on west end of survey area (facing north)



Photo pt 0013: Sod field (facing east)



Photo pt 0014: East-west lateral ditch along 143rd St. NE (facing east)



Photo pt 0015: Excavated basin adjacent to 143rd St. NE (facing west)



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE
Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 9-7-2021

Date of Receipt _____
Receipt # _____

Meeting Appearance Dates:
Planning Commission 9-13-21

City Council 9-20-2021

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Crosstown Development LLC

Address/Location of property: 17404 WARD LK. Dr. NW

Legal Description of property: Crosstown Rolling Acres III Addition

PIN # 06-32-23-32-0002 Current Zoning R-1 Proposed Zoning _____

Notes: 06-32-23-34-0002 +0004, 06-32-23-43-0002 +0004, 06-32-23-44-0011

Applicant's Name: JEFF STALBENGER

Business Name: _____

Address _____

City ANDOVER State Mn. Zip Code 55304

Phone 612-799-1471 Cell Phone _____ Fax _____

Email address STALLY68@MSN.COM

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Jeff Stalbenger

DATE 9-7-2021

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 9-13-2021
City Council _____

PROPERTY TAXES CURRENT YES NO

Memorandum

Date: September 1, 2021
To: Planning Commissioners
From: Tom Collins, City Engineer *TPC*
Subject: Crosstown Rolling Acres Third Addition

Introduction:

The Final Plat was received September 1st for the proposed 49 lot residential development located on 102.6 non-contiguous acres of parcels 06-32-23-32-0002 , 06-32-23-34-0002, 06-32-23-34-0004, 06-32-23-43-0002, 06-32-23-43-0005, 06-32-23-43-0006 and 06-32-23-44-0011. There were no revisions to the plans that received preliminary plat approval at the May 3rd City Council meeting. The Third Addition is a portion of the overall Crosstown Rolling Acres plan that received Sketch Plan approval at the February 5, 2018 City Council meeting. The parcels are currently zoned Rural Single Family Residential (R-A) and will be zoned R-1.

Discussion:

Due to there being no plan revisions since the May 3rd City Council meeting, all of the items and stipulations apply from the attached April 22nd recommendation for approval memo for preliminary plat approval.

Recommendations:

It is recommended that the Final Plat of Crosstown Rolling Acres Third Addition be recommended for approval to the City Council.

ORDINANCE NO. 21-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Crosstown Rolling Acres Third Addition).

The land referred to herein is situated in the State of Minnesota, Anoka County described as follows:

Outlot A, CROSSTOWN ROLLING ACRES, Anoka County, Minnesota.

AND

Outlot A, CROSSTOWN ROLLING ACRES SECOND ADDITION, Anoka County, Minnesota.

AND

That part of the Northwest Quarter of Southwest Quarter of Section 6, Township 32, Range: 23, Anoka County, Minnesota, lying southerly and southwesterly of the centerline of County Road No. 58 (A.K.A. 177th Avenue N.E.).

AND

That part of the South Half of the Southwest Quarter of Section 6, Township 32, Range 23, Anoka County, Minnesota, lying southeasterly of the southerly right of way line of C.S.A.H. No. 18 (A.K.A. Crosstown Boulevard N.E.).

AND

That part of the South Half of the Southwest Quarter of the Southeast Quarter of Section 6, Township 32, Range 23, Anoka County, Minnesota, lying southerly and southeasterly of the southerly right of way line of C.S.A.H. No. 18 (A.K.A. Crosstown Boulevard N.E.).

EXCEPT THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 6 DESCRIBED AS FOLLOWS:

Commencing at the Southwest corner of the Southwest Quarter of the Southeast Quarter of said Section 6; thence North along the West line of said Southwest Quarter of Southeast Quarter a distance of 300 feet; thence East and parallel with the South line of said Southwest Quarter of Southeast Quarter a distance of 616 feet; thence South and parallel with the West line of said Southwest Quarter of Southeast Quarter a distance of 300 feet, to the South line of said Southwest Quarter of Southeast Quarter; thence West along said South line to the point of beginning.

**Presented to the Ham Lake City Council on May 3, 2021 and adopted by a unanimous vote
this 20th day of September, 2021.**

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

PRELIMINARY COPY
AS OF 09-07-21

CROSTOWN ROLLING ACRES THIRD ADDITION

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 06, T32N, R23W

KNOW ALL PERSONS BY THESE PRESENTS: That Crosstown Development, LLC, a Minnesota limited liability company, owner of the following described property:

Outlot A, CROSTOWN ROLLING ACRES, Anoka County, Minnesota.

AND

Outlot A, CROSTOWN ROLLING ACRES SECOND ADDITION, Anoka County, Minnesota.

AND

That part of the Northwest Quarter of Southwest Quarter of Section 6, Township 32, Range 23, Anoka County, Minnesota, lying southerly and southwesterly of the centerline of County Road No. 58 (A.K.A. 177th Avenue N.E.).

AND

That part of the South Half of the Southwest Quarter of Section 6, Township 32, Range 23, Anoka County, Minnesota, lying southeasterly of the southerly right of way line of C.S.A.H. No. 18 (A.K.A. Crosstown Boulevard N.E.).

AND

That part of the Southwest Quarter of the Southeast Quarter of Section 6, Township 32, Range 23, Anoka County, Minnesota, lying southerly and southeasterly of the southerly right of way line of C.S.A.H. No. 18 (A.K.A. Crosstown Boulevard N.E.).

EXCEPT that part of the Southwest Quarter of the Southeast Quarter of said Section 6 described as follows:

Commencing at the Southwest corner of the Southwest Quarter of the Southeast Quarter of said Section 6; thence North along the West line of said Southwest Quarter of Southeast Quarter a distance of 300 feet; thence East and parallel with the South line of said Southwest Quarter of Southeast Quarter a distance of 616 feet; thence South and parallel with the West line of said Southwest Quarter of Southeast Quarter a distance of 300 feet, to the South line of said Southwest Quarter of Southeast Quarter; thence West along said South line to the point of beginning.

Has caused the same to be surveyed and platted as CROSTOWN ROLLING ACRES THIRD ADDITION and does hereby dedicate to the public for public use the public ways, park and the drainage and utility easements as shown on this plat. Also dedicating to the County of Anoka the right of access onto County State Aid Highway No. 18 and County State Aid Highway No. 58 as shown on this plat.

In witness whereof said Crosstown Development, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20__.

CROSTOWN DEVELOPMENT, LLC

Jeffrey A. Stalberger, Administrator

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20__ by Jeffrey A. Stalberger, Administrator of Crosstown Development, LLC, a Minnesota limited liability company.

(Signature)

(Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20__.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20__ by Jason E. Rud.

(Signature)

(Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of CROSTOWN ROLLING ACRES THIRD ADDITION was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this _____ day of _____, 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ham Lake, Minnesota

By _____ Mayor By _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20__.

David M. Ziegemeier
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this day of _____, 20__.

Property Tax Administrator

By _____, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of CROSTOWN ROLLING ACRES THIRD ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20__, at _____ o'clock _____M. and was duly recorded as Document Number _____.

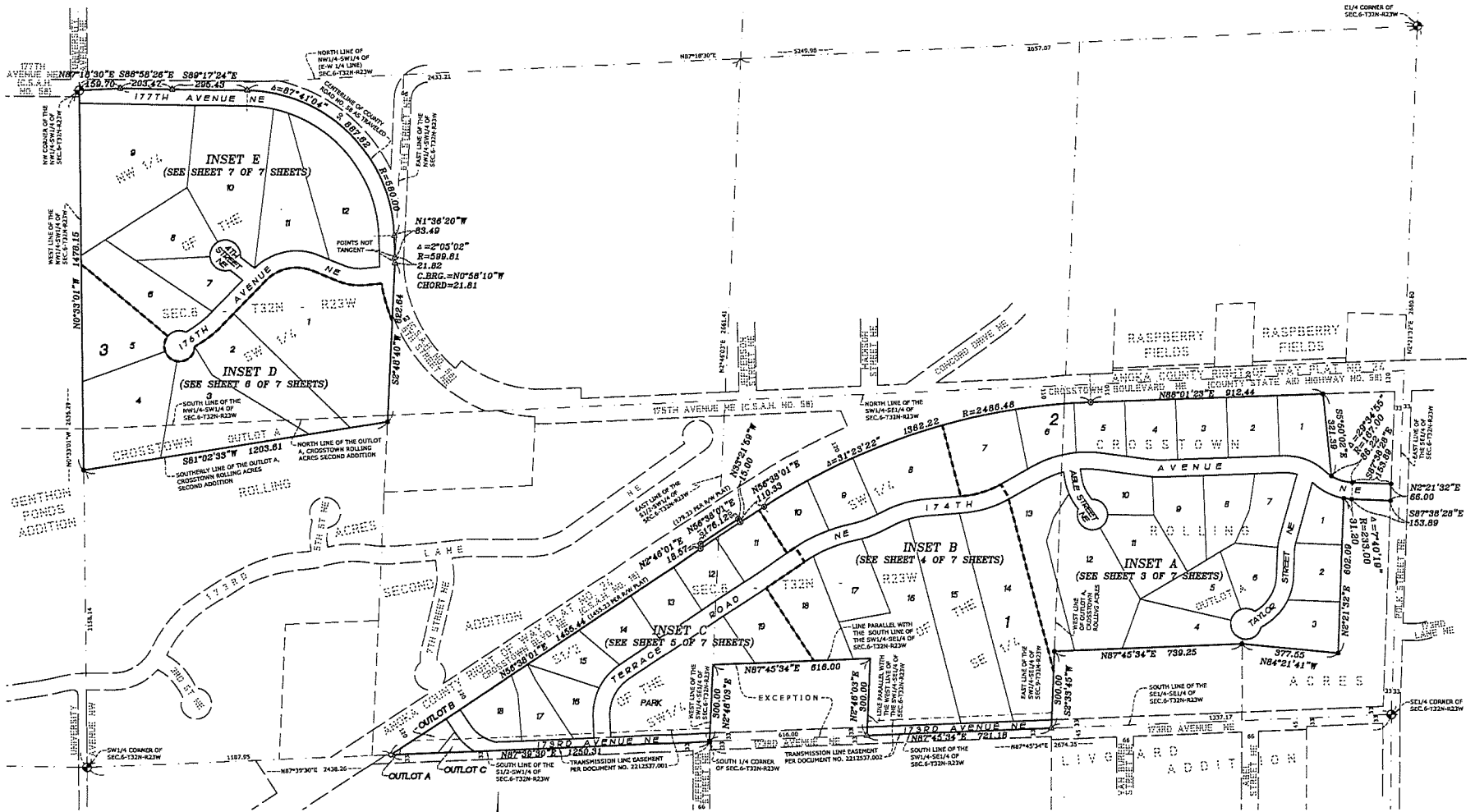
County Recorder/Registrar of Titles

By _____, Deputy



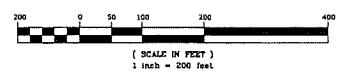
CROSTOWN ROLLING ACRES THIRD ADDITION

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 06, T32N, R23W



LEGEND

- ◆ DENOTES FOUND ANOKA COUNTY MONUMENT
- ⊙ DENOTES FOUND ANOKA COUNTY RIGHT OF WAY MONUMENT
- DENOTES FOUND STONE MONUMENT
- DENOTES 1/2 INCH IRON MONUMENT FOUND, MARKED RLS NO. 4157B, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 4157A
- ▲ DENOTES SET PKNAIL



FOR THE PURPOSES OF THIS PLAT, THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREES 33 MINUTES 01 SECOND WEST.

NORTH

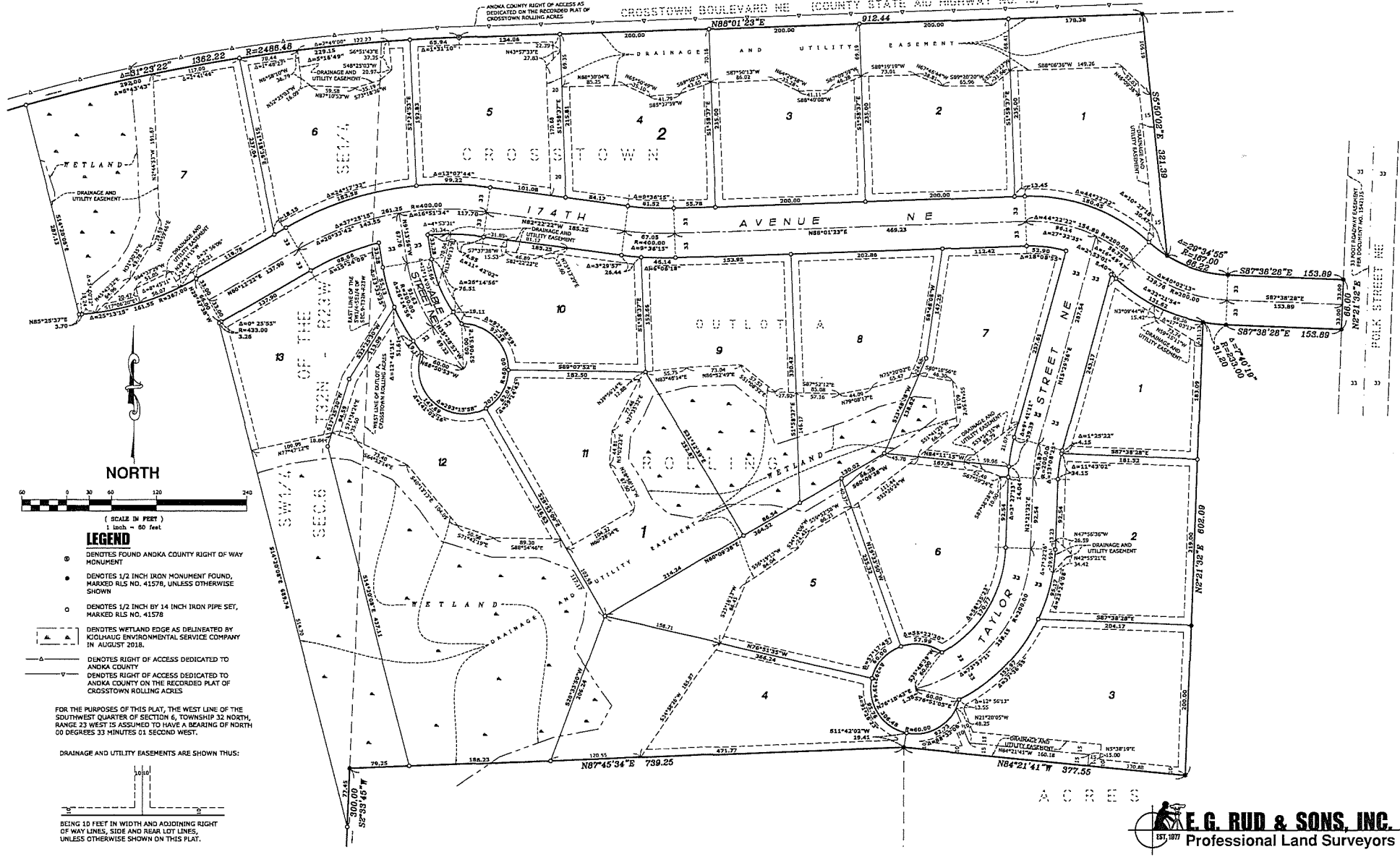
PRELIMINARY COPY
AS OF 09-07-21

INSET A

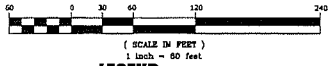
CROSTOWN ROLLING ACRES THIRD ADDITION

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 06, T32N, R23W

ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 24
CROSTOWN BOULEVARD NE (COUNTY STATE AID HIGHWAY NO. 18)



NORTH



LEGEND

- DENOTES FOUND ANOKA COUNTY RIGHT OF WAY MONUMENT
- DENOTES 1/2 INCH IRON MONUMENT FOUND, MARKED RLS NO. 41576, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ▲ DENOTES WETLAND EDGE AS DELINEATED BY KOLHAUG ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2018.
- A- DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY
- V- DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY ON THE RECORDED PLAT OF CROSTOWN ROLLING ACRES

FOR THE PURPOSES OF THIS PLAT, THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREES 33 MINUTES 01 SECOND WEST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

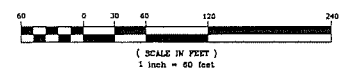
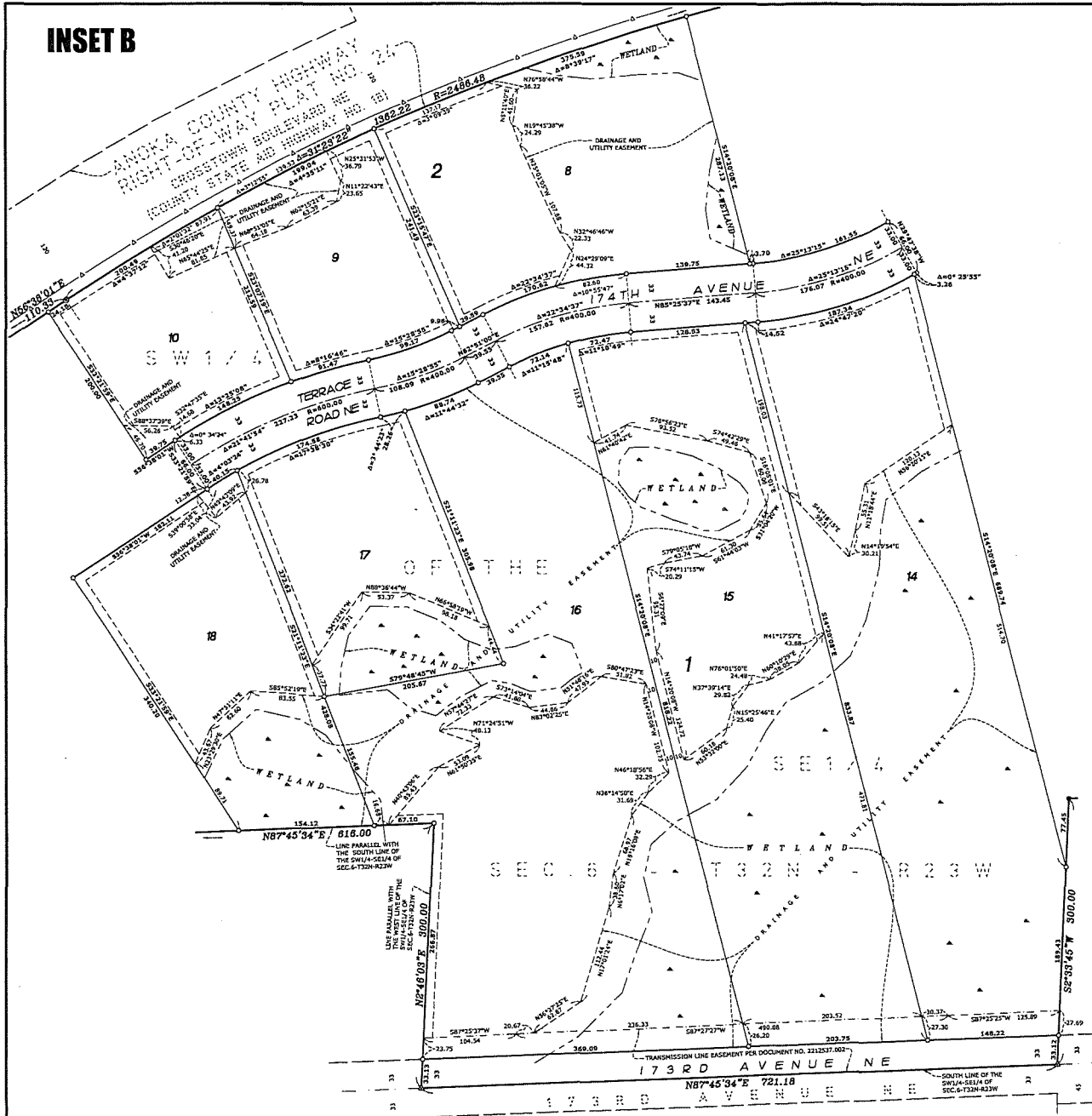
ACRES

PRELIMINARY COPY
AS OF 09-07-21

INSET B

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 06, T32N, R23W

CROSTOWN ROLLING ACRES THIRD ADDITION

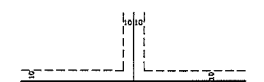


LEGEND

- DENOTES FOUND ANOKA COUNTY RIGHT OF WAY MONUMENT
- DENOTES 1/2 INCH IRON MONUMENT FOUND, MARKED RLS NO. 41579, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ▲ DENOTES SET PIVOTAL
- ▭ DENOTES WETLAND EDGE AS DELINEATED BY KIDDAUS ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2018.
- DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY

FOR THE PURPOSES OF THIS PLAT, THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREES 33 MINUTES 01 SECOND WEST.

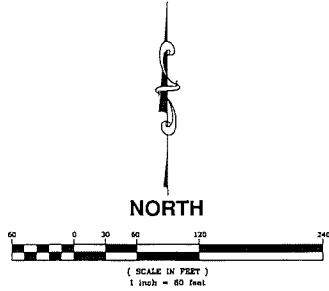
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS:



INSET C

CROSTOWN ROLLING ACRES THIRD ADDITION

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 06, T32N, R23W

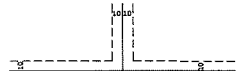


LEGEND

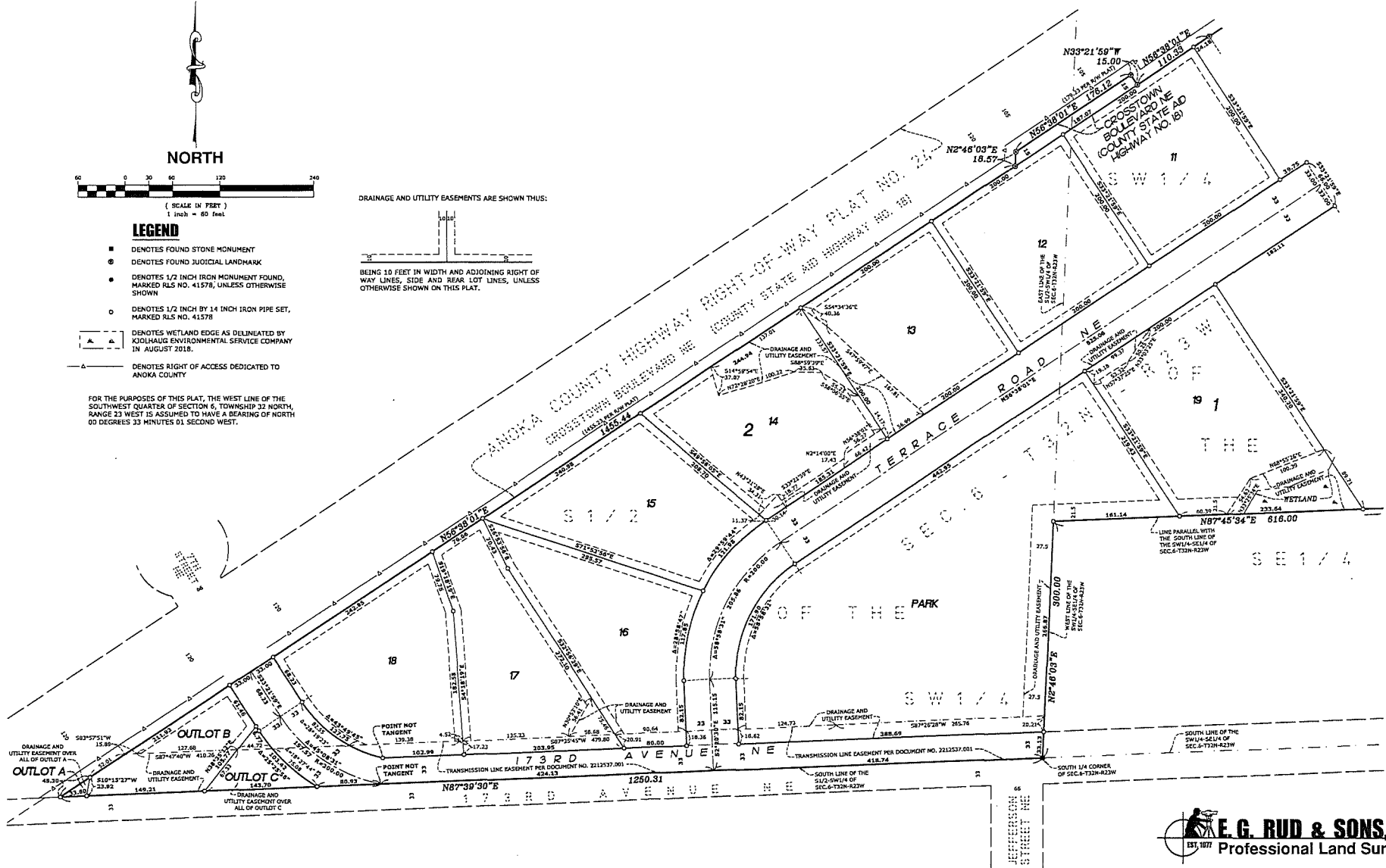
- DENOTES FOUND STONE MONUMENT
- ⊙ DENOTES FOUND JUDICIAL LANDMARK
- DENOTES 1/2 INCH IRON MONUMENT FOUND, MARKED RLS NO. 41578, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ▲— DENOTES WETLAND EDGE AS DELINEATED BY KOLLAIG ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2018.
- ▲— DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY

FOR THE PURPOSES OF THIS PLAT, THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREES 33 MINUTES 01 SECOND WEST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS:



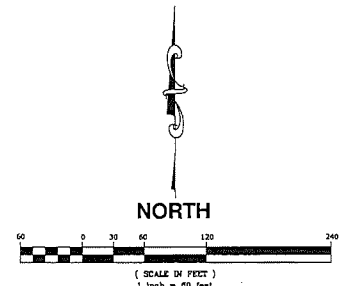
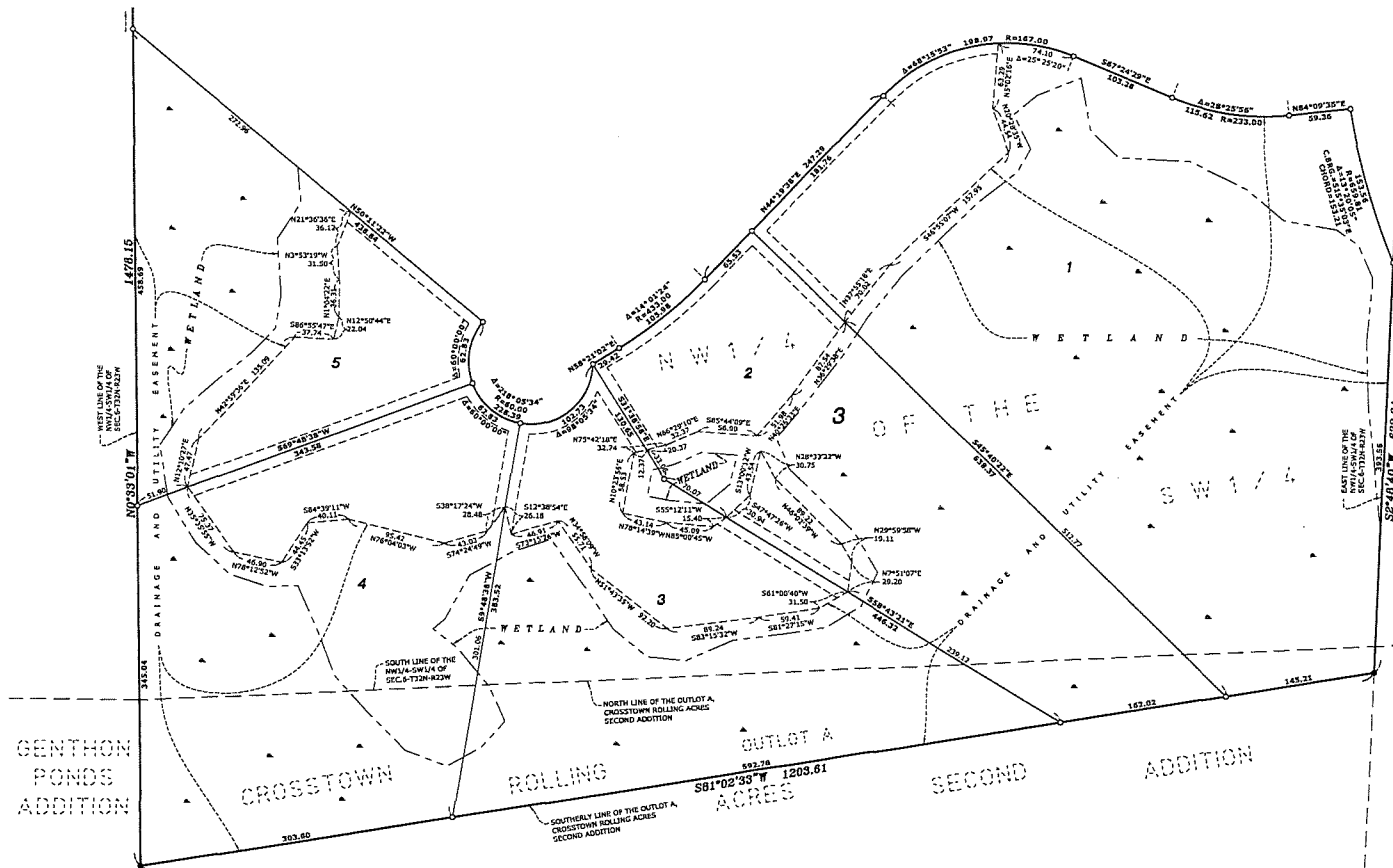
BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.



INSET D

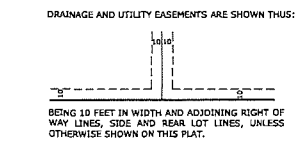
CROSTOWN ROLLING ACRES THIRD ADDITION

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 06, T32N, R23W



- LEGEND**
- DENOTES 1/2 INCH IRON MONUMENT FOUND, MARKED RLS NO. 41578, UNLESS OTHERWISE SHOWN
 - DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE SET, MARKED RLS NO. 41579
 - ▲ DENOTES WETLAND EDGE AS DELINEATED BY KIDDAUG ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2018.

FOR THE PURPOSES OF THIS PLAT, THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREES 33 MINUTES 01 SECOND WEST.

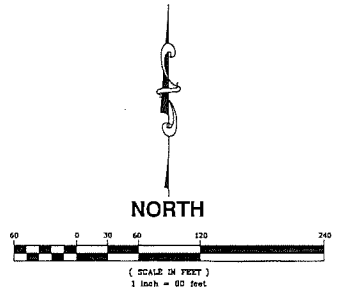
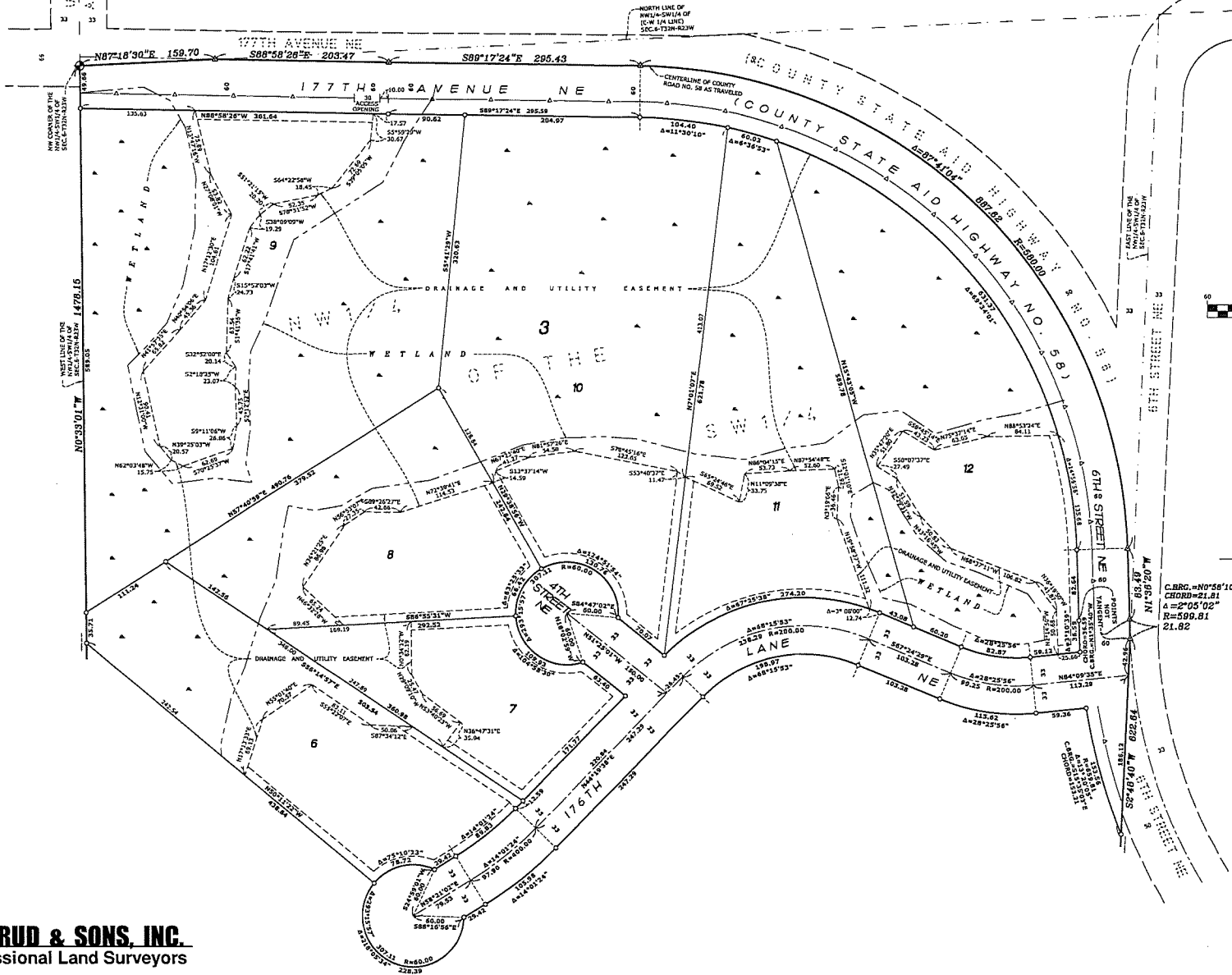


PRELIMINARY COPY
AS OF 09-07-21

INSET E

CROSTOWN ROLLING ACRES THIRD ADDITION

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 06, T32N, R23W



- LEGEND**
- ◆ DENOTES FOUND ANOKA COUNTY MONUMENT
 - DENOTES FOUND STONE MONUMENT
 - DENOTES 1/2 INCH IRON MONUMENT FOUND, MARKED RLS NO. 41578, UNLESS OTHERWISE SHOWN
 - DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
 - ▲ DENOTES SET PINKAIL
 - ▲▲ DENOTES WETLAND EDGE AS DELINEATED BY KOLHAUG ENVIRONMENTAL SERVICE COMPANY IN AUGUST 2018.
 - DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY

C.BRG. = N0°58'10"W
CHORD = 21.81'
A = 2°05'02"
R = 599.81'
21.82'

FOR THE PURPOSES OF THIS PLAT, THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 32 NORTH, RANGE 23 WEST IS ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREES 33 MINUTES 01 SECOND WEST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS:

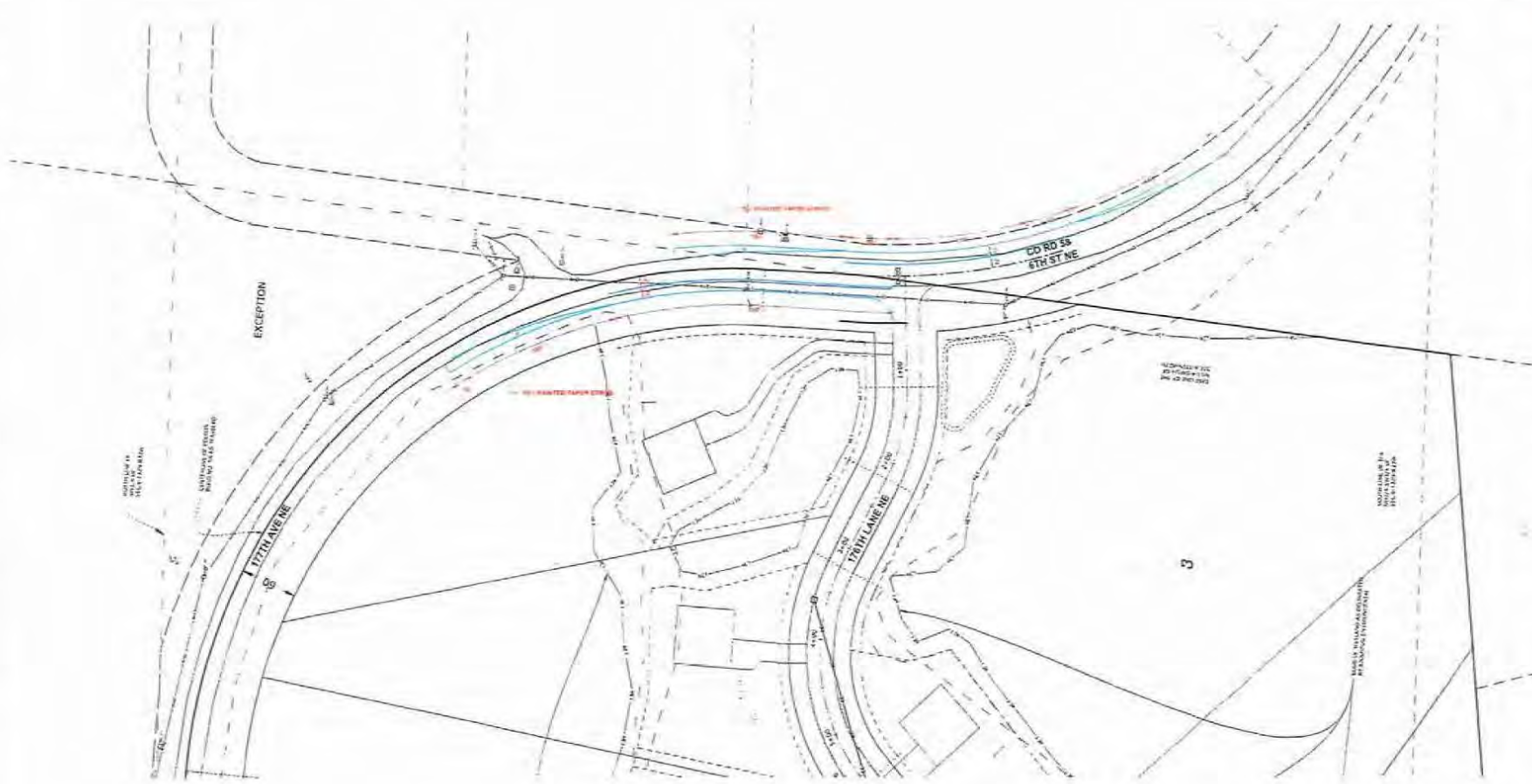
BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

CROSTOWN ROLLING ACRES THIRD ADDITION

CITY OF HAM LAKE, ANOKA COUNTY, MN
PRELIMINARY TURN LANE PLAN



Know what's below.
 Call before you dig.



7575 LAKE DRIVE
 SUITE 100
 HAM LAKE, MN 55124

PHONE: 612.554.4474
 FAX: 612.554.4474

DESIGNED BY: CHECK BY:
 AD: CWP

JOB NO.: DATE:
 19-1882 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

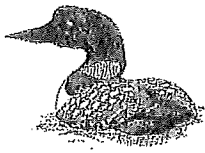
DATE: 11-13-20

DATE: 11-13-20

DATE: 11-13-20

**CROSTOWN ROLLING ACRES
 THIRD ADDITION**
 CITY OF HAM LAKE, MN
PRELIMINARY TURN LANE PLAN
 PREPARED BY: CROSTOWN DEVELOPMENT LLC

SHEET
C2.2



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application August 12, 2021

Date of Receipt _____
Receipt # _____

Meeting Appearance Dates:
Planning Commission 9-13-21

City Council 9-20-21

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: S+R Developers, LLC

Address/Location of property: 4056 Constance Blvd. NE, Ham Lake, MN 55304

Legal Description of property: Enchanted Estates Third Addition
14-32-23-14-0011

PIN # 14-32-23-41-0014 Current Zoning R-1 Proposed Zoning —

Notes: _____

Applicant's Name: Roger Haugen

Business Name: S+R Developers, LLC

Address 4056 Constance Blvd. N.E.

City Ham Lake State MN Zip Code 55304

Phone 763-434-6582 Cell Phone 612-670-3863 Fax _____

Email address rogerhaugen@comcast.net

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Roger Haugen DATE 8-12-2021

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 9-13-2021
City Council _____

PROPERTY TAXES CURRENT (YES) NO

Memorandum

Date: September 1, 2021
To: Planning Commissioners
From: Tom Collins, City Engineer *TPC*
Subject: Enchanted Estates 3rd Addition

Introduction:

The proposed eight lot residential development is located on the 14.12 combined non-contiguous acreage of Outlot C (14-32-23-14-0011) and Outlot F (14-32-23-41-0014) of the 2005 plat of Enchanted Estates. The Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan and Livability Chart, received August 31st and the Final Plat, received July 30th address prior review comments. No change is proposed to the current Single Family Residential (R-1) zoning. The project conforms to the Enchanted Estates 3rd Addition Preliminary Plat that was approved at the June 21st City Council meeting. Construction of the streets adjacent to the Preliminary Plat was completed in 2007.

Discussion:

The attached Coon Creek Watershed District permit was issued August 23rd. Although the plat of Enchanted Estates dedicated 3.01 acres of parkland, parkland dedication fees will be \$1,850 (\$2,500 x 74%) for each of the 8 lots per that paragraph 7A of the attached Development Agreement.

There is a Conservation Easement over portions of Lots 3, 4 and 5 of Block 1. The Easement, which is governed by the attached Declaration of Restrictions and Covenants, is over the wetland mitigation area within Outlot F of the plat of Enchanted Estates. No modifications are proposed to the Conservation Easement.

The February 10, 2005 Dunn septic certification certifies that each of the proposed lots will support two standard septic systems in accordance with Minnesota Rules 7080. A License Agreement will be required for Lot 1, Block 2 due to the septic line crossing the drainage and utility easement, which will be conditioned in the Development Agreement.

Recommendations:

It is recommended that the Final Plat of Enchanted Estates 3rd Addition be recommended for approval.

PRELIMINARY COPY

LOCATION: HAM LAKE, ANOKA COUNTY, MINNESOTA
FILE/NAME: 0286523RD-FINAL PLAT.DWG
FILE/DATE: 2/28/18

KNOW ALL PERSONS BY THESE PRESENTS: That Roger D. Haugen and Susan M. Haugen as Trustees of the Haugen Family Real Estate Trust, dated _____ owners of the following described property situated in the City of Ham Lake, County of Anoka, State of Minnesota:

Outlots C and F, ENCHANTED ESTATES, Anoka County, Minnesota.

Have caused this same to be surveyed and platted as ENCHANTED ESTATES THIRD ADDITION and do hereby dedicate to the public for public use the drainage and utility easements as shown on this plat.

In witness whereof said Roger D. Haugen and Susan M. Haugen, Trustees of the Haugen Family Real Estate Trust, dated _____, have hereunto set their hands this ____ day of _____, 20__.

Roger D. Haugen, Trustee of the Haugen Family Real Estate Trust, dated _____
Susan M. Haugen, Trustee of the Haugen Family Real Estate Trust, dated _____

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by Roger D. Haugen and Susan M. Haugen, Trustees of the Haugen Family Real Estate Trust, dated _____.

Notary Public, _____ County, Minnesota
My Commission Expires _____

I, Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20__.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by Jason E. Rud.

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of ENCHANTED ESTATES THIRD ADDITION was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this day of _____, 20__ and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ham Lake, Minnesota

By _____ Mayor By _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20__.

David M. Ziegler
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20__.

Property Tax Administrator

By _____, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES

COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of ENCHANTED ESTATES THIRD ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this ____ day of _____, 20__ at ____ o'clock ____ M. and was duly recorded in Book ____ Page ____ as Document Number _____.

County Recorder/Registrar of Titles

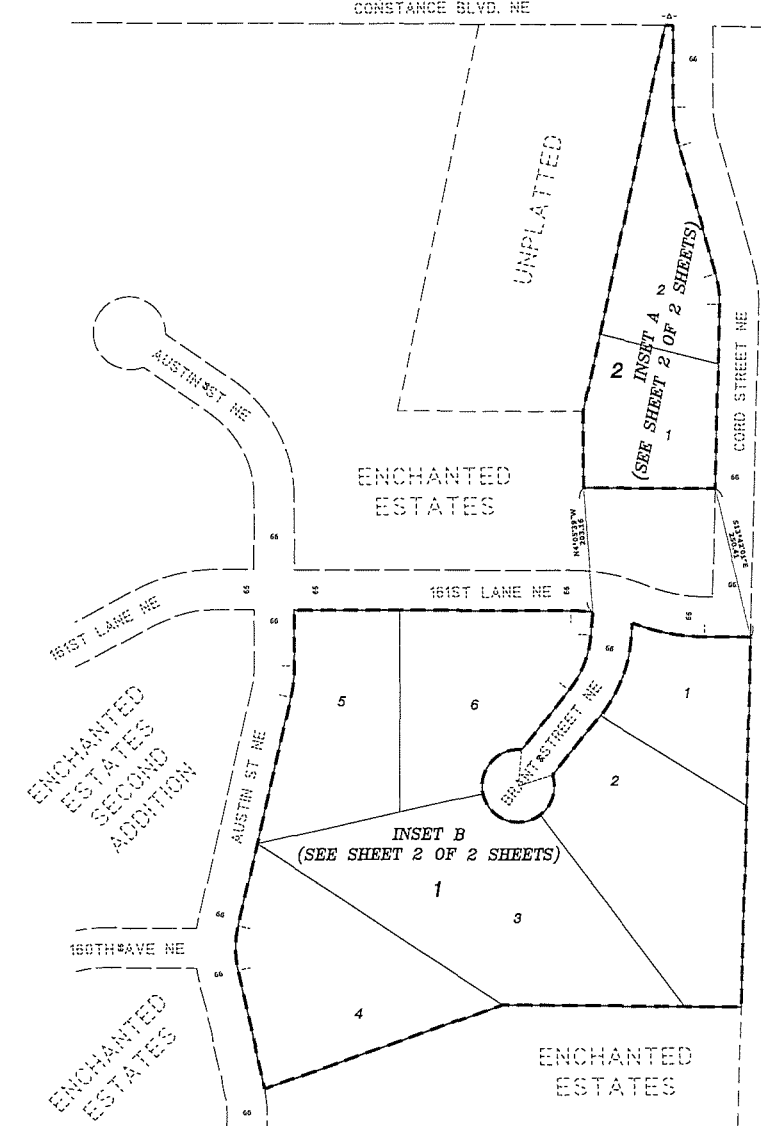
By _____, Deputy

ENCHANTED ESTATES THIRD ADDITION

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC.14, T32N, R23W

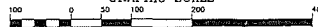
ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 21

(C.S.A.H. NO. 80)
CONSTANCE BLVD. NE



NORTH

GRAPHIC SCALE



(SCALE IN FEET)

1 INCH = 100 FEET

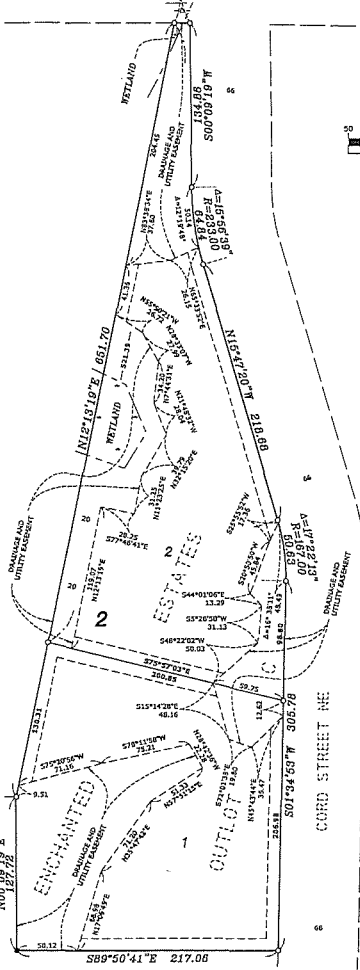


PRELIMINARY COPY

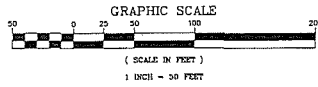
LAST DATE RECORDED: 04/26/2011 11:27:51 AM
FILE NAME: S:\ALCO\ADD\0252323\ADD\0252323.DWG
FILE NAME: 02523-3RD FINAL PLAT.DWG
FILE SIZE: 2,498

INSET A

ANOKA COUNTY HIGHWAY
RIGHT-OF-WAY PLAT NO. 21
C.B.G. = S89°05'06"E
A=0°03'56"
R=11399.16
CONSTANCE BLVD. NE
13.02



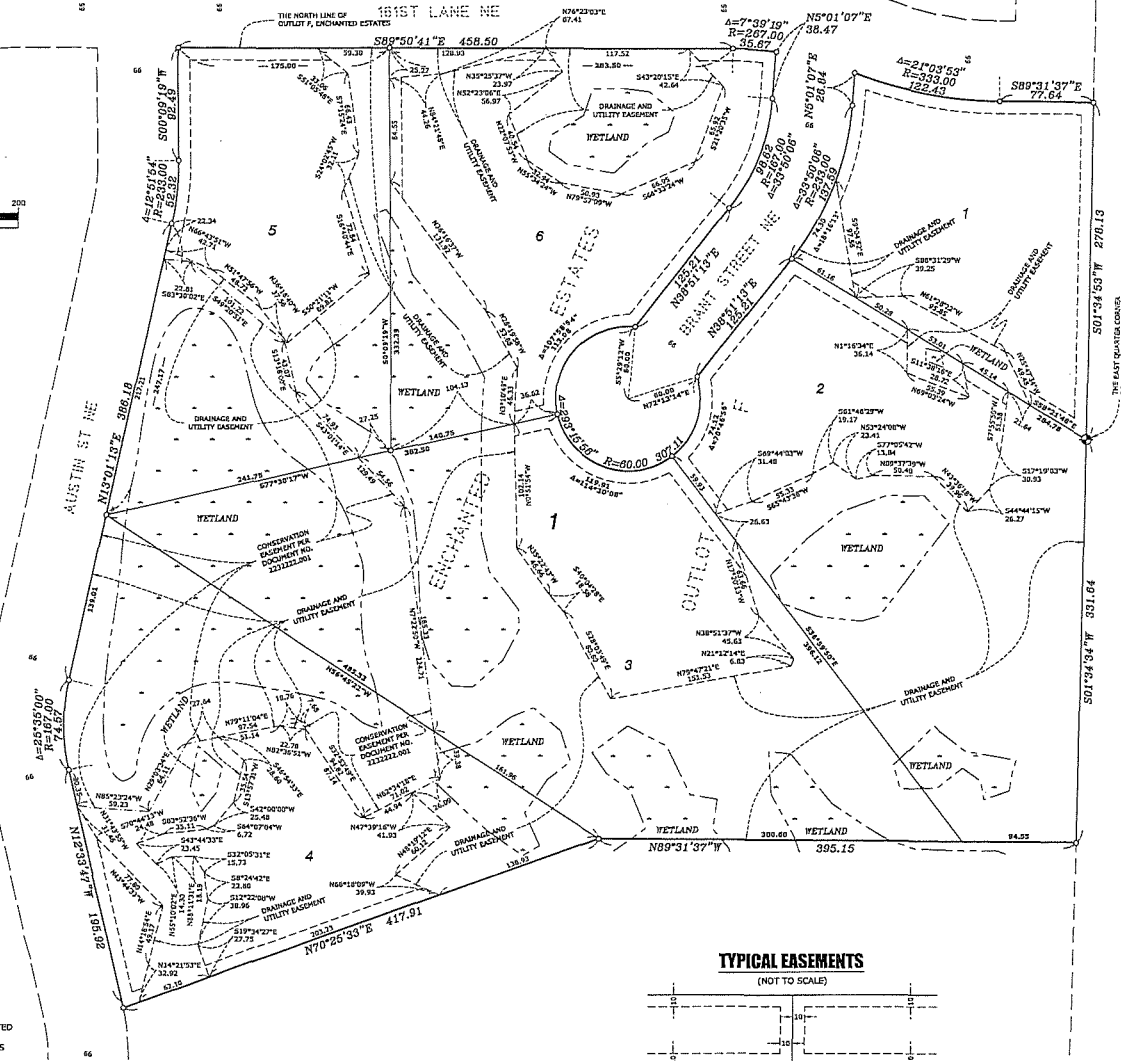
NORTH



ENCHANTED ESTATES THIRD ADDITION

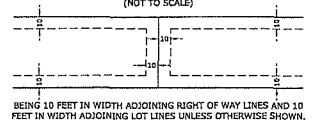
INSET B

CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 14, T32N, R23W



- DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET AND MARKED RLS NO. 41578.
- DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 2591.
- DENOTES WETLAND AS DELINEATED BY EARTH SCIENCE ASSOCIATES
- DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA PER THE RECORDED PLAT OF ENCHANTED OAKS

TYPICAL EASEMENTS



FOR THE PURPOSE OF THIS PLAT THE NORTH LINE OF OUTLOT F, ENCHANTED ESTATES IS ASSUMED TO BEAK SOUTH 89 DEGREES 50 MINUTES 41 SECONDS EAST.

E. G. RUD & SONS, INC.
EST. 1871
Professional Land Surveyors

PRELIMINARY PLAT

~of~ ENCHANTED ESTATES THIRD ADDITION
 ~for~ ROGER AND SUE HAUGEN
 4056 CONSTANCE BLVD.
 HAM LAKE, MN 55304
 TEL: (763) 434-6582

PROPERTY DESCRIPTION

DATA C and D and F, ENCHANTED ESTATES, Anoka County, Minnesota.

EXISTING ZONING

R-1 - (R1 Single Family Residential)

DEVELOPMENT DATA

TOTAL SITE AREA = 14.124 ACRES
 8 PROPOSED SINGLE FAMILY LOTS
 AVERAGE LOT SIZE = 1.77± ACRES
 MINIMUM STREET FRONTAGE = 200 FEET
 MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
 PROPOSED ZONING = R-1
 BUILDING SETBACKS FRONT = 30 FEET
 SIDE = 10 FEET
 REAR = 20 FEET
 COUNTY ROAD = 50 FEET

NOTES

- Bearings shown are on an assumed datum.
- Contours shown are per MYSO LIDAR distribution and field verification.
- Total lot areas are calculated to street centerline per ordinance.
- Parcel 10 as: 14-32-23-14-0011, 14-32-23-14-0014
- Wetland definition completed by Earth Science Associates.

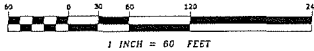
TYPICAL EASEMENTS

(NOT TO SCALE)



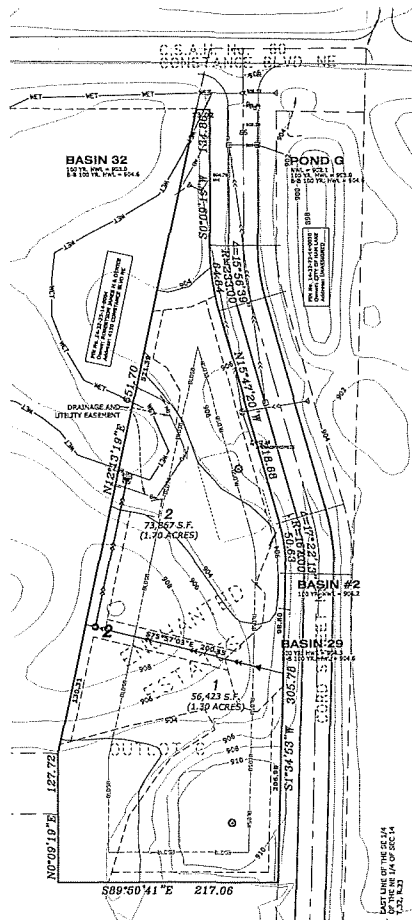
BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

GRAPHIC SCALE

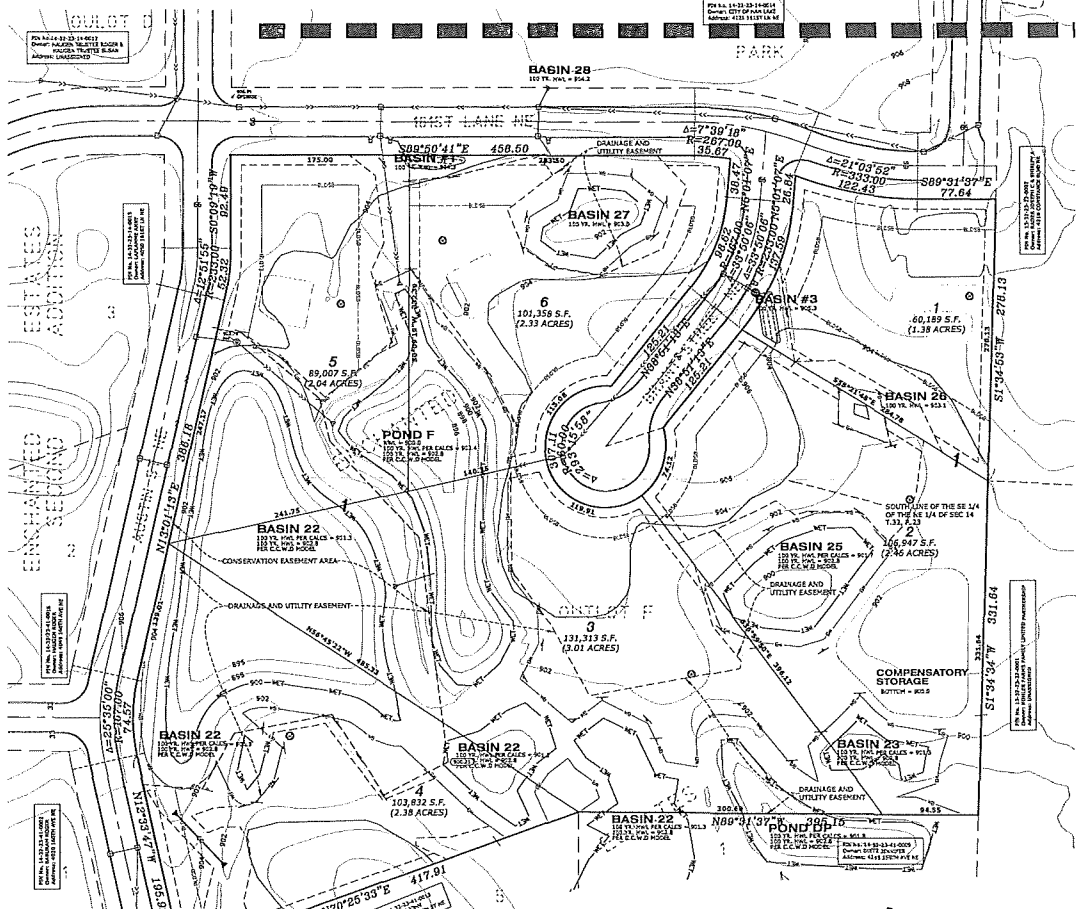


LEGEND

- WETLAND AS DESIGNATED BY EARTH SCIENCE ASSOCIATES.
- DENOTES AREA 1' ABOVE HIGHLIGHTS
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- DENOTES EASEMENT LINE
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND/VEGETATIVE BUFFER



NORTH



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

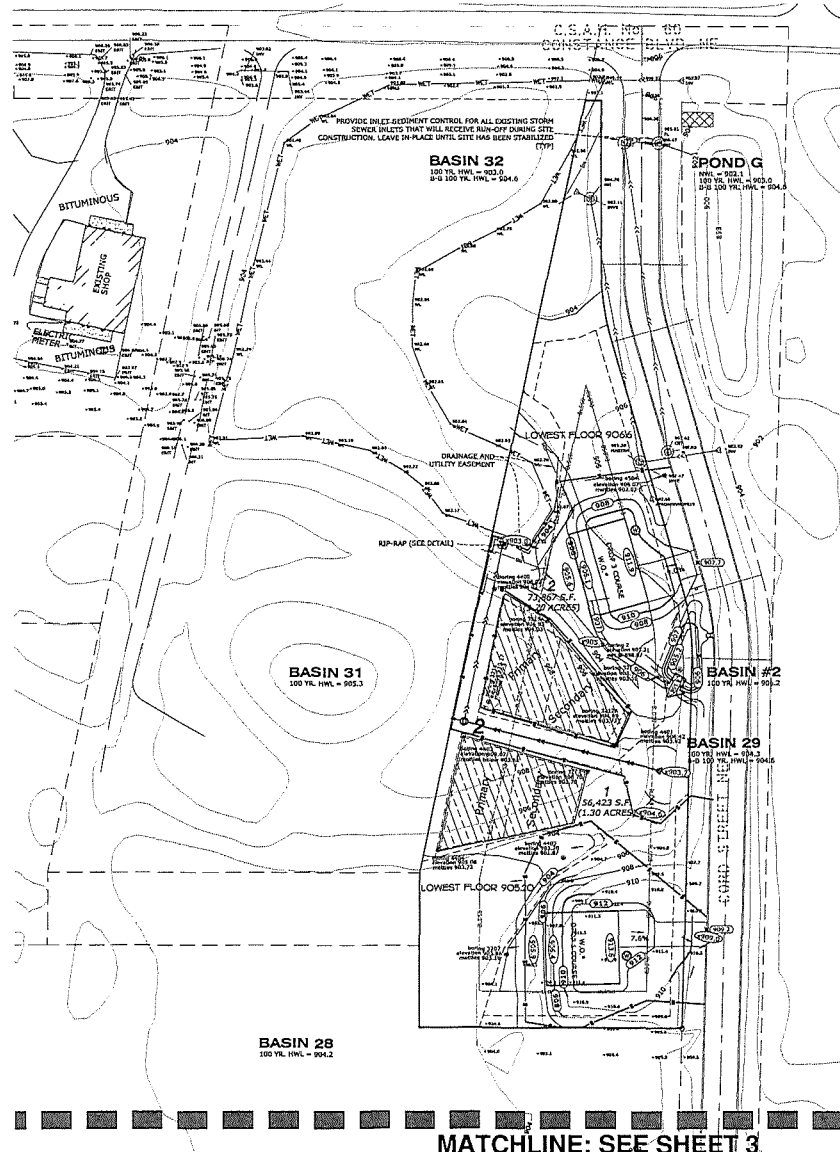
E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY: JMD	2021 NO. 02153277	DATE: 12/02/20
CHECK BY: JMD	FIELD CHECK: JMD	
1 03/31/21	CITY / WATERSHED COMMENTS	MND
2 04/23/21	CITY / WATERSHED COMMENTS	MND
3 05/12/21	CITY COMMENTS	MND
4 10/20/21	LOT 4 AND 5 GRADING	MND
NO. DATE	DESCRIPTION	BY

JASON E. RUD
 Date: 08/31/2021 License No. 41578

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ ENCHANTED ESTATES THIRD ADDITION
 ~for~ ROGER AND SUE HAUGEN
 4056 CONSTANCE BLVD.
 HAM LAKE, MN 55304
 TEL: (763) 434-6582



EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DETAIL NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN SEVEN DAYS AFTER ROUGH GRADING.
4. MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL, NOTES AND SPECIFICATIONS.

NOTES

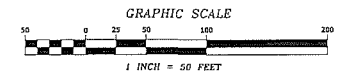
- BEARINGS SHOWN ARE ON AN ASSUMED DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (UNADJUSTED)
- CONTOURS SHOWN ARE PER FINISHED GRADE DISTRIBUTION AND FIELD VERIFICATION.
- ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SMOOTH AT FULL DEPTH.
- STUMP AREA TO BE SEEDDED WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY.
- ALL PIPE AREAS PROVIDED WITH TRASH CLOSURES.
- PROVIDE CLASS II RIP-RAP WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON RIP-RAP IN WETLAND BUFFERS AND SEED WITH 50# HD ANDOR 23-3EL.
- IF DOWNSIZING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MINOR DOWNSIZING PERMIT AND WILL PROVIDE WELL-FIELD LOCATIONS, MATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CCHW PRIOR TO ANY DOWNSIZING OPERATIONS.

LOT GRADING NOTES

- PAD CONTOURS SHOWN ARE FOR DEMONSTRATION PURPOSES.
- HOUSE TYPES AND GRADING THAT VARY FROM WHAT IS PROPOSED ON THE GRADING PLAN REQUIRE A PLAN REVIEW BY THE CITY OF HAM LAKE.
- 25% FENCE TO BE INSTALLED BY BUILDING PRIOR TO HOUSE CONSTRUCTION.
- THERE IS TO BE NO GRADING WITHIN LOT'S AREAS.
- ROCK CONSTRUCTION ENTRANCE REQUIRED WHERE CONSTRUCTION TRAFFIC EXTENDS ONTO EXISTING ROADWAYS.
- DISTURBED WETLAND BUFFERS TO BE RESEED WITH NATIVE MIX.

TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE MARKED BY FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SILT / TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE ONE LINE OF TREES TO THE TREE PROTECTION LINE.
- FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
- SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRUBBING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

DATE: 08/31/2021 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	02/01/21	CITY / WATERSHED COMMENTS	MMO
2	04/23/21	CITY / WATERSHED COMMENTS	MMO
3	02/22/21	CITY COMMENTS	MMO

LEGEND

- ⊙ DENOTES SOIL BORING BY ART DUNN
- ⊙ DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- ⬆ DENOTES EMERGENCY OUTFLOW ELEVATION
- ⊙ DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY EARTH SCIENCE ASSOCIATES
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES 80 SOIL TO BE INSTALLED INSIDE SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE MOTTLES
- DENOTES WETLAND/ VEGETATIVE BUFFER
- DENOTES WETLAND/ VEGETATIVE BUFFER SIGN
- DENOTES RIP-RAP (RIP-RAP TO BE VEGETATED IN WETLAND BUFFER)
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- ▨ DENOTES 12' POND ACCESS

PONDING CALCULATIONS AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014

OFFICE PLANNING & ENGINEERING PHONE: (851) 351-8210 FAX: (851) 351-8731

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

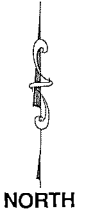
Adam Gunkel
 ADAM GUNKEL
 DATE: 08/31/2021 LIC. NO. 43063

E. G. RUD & SONS, INC.
 EST. 1877
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

MATCHLINE: SEE SHEET 3

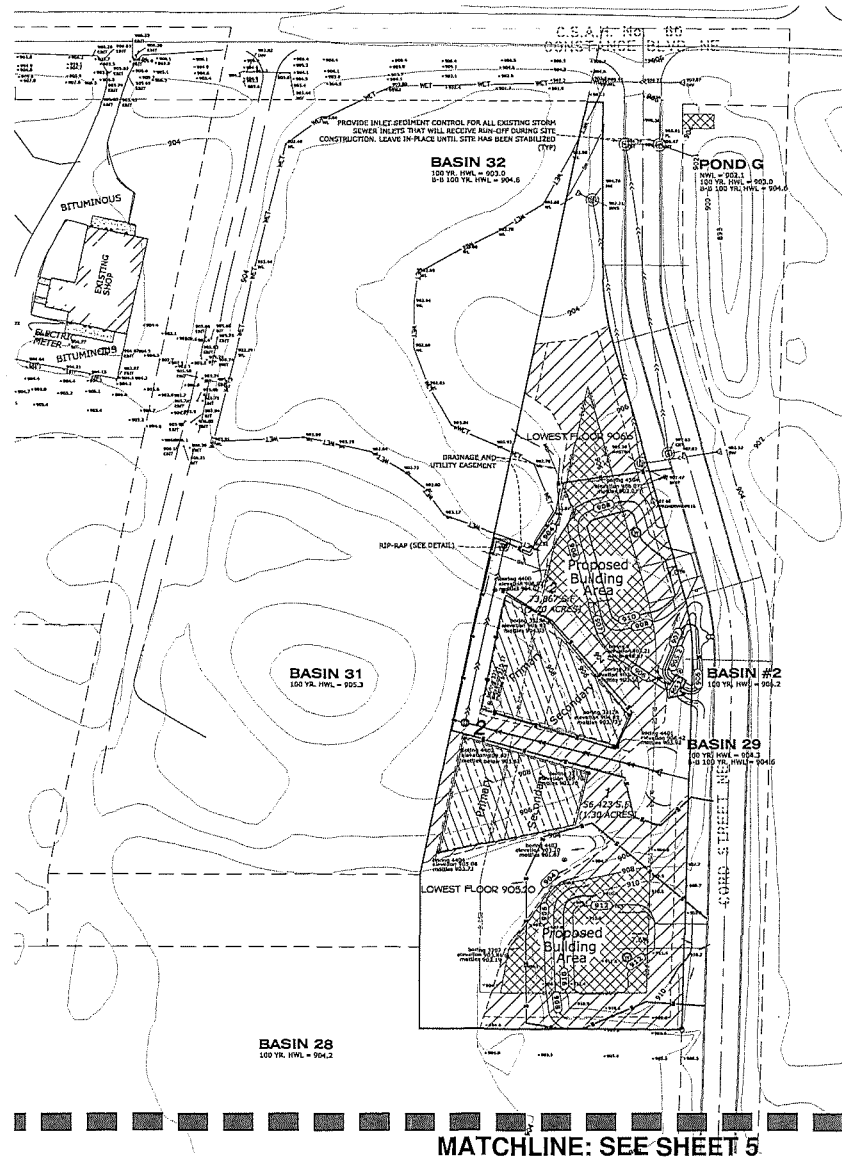
LIVABILITY PLAN

~of~ ENCHANTED ESTATES THIRD ADDITION
 ~for~ ROGER AND SUE HAUGEN
 4056 CONSTANCE BLVD.
 HAM LAKE, MN 55304
 TEL: (763) 434-6582



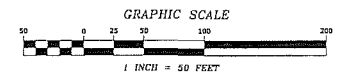
LEGEND

- DENOTES SOIL BORING BY ART BURN SOIL BORING BY TRAWERHILL SOIL TESTING
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- DENOTES WETLAND DELINEATED BY EARTH SCIENCE ASSOCIATES
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TRAP PROTECTION FENCE
- DENOTES SILT FENCE TO BE INSTALLED INSIDE SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED WELL LOCATION
- DENOTES WETLAND/ VEGETATIVE BUFFER
- DENOTES WETLAND/ VEGETATIVE BUFFER SIGN
- DENOTES RIPRAP (RIPRAP TO BE VEGETATED IN WETLAND BUFFER)
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES 12' POND ACCESS
- DENOTES PROPOSED BUILDING PAD AREA
- DENOTES PROPOSED YARD AREA
- DENOTES PROPOSED SEPTIC AREA



NOTES

- REARINGS SHOWN ARE ON AN ASSUMED DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (UND 88)
- CONTOURS SHOWN ARE FOR FINISHED LINAR DISTRIBUTION AND FIELD VERIFICATION
- ALL MATCH POINTS AND FINISH POINTS TO BE SMOOTH AT FULL DEPTH.
- TURF AREA TO BE SEEDER WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY.
- SEE PRELIMINARY UTILITY PLAN FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- ALL FIRE APPLIES PROVIDED WITH TRASH GUARDS
- PROVIDE CLASS III RIPRAP WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON RIPRAP IN WETLAND BUFFERS AND SEED WITH SEED #12 (NOOT 35-36).
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MINIMUM DEWATERING PERMIT AND WILL PROVIDE WELL-FIELD LOCATIONS, PATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO COME PRIOR TO ANY DEWATERING OPERATIONS.



PONDING CALCULATIONS AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 5774 LAKE DRIVE
 SUITE 110
 LINO LAKE, MN 55014

PHONE: (651) 361-8210
 FAX: (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Gunkel
 ADAM GUNKEL

DATE: 08/31/2021 LIC. NO. 43603

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

MATCHLINE: SEE SHEET 5

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 Date: 08/31/2021 License No. 41578

NO.	DATE	DISCUSSION	BY
1	03/21/21	CITY / WATERSHED COMMENTS	MHC
2	04/23/21	CITY / WATERSHED COMMENTS	MHC
3	05/23/21	CITY COMMENTS	MHC

LIVABILITY PLAN

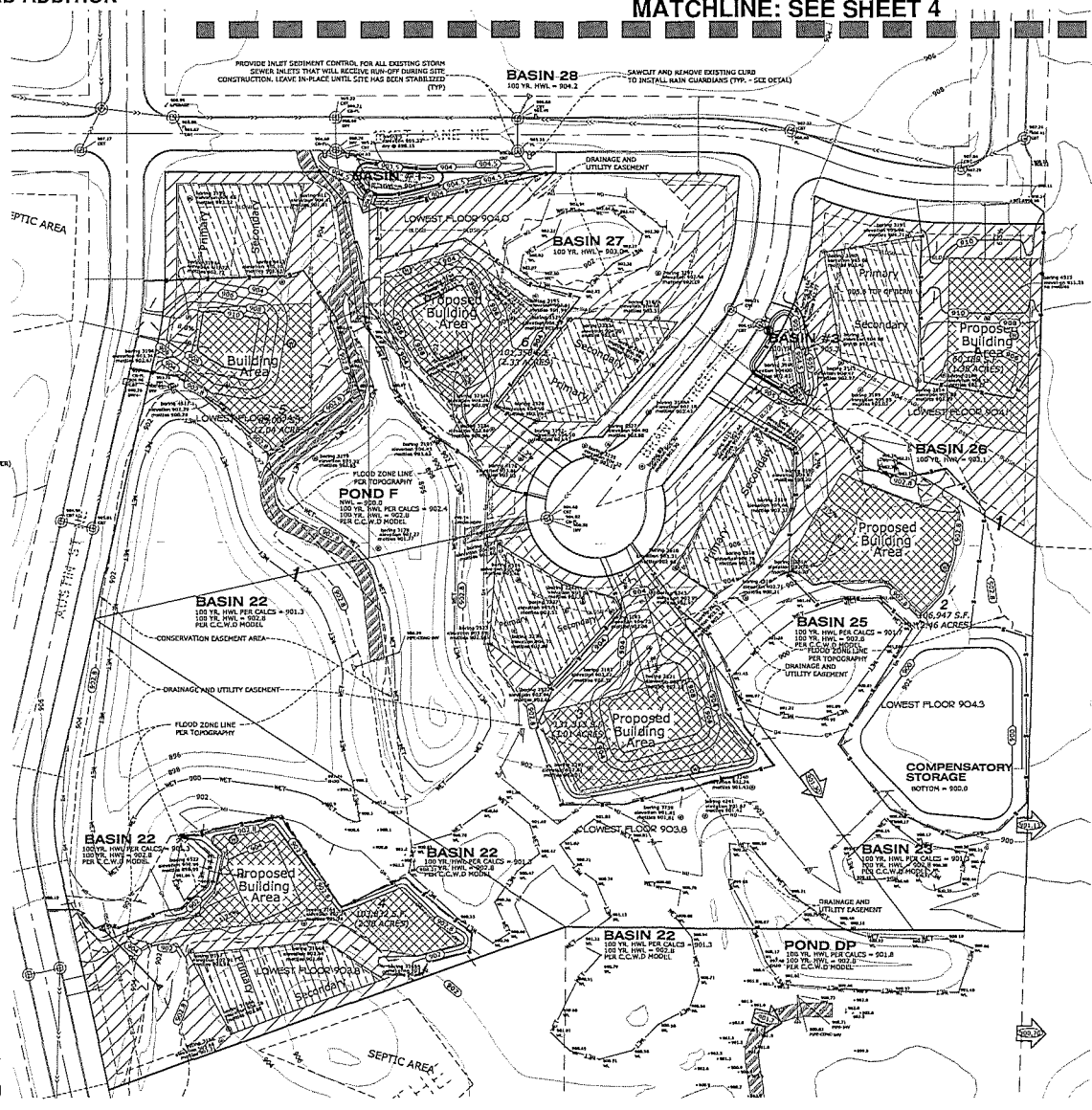
~of~ ENCHANTED ESTATES THIRD ADDITION
 ~for~ ROGER AND SUE HAUGEN
 4056 CONSTANCE BLVD.
 HAM LAKE, MN 55304
 TEL: (763) 434-6582

MATCHLINE: SEE SHEET 4



LEGEND

- DENOTES SPOT ELEVATION BY ART DRAIN
- SOIL BORING BY TRADEWELL SOIL TESTING
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- DENOTES WETLAND DELINEATED BY EARTH SCIENCE ASSOCIATES
- DENOTES DASHED LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TRAP PROTECTION FENCE
- DENOTES 800 RISE TO BE INSTALLED HOOKUP SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED WELL LOCATION
- DENOTES WETLAND/VEGETATIVE BUFFER
- DENOTES WETLAND/VEGETATIVE BUFFER SIGN
- DENOTES RIPRAP (RIPRAP TO BE VEGETATED IN WETLAND BUFFER)
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES 1/2 POND ACCESS
- DENOTES PROPOSED BUILDING PAD AREA
- DENOTES PROPOSED YARD AREA
- DENOTES PROPOSED SEPTIC AREA



NOTES

- * BEARINGS SHOWN ARE ON AN ASSUMED DATUM.
- * TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- * 2 FOOT CONTOUR INTERVAL (UND NOTED)
- * CONTOURS SHOWN ARE PER FINISHED GRADE DISTRIBUTION AND FIELD VERIFICATION.
- * ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAWCUT AT FULL DEPTH.
- * TURF AREA TO BE SEEDS WITHIN 7 DAYS AFTER COMPLETION OF GRADE GRADING OR INACTIVITY.
- * SEE PRELIMINARY UTILITY PLAN FOR STORM SEWER, SANITARY, AND SEWER.
- * ALL PIPES APPROX. PROVIDED WITH TRASH GUARDS.
- * PROVIDE CLASS B RIPRAP WITH FIBER FABRIC FOR ALL PIPE OUTFLETS. INSTALL 4" OF TOPSOIL ON RIPRAP IN WETLAND BUFFERS AND SEED WITH SEED MIX ANDOT 33-261.
- * IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MINN. DEWATERING PERMIT AND WILL PROVIDE WELL-FIELD LOCATIONS, RATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CCWD PRIOR TO ANY DEWATERING OPERATIONS.



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON L. RUD
 Date: 08/31/2021 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	03/01/21	CITY / WATERSHED COMMENTS	NMD
2	04/23/21	CITY / WATERSHED COMMENTS	NMD
3	05/12/21	CITY COMMENTS	NMD
4	08/31/21	LOT 4 AND 2 GRADING	NMD

PONDING CALCULATIONS AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 6772 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014
 PHONE: (651) 361-8210 FAX: (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Quinkel
 ADAM QUINKEL
 DATE: 08/31/2021 LIC. NO. 43083

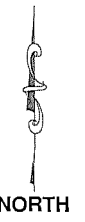
E. G. RUD & SONS, INC.
 EST. 1977 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

www.egrud.com

LIVABILITY CHART

~of~ ENCHANTED ESTATES THIRD ADDITION
 ~for~ ROGER AND SUE HAUGEN
 4056 CONSTANCE BLVD.
 HAM LAKE, MN 55304
 TEL: (763) 434-6582

Lot	Block	Total Lot Area (sq. ft.)	Yard Area (sq. ft.)	Septic Area (sq. ft.)	Building Pad Area (sq. ft.)	Proposed Building Pad 4' Above Mottles (sq. ft.)	Garage Floor Elevation	Proposed Low Floor Elev.	Proposed Low Opening	Lowest Floor Elevation	Boring #	Boring Elevation	Mottles Elevation	Building Type	Custom Graded	
1	1	80,169	23,413	8,354	10,089	4,135	911.20	904.20	907.40	904.10	3184	904.77	902.77	L.O.*	YES	
											PER	3185	904.00	902.83	DROP 1	
											BASIN 26	3188*	905.52	902.77	COURSES	
											3169	903.85	903.02			
											3190	905.08	903.41			
											3191	909.96	904.71			
											4513	911.35	NCONE			
											2514	905.89	903.39			
											2515	904.47	902.97			
2	1	106,947	15,390	7,940	10,063	4,528	910.00	904.40	904.40	904.33	89	905.30	902.30	W.O.*	YES	
											PER	4515	907.44	902.89	DROP 3	
											MOTTLES	4518	902.71	900.21	COURSES	
											2516	905.31	902.39			
											2517	903.51	902.34			
											2518	904.76	902.76			
											2519*	905.66	903.33			
											2520	904.89	903.02			
											3160	904.87	903.20			
											3181A	902.70	901.70			
3	1	131,313	12,921	7,557	10,664	4,998	910.40	904.10	904.10	903.80	1281*	902.51	902.01	W.O.*	YES	
											PER	3177	904.80	902.80	DROP 2	
											POND F	3182	903.22	902.39	COURSES	
											3236	904.39	902.89			
											3237	906.51	902.51			
											3183	904.73	903.06			
											3239	901.81	901.81			
											3240	902.26	901.43			
											4241	901.67	901.42			
											2242	905.06	902.56			
											3023	903.95	902.95			
											2522	903.94	902.81			
											2523	903.89	902.56			
											2524	905.46	903.46			
											2521	902.71	902.21			
4	1	103,832	12,921	7,563	10,352	0	904.30	904.70	904.70	903.80	3164	902.24	901.74	SLAB	YES	
											PER	3164A*	903.64	902.64		
											BASIN 22	3165A	903.52	902.52		
											3166	903.68	903.21			
											3165A	904.28	902.86			
											3167	902.91	901.91			
											4522	905.09	903.79			
5	1	89,007	12,155	8,111	10,199	5,350	910.90	904.60	904.60	904.43	3175	903.32	902.65	W.O.*	YES	
											PER	3196	903.34	902.67	DROP 2	
											MOTTLES	3196A	903.72	902.72	COURSES	
											811	904.41	901.91			
											4517	902.29	900.29			
											3199	904.65	903.32			
											4413*	905.10	903.43			
6	1	101,358	26,645	8,294	10,070	5,504	910.90	904.60	904.60	904.00	3178	906.27	901.77	W.O.*	YES	
											PER	3176	903.86	903.03	DROP 2	
											BASIN 27	3186	906.98	902.98	COURSES	
											3187	902.54	902.29			
											3187A	904.68	903.51			
											3192	904.10	903.43			
											3193	904.45	903.62			
											3194	902.80	902.13			
											3195	902.61	901.94			
											3233A*	904.20	903.33			
											3233A	904.20	903.03			
											3234	903.80	902.96			
											3234A	904.26	903.09			
											3235	904.32	903.15			
											4514	903.19	900.69			
											2525	904.51	903.34			
											2526	904.59	903.00			
											2527	904.80	902.80			
											3186A	907.18	903.43			
1	2	56,423	16,763	7,577	10,062	6,785	913.90	906.90	906.90	906.20	3213	906.70	903.70	W.O.*	YES	
											PER	3207*	905.66	903.19	DROP 1	
											BASIN 28	4404	905.05	903.73	COURSES	
											4403	903.20	901.87			
											4402	909.62	903.62			
2	2	73,867	17,001	8,092	10,219	4,277	912.20	906.60	906.60	906.80	3212	903.50	903.50	W.O.*	YES	
											INF.	3212A*	904.89	903.72	DROP 3	
											CALCS	3214	910.17	905.30	COURSES	
											3215A	906.03	904.03			
											4504	906.07	902.07			
											4401	906.42	903.92			
											4400	906.02	904.02			



Livability Standards
 All residential lots shall contain at least 29,500 square feet of land which lies above the 100 year flood contour. Of this 29,500 square feet, the following additional requirements must be present:

A. U275 Area Each lot must contain at least 7,200 square feet of contiguous area which is reserved for both U275 (single) construction and a future U275. The U275 Area need not be contiguous to the Eligible Building Area or the Yard Area, but the entire U275 Area must exist at an elevation at least four feet above Unavailable Solls, and must contain Undisturbed Solls or soils which meet the requirements of the 7500 of the Minnesota Pollution Control Agency for U275 construction standards. The U275 Area may be irregular in shape, provided they do not encroach into any area reserved for easement or otherwise for roadway, drainage or utility purposes, and provided that all of the area can be reasonably used for U275 construction without the need for variances.

B. Eligible Building Area Each lot shall contain at least 10,000 square feet of contiguous land which lies at an elevation at least four feet above Unavailable Solls. The Eligible Building Area may not be irregular in shape, and should be generally rectangular or oval, with no protrusions, narrow necks or peninsulas. Eligible Building Area may not encroach into any area reserved by easement or otherwise for roadway, drainage or utility purposes. Fill may be used to create Eligible Building Area.

C. Yard Area Each lot shall contain at least 12,000 contiguous square feet within:

- 1) lies above the 100 year flood contour, and
- 2) lies at least one foot above soils unsuitable for the intended usage of the Yard Area, and
- 3) is contiguous to the Eligible Building Area for a distance of at least fifty percent of the total perimeter of the Eligible Building Area.

Yard Area may encroach into the dedicated easement area which lies at a distance of ten feet from the perimeter of the lot, and may encroach into areas reserved by easement or otherwise for other public utility purposes, but may not encroach into any other area reserved by dedication or otherwise for road or drainage purposes, any may not encroach into any area within the 100 year flood contour or into designated wetlands. Yard Area may be irregular in shape except within thirty feet of the locations where the Yard Area is contiguous to the Eligible Building Area, at which locations the Yard Area shall be a logical extension or expansion of the generally rectangular or oval shape of the Eligible Building Area. Fill may be used to create Yard Area.

D. Building Pad Areas The entire Building Pad must lie within the Eligible Building Area, and shall meet the separation requirements for the Eligible Building Area.

E. Low Floor Elevations

- 1) For wetland detours, the low floor elevation shall be at least one foot above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.
- 2) For other detours, the low floor elevation shall be at least one foot above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.

PONDING CALCULATIONS AND STORM SEWER DESIGN BY PLOWE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 6776 LAKE DRIVE SUITE 110 LINO LAKE, MN 55014

SITE PLANNING & ENGINEERING PHONE: (651) 261-8210 FAX: (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Ginkel
 ADAM GINKEL
 DATE: 08/31/2021 LIC. NO. 438803

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 DATE: 08/31/2021 License No. 41578

NOTES: * INDICATES DROPPED GARAGE ELEVATIONS BASED UPON 12 COURSE BASEMENT
 LOW OPENINGS LISTED ARE REFLECTING THE REAL HIGH LOW OPENING.

DRAWN BY:	MHO	JOB NO.:	026299	DATE:	12/02/20
CHECK BY:	JER	FIELD CREW:	DIETZ		
1	03/12/21	CITY / WATERSHED COMMENTS	MHO		
2	04/23/21	CITY / WATERSHED COMMENTS	MHO		
3	02/12/21	CITY COMMENTS	MHO		
4	02/21/21	LOT 4 AND 5 GRADING	MHO		
NO.	DATE	DESCRIPTION	BY		

E. G. RUD & SONS, INC.
 187, 1877 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

PERMIT
COON CREEK WATERSHED DISTRICT
13632 Van Buren St NE
Ham Lake, MN 55304
Permit Number: 2112

Project: Enchanted Estates 3rd Addition

Issued to: Roger Haugen
4056 Constance Blvd
Ham Lake, MN 55304

Location: 161st St NE & Cord St NE, Ham Lake

Permit Application #: 19-203

Purpose: 8 lot residential subdivision; mass grading, home construction, storm sewer installation and construction of BMPs

At its meeting on May 10, 2021, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Construction Plan set (6 sheets); by Plowe Engineering, dated 5/12/2021, received 5/12/2021.
2. Civil Plans (7 sheets); by Plowe Engineering, dated 5/12/2021, received 5/12/2021.
3. Stormwater Management Report; by Plowe Engineering, dated 5/12/2021, received 8/20/2021.
4. Storm Sewer Calculations; by Plowe Engineering, dated 4/23/2021, received 4/26/2021.
5. Boring Logs; by Art Dunn Assoc., Inc., dated 2002, received 12/2/2020.
6. Wetland Delineation Report: by Earth Science Associates, dated 10/2019 received 10/25/2019.

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 3 stipulations.

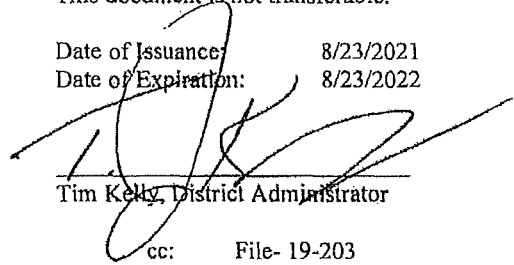
1. Submittal of as-builts for the following stormwater management practices and compensatory storage area, **including volume and proof of installation for hydrodynamic separators:**

Stormwater Treatment Practices	Number
Infiltration Basins	1
Filtration Basins	2
Rain Guardians	5

2. Completion of post construction infiltration tests on Basins 1, 2, & 3 by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. Provide DNR dewatering permit and well-field location, rates, discharge location, schedule and quantities or dewatering plans must be submitted to the district 7 days prior to activity for review and approval.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.
This document is not transferable.

Date of Issuance: 8/23/2021
Date of Expiration: 8/23/2022



Tim Kelly, District Administrator

cc: File- 19-203
Eileen Weigel, Stantec
Danielle Tourtillott, Stantec
Ed Matthiesen, Stantec
Tom Collins, Ham Lake

*****IMPORTANT PERMIT REQUIREMENTS OUTLINED ON NEXT PAGE*****

GENERAL PERMIT STIPULATIONS:

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

REFUNDING OF ESCROWS: Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.

Notwithstanding the foregoing, if Developer defaults in any obligation under this Agreement, City may withhold building permits and certificates of occupancy until all such defaults are cured.

5. Maintenance of Improvements

At such time as Developer has completed all of the Work Items, Developer shall request acceptance of the Work Items by City. City shall accept Work Items if properly completed, upon recommendation of the City's Engineer, which acceptance shall be conditioned on Developer posting security acceptable to the City to guarantee that the quality of all Work Items will be maintained by Developer for a period of one year following the date of acceptance. The security shall be in the sum of \$ 147,420.00, and shall be in a form consistent with Ham Lake City Council Resolution 03-24. Developer shall promptly complete all repairs or maintenance to all Work Items during the maintenance period, as directed by the City's Engineer. The security shall be the same security as is submitted for performance under paragraph 3 above.

6. Damage to Property of Others

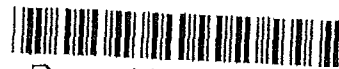
Developer shall take care to insure that neither Developer nor any employee, subcontractor (whether or not retained directly by Developer) or other agent performing work on the project shall cause any damage to the property of others, including City owned or maintained streets or utilities. In the event that such damage occurs, Developer shall make immediate repairs or restitution. Both the Developer's performance security and maintenance security shall be available to City in the event that repairs or restitution has not, in the sole judgment of City, been promptly made. Developer shall also maintain a policy of public liability insurance in a sum of not less than \$300,000 aggregate coverage, insuring against such perils, and shall, upon execution of this Agreement, furnish a certificate of insurance documenting the existence of such coverage for a policy period of not less than one year from the date hereof. If a general contractor is engaged by Developer, the certificate of insurance may be furnished by the general contractor, but the furnishing of insurance by Developer's general contractor shall in no way relieve Developer of ultimate responsibility for compliance with this paragraph.

7. Payment of Deposits, Fees and Deferred Assessments

Developer shall be required to make the cash deposits or other payments¹ checked below, at the times indicated:

A. Parkland Dedication Fee The City's codes on Parkland Dedication require that up to 10% of the area within the plat be dedicated as parkland, or that a cash payment of \$2,100.00 per lot be given at the time of platting. The plat contains a 3.01 acre park, in a plat embracing 116.3 acres. The amount of parkland that would be dedicated if the full dedication occurred would therefore be 11.63 acres. Developer shall be credited with having made 26% of its park dedication obligation through the dedication of the 3.01 acre park in this plat phase. The remaining 74% of Developer's parkland obligation shall therefore be made in cash. Payment shall be made at the

¹ Regardless of whether or not sub-paragraph 7 E below is checked, if any portion of the property being platted is subject to deferred assessments, but discovery of the omission to collect such assessments is not made until after the plat is released for recording, Developer shall nonetheless be responsible for the immediate payment thereof.



Record ID 4216538

2232222.001

(Above Space is Reserved for Recording Information)

**Minnesota Wetland Conservation Act
Declaration of Restrictions and Covenants for Project-Specific Wetland Replacement**

Replacement Wetland Declarant: Roger and Sue Haugen

General Location of Replacement: Sec. 14, Twp. 32, Rge. 23, County of Anoka

This Declaration of Restrictions and Covenants for Project-Specific Wetland Replacement Wetland (Declaration) is made this 11th day of July, 2019 by the undersigned Declarant:

RECITALS

- A. The Declarant holds the fee title or perpetual easement on the real property described in Exhibit A, attached hereto.
- B. This real property is the site of a Replacement Wetland, as defined in Minnesota Rules 8420.0111, subp. 60. Exhibit B, attached hereto, is a map or survey of the subject Replacement Wetland.
- C. The Declarant is seeking approval of (1) a replacement plan under Minnesota Statutes section 103G.222.
- D. The Replacement Wetland is subject to the Wetland Conservation Act of 1991, as amended, Minnesota Statutes section 103G.222 et seq., and all other provisions of law that apply to wetlands, except that the exemptions in Minnesota Statutes section 103G.2241 do not apply to the Replacement Wetland, pursuant to Minnesota Rules 8420.0420.
- E. The Local Government Unit (LGU) charged with approval of the Replacement Plan is Coon Creek Watershed District, whose address is 12301 Central Avenue NE, Su. 100, Blaine, MN 55434
- F. All references in this instrument to Minnesota Statutes and Rules are to the Statutes and Rules currently in effect and as amended or renumbered in the future.

RESTRICTIONS AND COVENANTS

The Declarant makes the following declaration of restrictions and covenants for the Replacement Wetland. These restrictions and covenants shall run with the land, and bind Declarant, and Declarant's heirs, successors, and assigns:

1. The Declarant shall maintain a Replacement Wetland of the size and type specified in the replacement plan approved by the LGU and on file at the offices of the LGU. Declarant shall not make any use of the Replacement Wetland that would adversely affect the functions or values of the wetland as determined by Minnesota Rules 8420.0522, and as specified in the replacement plan.

2. Declarant shall pay the costs of maintenance, repairs, reconstruction, and replacement of the Replacement Wetland, which the LGU or the State of Minnesota through the Minnesota Board of Water and Soil Resources may deem necessary to comply with the specifications for the Replacement Wetland in the approved replacement plan.

3. Declarant grants to the LGU, the State of Minnesota, and the agents and employees of the LGU and the State of Minnesota, reasonable access to the Replacement Wetland for inspection, monitoring, and enforcement purposes. This Declaration grants no access to or entry on the lands described to the general public.

4. Declarant represents that he or she has a fee simple or easement interest in the land on which the Replacement Wetland is or will be located. Declarant represents that he or she has obtained the consent of all other parties who may have an interest in the land on which the Replacement Wetland is or will be located to the creation of the restrictions and covenants herein, and that, all such parties have agreed in writing to subordinate their interests to these restrictions and covenants, pursuant to the attached Consent and Subordination Agreement(s).

5. Declarant shall record or file this Declaration, pay all costs associated with recording or filing, and provide proof of recording or filing to the LGU. If this Declaration is given pursuant to a replacement plan, such proof shall be provided to the LGU before proceeding with construction of the Replacement Wetland.

6. Acknowledge that this Easement shall be unlimited in duration, without being re-recorded. This Easement shall be deemed to be a perpetual conservation easement pursuant to Minn. Stat. ch. 84C.

7. If the replacement plan approved by the LGU and on file at its offices requires the establishment of areas of native vegetative cover, the term "Replacement Wetland" as used in this Declaration shall also include the required areas of permanent vegetative cover, even if such areas are not wetlands. All provisions of this Declaration that apply to the Replacement Wetland shall apply equally to the required areas of native vegetative cover. In addition, the Declarant:

- (a) Shall comply with the applicable requirements of Minnesota Rules 8420.0526;
- (b) Shall, at Declarant's cost, establish and maintain permanent vegetative cover on areas specified in the replacement plan for native vegetative cover, including any necessary planting and replanting thereof, and other conservation practices, in accordance with the replacement plan;
- (c) Shall not produce agricultural crops on the areas specified in the replacement plan;
- (d) Shall not graze livestock on the areas specified in the replacement plan or;
- (e) Shall not place any materials, substances, or other objects, nor erect or construct any type of structure, temporary or permanent, on the areas specified in the replacement plan, except as provided in the replacement plan;
- (f) Shall, at Declarant's cost, be responsible for weed control by complying with noxious weed control laws and emergency control of pests necessary to protect the public health on the areas specified in the replacement plan; and
- (g) Shall comply with any other requirements or restrictions specified in the replacement plan, including, but not limited to, haying, mowing, timber management or other vegetative alterations that do not enhance or would degrade the ecological functions and values of the replacement site.

8. This Declaration may be modified only by the joint written approval of the LGU and the State of Minnesota through the Minnesota Board of Water and Soil Resources. If the Replacement Wetland has been used to mitigate wetland losses under the Federal Water Pollution Control Act, the U.S. Army Corps of Engineers (or successor agency) must also agree to the modification in writing. Such modification may include the release of land contained in the legal description above, if it is determined that non-wetland areas have been encumbered by this Declaration, unless the approved replacement plan designates these non-wetland areas for establishment of permanent vegetative cover.

9. This Declaration may be enforced, at law or in equity, by the LGU, or by the State of Minnesota. The LGU and the State of Minnesota shall be entitled to recover an award of reasonable attorneys fees from Declarant in any action to enforce this Declaration. The right to enforce the terms of this Declaration is not waived or forfeited by any forbearance or failure to act on the part of the State or LGU. If the subject replacement area is to be used partially or wholly to fulfill permit requirements under the Federal Water Pollution Control Act or a federal farm program, then the provisions of this Declaration that run to the State or the LGU may also be enforced by the United States of America in a court of competent jurisdiction.

10. This Declaration must be recorded and proof of recording submitted to the LGU or other regulatory authority in order to be valid.

Roger Haugen
Signature of Declarant

Susan M Haugen
Signature of Declarant

STATE OF MINNESOTA)
) ss.
COUNTY OF Anoka)

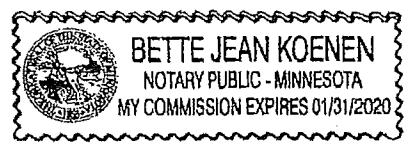
4th day of July, 2019

This instrument was acknowledged before me on 16 (date) by Roger Haugen and Susan M Haugen (name(s) of person(s)).

Bette Jean Koenen
(Signature of Notarial Officer)

Notary Public
(Title)

My commission expires: 01/31/2020



Attachments: Exhibit A (legal description)
 Exhibit B (map or survey of Replacement Wetland)

This instrument drafted by: Kenneth E. Meek
37445 Grand Avenue
North Branch, MN 55056

Mail to: Roger Haugen
4056 Constance Blvd. NE.
Ham Lake, MN 55304

EXHIBIT A

~for~ **WETLAND CONSERVATION EASEMENT
OF WETLAND MITIGATION AREA A
LOCATED IN OUTLOT F, ENCHANTED
ESTATES, ANOKA COUNTY, MINNESOTA.**

WETLAND CONSERVATION EASEMENT DESCRIPTION

That part of Outlot F, ENCHANTED ESTATES, Anoka County, Minnesota, described as follows:

Commencing at the northwest corner of said Outlot F, thence on an assumed bearing of South 00 degrees 09 minutes 19 seconds West, along the easterly right of way line of Austin Street N.E., a distance of 92.49 feet; thence southwesterly a distance of 52.32 feet, along a tangential curve and said easterly right of line, concave to the west having a radius of 233.00 feet and a central angle of 12 degrees 51 minutes 54 seconds; thence South 13 degrees 01 minute 13 seconds West, tangent to said curve and along said easterly right of way line, a distance of 29.96 feet to the point of beginning; thence South 83 degrees 30 minutes 02 seconds East a distance of 22.81 feet; thence South 49 degrees 20 minutes 51 seconds East a distance of 101.22 feet; thence South 13 degrees 18 minutes 00 seconds East a distance of 43.07 feet; thence South 43 degrees 01 minute 14 seconds East a distance of 129.49 feet; thence South 07 degrees 22 minutes 50 seconds East a distance of 224.71 feet; thence South 62 degrees 34 minutes 18 seconds West a distance of 71.02 feet; thence North 32 degrees 53 minutes 49 seconds West a distance of 94.82 feet; thence South 79 degrees 11 minutes 04 seconds West a distance of 97.54 feet; thence South 29 degrees 03 minutes 34 seconds West a distance of 64.11 feet; thence North 85 degrees 23 minutes 24 seconds West a distance of 59.23 feet to said easterly right of way line; thence northerly along said easterly right of way line to the point of beginning.

NOTES

- See sheet 1 of 2 sheets for graphical depiction and notes.

 **E. G. RUD & SONS, INC.**
PROFESSIONAL LAND SURVEYORS
6776 LAKE DRIVE NE, SUITE 110
LINO LAKES, MINNESOTA 55014
TEL. (651) 361-8200
FAX (651) 361-8701
www.egrud.com