

# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

**CITY OF HAM LAKE  
SPECIAL MEETING  
CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY  
TUESDAY, AUGUST 24, 2021  
8:00 A.M.**

**1.0 CALL TO ORDER - 8:00 A.M.**

**2.0 CONSENT AGENDA**

- 2.1 Approval of changes to the Ham Lake Fire Department Relief Association Bylaws, Appendix C for a pension increase from \$4,000 to \$4,500 per year of service, effective August 25, 2021
- 2.2 Approval of an Ordinance rezoning Evergreen Estates
- 2.3 Approval of the Outdoor Lighting and Maintenance Energy Agreement for street lights in Evergreen Estates
- 2.4 Park Committee Recommendations:
  - 1) Approval of the painting, netting and fencing quotes for the tennis courts at Lion's Park

**3.0 PLANNING COMMISSION RECOMMENDATIONS**

- 3.1 Holiday Stationstores LLC requesting Preliminary Plat and Final Plat approval to rezone portions of land from CD-1 (Commercial Development I) to CD-2 (Commercial Development II) and portions of land from CD-2 (Commercial Development II) to CD-1 (Commercial Development I) for the Holiday Station Store Ham Lake Development (one commercial lot, two commercial outlots and one residential outlot) in Section 5 (this is considered the First Reading of a rezoning Ordinance)
- 3.2 Holiday Stationstores LLC requesting a Commercial Site Plan approval for the construction of a 7,108 square foot convenience store and car wash at 1442 Crosstown Boulevard NE (Lot 1, Block 1, Holiday Station Store Ham Lake Development)
- 3.3 Jim Malvin and Tim Lang, Evergreen Development LLC (formerly Timber Valley Development), requesting Final Plat approval for Evergreen Estates (36 Single Family Residential lots) in Section 21



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## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES MONDAY, AUGUST 16, 2021

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, August 16, 2021 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Acting Mayor Gary Kirkeide and Councilmembers Brian Kirkham and Jesse Wilken

**MEMBERS ABSENT:** Mayor Mike Van Kirk and Councilmember Jim Doyle

**OTHERS PRESENT:** City Attorney, Joe Murphy; City Engineer, Tom Collins; City Administrator, Denise Webster; and Deputy City Clerk, Dawnette Shimek

### 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Acting Mayor Kirkeide called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

### 2.0 PUBLIC COMMENT

Christine Dahlman, 17540 Highway 65 NE, was present to discuss the City's animal control contract with Gratitude Farms and her concerns with their IUP (Interim Use Permit) with the City of East Bethel.

### 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

#### 3.1 Lt. Schuldt, Anoka County Sheriff's Office Monthly Report

Lt. Schuldt was present before the City Council and gave the Sheriff's Office report from July, 2021.

#### 3.2 Ham Lake Fire Department Trustee, Joe Thomas – Ham Lake Fire Relief Association, Bylaw change for a pension benefit increase

Joe Thomas, Trustee of the Ham Lake Fire Relief Association was present. Mr. Thomas stated that he was before the City Council to request an approval to amend the by-laws to increase the annual retirement benefit from \$4,000 to \$4,500. Mr. Thomas explained that the Ham Lake Fire Relief Association currently stands at a 148% funding through the end of 2021 based on the current \$4,000 per year benefit level. Mr. Thomas stated that if the increase was to be approved at the \$4,500 per year benefit level, the fund would drop to 134%, which still allows a significant buffer should economic conditions drastically change. **It was the consensus of the City Council to add the request of a by-law change for the Ham Lake Relief Association to increase pension benefits to the Special City Council meeting being held on Tuesday, August 24, 2021 under the Consent Agenda.**



To: Mayor and Council Members

From: Ham Lake Fire Relief Association Board of Trustees

Re: Approval of Relief Association Bylaws with Benefit Level Increase

The Ham Lake Fire Relief Association exists to manage Long Term Retirement benefits for the members of the Association which are members of the Ham Lake Fire Department. The Assoc. manages a fund whose sole purpose and statutory allowed use is to administer and pay retirement benefits to its members: The Assoc. has a fiduciary responsibility and as our current assets significantly exceed liability, the board has voted to increase the benefit level paid per year of service. As the City of Ham Lake also has a statutory obligation to ensure that the Assoc. remains fully funded, any increase in benefit level needs to also be adopted by the City Council. In November of 2020, the Relief Association proposed a smaller raise in recognition of potential market instability due to pending election, as well as continued uncertainty surrounding Covid-19. As we are now nine months past that time, the Relief Association is seeking to rebalance the benefit level based on current projections.

Therefore, the Ham Lake Fire Department Relief Association is asking the Ham Lake City Council to approve by consent, the amended bylaws of the Association which update Appendix C to raise the current benefit level from \$4000.00 per year of service to \$4500.00 per year of service, effective the day after Council approval (August 25, 2021).

Background:

With retirement of several long term members and current market performance, the Ham Lake Fire Relief Association is significantly overfunded. On an annual basis, the Association undertakes a financial audit and completes a State Auditor reporting form submitted to the City and State detailing the financial status of the Association. Using that form, the Association currently stands at 148% funding thru the end of 2021 based on the current \$4000.00 per year benefit level. Adopting the \$4500.00 per year benefit level, the fund would drop to 134% funded which still allows a significant buffer should economic conditions drastically change.

Liability is composed of Active Member liability which increase every year as members accrue additional service time, as well as Deferred Member liability which remains constant unless an Active member retires without withdrawing payment (Active liability decreases, Deferred liability increases) or a Deferred member withdraws payment (Active liability remains unchanged, Deferred liability decreases).

Available funding is based on current portfolio balance plus anticipated MN Fire State Aid (paid in the fall). For analysis purposes, City contributions and projected market value change are not included.

Available funding:

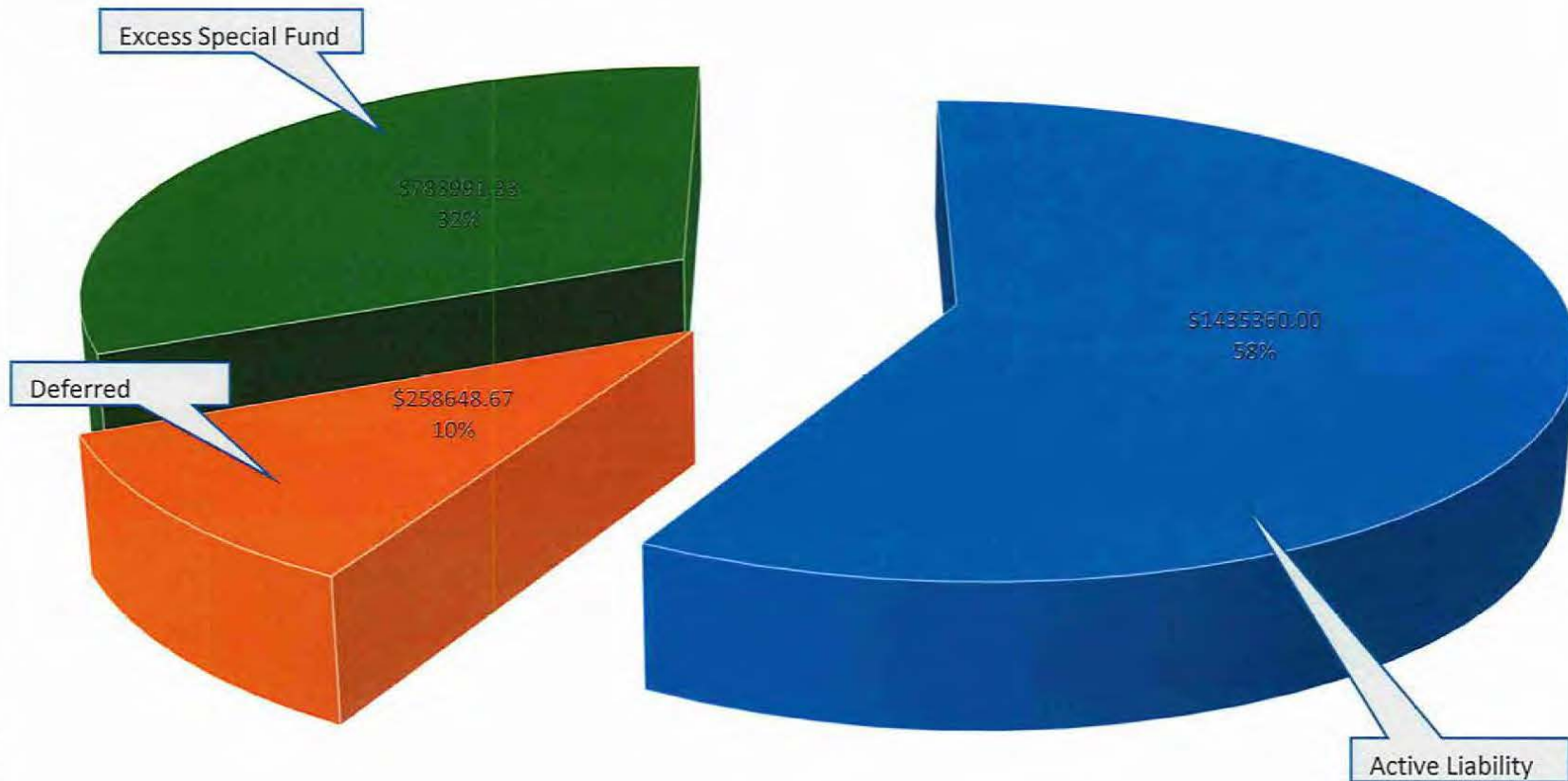
Portfolio 8/1/2021	\$2,378,000
2021 Fire State Aid	\$ 100,000
2021 Year End available funds	\$2,478,000

2021 Year End Fund	\$2,478,000
2022 Fire State Aid	\$ 100,000
2022 Year End available funds	\$2,578,000

<b>Benefit Level</b>	<b>2021 Active Liability</b>	<b>Deferred Liability</b>	<b>2021 Total Liability</b>	<b>Percent Funded</b>	
\$4,000.00	\$1,415,894.00	\$258,648.00	\$1,674,542.00	147.98	Current
\$4,500.00	\$1,592,880.00	\$258,648.00	\$1,851,528.00	133.83	Proposed
\$5,000.00	\$1,769,866.00	\$258,648.00	\$2,028,514.00	122.15	
<b>Benefit Level</b>	<b>2022 Active Liability</b>	<b>Deferred Liability</b>	<b>2022 Total Liability</b>	<b>Percent Funded</b>	
\$4,000.00	\$1,507,146.00	\$258,648.00	\$1,765,794.00	145.99	Current
\$4,500.00	\$1,695,543.00	\$258,648.00	\$1,954,191.00	131.92	Proposed
\$5,000.00	\$1,883,937.00	\$258,648.00	\$2,142,585.00	120.32	

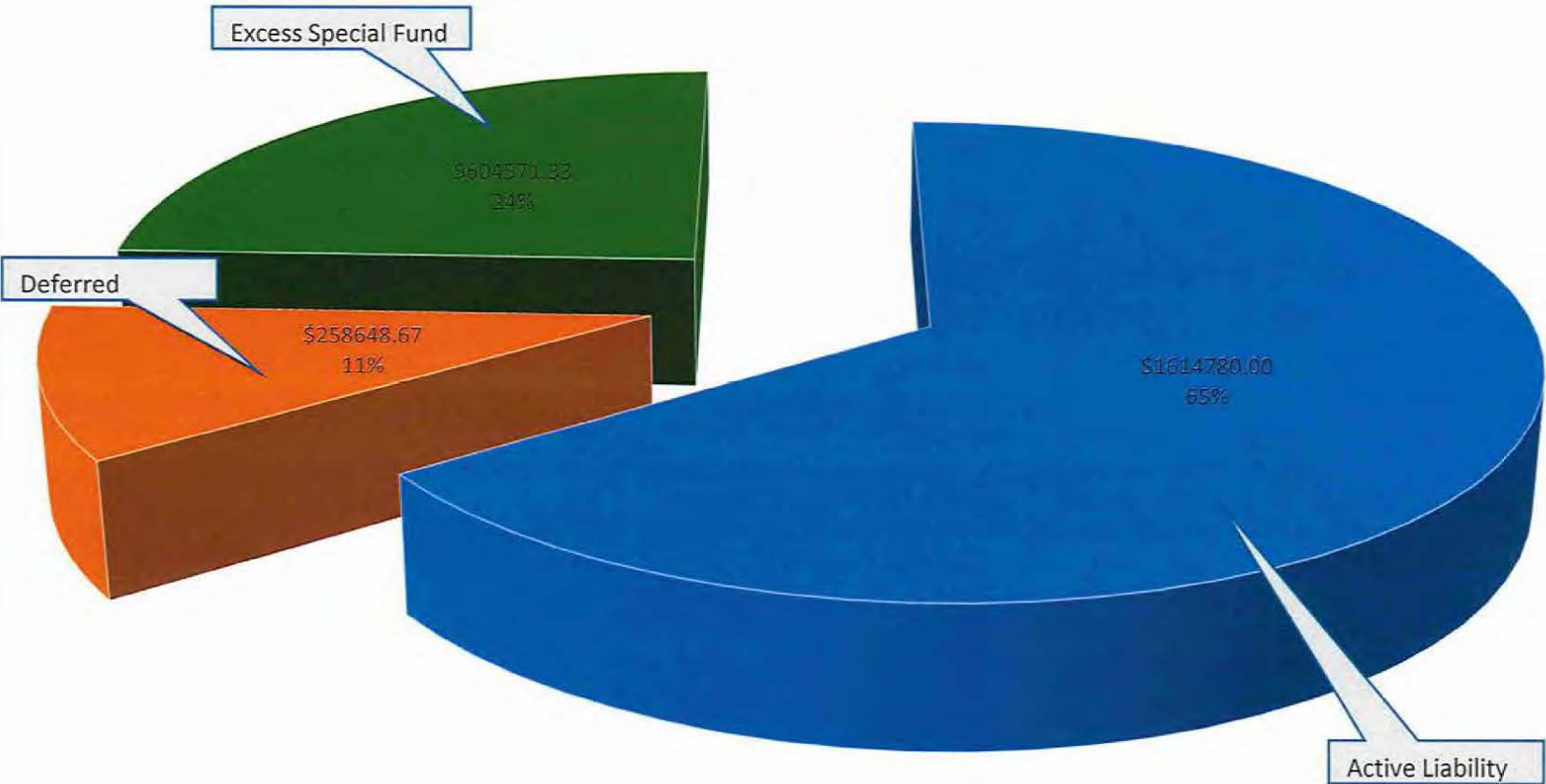
Liability Based on 2021 MN State Schedule Form

## Current \$4,000.00 Annual Benefit With Assumed 0.00% Growth



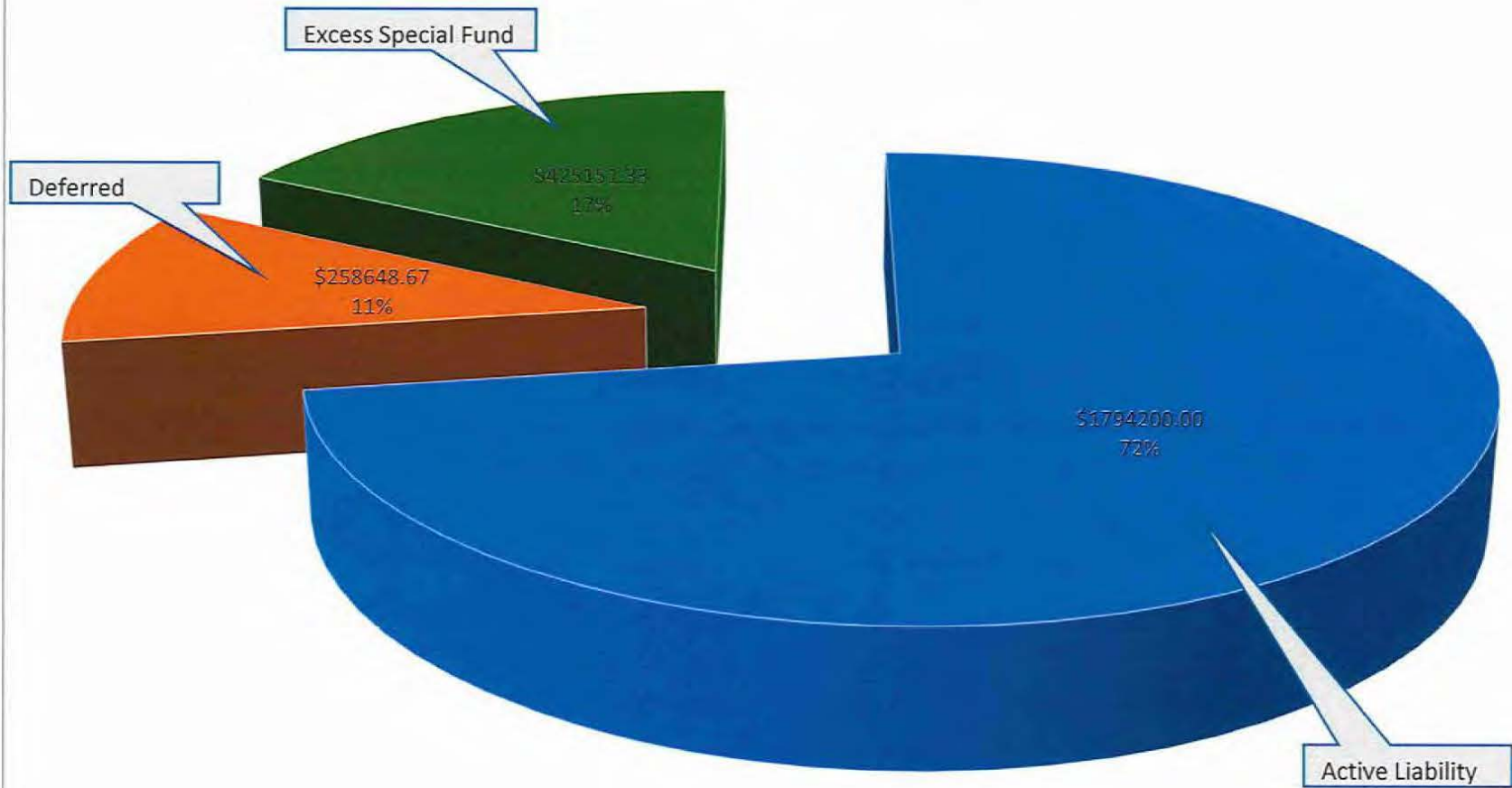
Year-End 2021 Funding %  
State of MN = 146.28  
Bylaws = 163.96

# Proposed \$4,500.00 Annual Benefit With Assumed 0.00% Growth



Year-End 2021 Funding %  
State of MN = 132.27  
Bylaws = 148.57

### Sample \$5,000.00 Annual Benefit With Assumed 0.00% Growth



Year-End 2021 Funding %  
State of MN = 120.71  
Bylaws = 135.82

**ORDINANCE NO. 21-XX**

**AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.**

**The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.**

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Evergreen Estates).

The land referred to herein is situated in the State of Minnesota, Anoka County described as follows:

**Parcel A:**

The East Half of the Northeast Quarter, Section 21, Township 32, Range 23, Anoka County, Minnesota, except the following described parcels:

The South 363 feet of the East 363 feet of the Southeast Quarter of the Northeast Quarter of Section 21, Township 32, Range 23, Anoka County, Minnesota.

That part of the South Half of the Northeast Quarter of Section 21, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Beginning at a point on the South line thereof, distant 1590.68 feet Westerly of the Southeast corner of said South Half of the Northeast Quarter; thence North 88 degrees 44 minutes 59 seconds West, assumed bearing along said South line a distance of 380.00 feet; thence North 01 degrees 15 minutes 01 seconds East, a distance of 60.00 feet; thence Northeasterly along a tangential curve, concave to the Southeast having a radius of 420.96 feet and a central angle of 53 degrees 55 minutes 59 seconds, a distance of 396.25 feet; thence North 55 degrees 11 minutes 00 seconds East, tangent to said curve, a distance of 151.88 feet; thence Northeasterly along a tangential curve, concave to the Northwest having a radius of 289.65 feet and a central angle of 22 degrees 44 minutes 54 seconds, a distance of 115.00 feet; thence South 59 degrees 02 minutes 45 seconds East, not tangent to said curve, a distance of 405.92 feet; thence South 58 degrees 44 minutes 22 seconds West, a distance of 410.00 feet to the intersection with a line which bears North 01 degrees 15 minutes 01 seconds East from the point of beginning; thence South 01 degrees 15 minutes 01 seconds West, along said line, a distance of 152.35 feet to the point of beginning, Anoka County, Minnesota.

That part of the North Half of the Northeast Quarter of Section 21, Township 32, Range 23, Anoka County, Minnesota, described as beginning at the Northeast corner of said Northeast Quarter; thence on an assumed bearing of South 0 degrees 21 minutes 16 seconds East along the East line thereof a distance of 1240.74 feet; thence South 87 degrees 38 minutes 10 seconds West 476.67 feet; thence South 75 degrees 28 minutes West 163.64 feet; thence North 85 degrees 10 minutes 27 seconds West 536.89 feet; thence North 70 degrees 25 minutes 49 seconds West 261.00 feet; thence North 88 degrees 02 minutes 11 seconds West 1057.63 feet; thence South 77 degrees 06 minutes West 88.96 feet to the West line of said Northeast Quarter; thence North 0 degrees 44 minutes 13 seconds East along said West line 1262.95 feet to the Northwest corner of said



Northeast Quarter; thence South 87 degrees 30 minutes 27 seconds East along the North line thereof 2537.79 feet to the point of beginning.

**Parcel B:**

That part of the West Half of the Northeast Quarter of Section 21, Township 32, Range 23, Anoka County, Minnesota, lying Southerly of the following described line:

Beginning at a point on the East line of said Northeast Quarter distant 1240.74 feet Southerly of the Northeast corner thereof, for the purpose of this description, said East line is assumed to bear South 00 degrees 21 minutes 16 seconds East; thence South 87 degrees 38 minutes 10 seconds West 476.67 feet; thence South 75 degrees 28 minutes West 163.64 feet; thence North 85 degrees 10 minutes 27 seconds West 536.89 feet; thence North 70 degrees 25 minutes 49 seconds West 261.00 feet; thence North 88 degrees 02 minutes 11 seconds West 1057.63 feet; thence South 77 degrees 05 minutes West 88.96 feet to the West line of said Northeast Quarter and there terminating.

Except the following described property:

That part of the South Half of said Northeast Quarter, described as follows:

Beginning at a point on the South line thereof, distant 1590.68 feet Westerly of the Southeast corner of said South Half of the Northeast Quarter; thence North 88 degrees 44 minutes 59 seconds West; assumed bearing along said South line, a distance of 380.00 feet; thence North 01 degrees 15 minutes 01 seconds East, a distance of 60.00 feet; thence Northeasterly along a tangential curve, concave to the Southeast, having a radius of 420.96 feet and a central angle of 53 degrees 55 minutes 59 seconds, a distance of 396.25 feet; thence North 55 degrees 11 minutes 00 seconds East, tangent to said curve, a distance of 151.88 feet; thence Northeasterly along a tangential curve, concave to the Northwest having a radius of 289.65 feet and a central angle of 22 degrees 44 minutes 54 seconds, a distance of 115.00 feet; thence South 59 degrees 02 minutes 45 seconds East, not tangent to said curve, a distance of 405.92 feet; thence South 58 degrees 44 minutes 22 seconds West, a distance of 410.00 feet to the intersection with a line which bears North 01 degrees 15 minutes 01 seconds East from the point of beginning; thence South 01 degrees 15 minutes 01 seconds West, along said line, a distance of 152.35 feet to the point of beginning.

**Presented to the Ham Lake City Council on May 3, 2021 and adopted by a unanimous vote this 24th day of August, 2021.**

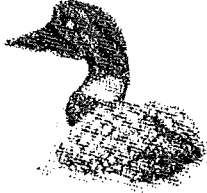
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**Michael G. Van Kirk, Mayor**

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**Denise Webster, City Clerk**

Meeting Date: August 24, 2021



**CITY OF HAM LAKE**

**STAFF REPORT**

**To: Mayor and Councilmembers**

**From: Dawnette Shimek, Deputy City Clerk**

**Subject: Outdoor Street Light Proposal for Evergreen Estates**

**Introduction/Discussion:** Attached is the Energy and Maintenance Agreement with Connexus Energy for street lights in Evergreen Estates. The system includes 12 fixtures for the development in accordance with requirements for street lighting in new subdivisions.

**Recommendation:** I recommend approval of the Outdoor Lighting Energy and Maintenance Agreement for Evergreen Estates.



14601 Ramsey Boulevard  
Ramsey, Minnesota 55303  
763.323.2600  
Fax: 763.323.2603  
www.connexusenergy.com  
info@connexusenergy.com

## Outdoor Lighting Energy and Maintenance Agreement

your most powerful membership™

City of Ham Lake  
15544 Central Ave NE  
Ham Lake MN 55304

Account #411023-240512

Location: Evergreen Estates (Service order: SORD000W2102317)

Connexus Energy shall provide the energy and maintenance for the outdoor lighting system as detailed below:

- (12) LED Traditionaire lights installed on smooth fiberglass pole

The current energy and maintenance rate for these fixtures is \$6.76 per month, per fixture. This rate adheres to Connexus Energy's published rate schedule, and is subject to change.

Maintenance of the fixtures, including lamp replacement, will be provided by Connexus Energy for a period of 25 years (According to Connexus Energy's Outdoor Lighting Guidelines). If, in Connexus Energy's opinion, after 25 years, the condition of the outdoor lighting system is such that replacement or significant renovation is necessary (due to deterioration from age), the customer will be responsible for the replacement cost.

Please indicate your acceptance of this monthly Energy and Maintenance Agreement by signing on the line below and return in the envelope provided.

Sincerely,

Stacy Bakken  
Engineering Services Specialist

August 11, 2021

\_\_\_\_\_  
(Accepted By)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Print Name)

\_\_\_\_\_  
(Title)

**Outdoor Lighting New Construction**

**Bill To:** EVERGREEN DEVELOPMENT LLC  
 620 CIVIC HEIGHTS DR

CIRCLE PINES MN 55014

Quote Number	LGT0000891
Date	8/11/2021
Customer ID	854513
Service Order	SORD000W2102317
Representative	beckberg
Page	1

Re: Outdoor Lighting System at: EVERGREEN ESTATES

Thank you for your Outdoor Lighting request. Listed below are the estimated charges that includes the cost of all materials and labor. Payment is required upfront before construction will be scheduled. Installation of your outdoor lighting system is subject to the enclosed Conditions of Service. Please review the documents and include a signed copy along with your payment. Winter construction fees may apply between November 1st and April 1st. To avoid fees, requirements must be met prior to November 1st. Payment must be made by check or money order. **\*\*Do not combine payment for this invoice with electric service payments or application may be delayed.\*\***

Quantity	U of M	Unit Price	Description	Ext. Price
12	EA	\$1,601.00	COMPLETE LIGHT FIXTURE(S)	\$19,212.00
2,470	EA	\$3.20	LIGHTING CONDUCTOR	\$7,904.00
<b>Subtotal:</b>				\$27,116.00
<b>Tax:</b>				\$0.00
<b>Total:</b>				\$27,116.00

----- Detach Along Line -----

**Please Remit with Payment!**

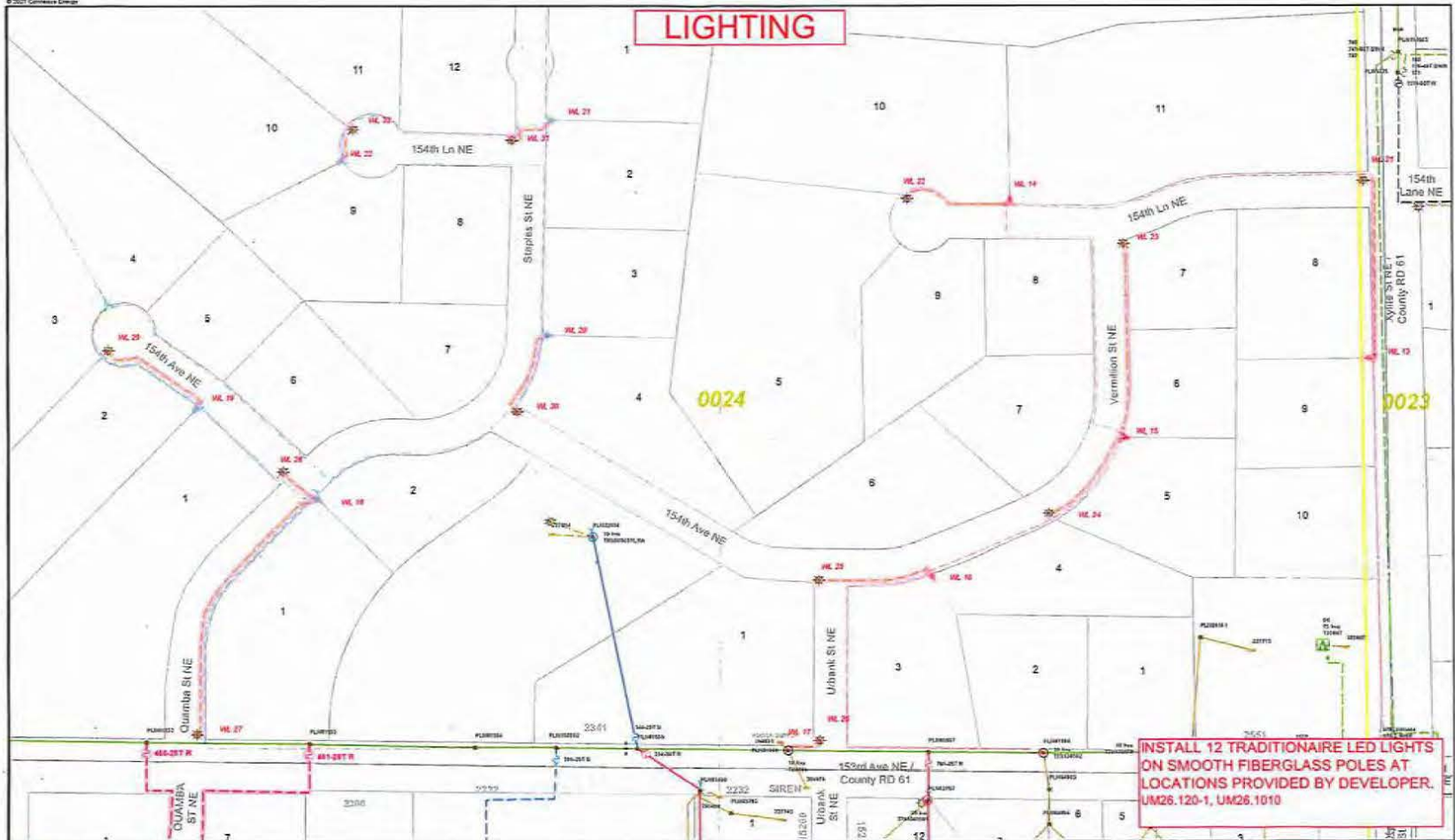
**Customer Number:** 854513  
**Amount Due:** \$27,116.00

**Quote:** LGT0000891  
**Service Order:** SORD000W2102317  
**Due Date:** Upon Receipt

EVERGREEN DEVELOPMENT LLC  
 620 CIVIC HEIGHTS DR  
 CIRCLE PINES MN 55014

**Remit To:** Connexus Energy  
 Attn: AR Accounting  
 14601 Ramsey Blvd  
 Ramsey, MN 55303

# LIGHTING



**CONNEXUS ENERGY**  
 14501 Ramsey Blvd,  
 Ramsey, MN 55303

THIS PRINT REPRESENTS THE LOCATION OF ELECTRICAL FACILITIES AS OF THE PRINTED DATE TO THE BEST OF OUR KNOWLEDGE. THIS INFORMATION IS INTENDED FOR GENERAL USE ONLY AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES. STATE LAW REQUIRES ANYONE DIGGING, GRADING OR EXCAVATING TO OBTAIN A FIELD LOCATION OF ALL UTILITIES. CALL BEFORE YOU DIG! CALL FOR A FIELD LOCATION AT 1-800-255-1146.

**EVERGREEN ESTATES LIGHTING**  
 Addr: EVERGREEN ESTATES  
 City: HAM LAKE  
 TIRUS: T32 R23 S21  
 Crew Sign Off:

Date:

**NOT FOR CONSTRUCTION**

**INSTALL 12 TRADITIONAIRE LED LIGHTS ON SMOOTH FIBERGLASS POLES AT LOCATIONS PROVIDED BY DEVELOPER. UM26.120-1, UM26.1010**

12.000

WC#: W2102317  
 Date: 8/10/2021  
 Designer: KARL SCHWARZKOPF  
 763.323.2896  
 Page 1 of 1



**CITY OF HAM LAKE**

**STAFF REPORT**

**To: Mayor and Councilmembers**

**From: John Witkowski, Public work Superintendent, on behalf of the  
Park Committee**

**Item/Title/Subject: Lion's Park Tennis Courts**

**Introduction/Discussion:**

Recently the base of the tennis courts was reconstructed at Lion's Park. Now we need to paint the courts, add nets, poles and finish the fencing. I received 2 quotes for each. I have discussed with the Park Committee members Councilmember Brian Kirkham and Councilmember Jesse Wilken and they agree with the following recommendations.

**Painting**

**Surface Pro..... \$23,000.00**

**Fencing w/ new fabric**

**Hansen Brothers..... \$18,470.00**

**Nets and Posts**

**Net World Sports.....\$ 4,492.91**

**Recommendation:**

**We recommended that we go with Surface Pro for the painting, Hansen Brothers for the fencing with new fabric and Net World for the nets and posts with the monies coming from the Park and Beach Fund.**

Christian  
hansen bros fence  
[Sent from the all new AOL app for iOS](#)

On Tuesday, August 17, 2021, 3:11 PM, John Witkowski <[JWitkowski@ci.ham-lake.mn.us](mailto:JWitkowski@ci.ham-lake.mn.us)> wrote:

Christian,

Is that for the whole thing all 4 sides not just the east end? Just want to be sure there's no confusion. How far out are you guys looking at?

## Thank You,



## John Witkowski

*Public Works Superintendent*

*City Hall (763) 434-9555*

*Desk (763) 235-1662*

[jwitkowski@ci.ham-lake.mn.us](mailto:jwitkowski@ci.ham-lake.mn.us)

**From:** The Hansen Family <[hansenbrosfence@aol.com](mailto:hansenbrosfence@aol.com)>  
**Sent:** Tuesday, August 17, 2021 2:26 PM  
**To:** John Witkowski <[JWitkowski@ci.ham-lake.mn.us](mailto:JWitkowski@ci.ham-lake.mn.us)>  
**Subject:** Re: Fence

**Caution:** This email originated outside our organization; please use caution.

Good Afternoon John!

Please know and understand to install new posts on the east end, and reuse the existing fabric, gates, and fittings.

Labor and materials **\$13,980**

Please know and understand to install new posts on the east end, gates, and fittings - with all new fabric

Labor and materials **\$17,470 + 1,000 = \$18,470**

Thanks for considering us John,

Christian

**hansen bros fence**

[Sent from the all new AOL app for iOS](#)

On Tuesday, August 17, 2021, 1:32 PM, John Witkowski <[JWitkowski@ci.ham-lake.mn.us](mailto:JWitkowski@ci.ham-lake.mn.us)> wrote:

Christian,

We do have both. If you can could you give 2 quotes one with new fabric and one with using the old stuff. We will be installing the post back on the east side and fixing the one on the west side.

**Thank You,**



**John Witkowski**



# Quote

Century Fence Company  
14839 Lake Dr NE  
Forest Lake, MN 55025



**Quote To:**  
ESTIMATING DEPARTMENT

**Project Location:**  
City of Ham Lake- Tennis courts  
15544 Central Ave  
Ham Lake, MN 545304

Quote #: 4399  
Quote Date: 6/8/2021

Description
-------------

Salvage Tennis court

Furnish and install Line posts shall be 2-1/2" O.D. Galvanized steel pipe Driven 48" in depth and spaced a maximum of 10' on centers. The fence shall consist of top rails which will be 1-5/8" O.D. Galvanized pipe. The fence shall consist of bottom tension wire.

- 3 - Corner post: 3" O.D. Galvanized pipe - Concrete Set Single Brace & Truss
- 8 - Gate post: 3" O.D. Galvanized pipe - Concrete Set Single Brace & Truss
  
- 3 - Single Swing Galvanized Gate: 4' Opening Width
- 1 - Single Swing Galvanized Gate: 10' Opening Width     **Material and Labor \$20,975.00**

All New Material

Furnish and install 622' of 10' high 1-3/4 mesh Galvanized Chain Link. Top rail 1-5/8 Galvanized pipe.

**Material and Labor \$38,975.00**

**Note: Lead time for materials 6-8 weeks from approval**

Notes:

Excludes Excavation through rock, Excavation through frost, Prevailing Wages, Private Utility Locate, Asphalt patching, Existing fence removal

Quote Valid For 15 days

**Buyer's Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Submitted by:**

*Joshua Stringfellow*

**Acceptance:**

This quote when accepted in writing by purchaser and by Century Fence Company becomes a contract between two parties. The conditions on the attached 'Terms and Conditions' are made a part of this contract.

Joshua Stringfellow

**Office:** 651-464-7373

**Cell:** 612-309-2148

**Email:** JStringfellow@centuryfence.com

**Terms of Payment:** Net Cash upon receipt of invoice.

**PROPOSAL**

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**3731 Thurston Ave  
Suite 103  
Anoka MN 55303  
612-245-0750**

**[www.surfacepromn.com](http://www.surfacepromn.com)**

**Proposal  
Date: 6/9/2021**

***Proposal Submitted To:***

John Witkowski  
Public Works Superintendent  
City Hall (763) 434-9555  
Desk (763) 235-1662  
[jwitkowski@ci.ham-lake.mn.us](mailto:jwitkowski@ci.ham-lake.mn.us)

Waste generated from our work will be removed.

Contractor is not responsible for pets not properly restrained leaving the property.

Direct contact with your job supervisor will be available to you at all times should you have any questions or concerns either by phone or in person.

**Pre -Lien Notice**

- a. Any person or company supplying labor or materials for this improvement to your property may file a lien against your property if that person or company is not paid for the contributions.
- b. Under Minnesota law, you have the right to pay persons who supplied labor or materials for this improvement directly and deduct this amount from our contract price, or withhold the amounts due them from us until 120 days after completion of the improvement unless we give you a lien waiver signed by persons who supplied any labor or material for the improvement and who gave you timely notice.

Respectfully submitted

Mike Langmade

*This proposal may be withdrawn Surface Prop LLC if not accepted within 30 days. Any alteration or deviation from above specifications involving extra costs will be executed only upon written order (minimum change order cost is \$250.00), and will become an extra charge over and above the proposal price. All agreements are contingent upon accidents, or delays beyond our control.*

---

**Acceptance of proposal by customer**

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature \_\_\_\_\_ Date \_\_\_\_\_

Contractor: Surface Pro LLC

*Please read this entire contract before signing.*

All material is guaranteed to be as specified, and the above work to be performed in a substantial workmanlike manner with payments made as follows.

**Payment information**

Payment in full upon completion unless other wise noted in this contract.

**WARRANTY AND NOTES:**

All workmanship is warrantied for 2 years, this includes and is limited to issues of peeling or de-lamination due to improper installation. De-lamination can occur due to water penetration and sitting water in puddles or low corners of the court, this is not covered in the 2 year warranty.

**CRACKS:**

Crack-filling does not imply crack elimination. Cracks can and often will reappear. This is normal, it is called reflection, Surface Pro LLC is not responsible for cracks returning after repairs.

Surface Pro LLC is Not responsible for existing grades and drainage or compacting existing base.

Cracks if not patched will continue to expand over a period of time and conventional repair methods may become unavailable.

\*This estimate is based solely on the contractor's observations at the time of entering into this contract. If additional concealed conditions are discovered once the work has commenced, which were not visible at the time of entering into this contract, Contractor will identify the unforeseen conditions and notify the Customer of any additional costs, if any.

\*Customer agrees to pay for all unexpected or unanticipated extra costs, including but not limited to, soil corrections, protection of the project from weather conditions and all other similar costs. Customer will be responsible for all additional costs and time for work due to concealed conditions. Such conditions may also extend the time for completion of the work under this contract.

\*Estimate does not include any allowance for hazardous waste removal. All hazardous waste removal will be treated as an unforeseen condition and is the sole responsibility of the customer.

\*The construction site will be a dangerous area. Customer waives all claims against Surface Pro LLC for injuries or damages that customer or any member of customers family, friends, or guests may suffer while on or around the property during construction due to these and other hazards.

\*All unforeseen conditions will be treated on a time and materials basis at the rate of \$95.00/ hour plus materials.

- This contract may be canceled by Surface Pro LLC, at anytime up until the start of the project, due to unforeseen last minute price increases or difficulty sourcing the materials because of unforeseen circumstances. If this contract is canceled for this reason all upfront or downpayment monies will be returned to customer unless other arrangements have been agreed upon in writing.

**We hereby bid to complete the following:**

**Resurface 120'x200' outdoor courts into 2 tennis and 6 pickleball courts.**

*Surface Inspection and Cleaning:*

Court will be cleaned thoroughly to remove all dirt and residue from the surface.

Clear entire court of debris.

Power wash all loose materials and debris from every part of the surface.

*\*Note: this process will take an on site water supply*

*Court Inspection:*

Chips, Cracks, Dings- These areas will be repaired with portland and binder filler, applying pressure with a tool, such as a putty knife or trowel. This is done to insure that material comes in contact with all surfaces of the crack or void. The filler will be allowed to set a minimum of one hour. If material shrinks below grade level, material will be reapplied in the same manner and allowed to set.

*Surfacing/Resurfacing:*

Apply one squeegee coats of Acrylic Resurfacer (ACR) will be applied in strict accordance with the SportMaster product specifications and guidelines. Surface coats will be applied at the manufacturer's recommended rates per square yard for each coat.

*Painting*

Apply two squeegee coats of SportMaster Color-plus Acrylic Tennis Court Paint in strict accordance with the SportMaster product specifications and guidelines. Acrylic paint coats will be applied at the manufacturer's recommended rates per square yard for each coat.

*Line the courts using white USTA approved line paint*

**Colors to be: dark green with white lines**

<p><b>Total for surfacing 120'x200' outdoor tennis and pickleball courts price includes all materials and labor: \$23,000.00</b></p>
--

**Customer will supply and install 12 new pickleball posts.**

Water to be provided for SurfacePro on site.



# Court Surfaces & Repair, Inc.



Troy D. Carlson • 16215 Yalta St. NE • Ham Lake, MN 55304 • 612-386-9171 • Fax: 763-785-7929  
thcarlson@msn.com • www.csr-1.com

August 8, 2021

## RE: SURFACING OF NEW TENNIS AND PICKLEBALL COURTS

**Ham Lake / City Hall Tennis Courts – (2) Tennis Courts, (4) Pickleball Courts (2,720s.y.)**

### The process to surface courts is as follows:

- High-pressure blow entire surface clean of dirt and debris.
- Patch and blend low areas, (“birdbaths”) to surrounding surface.
- Apply (2) textured coats of acrylic blended resurfacer to fill surface imperfections.
- Apply (2) textured acrylic color coats to the surface, colors Green / Blue. \* (SportMaster Color Plus products used)
- Upon curing roller apply 2” white playing lines per ASBA specifications.

\*CSR will need a water source supplied near facility location.

**Acrylic Color Coating and Lines is \$ 24,475.00**

\*Price does not include any fence work or net posts.

*CSR is fully insured for your project and will issue a certificate of insurance if requested. All work has a one-year manufacturer's warranty and two-year workmanship warranty. If you have any questions please call me @ (763)-783-8086.*

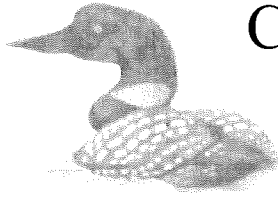
The above price and specifications are satisfactory and are hereby accepted. CSR is authorized to do the above work specified. Payment is to be made upon completion of above specified work. *Note:* This proposal may be withdrawn if not accepted within 10 days.

Date Accepted \_\_\_/\_\_\_/\_\_\_ Signature \_\_\_\_\_ PO # \_\_\_\_\_

(Please assign a PO# and or mail / fax one signed copy. Fax (763)-785-7929.)

Thank you,

Troy D. Carlson  
Court Surfaces & Repair Inc.



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

**CITY OF HAM LAKE  
SPECIAL MEETING  
CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY  
TUESDAY, AUGUST 24, 2021  
8:00 A.M.**

- 1.0 CALL TO ORDER - 8:00 A.M.**
- 2.0 CONSENT AGENDA**
  - 2.1 Approval of changes to the Ham Lake Fire Department Relief Association Bylaws, Appendix C for a pension increase from \$4,000 to \$4,500 per year of service, effective August 25, 2021
  - 2.2 Approval of an Ordinance rezoning Evergreen Estates
  - 2.3 Approval of the Outdoor Lighting and Maintenance Energy Agreement for street lights in Evergreen Estates
  - 2.4 Park Committee Recommendations:
    - 1) Approval of the painting, netting and fencing quotes for the tennis courts at Lion's Park
- 3.0 PLANNING COMMISSION RECOMMENDATIONS**
  - 3.1 Holiday Stationstores LLC requesting Preliminary Plat and Final Plat approval to rezone portions of land from CD-1 (Commercial Development I) to CD-2 (Commercial Development II) and portions of land from CD-2 (Commercial Development II) to CD-1 (Commercial Development I for the Holiday Station Store Ham Lake Development (one commercial lot, two commercial outlots and one residential outlot) in Section 5 (this is considered the First Reading of a rezoning Ordinance)
  - 3.2 Holiday Stationstores LLC requesting a Commercial Site Plan approval for the construction of a 7,108 square foot convenience store and car wash at 1442 Crosstown Boulevard NE (Lot 1, Block 1, Holiday Station Store Ham Lake Development)
  - 3.3 Jim Malvin and Tim Lang, Evergreen Development LLC (formerly Timber Valley Development), requesting Final Plat approval for Evergreen Estates (36 Single Family Residential lots) in Section 21



# CITY OF HAM LAKE

## PLANNING REQUEST

15544 Central Avenue NE  
Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application March 4, 2021

Date of Receipt \_\_\_\_\_  
Receipt # \_\_\_\_\_

Meeting Appearance Dates:  
Planning Commission 8-23-2021

City Council \_\_\_\_\_

**Please check request(s):**

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval\*
- Final Plat Approval
- Rezoning\*
- Multiple Dog License\*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)\*
- Conditional Use Permit (Renewal)
- Other \_\_\_\_\_

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Holiday Stationstores

Address/Location of property: 1442 Crosstown Blvd. NE

Legal Description of property: See included Preliminary Plat

PIN # 05-32-23-43-0012 & 05-32-23-43-0016 Current Zoning CD-1 <sup>CD-2, R-1</sup> Proposed Zoning CD-2+CD-1

Notes: 05-32-23-43-0002, 0003, 0004, 0005, 0014 + 0017

Applicant's Name: Jim Goepner

Business Name: Holiday Stationstores LLC

Address 4567 American Boulevard West

City Bloomington State MN Zip Code 55437-1123

Phone 952-830-8080 Cell Phone 612-385-7848 Fax \_\_\_\_\_

Email address jim.goepner@holidaycompanies.com

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

SIGNATURE  DATE 3/3/2021

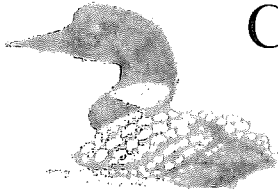
\*\*\*\*\*

**- FOR STAFF USE ONLY -**

ACTION BY: Planning Commission \_\_\_\_\_  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT YES NO





# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, August 23, 2021 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Holiday Stationstores LLC requesting preliminary plat approval and rezoning of portions of land from CD-1 (Commercial Development I) to CD-2 (Commercial Development II) and portions of land from CD-2 (Commercial Development II) to CD-1 (Commercial Development I) of the Holiday Station Store Ham Lake development (1 commercial lot, 2 commercial outlots and 1 residential outlot) in Section 5 a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

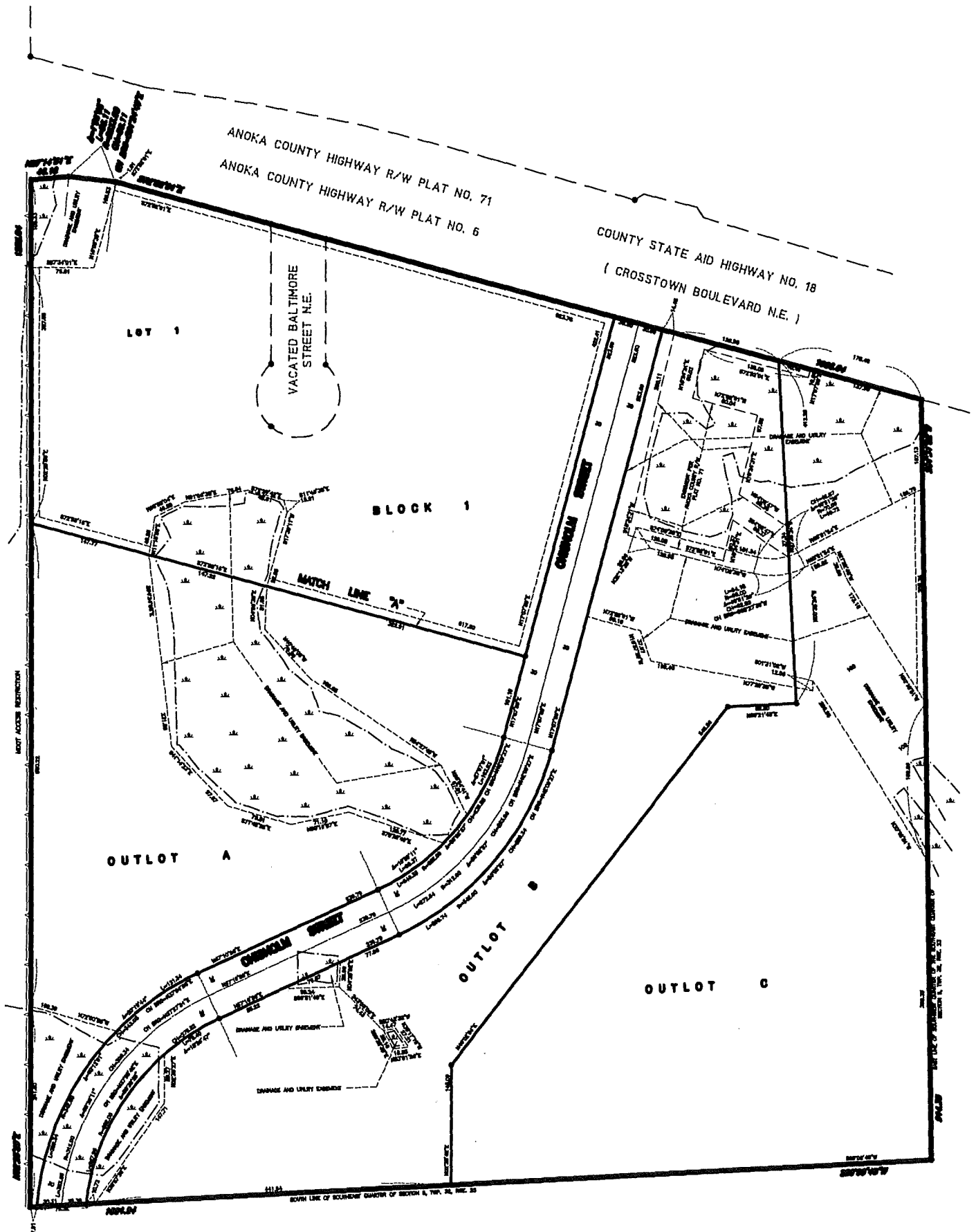
THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA, LYING EASTERLY OF THE EAST RIGHT OF WAY LINE OF STATE TRUNK HIGHWAY NO. 65 AS SHOWN ON THE RECORDED PLAT OF MINNESOTA DEPARTMENT OF TRANSPORTATION MONUMENTATION PLAT NO. 02-M25 AND SOUTHERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18 AS SHOWN ON THE RECORDED PLAT OF ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 6 AND SOUTHERLY OF THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY STATE AID HIGHWAY NO. 18 AS SHOWN ON THE RECORDED PLAT OF ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 71.

At such hearing both written and oral comments will be heard.

DATED: August 13, 2021

Jennifer Bohr  
Building and Zoning Clerk  
City of Ham Lake

STATE TRUNK HIGHWAY NO. 65  
MNDOT MONUMENTATION PLAT NO. 02-M25



August 18, 2021

City of Ham Lake  
Planning and Zoning Department  
Attn: Ms. Jennifer Bohr, Building and Zoning Clerk  
15544 Central Avenue NE  
Ham Lake, MN 55304  
Ph: 763.235.1663

Re: Plat  
Narrative for Proposed Holiday Stationstores Site Improvements  
1442 Crosstown Blvd NE  
Ham Lake, MN 55304

Applicant/Owner

Holiday Stationstores, LLC  
c/o Mr. Jim Goeppner, Real Estate Development Manager  
4567 American Boulevard West  
Bloomington, MN 55437-1123  
Ph: 952-830-8080  
E-mail: jim.goeppner@holidaycompanies.com

Applicant/Owner Representative:

Bergmann  
Glenn Harvey, PE, LEED AP  
280 East Broad Street, Suite 200  
Rochester, NY 14604  
Ph: 585.498.7832  
E-mail: gharvey@bergmannpc.com

Dear Ms. Bohr;

Holiday Stationstores is proposing the construction of a new 24-Hour Convenience Store with gasoline sales at their existing property located at 1442 Crosstown Boulevard NE in the City of Ham Lake. The site improvements will include a new Convenience Store, 10 new fuel pump islands under a new fuel island canopy, 3 new fuel pump islands under a new fuel island canopy for diesel truck fueling and associated parking, drive aisles, utilities, and landscaping.

As part of the project, a preliminary and final plat will be required.

## Memorandum

Date: August 18, 2021  
To: Planning Commissioners  
From: Tom Collins, City Engineer *TPC*  
Subject: Holiday Station Store Ham Lake Preliminary and Final Plat

---

**Introduction:**

The Final Plat was received July 29<sup>th</sup>. The proposed one lot development and outlots are located on the 26.98-acre area of parcels 05-32-23-43-0002 (1528 Crosstown Boulevard), -0003 (1536 Crosstown Boulevard), -0004, -0005, -0012 (1442 Crosstown Boulevard), -0014, -0016 (17438 Baltimore Street) and -0017 (17331 Highway 65). The 26.98 acres includes 0.48 acres of Crosstown Boulevard right-of-way. The current zoning is Commercial Development Tier 1 (CD-1), Commercial Development Tier 2 (CD-2) and Single Family Residential (R-1), per the attached 500 scale zoning map. A 400-scale half section map and 300-scale aerial photo are also attached.

**Discussion:**

The plat includes one lot and three outlots. The area of proposed Lot 1, excluding Crosstown Boulevard right-of-way, is 6.52 acres, and the area of the Outlots A, B and C are 5.74 acres, 5.61 acres and 7.24 acres respectively. Lot 1, Outlot A and Outlot B are being zoned CD-1 and the Outlot C zoning is to remain R-1. The R-1 zoning was designated due to the 4-lot residential development per the attached preliminary plat and unrecorded final plat of Krawiecki Addition.

The Holiday Station Stores Ham Lake Final Plat correctly shows that the Baltimore Street right-of-way has been vacated. The vacation was approved at the August 16<sup>th</sup> City Council meeting following the public hearing.

The Circle K / Holiday Station Store plans display how Lot 1 will be developed. Approvals will be required at a later date for the development of Outlot A, Outlot B and Outlot C. All of the outlots exceed the minimum livability requirements.

Circle K / Holiday Station Store have acknowledged that the septic easement per Document 1374927 will be vacated. Acknowledgement has also been received for vacating the existing easement referenced on the A.L.T.A Survey in the northeast corner of Parcel 2 along with the access easement per Document 257868.

The Krawiecki Addition included the dedication of a 1.33-acre park in the northeast portion of the parcels, which is directly adjacent to the 18+ acre Soderville Park. The 1.33 acres is that portion of the Holiday Station Stores parcels located on the east side of County Ditch 58-3-1. The future development of Outlot C will require this parkland dedication. Holiday Station Stores is volunteering the dedication of a 20-foot-wide trail easement from the Chisholm Street right-of-

way to Soderville Park, per the attached Trail Easement exhibit. Proof of the recording the deed will need to be furnished to the City.

Per the Sketch Plan review, the intention was to only have two outlots, with the westerly outlot being zoned CD-1 and the easterly zoned R-1. The Sketch Plan review also required right-of-way dedication for the remainder of the non-existing municipal state aid route thru the parcels under ownership by Holiday Station Store. The final plat, received April 19<sup>th</sup>, has been modified to meet this requirement.

Minnesota Statute 505 does not allow for lots to cross right-of-way dedicated with a plat, so the westerly outlot of the Sketch Plan is now two outlots, one on each side of the dedicated right-of-way for the non-existing municipal state aid route, so the total number of lots in the plat is now four consisting of one lot and three outlots. Historically, the City requirement has always been for right-of-way to be dedicated on the plat. An alternative would be to have two outlots with the right-of-way being conveyed to the City by a separate deed. Although there are a total of four lots, the plat is still proceeding as a minor subdivision under 10-101 of City Code to expedite the approval process since the plat could be only three lots with a separate deed for the right-of-way.

Non-existing Chisholm Street and Baltimore Street from Crosstown Boulevard south to 171<sup>st</sup> Avenue, per the attached Thoroughfare Map, is designated as a municipal state aid (MSA) route. Holiday Station Store will be constructing the northerly 375 feet +/- adjacent to Lot 1, Block 1.

Per the attached Section 9-400 of City Code, the proposed plat is located within the Commercial/Industrial Planned Unit Development Overlay District (CPOD). The application falls under Part II – Redevelopment or Remodeling of existing Lands or Structures, since there are pre-existing structures. Because the project will plat will create 11,000 square feet or more of impervious drainage surfaces per 9-440B, a Planned Unit Development (PUD) is required per 9-410. The PUD Procedural Requirements, per 9-420, have been met.

Holiday Station Store will also record a road easement for the temporary cul-de-sac on the southerly portion of Chisholm Street being constructed with the plat, per the attached Road Easement exhibit. The deed will terminate when Chisholm Street is extended to the south and the temporary cul-de-sac is removed. Proof of the recording the deed will need to be furnished to the City.

A 100-foot-wide drainage and utility easement is required over County Ditch 58-3-1. Portions of the parcels adjacent to County Ditch 58-3-1 are designated as a FEMA Zone A 100-year flood boundary, however it is not anticipated that future FEMA letter of map amendments will be needed.

**Recommendations:**

It is recommended that the Preliminary Plat and Final Plat of Holiday Station Store Ham Lake be recommended for approval to the City Council.



The proposed land uses for the plat include:

Lot 1 Block 1: Commercial Development Tier 1

Rebuilding and expanding of the existing Holiday Stationstores which includes the construction of a new 24-Hour convenience store with gasoline sales and car wash, including 10 new fuel pump islands under a new fuel island canopy, 3 new fuel pump islands under a new fuel island canopy for diesel truck fueling and associated parking, drive aisles, utilities, and landscaping.

Creating a dedicated frontage road connection.

Outlot A: Commercial Development Tier 1

Commercial zoned separated by a dedicated frontage road from Outlot B.

Outlot B: Commercial Development Tier 2

Commercial zoned separated by a dedicated frontage road from Block 1 and Outlot A.

Outlot C: Single Family Residential R-1

Residential zoned lot R-1.











- R-A Rural Single Family Residential
- CD-1 Commercial Development Tier 1
- R-1 Single Family Residential
- CD-2 Commercial Development Tier 2
- R-2 Multiple Family Residential
- I-P Industrial Park
- R-M Residential/Manufactured Mobile Homes
- Park
- Ditches

Sheet Title:  
ZONING MAP

Drawn:  
EMP

Date:  
8/17/2021

Project No.  
1802.106

Project:  
Holiday Station Store Expansion

13635 Johnson Street  
Ham Lake, MN 55304  
Telephone (763) 862-8000  
Fax (763) 862-8042



# S 1/2 SECTION 5, T. 32, R. 23

CITY OF HAM LAKE



THIS IS A COMPILATION OF RECORDS AS FILED IN THE PUBLIC RECORDS OFFICE OF ANOKA COUNTY, MINNESOTA. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY RECORDS OFFICE DOES NOT WARRANT THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

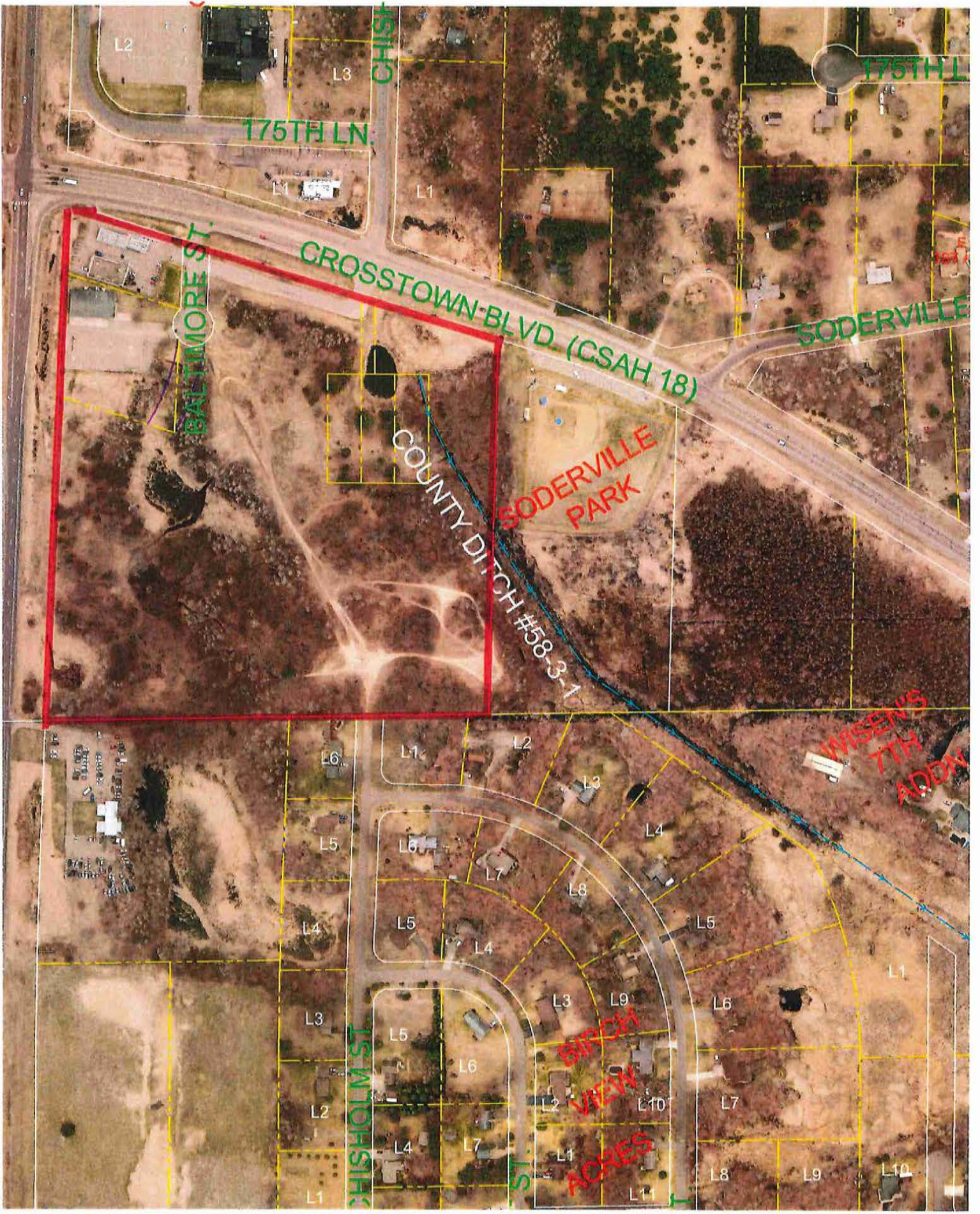
PROPERTY IDENTIFICATION NUMBERS:  
 Section Township Range Quarter Specific  
 Number Number Number Number Parcel  
 XX XX XX XX XXXX  
 SPECIFIC PARCEL NUMBERS ARE IN BRACKETS. (1)  
 EXAMPLE OF PIN NUMBER: 15-32-23-24-004

QUARTER QUARTER INDEX

QUARTER	15	16	17	18
NORTH HALF OF SECTION	22	21	12	11
SOUTH HALF OF SECTION	31	34	43	44

ANOKA COUNTY SURVEYORS OFFICE  
 3100 3RD AVENUE  
 ANOKA, MN 55303  
 (763) 324-3300





BALTIMORE ST.

175TH LN

175TH L

GROSSTOWN-BLVD. (CSAH 18)

SODERVILLE

COUNTY DITCH #58-3-1

SODERVILLE PARK

WISCONSIN 7TH ADDN

CHISHOLM ST.

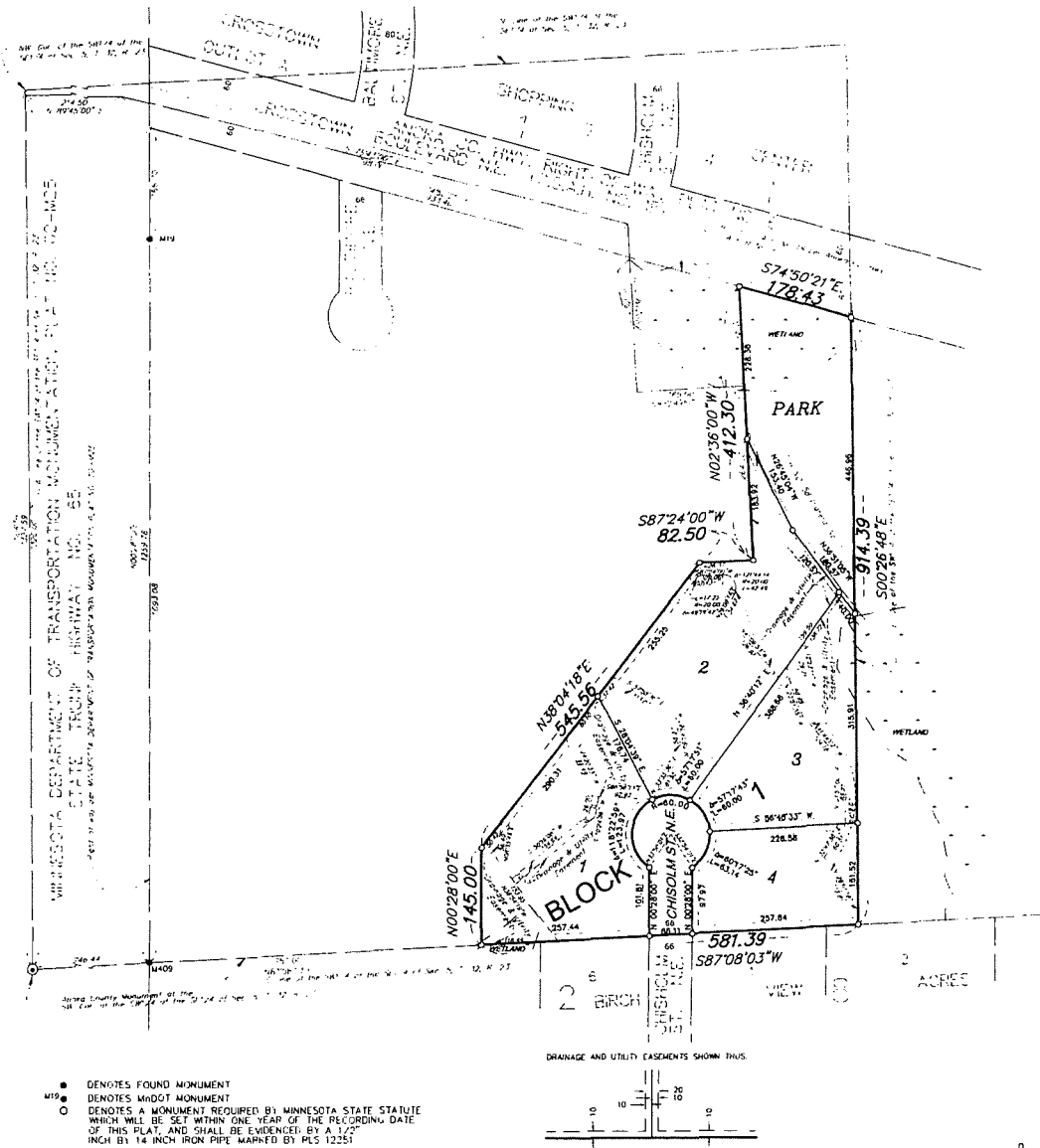
GREEN VIEW ACRES

1" = 300'



# KRAWIECKI ADDITION

City of Ham Lake  
County of Anoka  
Sec. 5, Twp. 32, Rge. 23



- DENOTES FOUND MONUMENT
- DENOTES MIDDOT MONUMENT
- DENOTES A MONUMENT REQUIRED BY MINNESOTA STATE STATUTE WHICH WILL BE SET WITHIN ONE YEAR OF THE RECORDING DATE OF THIS PLAT, AND SHALL BE EVIDENCED BY A 1 1/2" INCH BY 1 1/4" IRON PIPE MARKED BY PLS 12251
- Ⓞ DENOTES ANOKA COUNTY MONUMENT

BEING 10 FEET WIDE ON EACH SIDE OF ALL LOT LINES UNLESS OTHERWISE SHOWN ON THE PLAT

KNOW ALL PERSONS BY THESE PRESENTS That Daniel R. Krawiecki and Nicole K. Krawiecki, husband and wife, owners and proprietors and Northwoods Bank of Minnesota, a Minnesota corporation, mortgagee of the fabered described property situated in the County of Anoka, State of Minnesota, to wit

That part of the Southwest Quarter of the Southeast Quarter of Section 5, Township 32, Range 23, Anoka County, Minnesota, described as follows

Commencing at the point of intersection of the east right-of-way line of State Trunk Highway No. 85, as shown on the recorded plat of Minnesota Department of Transportation Monumentation Plat No. 02-425, with the southern right-of-way line of County State Aid Highway No. 18, as shown on Sheet 1 of the recorded plat of Anoka County Highway Right-of-way plat No. 8, thence southeasterly along said southern right-of-way line a distance of 933.40 feet to the point of beginning of the land to be described as follows

Beginning at the southwest corner of said Southwest Quarter of the Southeast Quarter, thence North, along the West line thereof a distance of 1320.00 feet; thence North 89 degrees 45 minutes East a distance of 214.50 feet; thence South 75 degrees 43 minutes East a distance of 298.00 feet; thence South 36 minutes East a distance of 257.00 feet; thence North 87 degrees 24 minutes East a distance of 165.00 feet to the point of beginning of the line to be described, thence North 2 degrees 30 minutes East a distance of 148.30 feet to said southern right-of-way line, and said line there terminating.

thence South 32 degrees 36 minutes East along said last described line a distance of 148.30 feet to the point of beginning of said line, thence South 02 degrees 36 minutes East a distance of 284.00 feet; thence South 87 degrees 24 minutes West a distance of 82.50 feet; thence South 35 degrees 04 minutes 18 seconds West a distance of 543.30 feet; thence South 00 degrees 28 minutes 00 seconds West a distance of 149.00 feet to the south line of said Southwest Quarter of the Southeast Quarter, thence North 87 degrees 09 minutes 03 seconds East, along said south line, a distance of 501.39 feet to the southeast corner thereof, thence North 00 degrees 26 minutes 48 seconds West, along the east line thereof, a distance of 914.39 feet to said southern right-of-way line of County State Aid Highway No. 18, thence North 74 degrees 00 minutes 21 seconds West, along said southern right-of-way line, a distance of 178.43 feet to the point of beginning.

Have caused the same to be surveyed and plotted as KRAWIECKI ADDITION and do hereby donate and dedicate to the public for public use forever the street, park, and drainage and utility easements as shown on this plat. In witness whereof said Daniel R. Krawiecki and Nicole K. Krawiecki have hereunto set their hands this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. Also in witness whereof said Northwoods Bank of Minnesota, a Minnesota corporation, has caused these presents to be signed by its proper officers this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

SIGNED  
Daniel R. Krawiecki \_\_\_\_\_ Nicole K. Krawiecki \_\_\_\_\_  
NORTHWOODS BANK OF MINNESOTA

Tommy Masters, as Vice President  
STATE OF MINNESOTA) the foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Daniel R. Krawiecki and Nicole K. Krawiecki, husband and wife  
COUNTY OF ANOKA )

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission expires \_\_\_\_\_

STATE OF \_\_\_\_\_) the foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
COUNTY OF \_\_\_\_\_) by Tommy Masters as Vice President of Northwoods Bank of Minnesota, a Minnesota corporation on behalf of the corporation

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission expires \_\_\_\_\_

I hereby certify that I have surveyed and plotted the land described in the dedication on this plat as KRAWIECKI ADDITION; that the plat is a correct representation of said survey; that all distances are correctly shown on said plat in feet and hundredths of a foot; that all monuments have been correctly placed in the ground as shown, or shall be correctly placed in the ground within one year after the recording date of this plat; that the outside boundaries are correctly designated on said plat; and that there are no watercourses, in accordance with A.C. 305.02 Subdivision 1, or public highways to be designated on said plat other than as shown thereon

Jeffrey H. Caine, Registered Land Surveyor  
Minnesota License No. 12251  
STATE OF MINNESOTA) the surveyor certificate was acknowledged before me a Notary Public, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Jeffrey H. Caine, Land Surveyor  
COUNTY OF ANOKA )

Notary Public, Anoka County, Minnesota  
My Commission expires \_\_\_\_\_

CITY OF HAM LAKE  
We hereby certify that the City Council of the City of Ham Lake, Anoka County, Minnesota, duly accepted and approved the plat of KRAWIECKI ADDITION at a regular meeting held this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the city or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 305.05, Subd. 2.

By \_\_\_\_\_ Mayor By \_\_\_\_\_ Clerk  
Checked and approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
By \_\_\_\_\_ Anoka County Surveyor

RECEIVED  
MAR 13 2003

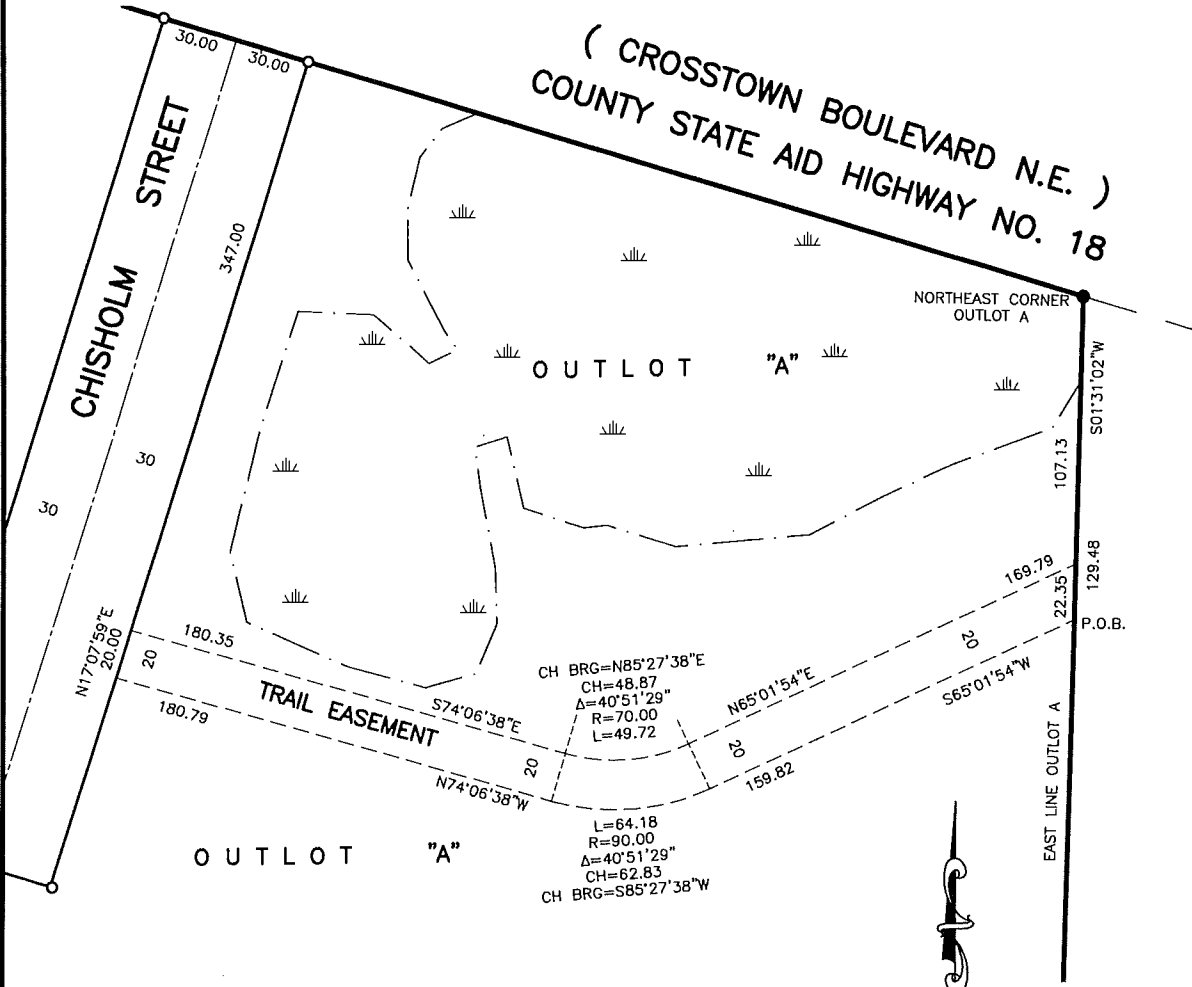


RLK - Kuusisto, Ltd.

For the purposes of this plat, the west line of the Southwest Quarter of the Southeast Quarter of Section 5, Township 32, Range 23, Anoka County, Minnesota, is assumed to have a bearing of North.

# TRAIL EASEMENT FOR: CITY OF HAM LAKE

( CROSSTOWN BOULEVARD N.E. )  
COUNTY STATE AID HIGHWAY NO. 18



**LEGAL DESCRIPTION:**

ALL THAT PART OF OUTLOT "A", HOLIDAY STATION STORE HAM LAKE ACCORDING TO THE PLAT ON FILE AN OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, ANOKA COUNTY, MINNESOTA IS DESCRIBED AS FOLLO:

COMMENCING AT THE NORTHEAST CORNER OF SAID OUTLOT "A," HOLIDAY STATION STORE HAM LAKE; THENCE SOUTH 01 DEGREES 31 MINUTES 02 SECONDS WEST ASSUMED BEARING ALONG THE EAST LINE SAID OUTLOT "A" A DISTANCE OF 129.48 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 65 DEGREES 01 MINUTES 54 SECONDS WEST A DISTANCE OF 159.82 FEET; THENCE WESTERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 90.00 FEET, A CENTRAL ANGLE OF 40 DEGREES 51 MINUTES 29 SECONDS, AN ARC LENGTH OF 64.18 FEET, A CHORD LENGTH OF 62.83 FEET AND A CHORD BEARING OF SOUTH 85 DEGREES 27 MINUTES 38 SECONDS WEST; THENCE NORTH 74 DEGREES 06 MINUTES 38 SECONDS WEST AND TANGENT TO SAID CURVE A DISTANCE OF 180.79 FEET TO CHISHOLM STREET; THENCE NORTH 17 DEGREES 07 MINUTES 59 SECONDS EAST ALONG SAID CHISHOLM STREET A DISTANCE OF 20.00 FEET; THENCE SOUTH 74 DEGREES 06 MINUTES 38 SECONDS EAST A DISTANCE OF 180.35 FEET; THENCE EASTERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 70.00 FEET, A CENTRAL ANGLE OF 40 DEGREES 51 MINUTES 29 SECONDS, AN ARC LENGTH OF 49.72 FEET, A CHORD LENGTH OF 48.87 FEET AND A CHORD BEARING OF NORTH 85 DEGREES 27 MINUTES 38 SECONDS EAST; THENCE NORTH 65 DEGREES 01 MINUTES 54 SECONDS EAST AND TANGENT TO SAID CURVE A DISTANCE OF 169.79 FEET TO THE EAST LINE OF SAID OUTLOT "A"; THENCE SOUTH 01 DEGREES 31 MINUTES 02 SECONDS WEST ALONG THE EAST LINE SAID OUTLOT "A" A DISTANCE OF 22.35 FEET TO THE POINT OF BEGINNING AND THERE TERMINATING.

**CERTIFICATION:**

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNED THE 17TH OF MARCH 2021.

*Dennis M. Honsa*  
 DENNIS M. HONSA  
 MINNESOTA LICENSE No. 22440  
 FOR: HONSA SURVEYING

JOB NO: HOLIDAY TRAIL HAM LAKE

**HONSA SURVEYING**

1592 PACIFIC AVENUE, EAGAN, MN 55122 (651) 492-6725

ALTERATIONS TO THIS DRAWING ARE PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF HONSA SURVEYING COPYRIGHT 2021.









# CITY OF HAM LAKE

## PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application December 23, 2020

Date of Receipt 1-7-21

Receipt # 89105

Meeting Appearance Dates:  
Planning Commission 8-23-2021

City Council \_\_\_\_\_ \$150

**Please check request(s):**

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval\*
- Final Plat Approval
- Rezoning\*
- Private Kennel License\*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)\*
- Conditional Use Permit (Renewal)
- Other

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Holiday Stationstores

Address/Location of property: 1442 Crosstown Blvd. NE

Legal Description of property: See included A.L.T.A Survey

PIN # 05-32-23-43-0012 & 05-32-23-43-0016 Current Zoning CD-1 Proposed Zoning N/A

Notes: Project will require combining 2 lots.

Applicant's Name: Jim Goepner

Business Name: Holiday Stationstores LLC

Address 4567 American Boulevard West

City Bloomington State MN Zip Code 55437-1123

Phone 952-830-8080 Cell Phone 612-385-7848 Fax \_\_\_\_\_

Email address jim.goepner@holidaycompanies.com

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

SIGNATURE Jim Goepner DATE 12/17/2020

\*\*\*\*\*

**- FOR STAFF USE ONLY -**

ACTION BY: Planning Commission \_\_\_\_\_  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT YES NO



August 18, 2021

City of Ham Lake  
Planning and Zoning Department  
Attn: Ms. Jennifer Bohr, Building and Zoning Clerk  
15544 Central Avenue NE  
Ham Lake, MN 55304  
Ph: 763.235.1663

Re: Narrative for Proposed Holiday Stationstores Site Improvements  
1442 Crosstown Blvd NE  
Ham Lake, MN 55304

Applicant/Owner

Holiday Stationstores, LLC  
c/o Mr. Jim Goepfner, Real Estate Development Manager  
4567 American Boulevard West  
Bloomington, MN 55437-1123  
Ph: 952-830-8080  
E-mail: jim.goepfner@holidaycompanies.com

Applicant/Owner Representative:

Bergmann  
Glenn Harvey, PE, LEED AP  
280 East Broad Street, Suite 200  
Rochester, NY 14604  
Ph: 585.498.7832  
E-mail: gharvey@bergmannpc.com

Dear Ms. Bohr;

The following will provide an overview of both the project and our company.

My name is Jim Goepfner, the Real Estate Development Manager for Holiday Stationstores, LLC.

We appreciate all of the support both the citizens and the city officials have provided to Holiday, in the past.

We hope you find our commitment to Ham Lake demonstrated by this Raze & Rebuild project.

Please allow me to share our history, our structure, and our proposal, as you consider this project.

Holiday can trace its origins to the six grandsons of Otto Erickson who emigrated from Halsingland, Sweden in 1868 and established a potato farm in Isanti County. These grandsons would eventually purchase a bankrupt Texas refinery and moved it to St. Paul Park, MN in 1939, establishing Minnesota's first gasoline refinery,



Northwestern Refinery Company. From there, the sextet built a General store in Centuria, WI with their first convenience store in Lindstrom, MN. These were originally known under the Erickson family name before later transitioning to the Holiday Stationstore moniker. Eventually, two of the brothers, Arthur and Alfred split apart, and established two General Stores, known as "Holiday Village" in Bloomington & Fridley with Burnsville & Plymouth locations to follow later. In many ways, these stores were the early forerunners of the Target/Wal-Mart retail concepts.

In order to support both the Village stores (later named "Holiday Plus") and the burgeoning Stationstore business, the World Wide Warehouse was soon established. This facility included train tracks that ran into the building, drastically improving the efficiencies of the organization in moving product. It was reported the total time between item introduction to shelves could be as little as two weeks. Holiday was ahead of its time, offering private label items from radios, bicycles, baseball gloves, and soda pop. It didn't matter if it was a Wedding Dress or a new Grill, customers could order directly from the World Wide Catalog for either home delivery or in-store pick-up. This is *years* before Jeff Bezos sold his first book. Tuesdays were known among Salespeople far & wide as "Open Buy Days" for the company. No appointments were scheduled, and everyone had a "first come, first served" opportunity to pitch their latest and greatest product ideas in front of buyers in the hopes of inclusion in World Wide's and the store's product offerings.

#### **OUR HISTORY**

In 1928, on borrowed money, brothers Arthur and Alfred Erickson opened a general store in Centuria, Wisconsin. Their policy of "the best goods and the finest possible customer service" made their little store a big success. Additional stores were opened in both Wisconsin and Minnesota. With extra money to invest, the brothers got into the petroleum business and in 1939, the first Holiday was opened in Lindstrom, Minnesota. The company grew to become the 18th largest convenience store chain in the United States. It ranked 133rd on Forbes' list of America's largest private companies, with over 500 locations in 10 states, plus two food commissaries, a fuel terminal and a car wash network.

#### **OUR MISSION**

We know that your time is precious. You want to fill up, grab a snack and get on with your day. That's why our locations are easily accessible. Our brightly lit stores have wide aisles with an extensive selection of quality products. Our employees are committed to delivering fast and friendly service. Our mission is to make your life a little bit easier every day.

#### **WINNING TEAM**

In 2017, Holiday was acquired by Alimentation Couche-Tard, one of the world's leading convenience retailers, and became part of the Circle K family of stores. Couche-Tard developed Circle K into a global brand, represented in over 20 countries. It's one of the most recognized convenience stores, known worldwide for quality products and great customer service. Holiday is proud to join a team that is just as committed to providing the finest possible customer service as the Erickson brothers were back in 1928.



## Executive Summary

Holiday Stationstores, Inc., the Proposer ("Holiday"), submits this Proposal to Ham Lake, MN. We are excited at the prospect of razing & rebuilding our current location in Ham Lake offering the latest Holiday Stationstore gasoline station, convenience store, car wash, and high speed diesel facilities to demonstrate to Ham Lake, our commitment to customer service and excellence in operations which will live up to Ham Lake standards. Our programs, offerings and food-fuel alliance will provide the uniquely innovative and customer-oriented experiences for all of our future customers. This Holiday Stationstore will exemplify a first-class, modern and state-of-the-art facility.

## About Holiday

Holiday, as a business enterprise, has been in existence since 1928. We have approximately 525 Holiday Stationstores in 10 states (Minnesota, Alaska, Idaho, Michigan, Montana, North Dakota, South Dakota, Washington, Wisconsin, and Wyoming). Through our many years of operating in the Twin Cities and elsewhere, we have strived to earn a reputation with customers for our excellent service, value priced products, quality operations and safe facilities. We are a market leader in the Twin Cities and in numerous other markets for this reason.

We invite customers into our facilities through our unique, dynamic image. Once there, our customers immediately notice our well-lit, clean and well-maintained facilities, including both the exterior and interior of our buildings and most especially our restrooms. We also strive to incorporate modern design principles and, where possible, we include local building elements in our store construction.

We offer our proprietary Blue Planet gasoline with Smart Power engine cleaning additives that meet or exceed Top Tier Standards. Holiday introduced Blue Planet in the Twin Cities in 1999 and it was the first gasoline in the country, outside of California, with sulfur emissions lower than mandated by law. At many of our stores, Holiday also offers E-85 (an ethanol fuel blend).

Our Holiday Stationstores demonstrate our commitment to high quality products at great values for customers. Holiday's in-store offerings include grab-and-go prepared food, a wide assortment of beverages and grocery items and other essential items for the busy consumer. Holiday makes and distributes fresh salads, fresh sandwiches and ready to heat & eat sandwiches to our Holiday Stationstores five days per week from our 44,000 square foot USDA-inspected commissary in Brooklyn Center, Minnesota. Holiday's bakery offerings are made fresh daily at the Lunds/Byerly's bakery in Eden Prairie, Minnesota and are delivered fresh to Holiday Stationstores seven days per week. We also offer many other conveniences to our customers, such as RedBox movie rental services, US Bank ATMs, fishing and hunting licenses, free air, and lotto/lottery tickets.

### **COMMISSARY:** The commissary open in 2004

- 80,000 sandwiches are made each day
- 450,000 sandwiches a week
- 23,000,000 annually
- There are over 130 employees at the MN Commissary.
- 2 production shifts.
- Deliver Sunday- Thursday. With tobacco only being delivered on Wednesdays.
  - 8 delivery trucks deliver to 222 stores
  - 9 bakery delivery trucks deliver to 227 stores



To offer exceptional value to our customers, Holiday has a food-fuel alliance with all of the Cub Foods grocery stores in the Twin Cities. This food-fuel alliance, which saves customers money when they buy gas at Holiday based on purchases made at Cub Foods grocery stores, is a key benefit to our customers and sets us apart in the market. We also have a number of other alliances, including an alliance with the Luther Automotive Group. Customers also enjoy Holiday's "Smart Value" program, offering value-priced deals such as discounts for the purchase of multiple products. Additionally, Holiday offers a proprietary Smart Savings credit card, which allows customers to save \$0.04 per gallon of gasoline and 5% on in-store purchases.

Finally, Holiday understands how important its employees are to providing an excellent customer experience. Holiday's employees undergo regular training and follow specified procedures to ensure quality and consistency in Holiday's facilities and offerings. Our employees are expected to be knowledgeable, courteous and helpful to customers, and we are proud to be known for having positive, customer service-oriented team members.

### ***Holiday's Operations***

Our Holiday Stationstore is designed to have 10 fueling positions, a convenience store of 5,650 square feet of space, a car wash, parking for 31 cars, plus High speed diesel and parking for six trucks. This site will benefit from all of Holiday's programs and services, including its food-fuel alliance with Cub Foods. To serve all community needs, the facility will be open for business 24 hours per day, 365 days per year.

### ***In Conclusion***

The innovative and modern Holiday Stationstore will be impressive and convenient to both local residents and travelers. We believe our facility will offer conveniences and groceries, providing key services in the area. We are proud to call the Twin Cities home and hope that our facility will not only be a tremendous asset to Ham Lake, but a benchmark demonstrating the highest level of excellence and customer service for our company.

## ***1. Company Qualifications, Experience, and Financial Ability***

- a. Proposer Information  
The Proposer is Holiday Stationstores, Inc., a Minnesota corporation. Holiday's address is 4567 American Boulevard West, Bloomington, Minnesota 55437. All notices to Holiday should be sent to the attention of Holiday's President, with a copy to Holiday's Legal Department.
- b. Authorized Representative  
Holiday's authorized representative for purposes of this Proposal is Jim Goeppner, Real Estate Development Manager, who has been with Holiday since 2019. Mr. Goeppner's telephone numbers are 952-830-8080 (office) and 612-385-7848 (cell).
- c. Organizational Description  
Holiday is a Minnesota corporation, incorporated in 1964. Holiday Companies is a Minnesota corporation and has the same address as Holiday, 4567 American Boulevard West, Bloomington, Minnesota 55437.
- d. Proposer's Project Funding  
Holiday will fund the construction and operation of the Holiday Stationstore using its own assets. No third party loan would be required by Holiday to complete or operate the Holiday Stationstore at the Ham Lake location.



## **2. Management and Operations Plan**

### a. Organizational and Staffing Plan

#### **Initial Installation**

Holiday's team of experienced construction professionals, based in its corporate headquarters in Bloomington, Minnesota, will oversee the contractors performing construction on the MAC site. Holiday's team includes John Baregi, Holiday's Senior Director of Engineering, and Travis Comer, a Holiday Project Manager, who can be contacted respectively at 952-830-1675 (office) and 612-709-2461 (cell), and 952-830-8713 (office) and 952-456-2516 (cell).

#### **Ongoing Operations**

If Holiday receives approval, an experienced store manager will be selected to manage the Holiday Stationstore. The store manager will manage 20 employees and will be supervised by the Market Manager, and the Director of Regional Operations. The Director of Regional Operations reports directly to the Senior Vice President of Operations. All of the product offerings, selections, pricing, marketing, alliances, accounting and services programs at this Holiday Stationstore will be performed centrally by the management team at the corporate headquarters in Bloomington.

Holiday employs over 5,000 people, many of whom have chosen to make Holiday their career choice for decades. Holiday's business model can be reliably executed by the Holiday team members at the store level through its employee hiring and training programs, operational standards, procedures and management guidance and supervision.

### b. Service and Maintenance Plan for Automated Equipment

Holiday prides itself on maintaining first-class, modern and well-operating facilities. Holiday's Service and Maintenance Plan for automated equipment is combined with Holiday's Service and Maintenance Plan for the overall facility.

### c. Service and Maintenance Plan for Facility

Holiday's facility (both inside and out) will be clean, well-lit, and regularly maintained and repaired per Holiday's strict service and maintenance standards.

### d. Operations Plan

Holiday plans to develop and operate a corporate-owned Holiday Stationstore with a car wash, offering Holiday's quality products and programs. To serve all community needs, especially all-hours airport employees and customers, the facility will be open for business 24 hours per day, 365 days per year. The Holiday Stationstore will be well-maintained, well-lit and inviting to customers at all hours of the day and night. The Holiday Stationstore will also include numerous security safeguards, such as cameras and other design elements, with the intent of deterring crime and protecting employees and customers.

Holiday's innovative and value-oriented programs and offerings will be advertised to consumers using multiple media formats, including on-premises messaging, through a digital message center, e-marketing through Holiday's website and mobile app, and via radio, newspaper and direct mail.

## **3. Inside Programs and Offerings**

Holiday will construct a 5,650 square foot convenience store. The Holiday Stationstore will sell all products that Holiday typically sells at comparable corporate-owned Holiday Stationstores, including grab-and-go prepared food, a wide assortment of beverages, grocery items and other essential items for the busy consumer. The



Holiday Stationstore will also sell fresh salads, fresh sandwiches and ready to heat & eat sandwiches, delivered five days per week from Holiday's 44,000 square foot USDA-inspected commissary in Brooklyn Center, Minnesota, and fresh bakery items made daily at the Lunds/Byerly's bakery in Eden Prairie, Minnesota and delivered seven days per week. The Holiday Stationstore will also offer other conveniences, such as RedBox movie rental services, a US Bank ATM, fishing and hunting licenses, free air, and lotto/lottery tickets.

The Holiday store will offer exceptional value to customers through Holiday's innovative programs. Customers will enjoy Holiday's "Smart Value" program, offering value-priced deals such as discounts for the purchase of multiple products. Customers will be able to take advantage of Holiday's alliance programs, including its food-fuel alliance with all Cub Food grocery stores in the Twin Cities, which saves customers money when they buy gas at Holiday Stationstores based on purchases made at Cub Foods grocery stores. Customers will also be able to use Holiday's proprietary Smart Savings credit card, which allows customers to save \$0.04 per gallon of gasoline and 5% on in-store purchases.

Holiday is known for its excellent customer service and knowledgeable, courteous and helpful employees. As in all of its stores, Holiday will strive to hire and train its employees at the Ham Lake store to deliver results that exceed customer expectations every time. Holiday has standard procedures, guidelines and trainings to help employees understand and achieve Holiday's strict codes for behavior and in-store responsibilities. Understanding that motivated employees provide consistently excellent service, Holiday also provides opportunities for career growth and performance recognition. It has a "Pinnacle Club", recognizing management at its highest performing stores, and strives to promote from within - many of Holiday's corporate executive team members started their careers as store-level employees.

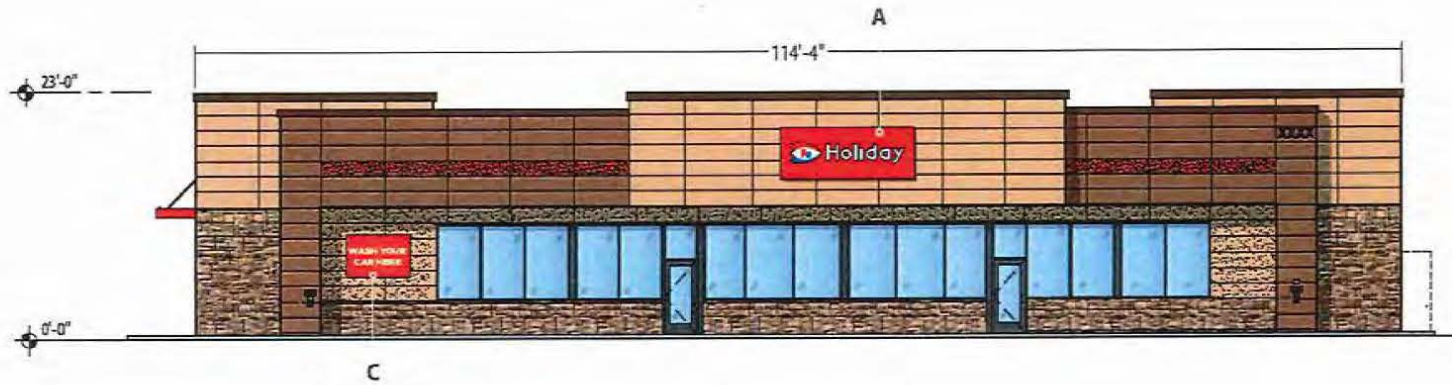
#### ***4. Timetable for Construction***

Holiday is anticipating starting construction upon receiving our permits, hopefully by the end of September.

Holiday's general contractor for construction of the site will be Shingobee Builders.



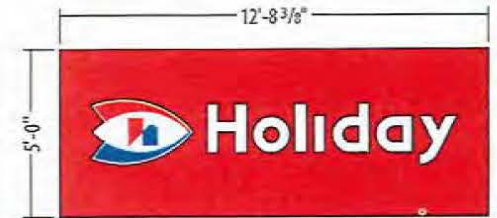
PROPOSED



**LEVEL A**  
NEW CONSTRUCTION

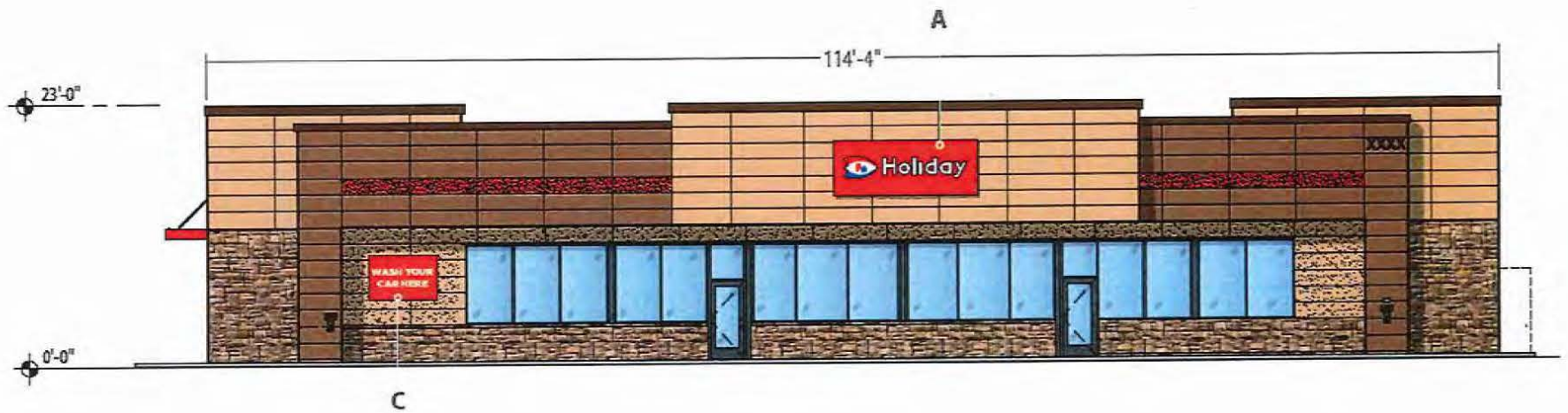
	HEIGHT	FRONT	SIDES
BUILDING INFO	23'-0"	114'-0"	77'-4"
FASCIA INFO	N/A	N/A	N/A

	SIGN DESCRIPTION	QTY	SIZE	AREA
A	Illuminated Holiday Shop Sign	1	5'-0" x 12'-8 3/8"	60 SF
B	Illuminated Holiday Totem Sign	1	5'-0" x 5'-0"	25 SF
C	Non-Illum. Car Wash panel	1	4'-0" x 6'-0"	24.0 SF
D	Illuminated Holiday Shop Sign	1	3'-0" x 7'-7 3/8"	22.8 SF



C

A

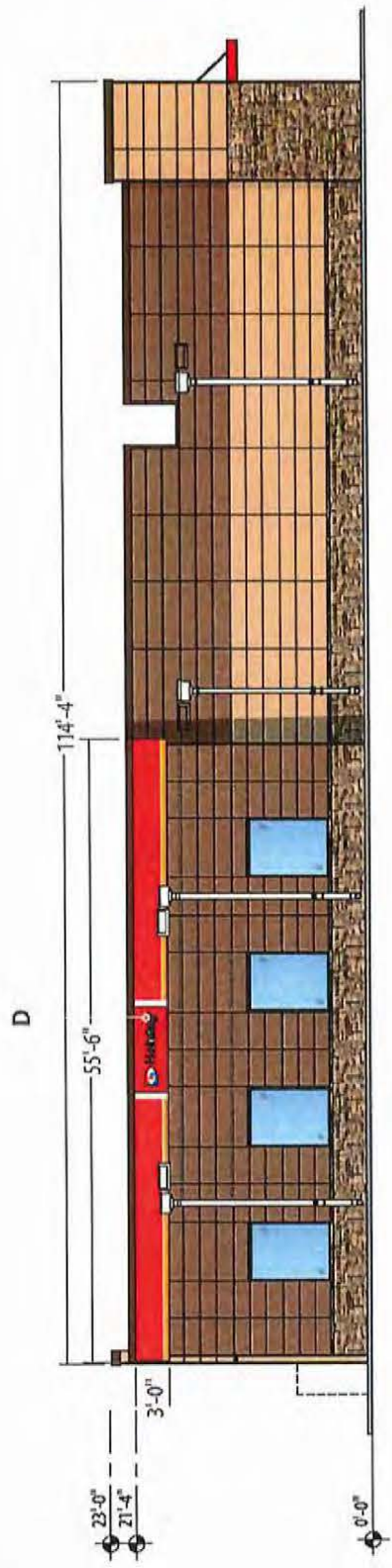


PROPOSED



CIRCLE K | 0000 | HAM LAKE, MN | STOREFRONT PROPOSAL

PROPOSED





**Buenos Dias!**  
Woke up? Eat it up!  
Woke up? Eat it up!

**QUICK BITES**  
for a GREAT price!  
\$2.99

WELCOME TO THE **Holiday**

ENERGY

POP

WATER

SPORTS DRINKS

BEER

SOFT DRINKS

PIZZA

CREAM

**DONUTS**

**Grab & Go**

## Memorandum

Date: August 18, 2021  
To: Planning Commissioners  
From: Tom Collins, City Engineer *TPC*  
Subject: Circle K / Holiday Station Store

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**Introduction:**

The proposed 7,108 square foot building, that includes the 1,458 square foot car wash, is located on the 6.52-acre Commercial Development Tier 1 (CD-1) Lot 1, Block 1 of the plat of Holiday Store Ham Lake.

**Discussion:**

The Cover Sheet and Project Information, Traffic Control Plan, Signage and Striping Plan, Chisholm Street Plan and Profile, Demo Plan, Site Dimension Plan, Site Keynote Plan, Site Circulation Plan, Grade Plan, Storm Sewer Plan, Storm Sewer Notes and Details, Utility Plan, Utility Notes, Site Details, Erosion Control Plan, Erosion Control Notes, Erosion Control Details, Landscape Plan, Onsite Wastewater System Plans, Fuel Canopy Elevations, Exterior Elevations and Stormwater Management Calculations that were received August 17<sup>th</sup> address the majority of the prior review comments. The remaining items are included in the attached August 16<sup>th</sup> review letter. In addition, the Project Data information on Erosion Control Plan sheet SWP1 needs to be updated with the dates, areas and runoff coefficients.

Lot 1 is to be improved in two phases, per the Demo Plan. The first phase will be the removal of all improvements associated with the former VFW at 17438 Baltimore Street and construction of the new Circle K / Holiday Station Store. The second phase will be the removal of the existing Holiday Station Store and adjacent pavement.

The DNR has approved the Plans that avoid the four threatened or special concern species black huckleberry (*Gaylussacia baccata*), swamp blackberry (*Rubus semisetosus*), a bristle-berry species (*Rubus stipulatus*) and St. Lawrence grapefern (*Sceptridium rugulosum*) documented in the attached Rare Plant Survey Report, Wetland Plant Preservation and Revised Site Plan.

The Circle K / Holiday Station Store Plans were approved by the Coon Creek Watershed District (CCWD) Board of Managers at their August 9<sup>th</sup> meeting. The August 10<sup>th</sup> Notice of Permit Application Status is attached. An Operations and Maintenance Agreement for Stormwater Facilities needs to be executed between Circle K / Holiday Station Store and the CCWD for on-site stormwater treatment. Grading cannot commence until the CCWD issues a permit.

The Anoka County Transportation Division approval letter, dated May 3<sup>rd</sup>, is attached. A right-of-way permit will need to be obtained prior to construction.

MPCA approval of the existing fuel tank removal needs to be provided to the Building Official. A separate sign permit will need to be obtained from the Building Department. A Construction Stormwater Permit will need to be obtained from the Minnesota Pollution Control Agency.

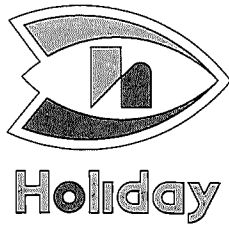
**Recommendation:**

It is recommended that the Circle K / Holiday Station Store plans be recommended for approval, contingent on revised plans and calculations that address the remaining items.









# HOLIDAY

STORE # 0223

1442 CROSTOWN BLVD. NE  
HAM LAKE, MN 55304



## SHEET INDEX

SHEET NO.	SHEET TITLE	DATE						
		10/20/20	11/10/20	11/17/20	11/18/20	11/19/20	11/20/20	11/23/20
GENERAL								
010	COVER SHEET AND PROJECT INFORMATION							
011	TRAFFIC CONTROL PLAN							
012	STORMING PLAN							
013	DEVELOPMENT STREET PLAN AND PROFILE							
014	ROAD PLAN							
015	SITE DESIGN PLAN							
016	SITE SERVICE PLAN							
017	SITE CIRCULATION PLAN							
018	GRADE PLAN							
019	GRADE PLAN							
020	STORM SEWER PLAN							
021	STORM SEWER NOTES AND DETAILS							
022	UTILITY PLAN							
023	UTILITY NOTES							
024	SITE DETAILS							
025	SITE DETAILS							
026	EROSION CONTROL PLAN							
027	EROSION CONTROL NOTES							
028	EROSION CONTROL DETAILS							
029	LANDSCAPE PLAN							
030	LANDSCAPE PLAN							
031	WASTEWATER TIE SHEET							
032	SITE PLAN & SITES INFORMATION							
033	NEW DIGEST WASTEWATER SYSTEM							
034	SHORT WASTEWATER SYSTEM CHANGING PLAN							
035	WATER LAYOUT AND PUMPING PLAN							
036	WASTEWATER PROCESS FLOW DIAGRAM							
037	HYDRAULIC CHAIN LINE							
038	SEWING / PUMP LINE							
039	MANHOLE / DOORING TANK							
040	CLUMPER / REGULATION TANK							
041	MANHOLE DETAILS							
042	MANHOLE DETAILS							
043	MANHOLE SPECIFICATIONS							
044	CLUMPER PLAN & SEWER SPECIFICATIONS							
045	SEE WORK SHEETS							
046	FUEL CANTY ELEVATIONS							
047	EXTERNAL ELEVATIONS							
048	EXTERNAL ELEVATIONS							

**ARCHITECTURAL CONSORTIUM L.L.C.**  
1600 West Lake Street, Suite 127  
Minneapolis, MN 55408  
www.architecturalconsortium.com

07/25/20	START/END
08/07/20	ISSUE REVIEW
08/18/20	CONTRACT SIGNATURES
10/20/20	CITY SUBMITTALS
12/22/20	CITY SUBMITTALS
02/24/21	CITY SUBMITTALS
03/19/21	CITY SUBMITTALS
03/23/21	WETLAND SET
04/18/21	WETLAND PLANS
05/18/21	MIDRANGE COMMENTS
07/23/21	SITE CHANGES

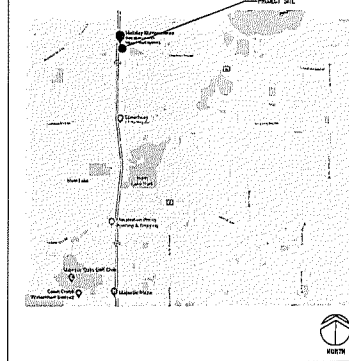
PROFESSIONAL SEAL

## PROJECT TEAM

OWNER	CONSULTANTS	WASTEWATER ENGINEER
HOLIDAY SUBSIDIARIES, LLC 1442 ANDERSON BLVD. WEST MINNEAPOLIS, MN 55417-1123 CONTACT: TRAVIS OSBER (612) 830-8713 (PH/40) (612) 830-1511 (FAX) www.holiday.com	SHANE CHRISTENSEN 10000 WISCONSIN AVENUE SOUTH BLOOMINGTON, MN 55437 (612) 891-2344 CONTACT: BETHANN SCHMIDT (612) 225-4874 www.shanechristensen.com	SO ENGINEERING GROUP, LLC 4701 HIGHWAY 61 NORTH (PH/45) WHITE EARTH LAKE, MN 55117 TEL: 612-256-4122 CONTACT: CHLOE COOPER cooper@so-engineering.com
ARCHITECT	LANDSCAPE ARCHITECT	
ARCHITECTURAL CONSORTIUM, L.L.C. 801 NIXON AND STREET, SUITE 200 MINNEAPOLIS, MN 55401 CONTACT: BRUCE LEFRENDS (612) 836-0720 (612) 836-0886 (FAX) 801nixon@architecturalconsortium.com	SCOTT 2000 WABLER LAKE, SUITE 101 PONDICIA, MN 55447 CONTACT: BOB BECKER (612) 343-8400 (612) 343-8440 (FAX) bob@scottlandscap.com	

PROFESSIONAL IN CHARGE  
PROJECT MANAGER  
QUALITY CONTROL  
DRAWN BY  
PROJECT NAME  
**HOLIDAY  
STATIONSTORE  
#0223**  
**HAM LAKE  
MINNESOTA**

## VICINITY MAP



1442 CROSTOWN BLVD. NE  
HAM LAKE, MN 55304



PROJECT NUMBER  
20-1057-01  
SHEET TITLE  
**COVER SHEET  
AND PROJECT  
INFORMATION**  
SHEET NUMBER  
**G1.0**

RECEIVED AUG 0 3 2021





























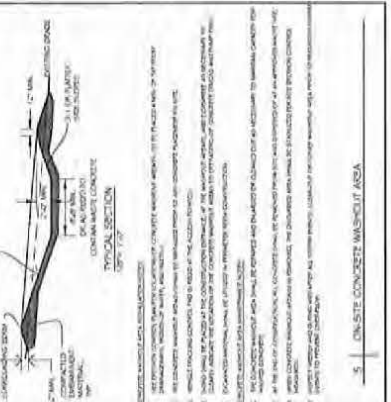
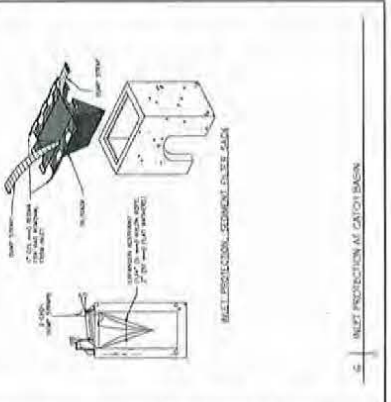
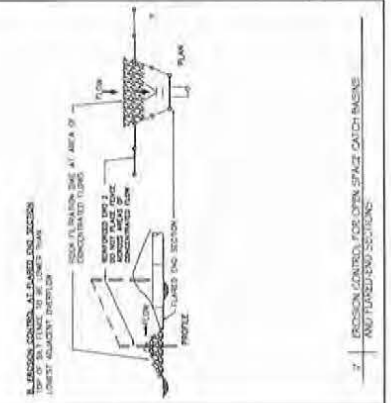
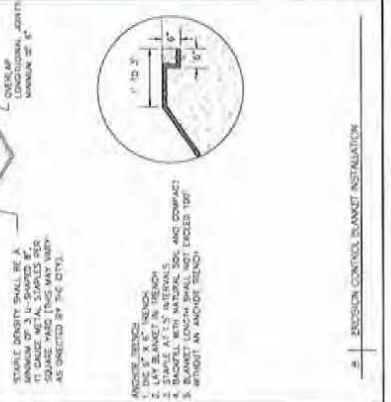
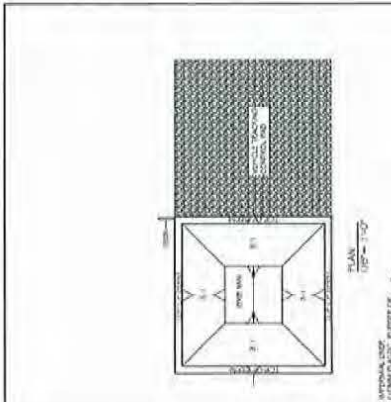
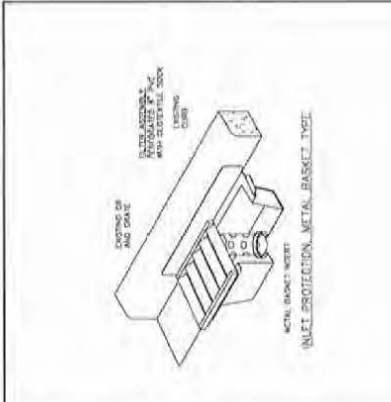
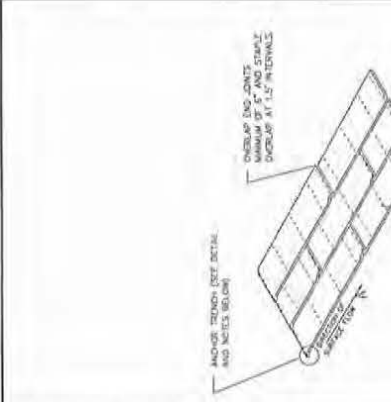
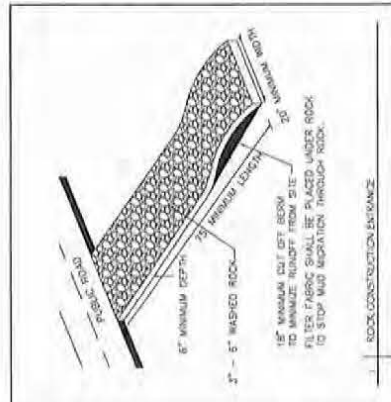
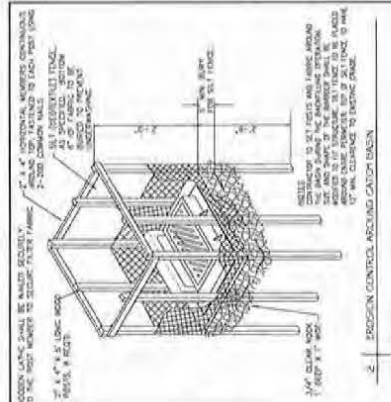
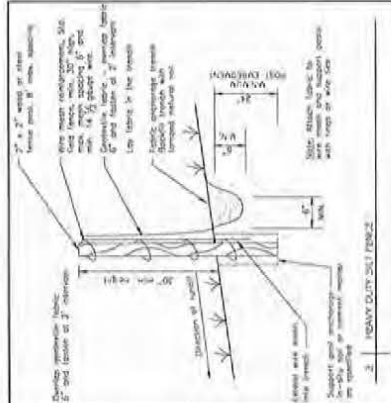












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- 45. 1/2" DIA. ROCK
- 46. 1/4" DIA. ROCK
- 47. 1/2" DIA. ROCK
- 48. 1/4" DIA. ROCK
- 49. 1/2" DIA. ROCK
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- 88. 1/4" DIA. ROCK
- 89. 1/2" DIA. ROCK
- 90. 1/4" DIA. ROCK
- 91. 1/2" DIA. ROCK
- 92. 1/4" DIA. ROCK
- 93. 1/2" DIA. ROCK
- 94. 1/4" DIA. ROCK
- 95. 1/2" DIA. ROCK
- 96. 1/4" DIA. ROCK
- 97. 1/2" DIA. ROCK
- 98. 1/4" DIA. ROCK
- 99. 1/2" DIA. ROCK
- 100. 1/4" DIA. ROCK

PROFESSIONAL SEAL  
 LICENSE NO. 10000  
 DATE 04/15/2014  
 PROJECT MANAGER  
 QUALITY CONTROL  
 DRAWN BY

PROJECT NAME  
**CIRCLE K STORES INC.**  
 HAM LAKE MINNESOTA  
 1442 CROSSTOWN BLVD NE  
 HAM LAKE, MN



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 1442 CROSSTOWN BLVD NE  
 HAM LAKE, MN

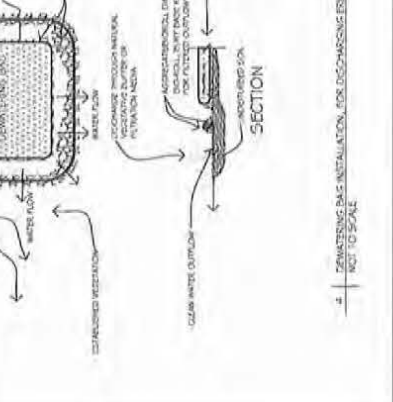
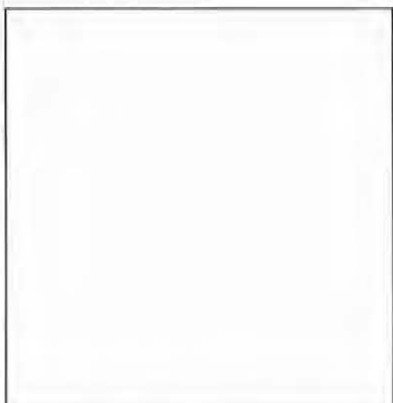
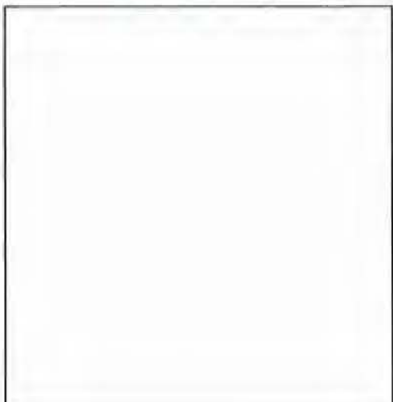
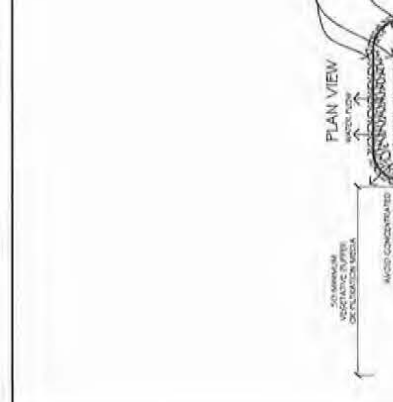
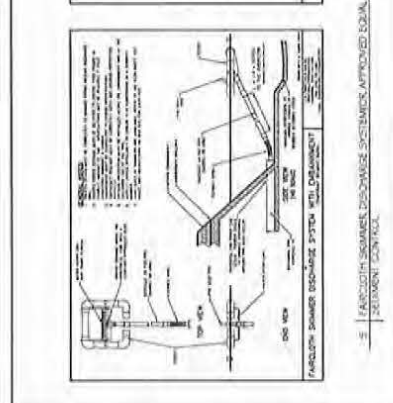
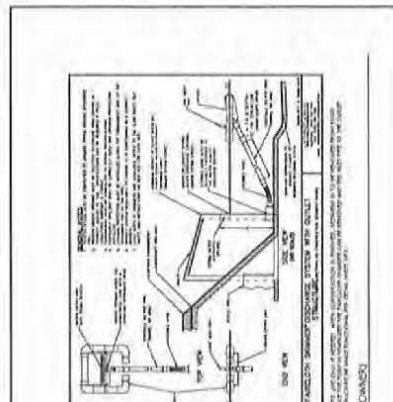
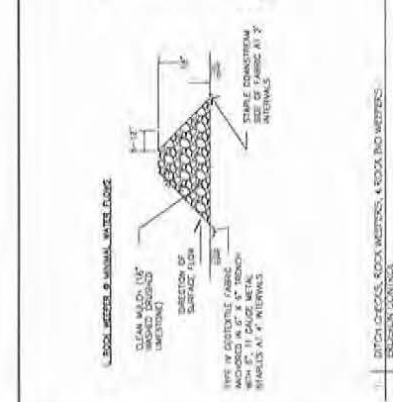
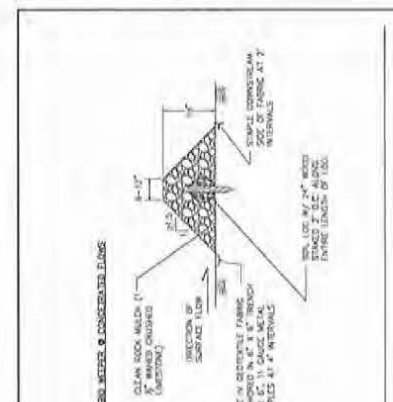
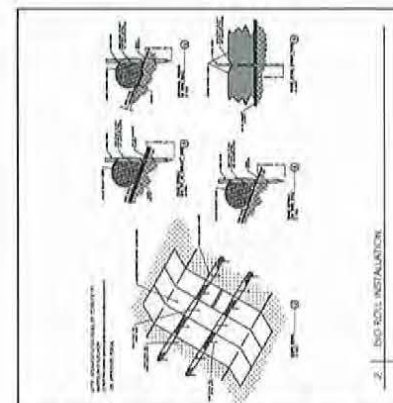
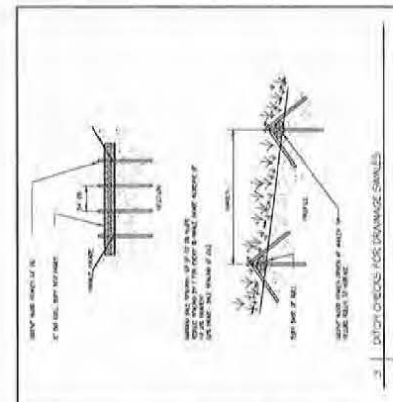
PROJECT NAME  
**CIRCLE K STORES INC.**  
 HAM LAKE MINNESOTA  
 1442 CROSSTOWN BLVD NE  
 HAM LAKE, MN

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PROJECT NAME  
**CIRCLE K STORES INC.**  
 HAM LAKE MINNESOTA  
 1442 CROSSTOWN BLVD NE  
 HAM LAKE, MN



OWNER	CIRCLE K STORES INC.
PROJECT NAME	CIRCLE K STORES INC.
PROJECT ADDRESS	1442 CROSSTOWN BLVD NE HAM LAKE, MN
PROJECT NUMBER	20-018
PROJECT TITLE	LANDSCAPE PLAN
SHEET NUMBER	L1

**PROFESSIONAL SEAL**  
  
 License # 0000  
 State # MN  
 PROFESSIONAL OR CHARGE  
 PROJECT MANAGER  
 QUALITY CONTROL  
 DRAWN BY

DATE: 08/14/2018  
 TIME: 10:00 AM  
 PROJECT MANAGER: [Name]  
 QUALITY CONTROL: [Name]  
 DRAWN BY: [Name]

PROJECT NAME: CIRCLE K STORES INC.  
 PROJECT ADDRESS: 1442 CROSSTOWN BLVD NE, HAM LAKE, MN  
 PROJECT NUMBER: 20-018  
 PROJECT TITLE: LANDSCAPE PLAN

DATE: 08/14/2018  
 TIME: 10:00 AM  
 PROJECT MANAGER: [Name]  
 QUALITY CONTROL: [Name]  
 DRAWN BY: [Name]

PROJECT NAME: CIRCLE K STORES INC.  
 PROJECT ADDRESS: 1442 CROSSTOWN BLVD NE, HAM LAKE, MN  
 PROJECT NUMBER: 20-018  
 PROJECT TITLE: LANDSCAPE PLAN

DATE: 08/14/2018  
 TIME: 10:00 AM  
 PROJECT MANAGER: [Name]  
 QUALITY CONTROL: [Name]  
 DRAWN BY: [Name]

PROJECT NAME: CIRCLE K STORES INC.  
 PROJECT ADDRESS: 1442 CROSSTOWN BLVD NE, HAM LAKE, MN  
 PROJECT NUMBER: 20-018  
 PROJECT TITLE: LANDSCAPE PLAN

DATE: 08/14/2018  
 TIME: 10:00 AM  
 PROJECT MANAGER: [Name]  
 QUALITY CONTROL: [Name]  
 DRAWN BY: [Name]

PROJECT NAME: CIRCLE K STORES INC.  
 PROJECT ADDRESS: 1442 CROSSTOWN BLVD NE, HAM LAKE, MN  
 PROJECT NUMBER: 20-018  
 PROJECT TITLE: LANDSCAPE PLAN

DATE: 08/14/2018  
 TIME: 10:00 AM  
 PROJECT MANAGER: [Name]  
 QUALITY CONTROL: [Name]  
 DRAWN BY: [Name]

PROJECT NAME: CIRCLE K STORES INC.  
 PROJECT ADDRESS: 1442 CROSSTOWN BLVD NE, HAM LAKE, MN  
 PROJECT NUMBER: 20-018  
 PROJECT TITLE: LANDSCAPE PLAN

DATE: 08/14/2018  
 TIME: 10:00 AM  
 PROJECT MANAGER: [Name]  
 QUALITY CONTROL: [Name]  
 DRAWN BY: [Name]

PROJECT NAME: CIRCLE K STORES INC.  
 PROJECT ADDRESS: 1442 CROSSTOWN BLVD NE, HAM LAKE, MN  
 PROJECT NUMBER: 20-018  
 PROJECT TITLE: LANDSCAPE PLAN

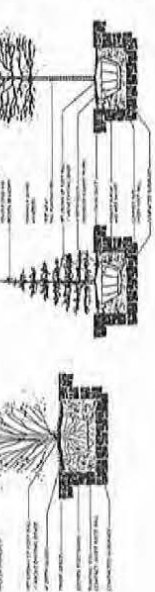
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 TIME: 10:00 AM  
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 QUALITY CONTROL: [Name]  
 DRAWN BY: [Name]



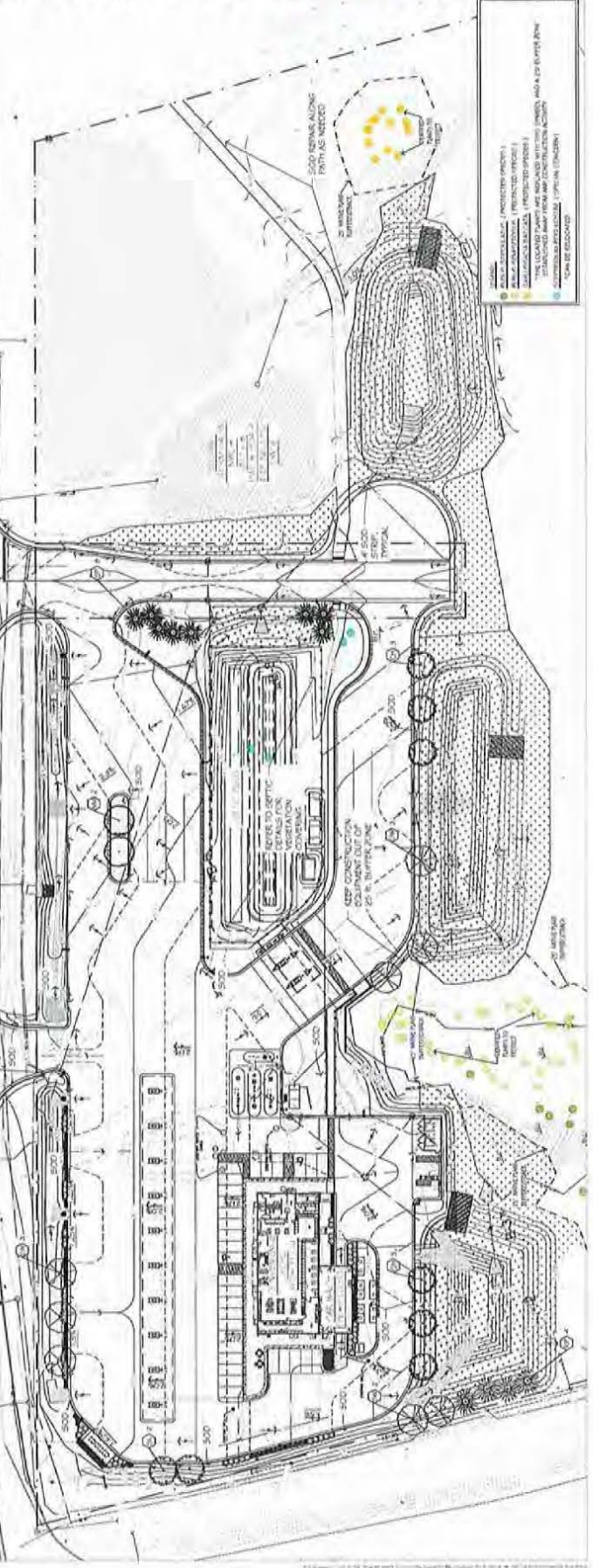
811 logo with text: Know what's below. Call before you dig.

CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SYMBOL	DESCRIPTION	QUANTITY	UNIT	DATE	BY
1	PLANT MATERIAL	100	EA	08/14/2018	[Name]
2	PLANT MATERIAL	200	EA	08/14/2018	[Name]
3	PLANT MATERIAL	300	EA	08/14/2018	[Name]
4	PLANT MATERIAL	400	EA	08/14/2018	[Name]
5	PLANT MATERIAL	500	EA	08/14/2018	[Name]
6	PLANT MATERIAL	600	EA	08/14/2018	[Name]
7	PLANT MATERIAL	700	EA	08/14/2018	[Name]
8	PLANT MATERIAL	800	EA	08/14/2018	[Name]
9	PLANT MATERIAL	900	EA	08/14/2018	[Name]
10	PLANT MATERIAL	1000	EA	08/14/2018	[Name]



NOTES:  
 1. ALL PLANT MATERIAL SHALL BE SUPPLIED BY THE CONTRACTOR AND SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.  
 2. ALL PLANT MATERIAL SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.  
 3. ALL PLANT MATERIAL SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.  
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 10. ALL PLANT MATERIAL SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.



# HOLIDAY STORE ONSITE WASTEWATER SYSTEM HAM LAKE, MINNESOTA

ISSUED FOR REVIEW  
JULY 2021



NOTE:  
THIS SYSTEM MUST BE CONSTRUCTED BY A CERTIFIED / LICENSED  
SEWAGE TREATMENT SYSTEM INSTALLER HOLDING A CURRENT  
LICENSE WITH THE MINNESOTA POLLUTION CONTROL AGENCY.



SHEET INDEX

- C1 SITE PLAN & SOILS INFORMATION
- C1A NEW ONSITE WASTEWATER SYSTEM
- C1B ONSITE WASTEWATER SYSTEM GRADING PLAN
- C1C TANK LAYOUT AND PIPING PLAN
- C2 WASTEWATER PROCESS FLOW DIAGRAM
- C2A HYDRAULIC GRADE LINE
- C3 SEPTIC / PUMP TANK
- C4 AERATION / DOSING TANK
- C5 CLARIFIER / RECIRCULATION TANK
- C6 AX100 DETAILS
- C7 MOUND DETAILS
- C8 MOUND SPECIFICATIONS
- C9 CONTROL PANEL & MOTOR SPECIFICATIONS
- C10 SITE WORK DETAILS

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PURPOSE OTHER THAN THAT AUTHORIZED IS FORGOTTEN.

SEAL

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY  
ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Bryan DeSmet*  
SIGNATURE

DATE: 7/23/2021 LIC. NO.: 21784

ISTS CERTIFICATION

I HEREBY CERTIFY THAT I HAVE COMPLETED THIS WORK IN ACCORDANCE  
WITH ALL APPLICABLE ORDINANCES, RULES AND LAWS

*Carla S. Cross*  
SIGNATURE CARLA S. CROSS  
DATE: 7/23/2021 LICENSE NO: 6386

CERTIFICATE OF COMMERCIAL PRACTICE #12322PE

C:\Users\Carla\OneDrive\Documents\1234 Holiday Store - Ham Lake\CD\1234.dwg

SD CONSULTING  
CAMBRIE, AL  
WHITE BEAR LAKE, MN  
TEL: (612) 355-9133  
TEL: (612) 355-7388



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**TEST BORING B1**

DEPTH (ft)	MATRIX COLOR(S)	MOTTLE COLOR(S)	TEXTURE	CONSISTENCY
0 - 8	10YR 3/2		FI SA LO	M FF
8 - 12	10YR 6/4	7.5YR 6/5	SA LO	M FF
12 - 18	10YR 6/4	7.5YR 5/6, 10YR 6/1	SA CL	M FF

COMMENTS: REDOX DETECTED AT 8' BGS. MASSIVE, PROMINENT REDOX DETECTED AT 12' BGS.

**TEST BORING B2**

DEPTH (ft)	MATRIX COLOR(S)	MOTTLE COLOR(S)	TEXTURE	CONSISTENCY
0 - 8	10YR 3/1		FI SA LO	M FF
8 - 14	10YR 6/4	7.5YR 6/5	LO FI SA	M L
14 - 20	10YR 6/4	7.5YR 5/6	FI SA LO	M V FF
20 - 23	10YR 6/4	7.5YR 5/6, 10YR 6/1	SA CL	M FF

COMMENTS: REDOX DETECTED AT 8' BGS. MASSIVE, PROMINENT REDOX DETECTED AT 20' BGS.

**TEST BORING B3**

DEPTH (ft)	MATRIX COLOR(S)	MOTTLE COLOR(S)	TEXTURE	CONSISTENCY
0 - 7	10YR 3/2		FI SA LO	M FF
8 - 13	10YR 3/4	7.5YR 6/5	LO FI SA	M L
13 - 18	10YR 3/1, 2/2	7.5YR 5/6	FI SA LO	M V FF
18 - 21	10YR 6/1, 4/4	7.5YR 5/6, 10YR 6/1	SA CL	M FF

COMMENTS: REDOX DETECTED AT 7' BGS. MASSIVE, PROMINENT REDOX DETECTED AT 18' BGS.

**TEST BORING B4**

DEPTH (ft)	MATRIX COLOR(S)	MOTTLE COLOR(S)	TEXTURE	CONSISTENCY
0 - 6	10YR 3/2		FI SA LO	M V FF
6 - 13	10YR 3/2, 4/4		FI SA, LO	M V FF
13 - 46	10YR 5/2, 2/2		LO FI SA	M V FF
46 - 50	10YR 5/2, 4/4		FI SA LO	M V FF

COMMENTS: REDOX DETECTED AT 19' BGS. MASSIVE, PROMINENT REDOX DETECTED AT 42' BGS.

**TEST BORING B5**

DEPTH (ft)	MATRIX COLOR(S)	MOTTLE COLOR(S)	TEXTURE	CONSISTENCY
0 - 10	10YR 3/3		FI SA LO	M V FF
10 - 22	10YR 5/2, 4/4		LO FI SA	M V FF

COMMENTS: REDOX DETECTED AT 10' BGS. COMMON, DISTINCT REDOX DETECTED AT 12' BGS.

**TEST BORING B6**

DEPTH (ft)	MATRIX COLOR(S)	MOTTLE COLOR(S)	TEXTURE	CONSISTENCY
0 - 10	10YR 3/3		FI SA LO	M V FF
10 - 15	10YR 5/2, 4/4		LO FI SA	M V FF

COMMENTS: COMMON REDOX DETECTED AT 10' BGS.

**TEST BORING B7**

DEPTH (ft)	MATRIX COLOR(S)	MOTTLE COLOR(S)	TEXTURE	CONSISTENCY
0 - 11	10YR 3/2		FI SA LO	M V FF
11 - 26	10YR 5/2, 4/4		LO FI SA	M V FF

COMMENTS: FEW, DISTINCT REDOX DETECTED AT 14' BGS. COMMON REDOX AT 22' BGS.

**TEST BORING B8**

DEPTH (ft)	MATRIX COLOR(S)	MOTTLE COLOR(S)	TEXTURE	CONSISTENCY
0 - 14	10YR 3/2		FI SA LO	M V FF
14 - 26	10YR 4/4	10YR 3/3	LO FI SA	M V FF

COMMENTS: FEW, DISTINCT REDOX DETECTED AT 11' BGS. MASSIVE REDOX AT 24' BGS (10YR 6/2, 7.5YR 5/6)

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P:\WORK\_20 JULY 2021 BY CHM\DWG

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REV	DATE	DESCRIPTION
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1	3/25/21	ISSUED FOR PERMIT
0	7/28/20	ISSUED FOR REVIEW

CONSULTANTS

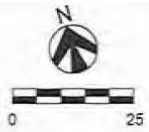
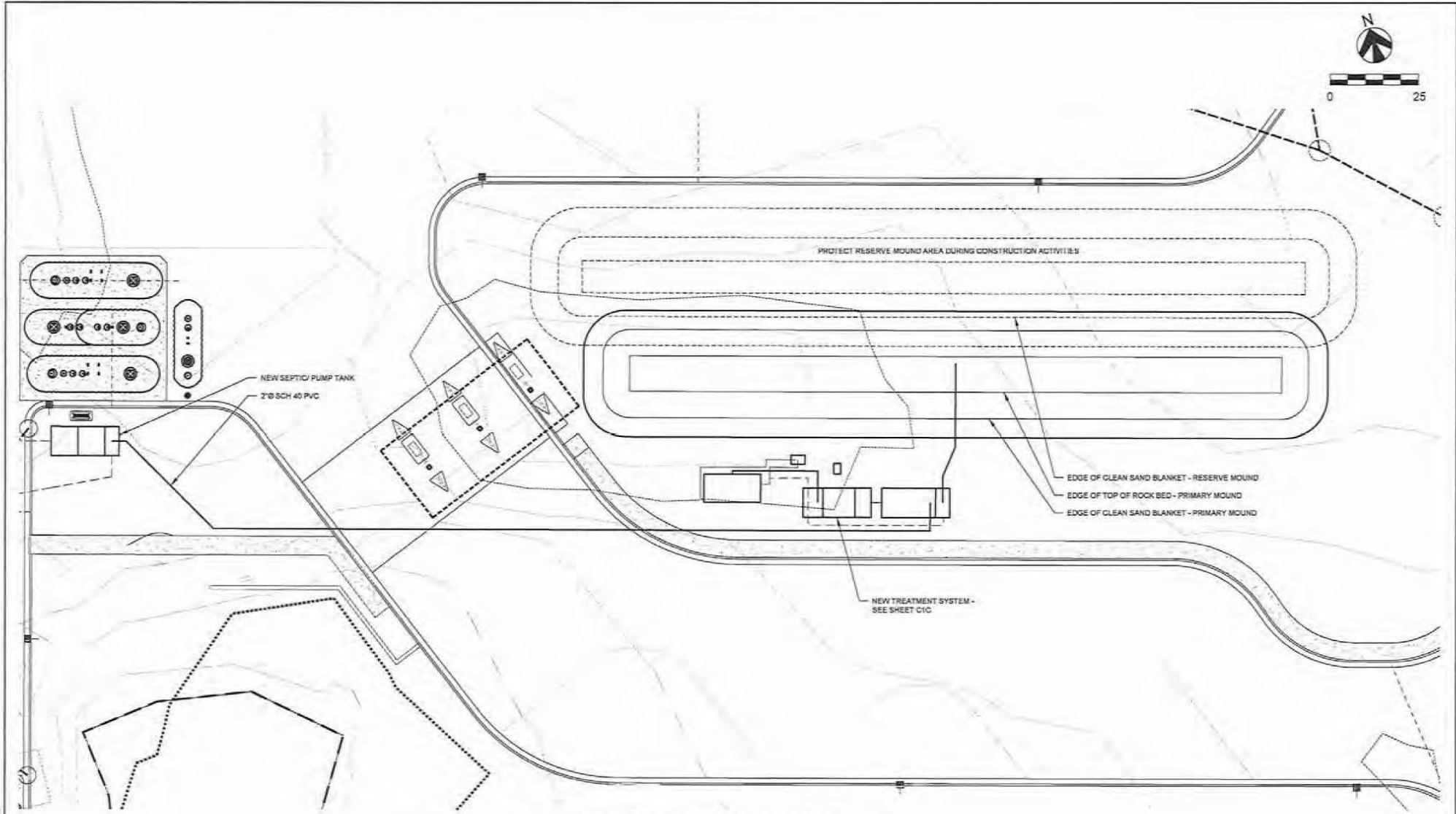
SD CONSULTING  
 CANNON, AB  
 WHITE BEAR LAKE, MN  
 TEL: (612) 256-9123  
 TEL: (612) 256-7366

HOLIDAY STATION STORE  
 HAM LAKE, MN

SITE PLAN &  
 SOILS INFORMATION

C1  
 E01\_1254\_NEW.dwg





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REV	DATE	DESCRIPTION
2	7/23/21	ISSUED FOR REVIEW
1	3/25/21	ISSUED FOR PERMIT
0	7/29/20	ISSUED FOR REVIEW

CONSULTANTS



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 CANMORE, AB  
 WHITE BEAR LAKE, MN  
 TEL: 613.359.9124  
 TEL: 613.359.7398

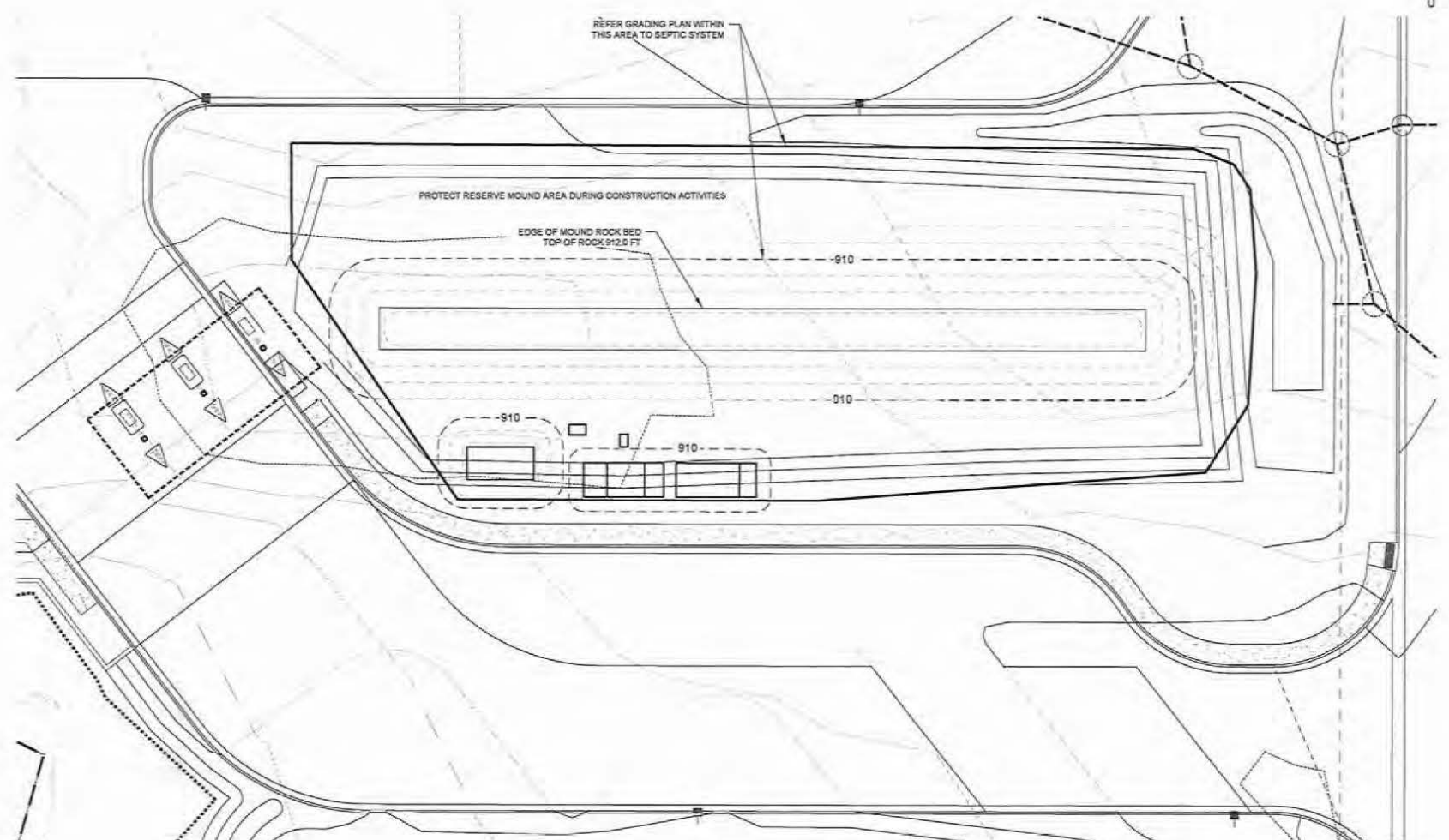
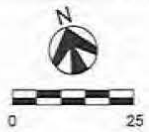
HOLIDAY STATION STORE  
 HAM LAKE, MN

NEW ONSITE  
 WASTEWATER SYSTEM

C1A

C01\_1254\_NEW.dwg

PLOT DATE: 25 JUL 2021 11:58 AM



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P:\1254 - 25 July 2021 by Carl Crank

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REV	DATE	DESCRIPTION
2	7/23/21	ISSUED FOR REVIEW
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0	7/29/20	ISSUED FOR REVIEW

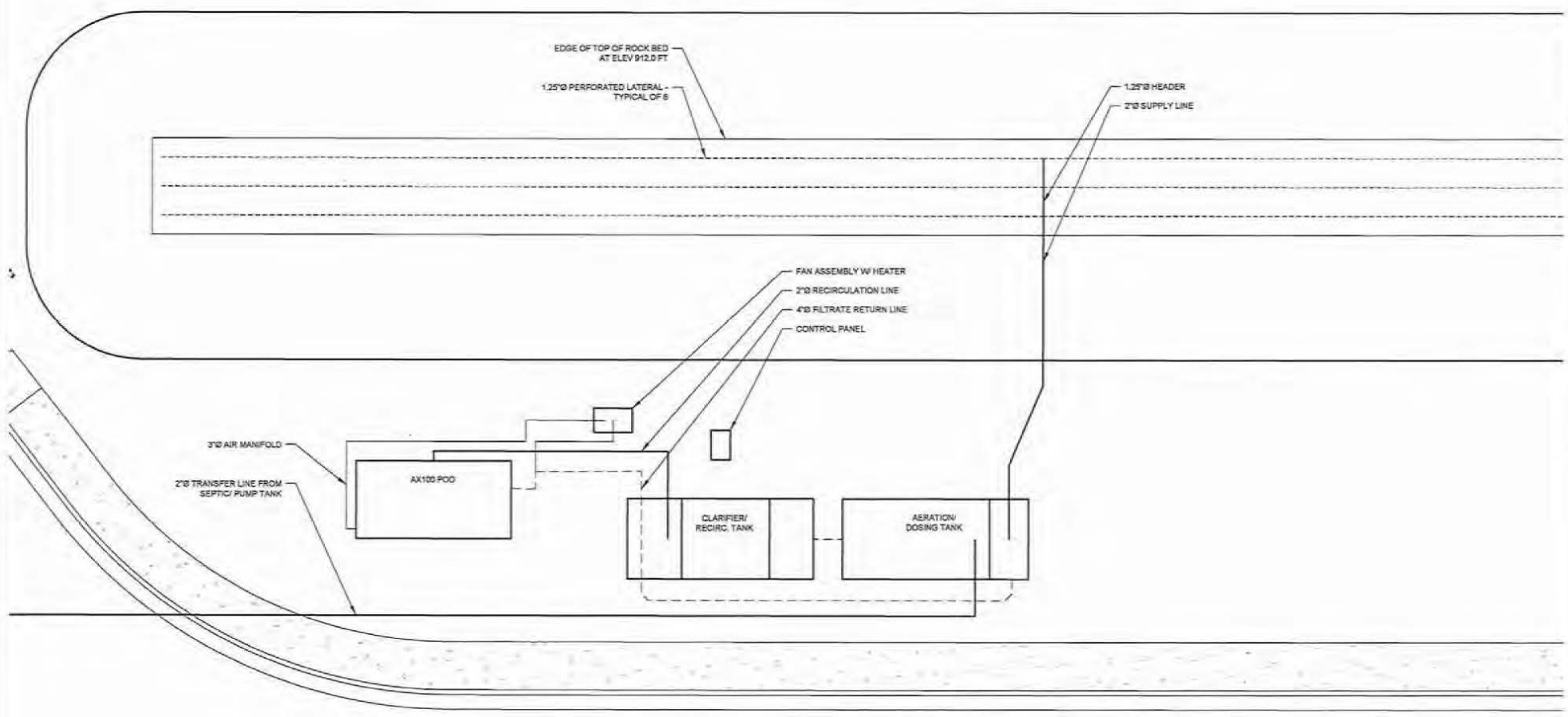
CONSULTANTS	

SD CONSULTING  
 CANMORE, AB  
 WHITE BEAR LAKE, MN  
 TEL: 812-359-6131  
 TEL: 812-359-7366

**HOLIDAY STORE  
 HAM LAKE, MN**

**ONSITE WASTEWATER  
 SYSTEM GRADING PLAN**

**C1B**



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Plot Date: 26 July 2021 By: Gabe Clark

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REV	DATE	DESCRIPTION
2	7/23/21	ISSUED FOR REVIEW
1	3/25/21	ISSUED FOR PERMIT
0	7/29/20	ISSUED FOR REVIEW

REV	DATE	DESCRIPTION

CONSULTANTS

SD CONSULTING  
 CANADIA, AB  
 WHITE BEAR LAKE, MN  
 TEL: 952-204-9128  
 TEL: 952-309-7288

HOLIDAY STATION STORE  
 HAM LAKE, MN

TANK LAYOUT  
 AND PIPING PLAN

C1C

CG1\_1254\_NEW.dwg

**OPERATING PARAMETERS:**

1. DESIGN FLOW:	2,200 GPD
2. RAW WASTEWATER STRENGTH:	
BIOCHEMICAL OXYGEN DEMAND (BOD5)	500 mg/L
TOTAL SUSPENDED SOLIDS (TSS)	600 mg/L
3. SEPTIC TANK EFFLUENT:	
BOD5	500 mg/L
TSS	320 mg/L
4. POST AERATION/ SETTLING EFFLUENT:	
BOD5	280 mg/L
TSS	160 mg/L
5. DISCHARGE TREATMENT LEVELS:	
BOD5	25 mg/L
TSS	25 mg/L

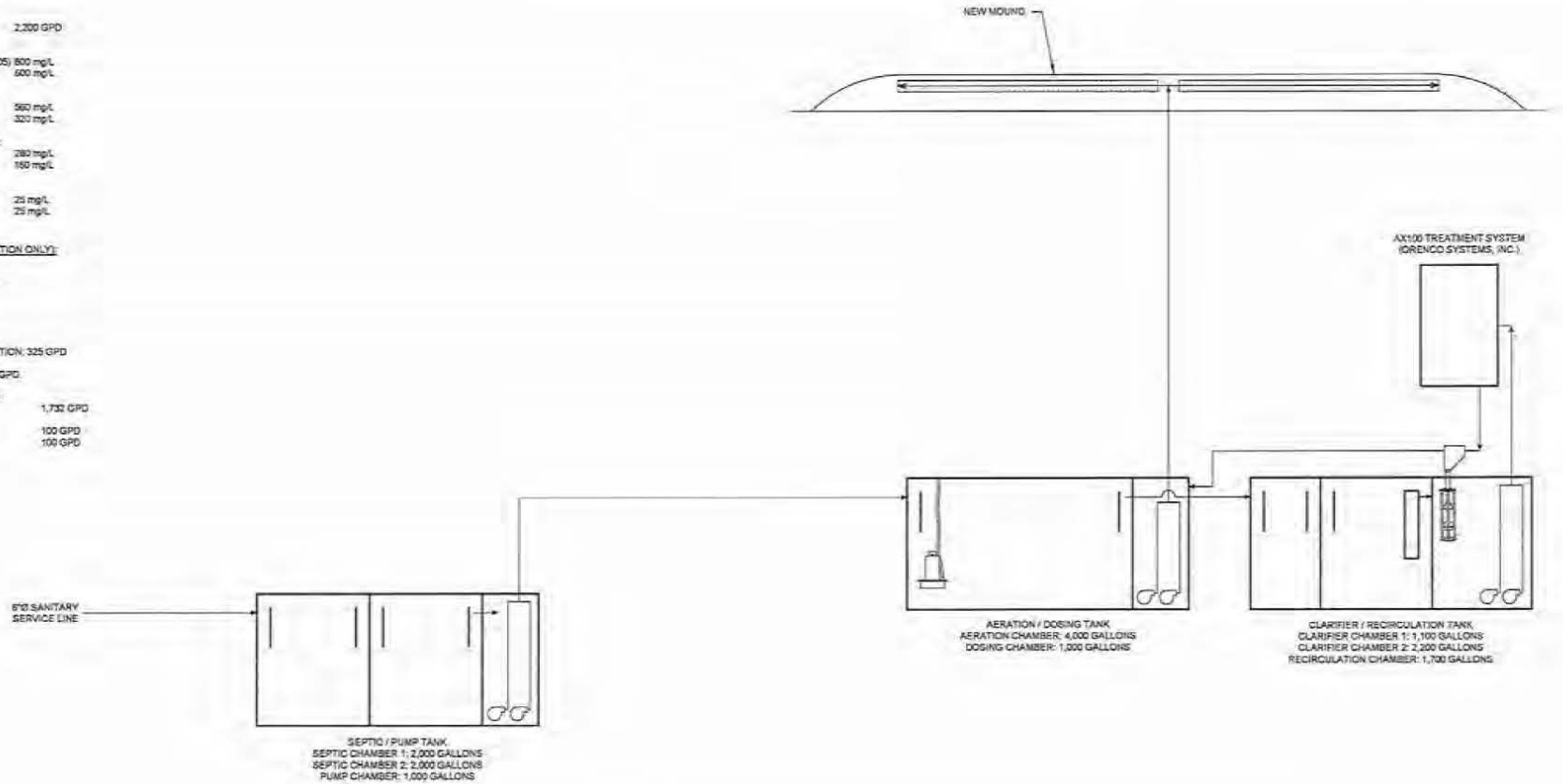
**DESIGN FLOW BREAKDOWN (FOR INFORMATION ONLY):**

24-HOUR GAS STATION  
 NO ATTACHED RESTAURANT OR KITCHEN  
 PRE-PACKAGED FOODS ONLY  
 NO CAR WASH FLOWS  
 CUSTOMER COUNT UNKNOWN

FLORIDA CHAPTER 64E-6  
 FLOW/ WATER CLOSET/ 24-HOUR STATION: 325 GPD  
 MINNESOTA RULES 708:  
 FLOW/ EMPLOYEE/ 8-HOUR SHIFT: 18 GPD

4 WATER CLOSETS X 325 = 1,300 GPD  
 24 EMPLOYEES X 18 = 432 GPD

IRON FILTER DISCHARGE: 100 GPD  
 WATER SOFTENER DISCHARGE: 100 GPD



**DISCLAIMERS:**

1. THIS PLAN SET IS BASED UPON THE EXPECTED FLOWS AND LOADS LISTED ABOVE FOR THE PURPOSE OF SERVING THE NEW HOLIDAY STORE IN HAM LAKE, MN.
2. ONCE THE FACILITY IS PLACED INTO OPERATION, THE INCOMING FLOWS AND WASTE STRENGTHS SHALL BE MONITORED. IF THE FLOW OR INFLUENT WASTEWATER STRENGTH EXCEED THOSE LISTED IN THE DESIGN ABOVE, MEASURES SHOULD BE TAKEN TO REDUCE THESE PARAMETERS OR ADDITIONAL TREATMENT CAPACITY AND PLANT EXPANSION WILL BE NECESSARY.
3. DO NOT DISPOSE OF TOXICS OR CHEMICALS INTO SYSTEM. (EXAMPLES: RESTAURANT DEGREASERS & CLEANSERS, CARPET SHAMPOO, WAX STRIPPER FOR LIMOLEUM)
4. WATER SOFTENER BRINE DISCHARGE IS PROHIBITED FROM BEING DISCHARGED INTO THE ADVANCED WASTEWATER SYSTEM. FAILURE TO ADHERE TO THIS POLICY WILL VOID THE WARRANTY BY ORENCO SYSTEMS INC. THE DISCHARGE FROM THE WATER SOFTENER SHALL BE DIVERTED AROUND THE TREATMENT SYSTEM AND SENT TO THE DOSING CHAMBER.

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Rev Date: 22 July 2021 by CAD/EWA

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0	7/29/20	ISSUED FOR REVIEW

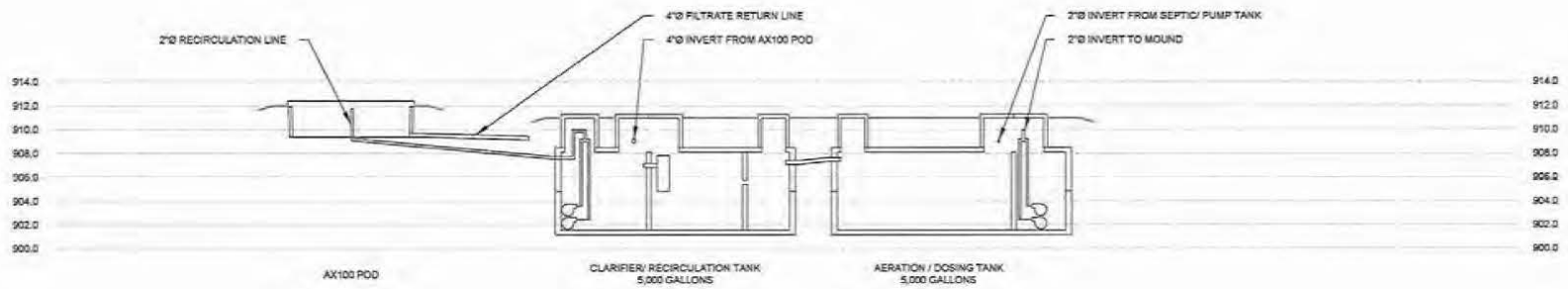
CONSULTANTS

SD CONSULTING  
 CANNOON, MN  
 WHITE BEAR LAKE, MN  
 TEL: 612-359-9128  
 TEL: 612-359-7388

HOLIDAY STORE  
 HAM LAKE, MN

WASTEWATER PROCESS  
 FLOW DIAGRAM

C2



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Plot Date: 28 July 2021 by: C:\Users\...

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CONSULTANTS

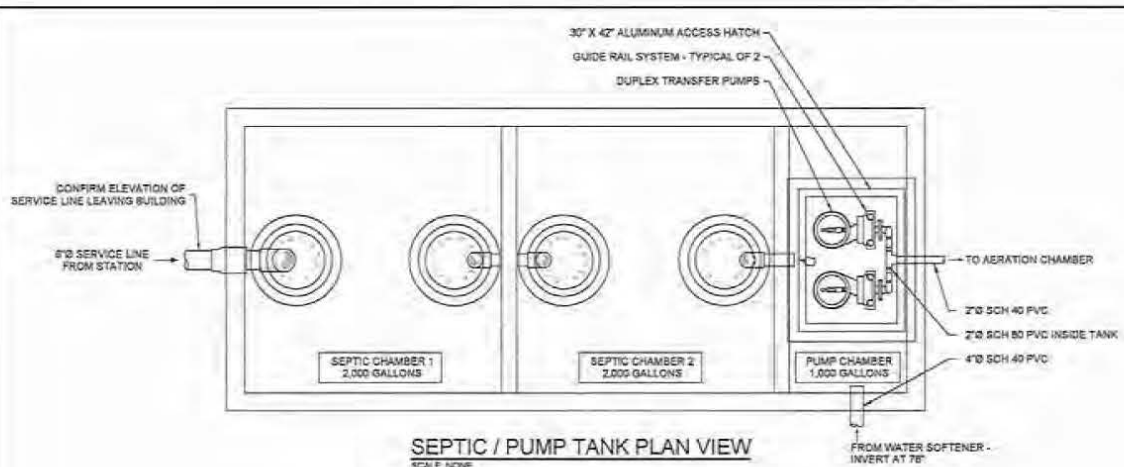
SD CONSULTING  
 CANMORE, AB  
 WHITE BEAR LAKE, MN  
 TEL: 412.255.9128  
 TEL: 412.255.7388

HOLIDAY STATION STORE  
 HAM LAKE, MN

HYDRAULIC GRADE LINE

C2A

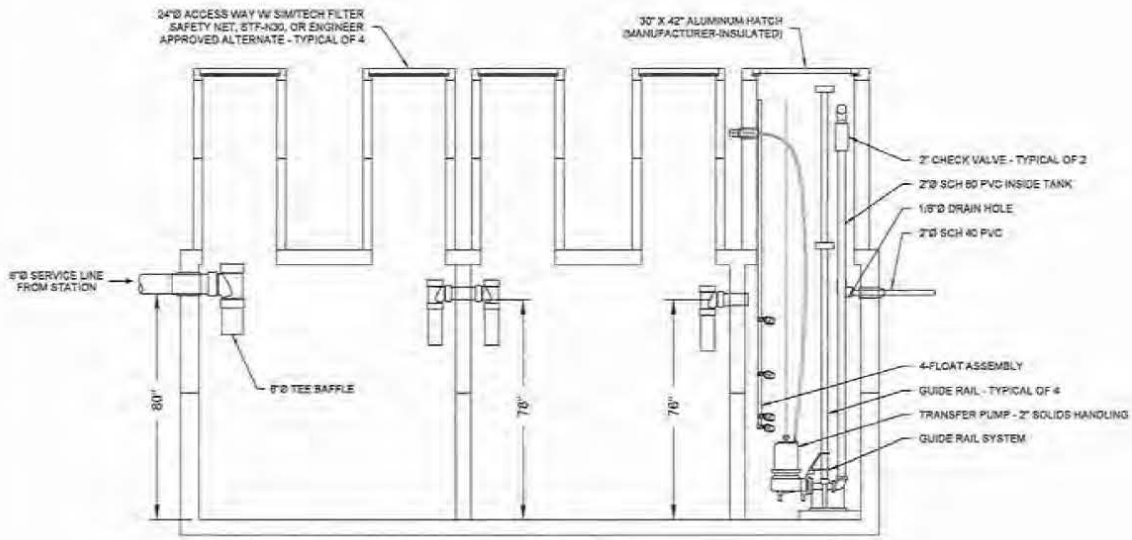
002\_1254.dwg



SEPTIC / PUMP TANK PLAN VIEW  
SCALE: NONE

**TANK SPECIFICATIONS:**

1. THE SEPTIC / PUMP TANK SHALL BE THE 5,000 GALLON MODEL MANUFACTURED BY CREST PRECAST, INC., WIESER CONCRETE PRODUCTS, OR ENGINEER APPROVED ALTERNATE. TANK DIMENSIONS SHOWN ON SHEET C3 ARE FOR THE CREST PRECAST MODEL. INSTALL TANK PER MANUFACTURER SPECIFICATIONS. PROVIDE A MINIMUM 12" LEVELING BASE OF 3/4" MINUS GRANULAR BACKFILL. TANK MUST MEET ASTM C1222 SPECIFICATIONS. THE WORKING VOLUME FOR EACH SEPTIC CHAMBER MUST BE AT LEAST 2,000 GALLONS. THE WORKING VOLUME FOR THE PUMP CHAMBER SHALL BE AT LEAST 1,000 GALLONS. LARGER VOLUMES ARE ACCEPTABLE. CONFIRM VOLUMES AND INVERT ELEVATIONS WITH TANK MANUFACTURER.
2. SHOP DRAWINGS MUST BE SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO ORDERING TANK. PROVIDE SHOP DRAWINGS FOR TANK, RIDERS, MANHOLE CASTINGS AND COVER, SAFETY NETS WITH QUICK LINKS AND STAINLESS STEEL HARDWARE, HATCHES, JOINT SEALANT DATA, PUMPS AND CONTROLS, GUIDE RAIL SYSTEM, AND EXTERNAL JUNCTION BOX.
3. TANK SHALL BE APPROVED BY A MINNESOTA-LICENSED PROFESSIONAL ENGINEER AND THE LOCAL UNIT OF GOVERNMENT (HAM LAKE). TANK SHALL BE REGISTERED WITH THE MINNESOTA POLLUTION CONTROL AGENCY.
4. ALL TANK OPENINGS SHALL BE INSTALLED AT LEAST 3 INCHES ABOVE FINAL GROUND SURFACE. GRADING AROUND TANK OPENINGS SHALL ENSURE THAT STORMWATER RUNOFF IS DIVERTED AWAY FROM ALL OPENINGS.
5. INSTALL SINGLE LEAF, CHANNEL FRAMED ALUMINUM HATCH WITH 300 LB. PSF LOAD RATING; MUST HAVE MANUFACTURER-INSTALLED INSULATION AND USE TYPE 316 SS HARDWARE. HATCHES MUST ALSO HAVE FALL-THROUGH PROTECTION, ONE-HANDED LIFT ASSISTANCE, AND HOLD-OPEN ARM. CONTRACTOR TO CONFIRM HATCH SIZE IS APPROPRIATE FOR PUMP ACCESS. PROVIDE ALL-WEATHER PADLOCK FOR HATCH.
6. MANHOLE ACCESS COVERS SHALL BE HEAVY-DUTY, AIR-TIGHT, TAMPER-RESISTANT, AND HAVE THE TEXT "WARNING: DO NOT ENTER" OR "SANITARY SEWER". APPROVED MODEL: EAST JORDAN IRON WORKS 1130A2PT AND 14902A2PT OR ENGINEER APPROVED ALTERNATE.
7. SOIL COVER OVER THE TOP OF TANK SHALL BE AT LEAST 5 FEET. CONFIRM DEPTH OF BURY PRIOR TO ORDERING TANK. DEPTH TO SEASONAL HIGH GROUNDWATER APPROXIMATELY 1 FOOT BELOW GROUND SURFACE (BGS). ANTI-BUOYANCY MEASURES MUST BE TAKEN FOR THIS TANK.



SEPTIC / PUMP TANK CROSS SECTION  
SCALE: NONE

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0	7/29/20	ISSUED FOR REVIEW

CONSULTANTS:

SD CONSULTING  
DANVERS, NH  
100 WHELFLETT LANE, NH  
TEL: 603.251.8124  
TEL: 603.251.7358

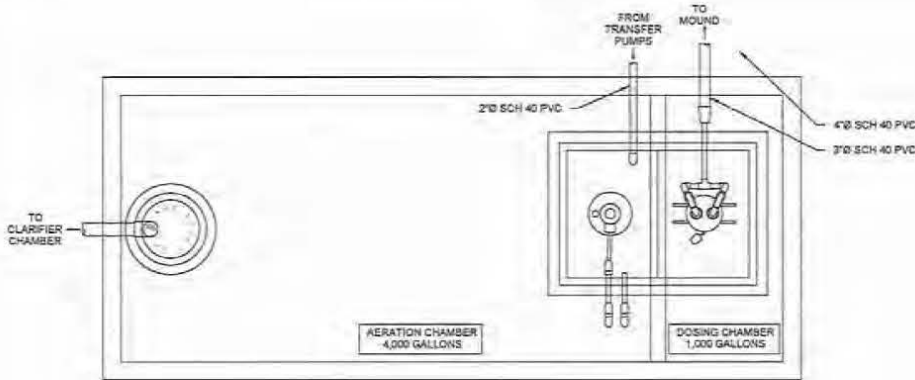
HOLIDAY STATION STORE  
HAM LAKE, MN

SEPTIC / PUMP TANK

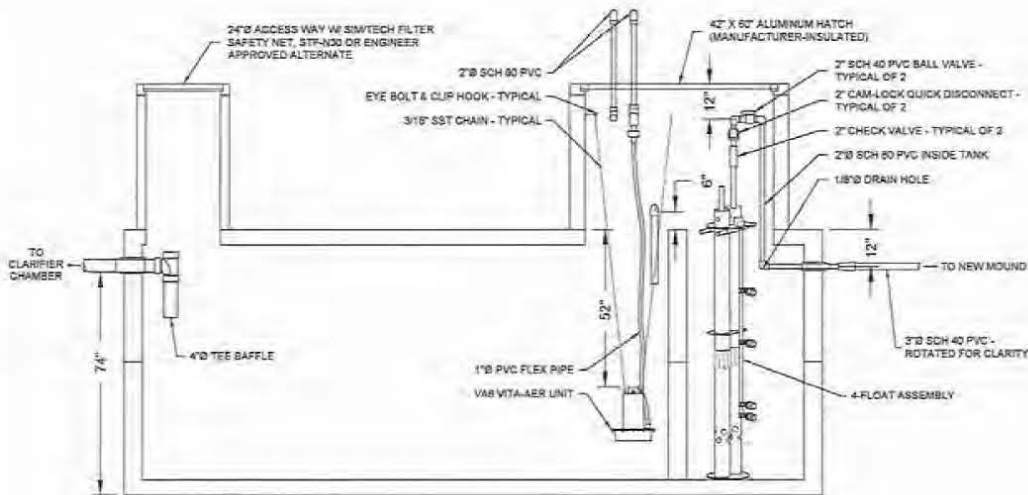
C3

C03-05\_1254.dwg

Revision: 15 July 2021 by: Colin Chen



**AERATION / DOSING TANK PLAN VIEW**  
SCALE NONE



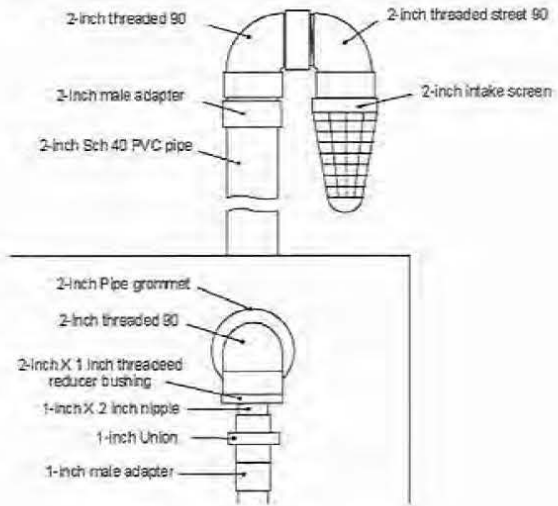
**AERATION / DOSING TANK CROSS SECTION**  
SCALE NONE

**TANK SPECIFICATIONS:**

1. THE AERATION / DOSING TANK SHALL BE THE 5,000 GALLON MODEL MANUFACTURED BY CREST PRECAST, INC., WIEBER CONCRETE PRODUCTS, OR ENGINEER APPROVED ALTERNATE. TANK DIMENSIONS SHOWN ON SHEET C4 ARE FOR THE CREST PRECAST MODEL. INSTALL TANK PER MANUFACTURER SPECIFICATIONS. PROVIDE A MINIMUM 12" LEVELING BASE OF 3/4" MINUS GRANULAR BACKFILL. TANK MUST MEET ASTM C1227 SPECIFICATIONS. THE WORKING VOLUME FOR THE AERATION CHAMBER MUST BE AT LEAST 4,000 GALLONS. THE WORKING VOLUME FOR THE DOSING CHAMBER SHALL BE AT LEAST 1,000 GALLONS. LARGER VOLUMES ARE ACCEPTABLE. CONFIRM VOLUMES AND INVERT ELEVATIONS WITH TANK MANUFACTURER.
2. SHOP DRAWINGS MUST BE SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO ORDERING TANK. PROVIDE SHOP DRAWINGS FOR TANK, RISERS, MANHOLE CASTINGS AND COVER, SAFETY NETS WITH QUICK LINKS AND STAINLESS STEEL HARDWARE. HATCH, JOINT SEALANT DATA, AND EXTERNAL JUNCTION BOX.
3. TANK SHALL BE APPROVED BY A MINNESOTA LICENSED PROFESSIONAL ENGINEER AND THE LOCAL UNIT OF GOVERNMENT (HAM LAKE). TANK SHALL BE REGISTERED WITH THE MINNESOTA POLLUTION CONTROL AGENCY.
4. ALL TANK OPENINGS SHALL BE INSTALLED AT LEAST 3 INCHES ABOVE FINAL GROUND SURFACE. GRADING AROUND TANK OPENINGS SHALL ENSURE THAT STORMWATER RUNOFF IS DIVERTED AWAY FROM ALL OPENINGS.
5. INSTALL ONE DOUBLE LEAF, CHANNEL FRAMED, ALUMINUM HATCHES WITH 300 LB. PSF LOAD RATING. MUST HAVE MANUFACTURER-INSTALLED INSULATION AND USE TYPE 316 SST HARDWARE. HATCH MUST ALSO HAVE FALL-THROUGH PROTECTION, LIFT ASSISTANCE, AND HOLD-OPEN ARM. CONTRACTOR TO CONFIRM HATCH SIZE IS APPROPRIATE FOR AERATOR ACCESS. PROVIDE ALL-WEATHER PADLOCK FOR HATCH.
6. MANHOLE ACCESS COVERS SHALL BE HEAVY-DUTY, AIR-TIGHT, TAMPER-RESISTANT, AND HAVE THE TEXT "WARNING: DO NOT ENTER" OR "SANITARY SEWER", APPROVED MODEL: EAST JORDAN IRON WORKS 1130A2PT AND 1490A2PT OR ENGINEER APPROVED ALTERNATE.
7. SOIL COVER OVER THE TOP OF TANK SHALL BE AT LEAST 2.5 FEET. INSULATE TANK TOP AND SIDES.

**AERATION SPECIFICATIONS:**

INSTALL ONE VITA-AER, FULLY SUBMERSIBLE AERATOR, AIR INLET PIPING, AND REQUIRED TANK VENTILATION PER MANUFACTURER'S INSTRUCTIONS. ADJUST LENGTH OF ACCESS CHAIN SO THAT THE AERATOR WILL OPERATE AT THE APPROPRIATE DEPTH.



**AIR SUPPLY COMPONENTS**  
SCALE NONE

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0	7/25/20	ISSUED FOR REVIEW

CONSULTANTS

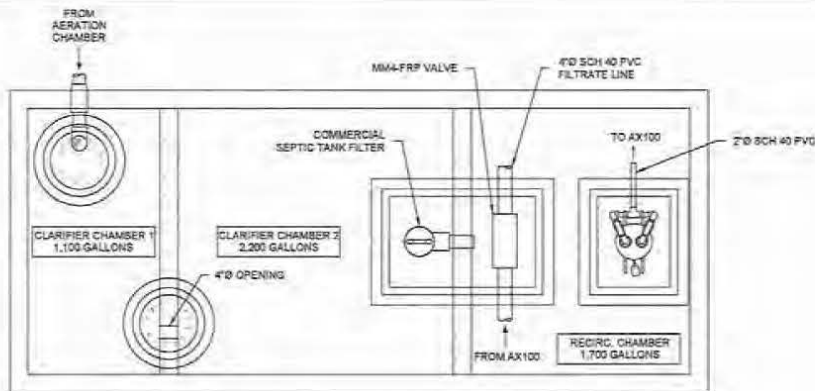
SD CONSULTING  
DANBURY, NH  
WHITE BEAR LAKE, MN  
TEL: 952-359-9188  
TEL: 952-359-1386

HOLIDAY STATION STORE  
HAM LAKE, MN

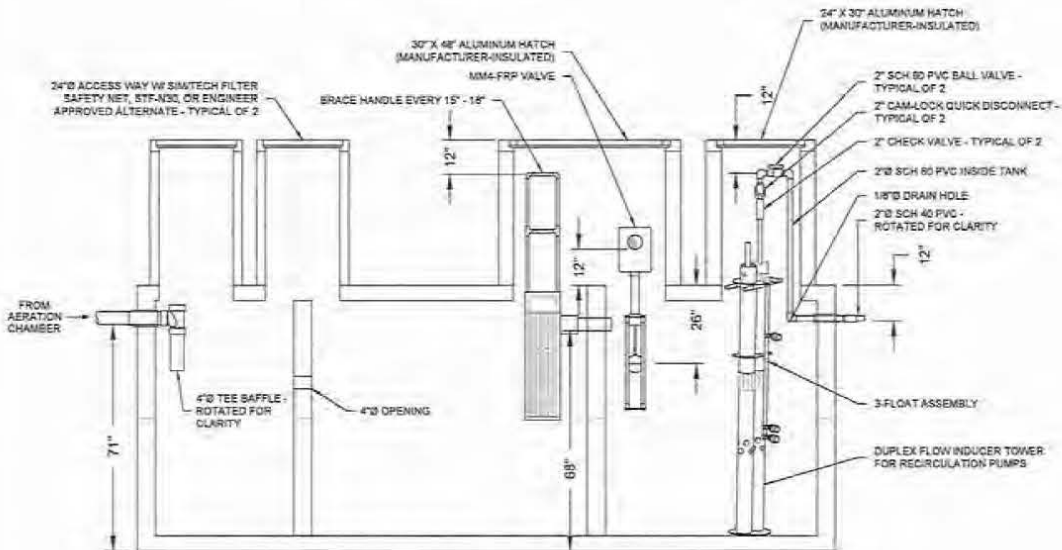
AERATION / DOSING TANK

C4

FILE DATE: 22 JULY 2021 BY: CWH/CHW



**CLARIFIER / RECIRCULATION TANK PLAN VIEW**  
SCALE NONE



**CLARIFIER / RECIRCULATION TANK CROSS SECTION**  
SCALE NONE

**TANK SPECIFICATIONS:**

1. THE CLARIFIER / RECIRCULATION TANK SHALL BE THE 5,000 GALLON MODEL MANUFACTURED BY CREST PRECAST, INC., WISER CONCRETE PRODUCTS, OR ENGINEER APPROVED ALTERNATE. TANK DIMENSIONS SHOWN ON SHEET C5 ARE FOR THE CREST PRECAST MODEL. INSTALL TANK PER MANUFACTURER SPECIFICATIONS. PROVIDE A MINIMUM 12" LEVELING BASE OF 3/4" MINUS GRANULAR BACKFILL. THE WORKING VOLUME FOR THE FIRST CHAMBER MUST BE AT LEAST 1,100 GALLONS. SECOND CHAMBER SHALL BE AT LEAST 2,200 GALLONS. LARGER VOLUMES ARE ACCEPTABLE. THE RECIRCULATION CHAMBER MUST BE AT LEAST 1,700 GALLONS. CONFIRM VOLUMES AND INVERT ELEVATIONS WITH TANK MANUFACTURER.
2. SHOP DRAWINGS MUST BE SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO ORDERING TANK. PROVIDE SHOP DRAWINGS FOR TANK, RISERS, MANHOLE CASTING AND COVER, SAFETY NETS WITH QUICK LINKS AND STAINLESS STEEL HARDWARE, HATCHES, JOINT SEALANT DATA, COMMERCIAL SEPTIC FILTER, FLOW INDUCER TOWERS, PUMPS & DISCHARGE ASSEMBLIES, FLOATS, CHECK VALVES, CONTROL PANEL AND EXTERNAL JUNCTION BOXES.
3. TANK SHALL BE APPROVED BY A MINNESOTA-LICENSED PROFESSIONAL ENGINEER AND THE LOCAL UNIT OF GOVERNMENT (HAM LAKE). TANK SHALL BE REGISTERED WITH THE MINNESOTA POLLUTION CONTROL AGENCY.
4. ALL TANK OPENINGS SHALL BE INSTALLED AT LEAST 3 INCHES ABOVE FINAL GROUND SURFACE. GRADING AROUND TANK OPENINGS SHALL ENSURE THAT STORMWATER RUNOFF IS DIVERTED AWAY FROM ALL OPENINGS.
5. TANK PENETRATIONS MUST BE CAST IN FLEXIBLE CONNECTORS MEETING ASTM C628 SPECIFICATIONS.
6. MANHOLE ACCESS COVERS SHALL BE HEAVY-DUTY, AIR-TIGHT, TAMPER-RESISTANT, AND HAVE THE TEXT "WARNING: DO NOT ENTER" OR "SANITARY SEWER". APPROVED MODEL: EAST JORDAN IRON WORKS 1130A2PT AND 148XZ2PT OR ENGINEER APPROVED ALTERNATE.
7. INSTALL CHANNEL FRAMED ALUMINUM HATCHES WITH 300 LB. PSF LOAD RATING; MUST HAVE MANUFACTURER-INSTALLED INSULATION AND USE TYPE 316 SST HARDWARE. HATCHES MUST ALSO HAVE FALL-THROUGH PROTECTION, LIFT ASSISTANCE, AND HOLD-OPEN ARM. CONTRACTOR TO CONFIRM HATCH SIZE IS APPROPRIATE FOR FILTER AND PUMP ACCESS. PROVIDE ALL-WEATHER PADLOCK FOR ALL HATCHES AND CONTROL PANEL.
8. SOIL COVER OVER THE TOP OF TANK SHALL BE AT LEAST 2.5 FEET. INSULATE TANK TOP AND SIDES. CONFIRM DEPTH OF BURY PRIOR TO ORDERING TANK. SEASONAL HIGH WATER TABLE DETECTED APPROXIMATELY 1 FOOT BELOW GROUND SURFACE. PROVIDE ANTI-BOUANCY MEASURES FOR ALL TANKS.
9. APPROVED SEPTIC TANK SCREEN (FILTER): (1) FT0880-36A BY ORENCO SYSTEMS INC., (2) PL-250 BY POLYLOK INC., AND (3) ENGINEER-APPROVED ALTERNATE. ADD HIGH WATER LEVEL SWITCH WITH ALARM TO SCREEN.

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FILED IN: 21-JUL-2021 BY: C514-DNA

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0	7/29/20	ISSUED FOR REVIEW

CONSULTANTS

SD CONSULTING  
CANBORO, VT  
WHITE BEAR LAKE, MN  
TEL: 813-289-9724  
TEL: 813-289-7389



HOLIDAY STATION STORE  
HAM LAKE, MN

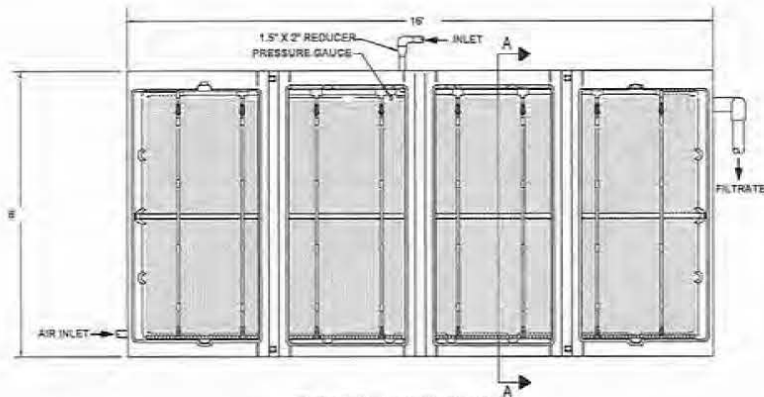
CLARIFIER /  
RECIRCULATION TANK

C5

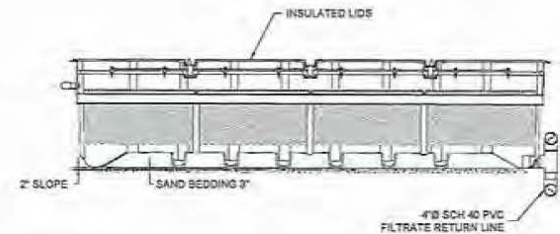
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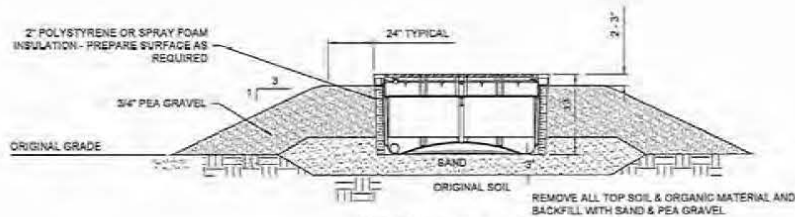




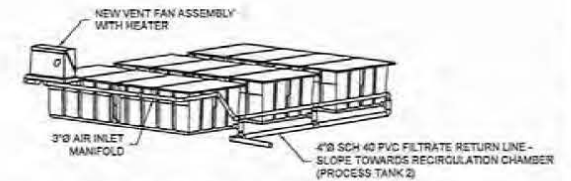
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SCALE: NONE



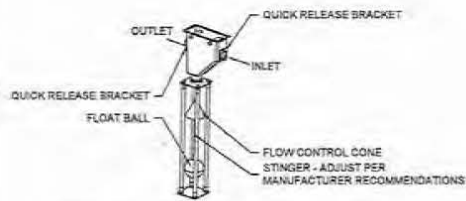
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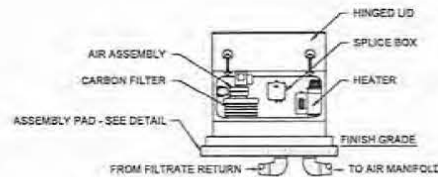
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SCALE: NONE



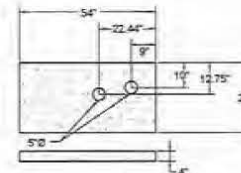
**AX100 FILTRATE RETURN LINE ISO VIEW**  
SCALE: NONE



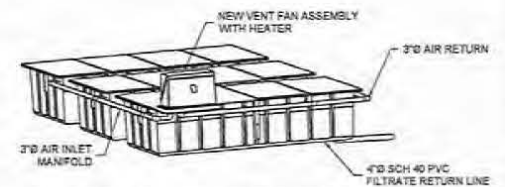
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SCALE: NONE



**VENT FAN ASSEMBLY WITH HEATER**  
SCALE: NONE



**ASSEMBLY PAD DETAIL**  
SCALE: NONE



**AIR INLET MANIFOLD ISO VIEW**  
SCALE: NONE

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0	7/23/20	ISSUED FOR REVIEW

CONSULTANTS

SD CONSULTING  
CANADIA, AB  
WHITE BEAR LAKE, MN  
TEL: 912-250-9128  
TEL: 912-250-1388



HOLIDAY STATION STORE  
HAM LAKE, MN

AX100 DETAILS

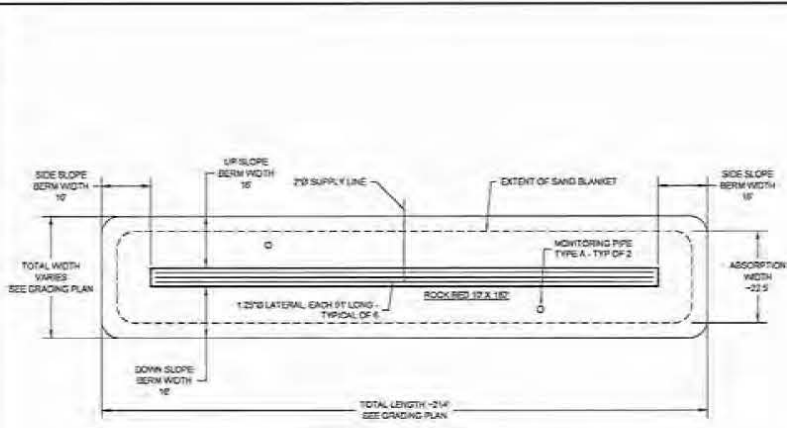
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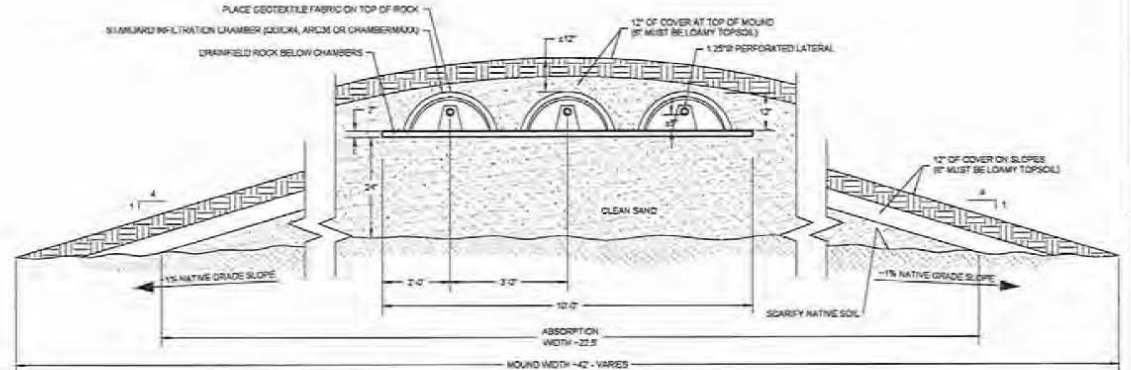
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Plot Date: 22 July 2021 14:04:45 EDT

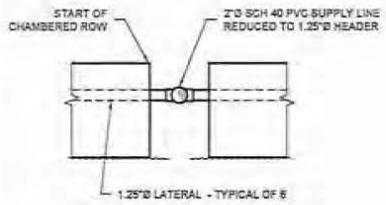
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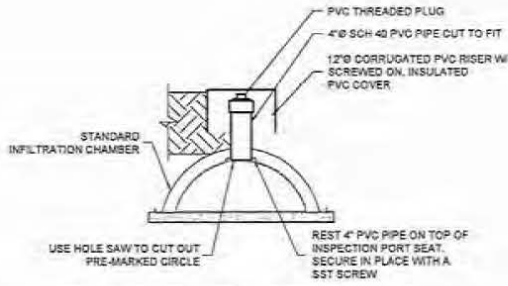
**MOUND PLAN VIEW**  
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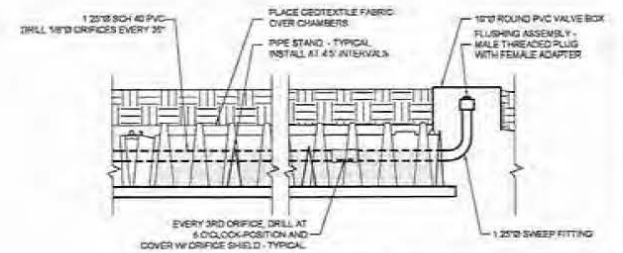
**MOUND CROSS SECTION**  
NO SCALE



**HEADER DETAIL**  
SCALE: NONE



**MONITORING PIPE TYPE A' DETAIL**  
SCALE: NONE



**PERFORATED LATERAL DETAIL**  
NO SCALE

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0	7/26/20	ISSUED FOR REVIEW

CONSULTANTS

SD CONSULTING  
CANBORO, AB  
WHITE BEAR LAKE, MN  
TEL: 953.289.6428  
TEL: 813.289.1388

HOLIDAY STATION STORE  
HAM LAKE, MN

MOUND DETAILS

C7  
C07-08\_1254.dwg

**SEEDING/SUBSOILS/SEEDLINGS:**

1. GRASS COVER SHALL BE ESTABLISHED WITHIN ONE WEEK AFTER THE MOUND SYSTEM IS INSTALLED. THE COVER MUST BE OVER THE ENTIRE AREA OF THE MOUND, RESERVE AREA AND 10 FEET BEYOND PERIMETER OF MOUND.
2. MULCH: M-1000 TYPE 1, TWO TONS PER ACRE, DARK ANCHORED IN AREAS THAT DO NOT RECEIVE STRAIN ROLLER BLANKET.
3. FERTILIZER: M-1000 TYPE 1, TWO TONS PER ACRE, DARK ANCHORED IN AREAS THAT DO NOT RECEIVE STRAIN ROLLER BLANKET.
4. HYDRASEEDING: 50% 20# M-1000 SEEDING MIXTURE, M-1000 20# HYDRASEEDING MIXTURE, TYPE 1 (80%) OVER THE SEED. METHOD USED FOR SPRING AND SUMMER INSTALLATION ONLY.
5. EACH SEED TYPE SHALL BE MIXED TOGETHER WITH THE COVER CROP AT THEIR PRE-DETERMINED RATE AND SEEDS IN AREAS AS SPECIFIED ON PLANS.
6. COVER CROP: M-1000 TYPE 1, TEMPORARY MIX TYPE 100 AT 200 POUNDS PER ACRE.
7. M-1000 TYPE 1: 100 POUNDS PER ACRE, HYDRASEEDING ACCORDING TO M-1000 20# HYDRASEEDING MIXTURE, TYPE 1 (80%) OVER THE SEED.
8. SOIL: LAWN SOIL SHALL HAVE A LIGHT APPEARANCE, BE DENSE, HAVE A UNIFORM TEXTURE, AND BE FREE OF CLUMPS, LUMPS, OR OTHER FOREIGN MATTER. THE SOIL SHALL NOT CONTAIN GRASS WITH BLADE LENGTHS OF 1/2" OR MORE. THE SOIL SHALL BE FREE OF STONES, LIMESTONE, OR OTHER FOREIGN MATTER. THE SOIL SHALL BE FREE OF STONES, LIMESTONE, OR OTHER FOREIGN MATTER. THE SOIL SHALL BE FREE OF STONES, LIMESTONE, OR OTHER FOREIGN MATTER. THE SOIL SHALL BE FREE OF STONES, LIMESTONE, OR OTHER FOREIGN MATTER.
9. BULK SEED: SHALL BE INSTALLED AS SOON AS SITE HAS BEEN PREPARED. SEEDING RATE AT 8 TO 10 POUNDS PER 1,000 SQUARE FEET.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, FERTILIZING, AND WEEDING AREAS. ONE POLYETHYLENE MULCH WITH ANCHORING WATER TAP FOR INITIAL WEEDING INSTALLATION AND FOR 4, 8, AND 12 MONTH PERIODS DURING THE GROWING SEASON. VOLUME OF WATER TO BE APPLIED SHALL BE DETERMINED BY SOIL MOISTURE, GROUNDWATER, AND OTHER FACTORS.
11. CONTRACTOR SHALL REMOVE ALL DISTURBED SURFACES TO ORIGINAL OR BETTER, CONDITIONS.

**CONSTRUCTION:**

1. IT IS THE INTENT OF THIS DESIGN TO PROVIDE AT LEAST 18 INCHES OF VERTICAL SEPARATION TO THE RESERVOIR, HIGH WATER TABLE. IF FIELD CONDITIONS DIFFER FROM THOSE INDICATED ON THESE PLANS, CONTACT ENGINEER IMMEDIATELY FOR INSTRUCTIONS.
2. THE AREA WHERE THE MOUND SHALL BE INSTALLED MUST BE PROTECTED FROM CONSTRUCTION EQUIPMENT PRIOR TO MOBILIZATION TO SITE TO PREVENT ANY TRAFFIC THAT WOULD RESULT IN SOIL COMPACTION.
3. NO EXCAVATION OF THE MOUND SHALL BE DONE DURING ANY RAINFALL UNTIL THE UPPER 2 INCHES OF SOIL HAS A MOISTURE CONTENT LESS THAN THE PLASTIC LIMIT, AS DETERMINED BY THE ENGINEER.
4. IN THE AREA OUTSIDE OF THE OLD DISCONTINUED MOUND, THE EXISTING TOPSOIL SHALL BE BROKEN UP AND THE SAND LAYER MATERIAL AND BERM FILL MATERIAL SHALL BE INTEGRATED WITH THE EXISTING TOPSOIL. THE SAND LAYER MATERIAL AND BERM FILL MATERIAL SHALL BE BROKEN UP AND THE SAND LAYER MATERIAL AND BERM FILL MATERIAL SHALL BE INTEGRATED WITH THE EXISTING TOPSOIL. THE SAND LAYER MATERIAL AND BERM FILL MATERIAL SHALL BE BROKEN UP AND THE SAND LAYER MATERIAL AND BERM FILL MATERIAL SHALL BE INTEGRATED WITH THE EXISTING TOPSOIL.
5. UNDER THE MOUND AREA, TRACER WIRE SHALL BE INSTALLED AT A MINIMUM 1/4" SLANT BACK TO DRAINAGE CHANNEL.
6. MOUND SAND MUST MEET THE REQUIREMENTS OF M-1000 TYPE 1 (80%) SUBTYPE 1 (80%) RICK TO INSTALLATION OF SAND. A TEST FOR EACH TRUCK DELIVERY MUST BE PERFORMED ON THE SAND TO BE USED TO DETERMINE THE MOISTURE CONTENT OF SAND TO BE USED FOR CONSTRUCTION.
7. TABLE 1 AND THE INITIAL TESTING PROCEDURES FOR SANDS FROM THE MOUND AT LOCATION 1 THROUGH 10. THE TESTING PROCEDURES FOR SANDS FROM THE MOUND AT LOCATION 1 THROUGH 10. THE TESTING PROCEDURES FOR SANDS FROM THE MOUND AT LOCATION 1 THROUGH 10.
8. ALL SUPPLY TRUCKS WITH LESS THAN 11 FEET OF SOIL COVER SHALL BE INSULATED. THE SUPPLY TRUCK SHALL ALSO BE NOTIFIED AT A MINIMUM 1/4" SLANT BACK TO DRAINAGE CHANNEL.
9. ALL TRUCKS MUST BE FREE OF OIL, GREASE, AND OTHER CONTAMINANTS. ALL TRUCKS MUST BE FREE OF OIL, GREASE, AND OTHER CONTAMINANTS. ALL TRUCKS MUST BE FREE OF OIL, GREASE, AND OTHER CONTAMINANTS.
10. CONTRACTOR SHALL PERFORM A CONTINUITY TEST ON TRACER WIRE. IF TRACER WIRE IS FOUND TO NOT BE CONTINUOUS AFTER TESTING, CONTRACTOR SHALL REPAIR OR RE-INSTALL TRACER WIRE AT OWNERS EXPENSE. TRACER WIRE ACCESS POINTS SHALL BE NO MORE THAN 200' APART. TRACER WIRE SHALL BE CONTINUOUS AND WITHOUT SPICES FROM EACH TRACER WIRE ACCESS POINT.
11. REFRIGERATED LATERALS MUST BE FREE OF BURRS. USE A DRILL PRESS TO MAKE 1/8" DRIFTS.
12. EQUIPPING LATERALS, EACH LOCATED ONE QUARTER OF THE LENGTH OF THE SAND LAYER BUT NOT MORE THAN 5 FEET FROM EACH END OF THE SAND LAYER, SHALL BE INSTALLED IN THE MOUND.
13. SOIL TESTING: DURING CLEAN WATER, THE CONTRACTOR SHALL PERFORM A SOIL TEST AFTER LAYING THE LATERALS. SOIL TEST HEIGHT AT THE END OF ALL LATERALS MUST BE RECORDED AND PROVIDED TO ENGINEER.
14. INSTALL NON-HYDROLYZABLE FABRIC OVER THE TOP AND SIDES OF THE CHAMBERS. FABRIC MUST BE OF SUFFICIENT STRENGTH TO UNDERGO INSTALLATION WITHOUT RUPTURE WHILE BEING PULLED INTO PLACE. FABRIC SHALL BE ALLOWED TO SETTLE INTO THE MOUND. PROTECT FABRIC FROM SUN AND OTHER DAMAGE PRIOR TO INSTALLATION. SOIL SHOULD OVERLAY BY AT LEAST 18 INCHES.

**SOIL SURFACE PREPARATION:**

1. IF ANY TREES OR BUSHES ARE PRESENT ON THE SITE WHERE THE MOUND WILL BE INSTALLED, THEY SHOULD BE CUT OFF AT THE SOIL SURFACE AND STUMPS LEFT IN PLACE.
2. ALL WEEDS AND GRASS (2" IN HEIGHT OR MORE) AS WELL AS ANY DEAD ORGANIC DEBRIS, MUST BE REMOVED FROM THE SURFACE OF THE TOTAL AREA WHERE THE MOUND WILL BE INSTALLED. LONG GRASS MUST BE CUT OFF AND REMOVED.
3. THE SUPPLY LINE SHALL BE INSTALLED PRIOR TO SOIL SURFACE PREPARATION FOR THE MOUND. ANY TRENCH EXCAVATED TO INSTALL THE SUPPLY LINE MUST BE CAREFULLY BACKFILLED AND COMPACTED TO PREVENT SETTLEMENT OF FILL.
4. THE TOTAL AREA FOR THE MOUND, INCLUDING UNDER THE BERM, MUST BE TOLERANCE TO UNUSUALLY BREAK UP THE EXISTING SOIL LAYER. THE BERM MUST BE TURNED OVER SO THERE IS NO UNUSUALLY BREAK UP THE EXISTING SOIL LAYER. THE TOP 10" OF FILL, NEAR USE AND TO FILL TO PREPARE THE SURFACE. DRIVING MAY BE USED TO BREAK UP THE SOIL SURFACE AND BREAK UP THE SOIL LAYER.
5. SURFACE PREPARATION MAY BE PERFORMED WITH A MOUNDING OR BACKFILLING ONLY. THE TESTS ARE CONDUCTED ON SURFACES MOUNDING OR BACKFILLING ONLY. THE TESTS ARE CONDUCTED ON SURFACES MOUNDING OR BACKFILLING ONLY. THE TESTS ARE CONDUCTED ON SURFACES MOUNDING OR BACKFILLING ONLY.
6. ABOVE GROUND SYSTEM CONSTRUCTION SHOULD PROCEED IMMEDIATELY AFTER SURFACE PREPARATION IS COMPLETED.

**CONSTRUCTION DETAILS:**

1. CONTRACTOR SHALL PLACE EXACTLY 2 INCHES OF SAND IN THE BOTTOM OF A QUART 60" AND FILL THE AIR 30" FULL OF CLEAN WATER.
2. COVER THE QUART AIR AND SHAKE THE CONTENTS THOROUGHLY FOR 1 TO 2 MINUTES.
3. ALLOW AIR TO STAND FOR 30 MINUTES AND OBSERVE WHETHER THERE IS A LAYER OF SILT ON CLAY FINES ON TOP OF THE SAND. IF THE LAYER OF FINE PARTICLES IS MORE THAN 1/8" THICK, THE SAND IS PROBABLY NOT SUITABLE FOR USE IN MOUND CONSTRUCTION. CONSULT WITH ENGINEER AND SUPPLIER OF SAND FOR NEXT STEPS. CONTRACTOR SHALL TAKE DUAL PHOTOS OF AIR TESTS AND PROVIDE TO ENGINEER. CONTRACTOR SHALL ALSO STORE AIR TESTS FOR TWO WEEKS.

**WATER REQUIREMENTS:**

1. FOR LAMP PLACEMENT, A TRACKED DRAINAGE TRACTOR WITH A BLADE OR BUCKET SHOULD BE USED TO MOVE THE SAND IN TO PLACE. THE SAND LAYER UPON WHICH THE DRAINAGE ROCK WILL BE PLACED MUST BE LEVEL IN ALL DIRECTIONS.
2. ALWAYS KEEP A MINIMUM OF 6 INCHES OF FILL MATERIAL BENEATH TRACKS TO PREVENT COMPACTION OF IN SITU SOIL.
3. THE DRAINAGE ROCK AND CHAMBERS MUST BE LEVEL. ALL OFFICES POINTING DOWN MUST BE COVERED WITH OFFICE SHIELDS.
4. CONTRACTOR MUST VERIFY THE QUALITY OF THE ROCK. USE BEST MANAGEMENT PRACTICES WHEN LOADING AND MOVING ROCK AROUND SO THAT IT REMAINS CLEAN AND WILL NOT BECOME CONTAMINATED. TAKE DUAL PHOTOS OF ROCK FOR DOCUMENTATION AND PROVIDE TO ENGINEER.
5. ROCKS (GRAVEL) SHOULD BE USED OVER THE MOUND AND BERM AREAS. A PHYSICAL OBSERVATION BY A SANDY GRAVEL SOIL IS 1/8" TO 2" IN SIZE. 0.1% TO 0.5% AND 0.5% TO 1% IN CLAY. AT LEAST 6 INCHES OF CAP MUST BE TOPSOIL BENEATH WHICH IS A LIGHT SOIL MATERIAL, HAVING LESS THAN 1% IN MATERIAL, LARGER THAN 200 MICRONS, THAN 1" WITH A MOISTURE VALUE OF 23 OR LESS, AND ADEQUATE NUTRIENTS AND PH TO SUSTAIN HEALTHY PLANT GROWTH.

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 SD CONSULTING 1000 S. 10TH AVE. SUITE 100 TAMPA, FL 33606-1000 TEL: 813.255.1700		HOLIDAY STATION STORE HAM LAKE, MN	MOUND SPECIFICATIONS	C8
CONSULTANTS				
REV	DATE	DESCRIPTION		
2	7/23/21	ISSUED FOR REVIEW		
1	5/20/20	ISSUED FOR PERMIT		
0	7/29/20	ISSUED FOR REVIEW		

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 CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE DRAWING. ANY ERRORS OR OMISSIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MAKE ANY NECESSARY CORRECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MAKE ANY NECESSARY CORRECTIONS PRIOR TO CONSTRUCTION.

**CONTROL PANEL SPECIFICATIONS:**

THE POWER SUPPLY AT THE WASTEWATER TREATMENT SYSTEM IS THREE PHASE. CONFIRM IF VOLTAGE IS 200 OR 230 V. THE CONTROL PANEL SHALL HAVE THE FOLLOWING FEATURES:

1. OPERATOR INTERFACE WITH HYPER TERMINAL OR TELEMETRY SYSTEM WITHOUT OPERATOR SOFTWARE PURCHASE REQUIRED.
2. PROGRAMMABLE LOGIC CONTROLLER (PLC).
3. USER NAME & PASSWORD AND MAINTENANCE LOG ENTRY.
4. REAL TIME MONITORING OF PUMP OPERATION AND FLOAT SETTINGS.
5. REAL TIME AMP DRAW SENSING, AVERAGE AMP DRAW & PUMPS IN CURRENT AND PAST CONDITIONS.
6. CAPABILITY OF TIMER SETTING MODIFICATION.
7. USER LOGS FOR ALARMS AND PUMP RUN TIMES WITH CAPABILITY OF CALCULATING FLOW FOR EACH PUMP.
8. PAGE ALARM TO CALL OUT OPERATOR IN THE EVENT OF ALARM CONDITION.
9. ALARM POINTS FOR: (1) HIGH WATER LEVEL, (2) PUMP FAIL, (3) LOW WATER LEVEL, (4) AERATOR FAIL, AND (5) POWER FAILURE.
10. TIMERS SHALL BE PROGRAMMED THROUGH THE PLC AND ABLE TO BE MODIFIED BASED ON CONNECTION DIRECTLY AT THE PANEL OR THROUGH A CELLULAR AUTODIALER, REMOTELY.
11. TIMERS SHALL BE CAPABLE OF SKIPPING PUMPS IF TAKEN OUT OF SEQUENCE AND ALLOW IMMEDIATE OFFION CYCLES OF THE NEXT PUMP IN SEQUENCE.
12. PANEL ENCLOSURES SHALL BE PROTECTED BOTH INSIDE AND OUT AGAINST CORROSION PER NEC REQUIREMENTS.
13. PANEL ENCLOSURES SHALL BE NEMA 4X AND FABRICATED OF FIBERGLASS OR 304 GRADE STAINLESS STEEL (SS).
14. PROVIDE LAMINATED ELECTRICAL SCHEMATICS ON THE INNER DOOR OF PANEL.
15. PROVIDE STICKER OR NAME PLATE STATING THE VOLTAGE OF THE CONTROL PANEL AND THE APPROPRIATE LOCK OUT-TAG OUT CIRCUIT TO DEACTIVATE POWER TO THE PANEL. PLACE ON OUTSIDE DEAD FRONT OF CONTROL PANEL AND PROVIDE A STICKER OR NAME PLATE THAT STATES "ELECTRICAL HAZARDS - AUTHORIZED PERSONNEL ACCESS ONLY."
16. PROVIDE CONDENSATION HEATER WITH ADJUSTABLE THERMOSTAT AND CIRCUIT BREAKER. FOR PANELS EXCEEDING 20" X 28", A FORCED AIR HEATER SHALL BE PROVIDED UNLESS THE CONTROL PANEL IS LOCATED INSIDE A CLIMATE CONTROLLED BUILDING.
17. PROVIDE A DISCONNECT SWITCH FOR A SINGLE SHUT-OFF POINT FOR ALL POWER ENTERING PANEL.
18. AMBER PILOT LIGHTS (IDEC LIGHT OR APPROVED ALTERNATE) SHALL BE PROVIDED TO INDICATE FLOAT CIRCUIT OPERATIONS & BE PERMANENTLY LABELED AS TO FUNCTION.
19. EACH MOTOR SHALL HAVE A GREEN RUN LIGHT (IDEC LIGHT OR APPROVED ALTERNATE).
20. PROVIDE RED EXTERNAL ALARM LIGHT AND GREEN EXTERNAL "POWER ON" LIGHT ON EXTERIOR OF CONTROL BUILDING.

**OTHER REQUIREMENTS INCLUDE:**

1. COMPONENT FASTENERS MUST BE MACHINE SCREWS WITH BACK PLATE DRILLED FOR MOUNTING ALL INTERNAL COMPONENTS.
2. PROVIDE GAS "SEAL OFFS" IN CONDUIT PRIOR TO ENTERING CONTROL PANEL.
3. PROVIDE AN UN-INTERRUPTIBLE POWER SUPPLY SUITABLE FOR OPERATING THE PLC IN THE EVENT OF A POWER OUTAGE OF UP TO 6 HOURS.
4. PROVIDE A 100 Amp, 200 OR 230 V STANDBY POWER GENERATOR RECEPTACLE WITH TRANSFER SWITCH.
5. PROVIDE POWER SURGE ARRESTOR.
6. PROVIDE POWER CONTROL CABLES OF ADEQUATE LENGTH WITHOUT SPLICING, UNLESS APPROVED BY ENGINEER.
7. SUPPLY A PARTS AND LABOR WARRANTY ON THE CONTROL PANEL FOR A PERIOD OF 12 MONTHS AFTER NOTICE OF OWNER'S ACCEPTANCE. ANY DEFECTS FOUND DURING THE WARRANTY PERIOD WILL BE REPORTED TO THE CONTRACTOR BY THE OWNER.
8. PLC SHALL REGISTER ADJUSTMENTS MADE TO THE HCA SWITCH.
9. PANEL SHALL BE CAPABLE OF CONNECTING TO LOCAL WIFI NETWORK.
10. PANEL MANUFACTURER REPRESENTATIVE SHALL BE ONSITE FOR ONE 8-HOUR DAY FOR COMMISSIONING AND TRAINING OF THE OWNER AND OPERATOR.

**FUNCTIONAL DESCRIPTIONS:**

1. **TRANSFER PUMPS:**  
TWO ALTERNATING PUMPS SHALL BE PROVIDED FOR PUMPING SEPTIC TANK EFFLUENT TO THE AERATION CHAMBER. IN RESPONSE TO DEMAND, THE PANEL WILL CONTROL TWO MOTORS, ALTERNATING THE FIRST ("LEAD") MOTOR EACH CYCLE. THE SECOND PUMP ("LAG") SHALL TURN ON WHEN ADDITIONAL DEMAND REQUIRES IT. IN ADDITION, EACH PUMP MUST HAVE THE CAPABILITY TO BE TAKEN OUT OF SEQUENCE.  
  
FOUR FLOATS MUST BE PROVIDED. EACH FLOAT SHALL DICTATE A SPECIFIC RESPONSE FROM THE CONTROL PANEL. FLOAT DESCRIPTIONS ARE BELOW:  
  - a. REDUNDANT OFF/LOW LEVEL CUTOFF - POWER TO ALL PUMPS IS DISABLED IF FLOAT IS DOWN. ALARM SOUNDS, RED LIGHT FLASHES AND OPERATOR IS NOTIFIED.
  - b. LEAD PUMP OFF - WHEN FLOAT IS DOWN, LEAD PUMP IS DISABLED. THE PUMPS WILL THEN ALTERNATE.
  - c. LEAD PUMP ON - WHEN ACTIVATED, PUMP TURNS ON AND Doses A SPECIFIC VOLUME UNTIL SECOND FLOAT TURNS PUMP OFF. REPEAT TO NEXT PUMP IN SEQUENCE.
  - d. LAG PUMP ON HIGH WATER LEVEL - NEXT PUMP IN SEQUENCE IS TURNED ON. ALARM SHOULD SOUND, RED LIGHT FLASH, AND OPERATOR NOTIFIED.
2. **AERATOR**  
ONE AERATOR WITH A VFD SHALL BE INSTALLED. THE AERATOR MUST BE ABLE TO OPERATE CONTINUOUSLY OR ON A TIMER. ELAPSED TIME METER AND EVENT COUNTER MUST RECORD WHEN THE AERATOR IS ON.
3. **RECIRCULATION PUMPS:**  
TWO ALTERNATING PUMPS WILL BE PROVIDED FOR DOSING ONE AX100 POD. BOTH PUMPS MUST OPERATE ON A DEDICATED TIMER TO CONTROL ON FUNCTIONS. A COMMON ON TIMER IS ACCEPTABLE. THERE SHOULD BE A TIMER TO OVERRIDE THE OFF TIMES IN A HIGH WATER LEVEL SITUATION. THIS HIGH FLOW TIMER SHOULD BE CAPABLE OF OPERATING THE NEXT PUMP IN SEQUENCE ON AN ACCELERATED TIME OFF FUNCTION. THE OPERATOR NEEDS THE ABILITY TO DOSE THE POD PER MANUFACTURER SPECIFICATIONS SO THAT IT IS NOT HYDRAULICALLY OVERLOADED. EACH PUMP SHOULD HAVE THE CAPABILITY TO BE TAKEN OUT OF SEQUENCE.  
  
THREE FLOATS MUST BE PROVIDED. EACH FLOAT SHOULD DICTATE A SPECIFIC RESPONSE FROM THE CONTROL PANEL. FLOAT DESCRIPTIONS ARE BELOW:  
  - a. REDUNDANT OFF/LOW LEVEL CUTOFF - POWER TO TIMERS IS DISABLED IF FLOAT IS DOWN. AN ALARM SHOULD SOUND, RED LIGHT FLASH AND OPERATOR NOTIFIED.
  - b. TIMER ON OFF - WHEN ACTIVATED, TIMER STARTS IN "OFF" MODE FIRST AND CYCLES THROUGH TO "ON" MODE. REPEAT TO NEXT PUMP IN SEQUENCE. WHEN FLOAT IS DOWN, TIMER IS DISABLED.
  - c. HIGH WATER LEVEL - ALARM SHOULD SOUND, RED LIGHT FLASH, AND OPERATOR NOTIFIED.
4. **DOSING PUMPS:**  
TWO ALTERNATING PUMPS WILL BE INSTALLED TO DOSE THE NEW MOUND. BOTH PUMPS MUST OPERATE ON A DEDICATED TIMER TO CONTROL ON FUNCTIONS. A COMMON ON TIMER IS ACCEPTABLE. THERE SHOULD BE A TIMER TO OVERRIDE THE OFF TIMES IN A HIGH WATER LEVEL SITUATION. THIS HIGH FLOW TIMER SHOULD BE CAPABLE OF OPERATING THE NEXT PUMP IN SEQUENCE ON AN ACCELERATED TIME OFF FUNCTION. EACH PUMP SHOULD HAVE THE CAPABILITY TO BE TAKEN OUT OF SEQUENCE.  
  
FOUR FLOATS MUST BE PROVIDED. EACH FLOAT SHOULD DICTATE A SPECIFIC RESPONSE FROM THE CONTROL PANEL. FLOAT DESCRIPTIONS ARE BELOW:  
  - a. REDUNDANT OFF/LOW WATER LEVEL - POWER TO ALL PUMPS IS DISABLED IF FLOAT IS DOWN. ALARM SOUNDS, RED LIGHT FLASHES AND OPERATOR IS NOTIFIED.
  - b. TIMER OFF ON - WHEN ACTIVATED, TIMER STARTS IN THE "OFF" MODE FIRST AND CYCLES THROUGH TO "ON" MODE. REPEAT TO NEXT PUMP IN SEQUENCE. WHEN FLOAT IS DOWN, TIMER IS DISABLED.
  - c. OVERRIDE TIMER - FLOAT ENABLES A SECONDARY TIMER SETTING TO ALLOW INCREASED DOSING FREQUENCY FOR HIGHER THAN NORMAL LEVELS IN DOSING TANKS.
  - d. HIGH WATER LEVEL - ALARM SHOULD SOUND, RED LIGHT FLASH AND OPERATOR NOTIFIED.
5. **VENT FAN WITH HEATER:**  
FAN WITH A CARBON FILTER TO CONTROL ODORS SHALL RUN CONTINUOUSLY. A 1 KW HEATER SHALL ALSO RUN PER A THERMISTOR IN THE AX100 UNIT.

**MOTOR TABLE**

NAME	# UNITS	SIZE (HP / KW)	POWER	LOCATION	RECOMMENDED MODEL
TRANSFER PUMP	2	0.5 / 0.4	30	PUMP CHAMBER	GOLDS WGS58BHF
AERATOR	1	2.0 / 1.5	30	AERATION CHAMBER	VITA-AER V4E
VFD	1	2.0 / 1.5	30	CONTROL PANEL	PER VITA-AER
RECIRCULATION PUMP	2	0.75 / 0.58	30	RECIRCULATION CHAMBER	PPS00712
VENT FAN & HEATER	1	1.5 / 1.1	30	NEXT TO AX100 POD	PER ORENCO SYSTEMS
DOSING PUMP	2	2.0 / 1.5	30	DOSING CHAMBER	ENGINEER APPROVAL

**TREATMENT SYSTEM PUMP SPECIFICATIONS:**

3. ORENCO DISCHARGE ASSEMBLIES (LOW HEAD STYLE) SHALL BE CORROSION-RESISTANT AND SOLVENT-WELDED. USE CAM-STYLE QUICK DISCONNECT FITTINGS AND BALL VALVE.
4. TRANSFER PUMP DUTY POINT: 25 GALLONS PER MINUTE (GPM) AT 23 FEET TOTAL DYNAMIC HEAD (FT TDH)
5. RECIRCULATION PUMP DUTY POINT: 50 GPM AT 30 FT TDH
6. DOSING PUMP DUTY POINT: 85 GPM AT 37 FT TDH

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File Date: 21-Jul-2021 by: Chris Onea

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**CONSULTANTS**

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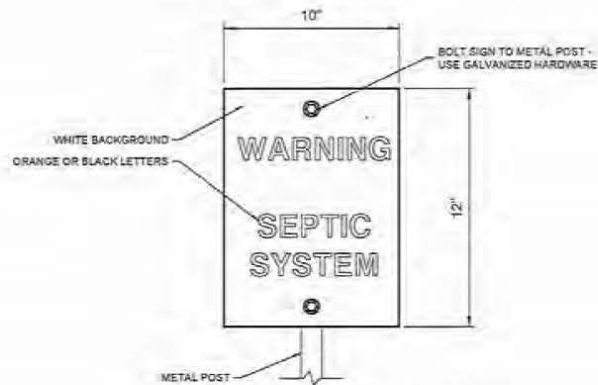


HOLIDAY STATION STORE  
HAM LAKE, MN

CONTROL PANEL &  
MOTOR SPECIFICATIONS

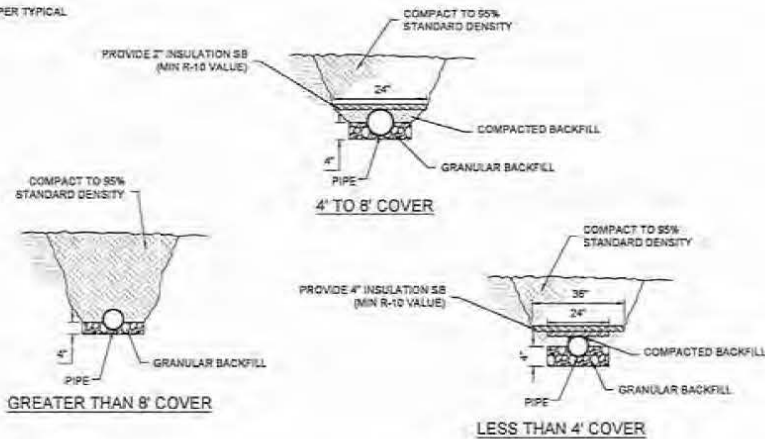
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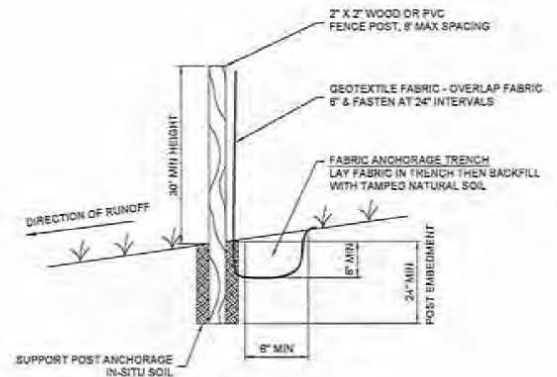


**WARNING SIGN - TYPICAL**  
SCALE: NONE  
MOUNT NEXT TO TANKS OR GATE

NOTE:  
ALL PIPING SHALL BE INSTALLED PER TYPICAL TRENCH SECTION.



**TYPICAL TRENCH SECTION**  
SCALE: NONE



**SILT FENCE**  
SCALE: NONE

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CONSULTANTS

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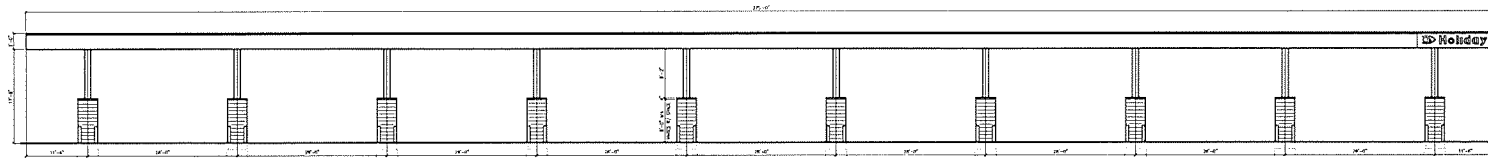
HOLIDAY STORE  
HAM LAKE, MN

SITE WORK DETAILS

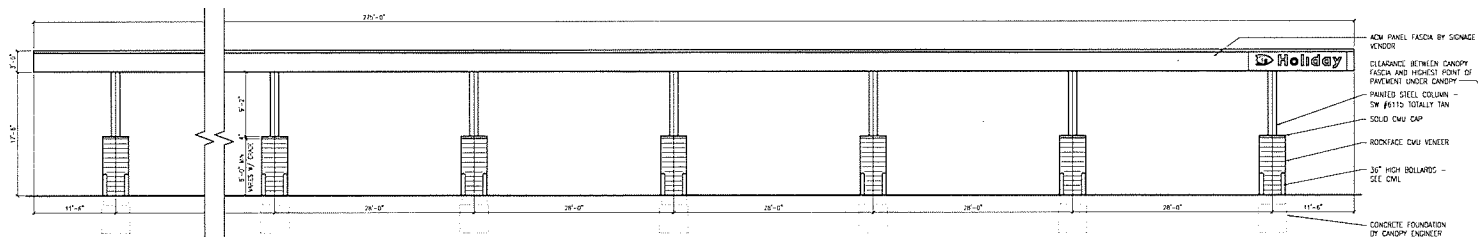
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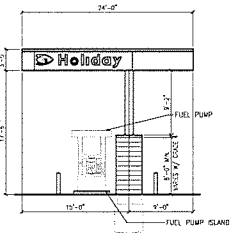
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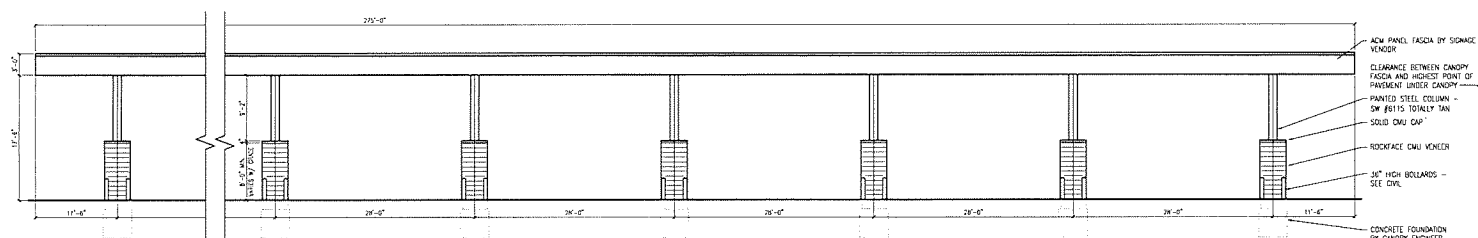
9 OVERALL ELEVATION (SHOWN FOR REFERENCE)  
SCALE: 3/32" = 1'-0"



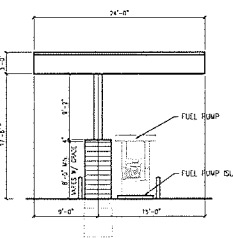
1 FRONT ELEVATION (NORTH)  
SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION (WEST)  
SCALE: 1/8" = 1'-0"

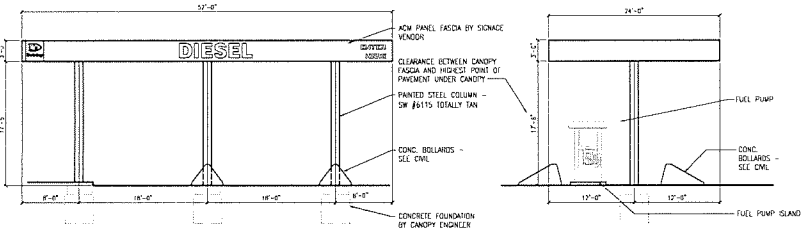


3 BACK ELEVATION (SOUTH)  
SCALE: 1/8" = 1'-0"

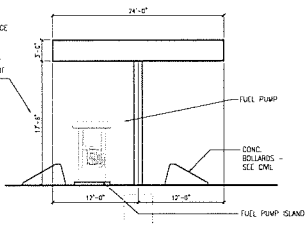


4 SIDE ELEVATION (EAST)  
SCALE: 1/8" = 1'-0"

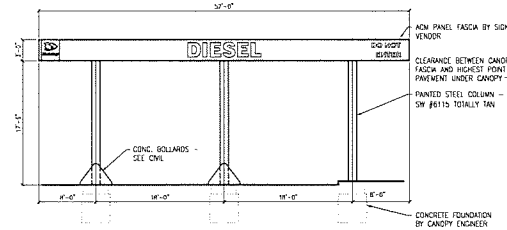
ROOFFACE CMU: PROVIDE COLOR FROM MANUFACTURER'S STANDARD COLORS TO MATCH OLDCASTLE 'BOOT BROWN', PROVIDE MATCHING COLORED MORTAR TO MATCH.



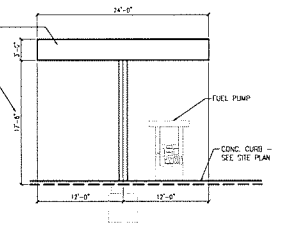
5 FRONT ELEVATION (NORTH)  
SCALE: 1/8" = 1'-0"



6 SIDE ELEVATION (WEST)  
SCALE: 1/8" = 1'-0"



7 BACK ELEVATION (SOUTH)  
SCALE: 1/8" = 1'-0"



8 SIDE ELEVATION (EAST)  
SCALE: 1/8" = 1'-0"

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11/22/20	DRY SHEETPL
02/24/21	DRY DRAWING
03/23/21	DRY REVIEW SET
07/22/21	FINAL SET

**PROFESSIONAL SEAL**  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
Printed Name: Kathy L. Anderson

Signature:   
License #: 20035  
Date: 07-22-21

**PROFESSIONAL IN CHARGE**  
NAME  
**PROJECT MANAGER**  
NAME  
**QUALITY CONTROL**  
NAME  
**DRAWN BY**  
NAME

**PROJECT NAME**  
**HOLIDAY**  
**STATIONSTORE**  
**#0223**  
**HAM LAKE**  
**MINNESOTA**

1442 CROSSTOWN BLVD. NE  
HAM LAKE, MN 55304



**PROJECT NUMBER**  
20-1057-01  
**SHEET TITLE**

**FUEL CANOPY ELEVATIONS**

**SHEET NUMBER**  
**SD1.3**







August 16, 2021

Steve Harrison  
Bergmann  
2 Winners Circle, Suite 102  
Albany, New York 12205

Re: Holiday Station Store

Dear Steve,

We have reviewed the following submittals, received August 6<sup>th</sup>:

1. Final Plat, undated
2. Cover Sheet and Project Information, revised August 6<sup>th</sup>
3. Traffic Control Plan, revised August 6<sup>th</sup>
4. Signage and Striping Plan, revised August 6<sup>th</sup>
5. Chisholm Street Plan and Profile, revised August 6<sup>th</sup>
6. Demo Plan, revised August 6<sup>th</sup>
7. Site Dimension Plan, revised August 6<sup>th</sup>
8. Site Keynote Plan, revised August 6<sup>th</sup>
9. Site Circulation Plan, revised August 6<sup>th</sup>
10. Grade Plan, revised August 6<sup>th</sup>
11. Storm Sewer Plan, revised August 6<sup>th</sup>
12. Storm Sewer Notes and Details, revised August 6<sup>th</sup>
13. Utility Plan, revised August 6<sup>th</sup>
14. Utility Notes, revised August 6<sup>th</sup>
15. Site Details, revised August 6<sup>th</sup>
16. Erosion Control Plan, revised August 6<sup>th</sup>
17. Erosion Control Notes, revised August 6<sup>th</sup>
18. Erosion Control Details, revised August 6<sup>th</sup>
19. Landscape Plan, revised August 6<sup>th</sup>
20. Onsite Wastewater System Plans, revised July 29<sup>th</sup>
21. Stormwater Management Calculations, revised July 23<sup>rd</sup>
22. Rare Plant Survey Report, dated June 23<sup>rd</sup>
23. Road Easement exhibit, dated March 18<sup>th</sup>
24. Trail Easement exhibit, dated March 17<sup>th</sup>

**Site Circulation Plan:**

1. The truck turning movement shows westbound truck in eastbound lanes of Crosstown Boulevard.

**Stormwater Management Calculations:**

1. Inverts identified on detail Oil Skimmer #2 and Storm Sewer Plans do not match.
2. HydroCAD outflow for Pond 12 does not match outflow presented on Pond 1 and Pond 9 for the similar structure used. Pond 12 outlines devices as in parallel when devices #2 and #3 should be in series of device #1 as Pond 1 and 9 show.

August 16, 2021  
Steve Harrison  
Page 2

Please submit a response to comments with your next submittal. You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the items listed above have been addressed. Please contact me if you have any questions on the above review items. Thanks.

Sincerely,

RFC Engineering, Inc.



Tom Collins, P.E.  
Ham Lake City Engineer

cc: Travis Comer  
cc: Jim Goeppner  
cc: Stephen Schuh  
cc: Glenn Harvey  
cc: James Hollis  
cc: Dennis Honsa  
cc: Robert Mueller  
cc: Erin Edison  
cc: Abbey Lee  
cc: Jennifer Bohr  
cc: file 1802.106  
cc: 2102 correspondence

## Tom Collins

---

**From:** Horton, Becky (DNR) <becky.horton@state.mn.us>  
**Sent:** Friday, August 6, 2021 10:19 AM  
**To:** Scott A. Milburn; Harrison, Stephen  
**Cc:** Jim Goepfner; Harvey, Glenn; Joyal, Lisa (DNR); Henning-Randa, Bridget (DNR)  
**Subject:** Re: Circle K - Ham Lake - Rare Plant Survey Results and site/grading plan  
**Attachments:** 2021-005\_CircleK\_HamLake\_RarePlantSurvey\_Report.pdf; Circle K Holiday Ham Lake Grading Plan 20210716.pdf; Circle K-Ham Lake, MN-Plant-Site Plan Exhibit 20210716.pdf; RE: Circle K - Ham Lake - Rare Plant Survey Results and site/grading plan

Hi Scott and Steve,

Thank you for submitting the attached survey report and avoidance measures for the Circle K site in Ham Lake.

The survey documented black huckleberry (*Gaylussacia baccata* (threatened)), swamp blackberry (*Rubus semisetosus* (threatened)), a bristle-berry species, (*Rubus stipulatus* (endangered)), and St. Lawrence grapefern (*Sceptridium rugulosum* (special concern)) within the survey area.

We've reviewed the survey report, along with the grading plans and additional information that was provided by Steve Harrison documenting measures that will be taken to avoid impacts to state-protected plants (i.e. those that are listed as threatened or endangered).

The DNR has determined that the report is sufficient and no further surveys are requested. In addition, we've determined that the avoidance measures identified are sufficient. As such, impacts to state-protected plants are not anticipated and a Permit to Take is not needed.

Thank you for your efforts to protect our states rare resources.

Any questions, please let me know.

Becky

**Rebecca Horton**  
Planner Principal | Division of Ecological and Water Resources

**Minnesota Department of Natural Resources**  
500 Lafayette Road  
St. Paul, MN 55155-4025  
Phone: 651-259-5122  
Email: [becky.horton@state.mn.us](mailto:becky.horton@state.mn.us)  
[mndnr.gov](http://mndnr.gov)



**From:** scott.milburn@mnrinc.us <scott.milburn@mnrinc.us>  
**Sent:** Tuesday, July 20, 2021 9:56 AM

**To:** Joyal, Lisa (DNR) <lisa.joyal@state.mn.us>; Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>  
**Cc:** MN\_NHIS, Reports (DNR) <reports.nhis@state.mn.us>; 'Harrison, Stephen' <sharrison@BERGMANNPC.com>  
**Subject:** Circle K - Ham Lake - Rare Plant Survey Results and site/grading plan

**This message may be from an external email source.**

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---

Hi Lisa and Bridget,

I am assisting the folks at Circle K with their proposed project located in Ham Lake as it pertains to rare plants. They are working with a separate consultant for the wetlands component. It is my understanding that the LGU (Coon Creek) will need verification from the DNR as to concurrence with our results to move forward with the wetland permitting process. Additionally needed for the record would be a letter indicating whether or not a takings permit is needed based on the attached exhibits. The plan as designed will only impact the *Sceptridium rugulosum*. We are seeking a brief letter stating both concurrence and need or lack of need for a takings permit for the attached plan.

Please note that we have already submitted our report along with the NHIS observation form and associated shapefile to the "Reports.NHIS" email address. Furthermore, our records/vouchers have been verified by Welby. This is noted in the NHIS observation form under the corresponding attribute column.

We look forward to your correspondence.

Scott

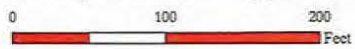
**Scott A. Milburn**  
President/Principal Botanist  
612-310-6260



**Midwest Natural Resources, Inc.**  
1032 West Seventh St. #150  
St. Paul, MN 55102  
[www.mnrinc.us](http://www.mnrinc.us)



Source: Metropolitan Council Aerial Imagery, 2020, MnGeo, MN Department of Natural Resources, US Census Bureau, Date: 8/4/2021



**Wetland Impact  
Revised Site Plan  
Circle K - Ham Lake  
Ham Lake, Anoka County, Minnesota**

Figure 1

# CIRCLE K DEVELOPMENT - HAM LAKE, MN- RARE PLANT SURVEY REPORT

Prepared for:  
Mr. Stephen R. Harrison  
Senior Design Engineer  
Bergman  
2 Winners Circle, Suite 102  
Albany, NY 12205



JUNE 23, 2021



Prepared by:  
Midwest Natural Resources, Inc.  
1032 West 7th Street, Suite 150  
St. Paul, Minnesota 55102  
[www.mnrinc.us](http://www.mnrinc.us)



Mr. Jim Goepner  
Real Estate Development Manager  
Holiday Stationstores, LLC  
4567 American Boulevard West  
Bloomington, MN 55437

June 23, 2021

Mr. Goepner,

Midwest Natural Resources, Inc. (MNR) is pleased to provide the following botanical survey report for the proposed Circle K convenience store development located southeast of the intersection of State Highway 65 and Crosstown Boulevard NE in Ham Lake, Minnesota. (**Figure 1**).

### **Project Limits and Existing Background Data**

The project area, which is approximately 12.2 acres, is located in Township 32 North, Range 23 West in the SWSE quarter-quarter section of Section 5 (**Figure 2**). Background data evaluated includes digital soil data, the Minnesota Biological Survey (MBS) sites of biodiversity significance data layer, and the Minnesota Department of Natural Resources (DNR) Native Plant Community (NPC) data layer. According to the Anoka County Soil Survey (**Figure 3**), the site includes five different soil series: Isanti fine sandy loam (Iw), Lino loamy fine sand (LnA), Markey muck (Ma), Soderville fine sand (SoA), and Zimmerman fine sand (ZmB). All of these soil series, with the exception of Zimmerman fine sand, are either somewhat poorly drained or very poorly drained and are often associated with rare plant species occurrences. However, there are no NPCs or sites of biodiversity significance mapped within the project limits.

Based on a Natural Heritage Information System (NHIS) review by the DNR, the project area is located within one mile of two state-threatened vascular plant species (*Viola lanceolata* var. *lanceolata* and *Rubus fulleri*) and one state-threatened reptile species, the Blanding's turtle (*Emydoidea blandingii*). Consequently, survey efforts targeted lance-leaved violet (*Viola lanceolata* var. *lanceolata*) and also included a habitat assessment for the rare bristle-berry species (*Rubus fulleri*) and Blanding's turtle.

### **Methods**

Prior to conducting field surveys, MNR submitted a rare plant survey protocol to the DNR Endangered Species Coordinator (**Appendix A**). This survey protocol listed the three target species identified in the NHIS review.

The site was initially surveyed on May 3, 2021 by Otto Gockman, Jake Walden, and the undersigned. Additional surveys were conducted as a result of the initial survey visit. A second survey was conducted on May 26, 2021 by Otto Gockman, Jaxon Lane, and the undersigned, and a third site visit was conducted on June 17, 2021 by Otto Gockman and the undersigned. The initial survey involved meandering throughout the entire site, whereas subsequent visits focused on specific areas with habitat for the targeted species. A general plant species list was collected for the site along with representative site photos, general site notes,

and notes regarding habitat potential for targeted rare species. This general observed species list is provided in **Appendix B**.

The extent of rare plant locations was delineated and recorded spatially. The number of individuals present was either counted or estimated. That information is included in the associated attribute table. All collected spatial data during this effort was captured using a sub-meter GPS unit (Trimble® GeoXT 6000). All spatial data was collected in WGS84 and post-processed in ArcMap using Trimble Positions Desktop.

Additionally, voucher specimens were collected and pressed with the intent to both verify the identification of the collected specimens and submit to the University of Minnesota Herbarium.

## Results

The site is partially developed with an existing convenient store/gas station and associated infrastructure. The remainder of the site includes open old field, several small wooded areas, and several altered/artificial wetland features. Representative site photos are provided in **Appendix C**.

The open field portions of the site are located directly south of the parking lot on the west side of the parcel and the central portion of the site. These areas include smooth brome (*Bromus inermis*) and Kentucky bluegrass (*Poa pratensis*) along with yarrow (*Achillea millefolium*), oldfield cinquefoil (*Potentilla simplex*), common sheep sorrel (*Rumex acetosella*), and dandelion (*Taraxacum officinale*). The state-listed St. Lawrence grapefern (*Sceptridium rugulosum*) was located in two separate locations of the open field. This species was associated with wild strawberry (*Fragaria virginiana*), oldfield cinquefoil, dissected grapefern (*Sceptridium dissectum*), and leathery grapefern (*Sceptridium multifidum*). Additional information pertaining to St. Lawrence grapefern is included in **Table 1**.

The primary forested area, located on the east side of the project area, is a small oak-dominated fire dependent forest that includes white oak (*Quercus alba*), northern pin oak (*Q. ellipsoidalis*), red oak (*Q. rubra*) and black cherry (*Prunus serotina*). Other prominent species in this area include Pennsylvania sedge (*Carex pensylvanica*), beaked hazel (*Corylus cornuta*), star flower (*Trientalis borealis*), as well as the state-threatened black huckleberry (*Gaylussacia baccata*). Additional information pertaining to this species is included in **Table 1**.

There is a linear excavated basin dominated by cattails on the western end of the site immediately south of an existing parking lot. This area is adjacent to a wooded area dominated by quaking aspen (*Populus tremuloides*) with black cherry in the shrub layer along with woodbine (*Parthenocissus vitacea*). This wooded area transitions into a graminoid-dominated wet meadow community. Two rare *Rubus* species were located in this area, the swamp blackberry (*Rubus semisetosus*) and one of the bristle-berry species (*Rubus stipulatus*). The swamp blackberry has a state status of Threatened and this species bristle-berry species has a state status of Endangered. Additional information pertaining to these two species is included in **Table 1**. Location information for all documented rare species is illustrated in **Figure 4**. Representative photos are provided in **Appendix D** and photo locations are depicted in **Figure 5**.

**Table 1. Rare Plant Summary**

Scientific Name	Status <sup>1</sup>	Habitat and Associate Species	Number of Individuals
<i>Gaylussacia baccata</i>	THR	Occurring in a dry oak forest. Associated with <i>Vaccinium angustifolium</i> , <i>Acer rubrum</i> , <i>Carex pensylvanica</i> , <i>Corylus americana</i> , and <i>Quercus rubrum</i> .	Estimated 200 individuals
<i>Rubus semisetosus</i>	THR	Occurring in a wet meadow/wood transition (with quaking aspen). Associate species include <i>Ilex verticillata</i> , <i>Onoclea sensibilis</i> , <i>Parthenocissus vitacea</i> , <i>Phalaris arundinacea</i> , <i>Populus tremuloides</i> , <i>Solidago gigantea</i> , <i>Spiraea alba</i> , and <i>Thelypteris palustris</i> .	Est. 200 individuals



Scientific Name	Status <sup>1</sup>	Habitat and Associate Species	Number of Individuals
<i>Rubus stipulatus</i>	END	Plants observed growing along the edge of an aspen dominated woodland. Associate species include <i>Populus tremuloides</i> , <i>Spiraea alba</i> , <i>Solidago gigantea</i> , <i>Phalaris arundinacea</i> , <i>Potentilla simplex</i> , <i>Osmunda regalis</i> , and <i>Ilex verticillata</i> .	Est. 100 individuals
<i>Sceptridium rugulosum</i>	SC	Observed in the transitions from open field to woodland. Associate species include <i>Fragaria virginiana</i> , <i>Rumex acetosella</i> , <i>Potentilla simplex</i> , <i>Potentilla simplex</i> , <i>Sceptridium dissectum</i> , <i>Sceptridium multifidum</i> , and <i>Poa pratensis</i> .	Seven individuals

<sup>1</sup>SC = MN Special Concern, THR = MN Threatened, END = MN Endangered

The site additionally includes a much larger wetland feature in the northeast portion of the site. This area includes an excavated open water basin, extending further east into a cattail (non-native) dominated marsh system.

In regards to the Blanding's turtle, the project area falls within the known range of this species. According to the DNR rare species guide, Blanding's turtles utilize a variety of calm, shallow wetlands and require sparsely-vegetated, well-drained sandy soils for nesting. The project area contains both wetland and upland areas meeting these descriptions. Numerous other suitable wetlands are present within a mile of the project area – a distance Blanding's turtles have been observed travelling to find nesting sites. The sparsely-vegetated, sandy soils within the project area have the potential to attract Blanding's turtles from nearby areas. We advise that you refer to the list of recommendations provided by the DNR in the Natural Heritage Review correspondence as it pertains to avoiding and minimizing impacts to this species.

## Conclusion

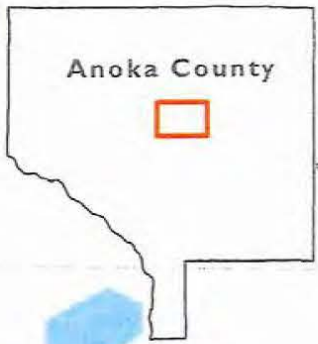
As noted, four state-listed species were documented during survey efforts. Three of these species are protected by state law, which prohibits the taking, importing, transporting, or selling of any part of a threatened or endangered species. A takings permit through the DNR will be required if impacts are unavoidable and we can assist you in that case.

Please feel free to contact us with any questions.

Respectfully submitted,



Scott A. Milburn, MS  
Principal Botanist/President  
Midwest Natural Resources, Inc.



Lat: 45.387062  
Long: -93.229739

Reference Point  
Survey Area

Source: OpenStreetMaps, US Census Bureau, Date: 5/19/2021  
0 0.25 0.5 Miles

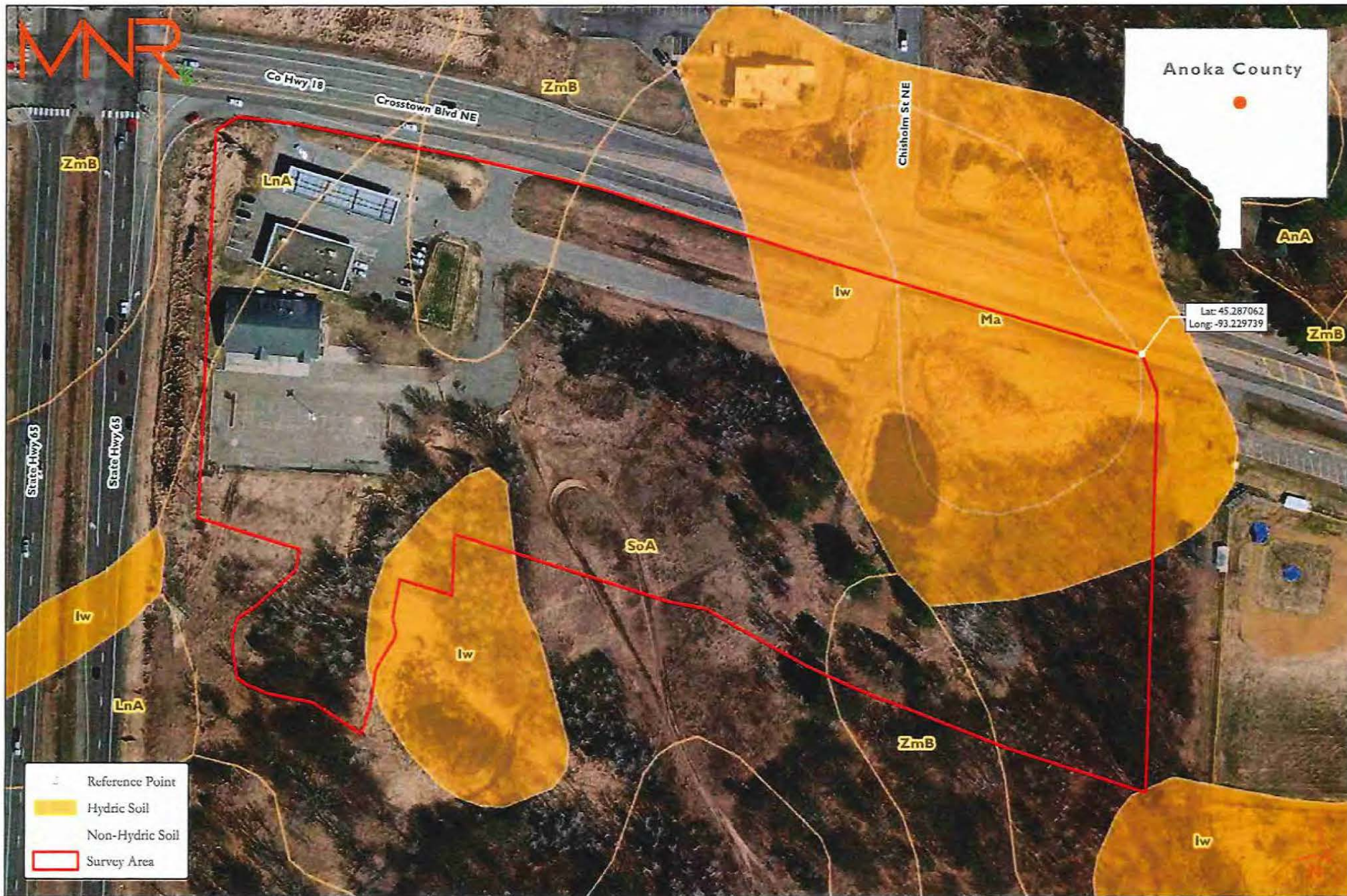
**Project Location**  
**Rare Plant Survey**  
**Circle K – State Hwy 65 and Crosstown Boulevard NE**  
**Ham Lake, Anoka County, Minnesota**

Figure 1



PLSS Survey Divisions  
Rare Plant Survey  
Circle K – State Hwy 65 and Crosstown Boulevard NE  
Ham Lake, Anoka County, Minnesota

Figure 2



Anoka County Soil Survey  
Rare Plant Survey  
Circle K – State Hwy 65 and Crosstown Boulevard NE  
Ham Lake, Anoka County, Minnesota

Figure 3

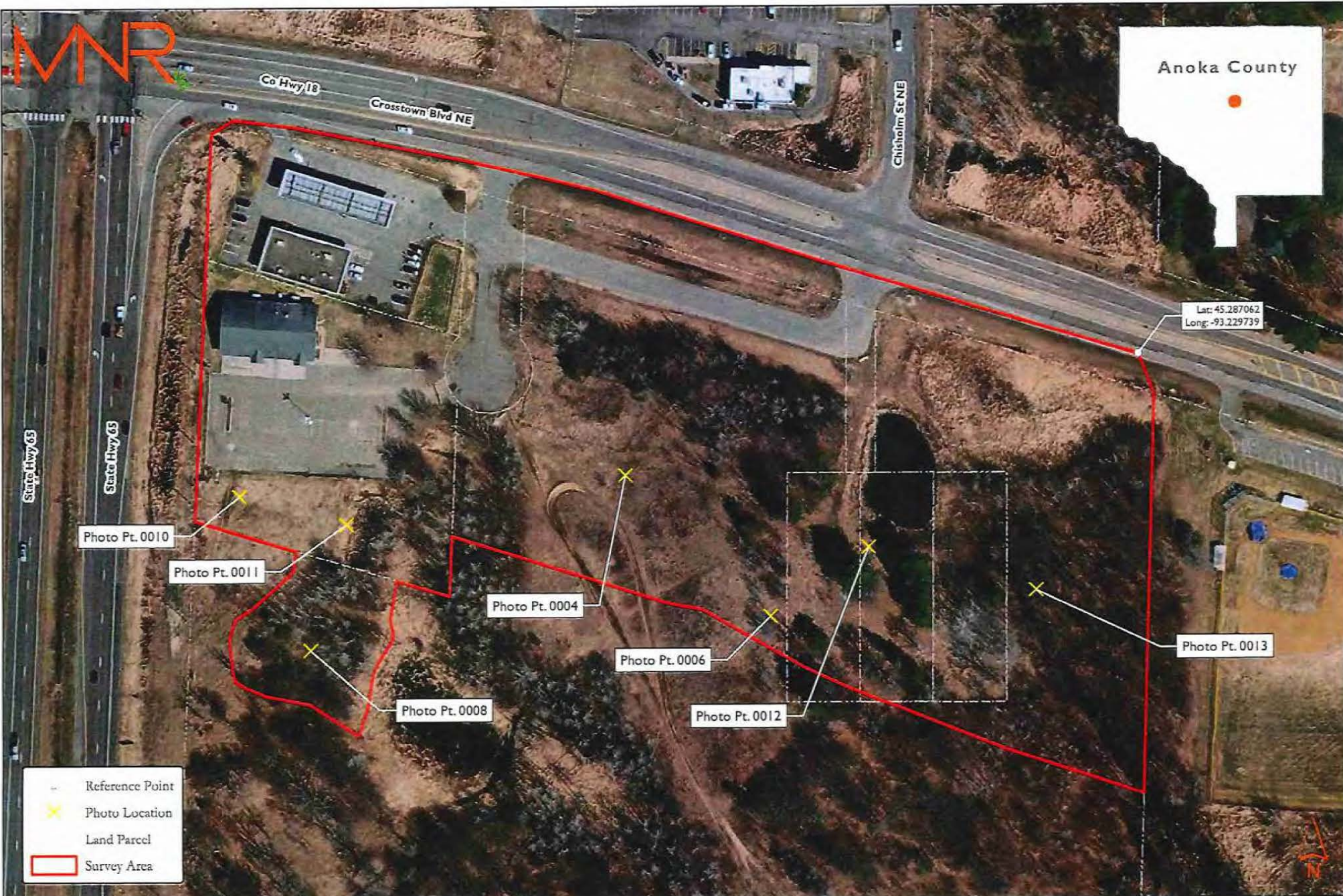


Source: MnGeu, MN Department of Natural Resources, US Census Bureau, Date: 6/21/2021



**Survey Results**  
**Rare Plant Survey**  
 Circle K – State Hwy 65 and Crosstown Boulevard NE  
 Ham Lake, Anoka County, Minnesota

Figure 4



Source: MinGeo, MN Department of Natural Resources, US Census Bureau, Date: 6/21/2021



**Photo Locations**  
**Rare Plant Survey**  
**Circle K – State Hwy 65 and Crosstown Boulevard NE**  
**Ham Lake, Anoka County, Minnesota**

Figure 5

# Appendix A – Survey Protocol



Ms. Lisa Joyal  
Endangered Species Review Coordinator  
Minnesota Department of Natural Resources  
Ecological & Water Resources  
500 Lafayette Road  
St. Paul, MN 55155

April 2, 2021

Ms. Joyal,

Midwest Natural Resources, Inc. (MNR) is intending to conduct a habitat survey/rare plant survey at a site slated for redevelopment that expands beyond the existing structural footprint. The project site is located south of Crosstown Blvd NE and east of State Highway 65 in Ham Lake, Minnesota (**Figure 1**). This effort is being conducted for Bergmann, the project Engineer.

A formal request of the Natural Heritage Information System (NHIS) had been submitted by Earth Science Associates. Please note that Earth Science Associates is no longer involved with this aspect of the project. We have reviewed the NHIS response (**Correspondence # ERDB 20210144**) which indicates that the site is near known populations of lance-leaved violet (*Viola lanceolata*) and a rare bristle-berry species (*Rubus fulleri*). Both species have a state-status of threatened. This correspondence additionally lists the potential of Blanding's turtle (*Emydoidea blandingii*) since this state-threatened species has also been documented nearby.

We are intending to conduct field surveys in early- to mid-May and this effort will be completed by two of our DNR approved rare plant species surveyors, myself included. The intent will be to focus on locating lance-leaved violet and the documenting of site conditions. The latter will involve determining whether habitat for the bristle-berry is present as well as other potential state-listed plant species not considered in the NHIS correspondence. Additionally, we will assess the project area, determining if there is suitable habitat for the Blanding's turtle. We are not intending to conduct targeted surveys for this species, but we will document any incidental occurrences and note the locations where suitable habitat may persist.

Survey efforts will involve documenting all vascular plant species observed during this visit. Rare plant species, if encountered, will be documented spatially using sub-meter GPS units (Trimble GeoXT 6000). Rare plant species documentation will include notes on habitat, associate species, number of individuals observed within each population documented, and representative photos. Voucher collections will be made following the DNR's collection guidance procedure should the population allow for collecting. We will also evaluate the site at this time to determine the potential need for additional surveys later in the growing season.

A summary report will be produced at the conclusion of field efforts. This document will include survey methods, survey results, report figures/graphics, and appendices (species lists and representative photos). The report along with the GIS shapefile, associated spreadsheet, and an email from Welby Smith verifying



plant specimen identification will be submitted to the designated NHIS email address should we have positive results.

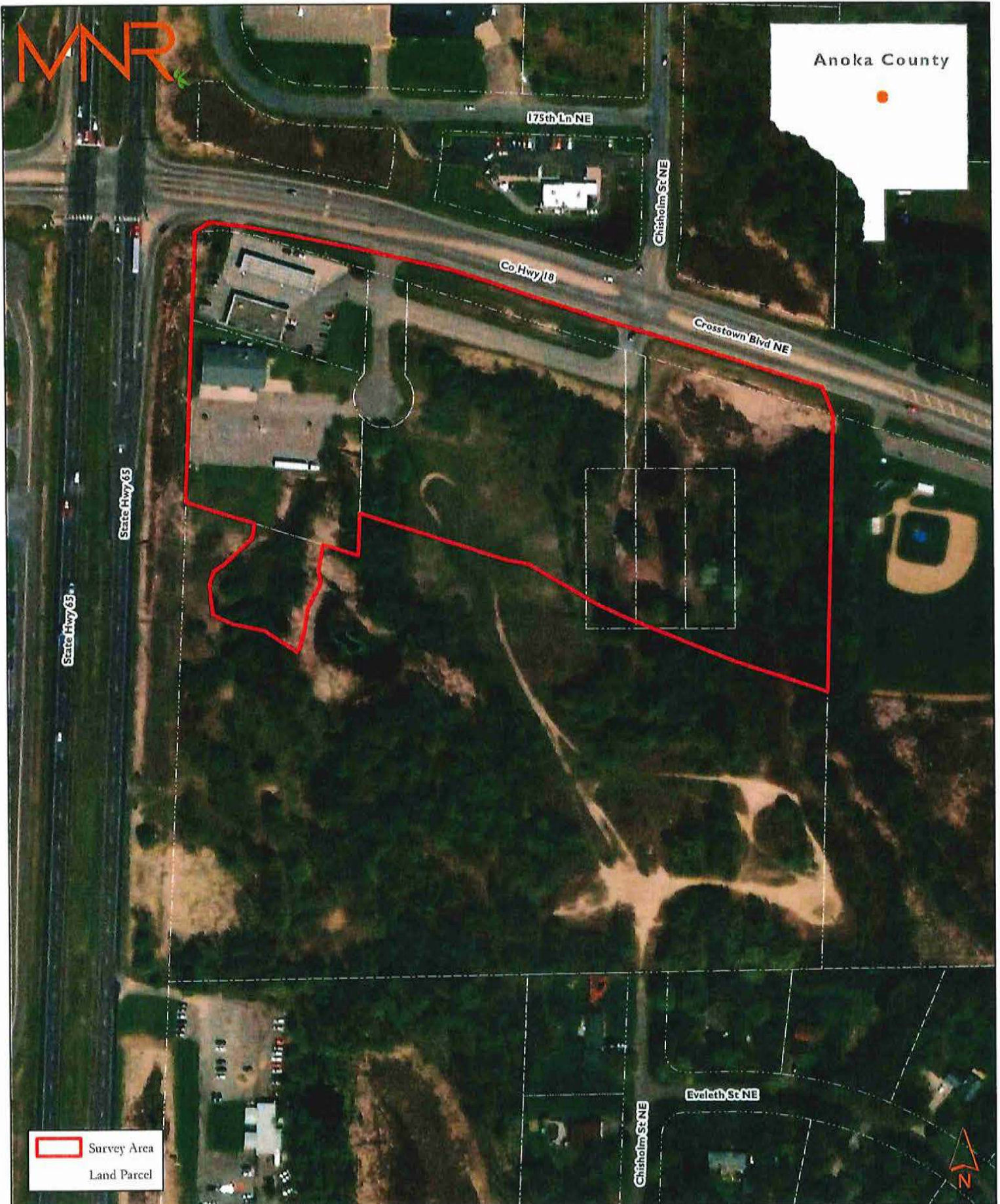
Please let us know if you have any questions.

A handwritten signature in blue ink, appearing to read 'S.A. Milburn', is written over a solid horizontal line.

Scott A. Milburn, MS  
Principal Botanist/President  
Midwest Natural Resources, Inc.

MNR

Anoka County



Survey Area  
Land Parcel

Source: Esri World Imagery, Anoka County, US Census Bureau, Date: 2/16/2021

0 200 400 Feet

Rare Species Survey  
Circle K – Ham Lake, MN  
Circle K Stores Inc.  
Ham Lake, Anoka County, Minnesota

Figure 1

## Appendix B – Species Lists

Species List		
<i>Acer negundo</i>	<i>Hieracium aurantiacum</i>	<i>Rubus cf. allegheniensis</i>
<i>Acer rubrum</i>	<i>Ilex verticillata</i> var. <i>verticillata</i>	<i>Rubus ferrofluvius</i>
<i>Achillea millefolium</i>	<i>Leonurus cardiaca</i>	<i>Rubus idaeus</i> var. <i>strigosus</i>
<i>Agrostis gigantea</i>	<i>Lespedeza capitata</i>	<i>Rubus occidentalis</i>
<i>Amelanchier</i> sp.	<i>Linaria vulgaris</i>	<i>Rubus recurvans</i>
<i>Andropogon gerardii</i>	<i>Lonicera dioica</i>	<i>Rubus semisetosus</i>
<i>Anemone quinquefolia</i> var. <i>quinquefolia</i>	<i>Lonicera tatarica</i>	<i>Rubus stipulatus</i>
<i>Antennaria neglecta</i>	<i>Luzula multiflora</i> subsp. <i>multiflora</i>	<i>Rudbeckia hirta</i> var. <i>pulcherrima</i>
<i>Antennaria parlinii</i>	<i>Lycopodium clavatum</i>	<i>Rumex acetosella</i>
<i>Aquilegia canadensis</i>	<i>Maianthemum canadense</i>	<i>Sceptridium dissectum</i>
<i>Arisaema triphyllum</i>	<i>Monarda fistulosa</i>	<i>Sceptridium multifidum</i>
<i>Aristida basiramea</i>	<i>Morus alba</i>	<i>Sceptridium rugulosum</i>
<i>Asclepias incarnata</i> var. <i>incarnata</i>	<i>Oenothera biennis</i>	<i>Schizachyrium scoparium</i> var. <i>scoparium</i>
<i>Asclepias syriaca</i>	<i>Onoclea sensibilis</i>	<i>Scirpus cyperinus</i>
<i>Athyrium filix-femina</i> var. <i>angustum</i>	<i>Osmorhiza</i> sp.	<i>Solidago canadensis</i>
<i>Barbarea vulgaris</i>	<i>Osmunda claytoniana</i>	<i>Solidago gigantea</i>
<i>Berberis thunbergii</i>	<i>Osmunda regalis</i> var. <i>spectabilis</i>	<i>Sorghastrum nutans</i>
<i>Berterea incana</i>	<i>Panicum virgatum</i>	<i>Spiraea alba</i>
<i>Betula papyrifera</i>	<i>Phalaris arundinacea</i>	<i>Spiraea tomentosa</i> var. <i>rosea</i>
<i>Boechera grahamii</i>	<i>Phleum pratense</i> subsp. <i>pratense</i>	<i>Stachys cf. palustris</i>
<i>Bromus inermis</i>	<i>Pinus banksiana</i>	<i>Syringa vulgaris</i>
<i>Carduus acanthoides</i> subsp. <i>acanthoides</i>	<i>Pinus resinosa</i>	<i>Taraxacum officinale</i>
<i>Carex debilis</i> var. <i>rudgei</i>	<i>Pinus strobus</i>	<i>Thelypteris palustris</i> var. <i>pubescens</i>
<i>Carex lacustris</i>	<i>Pinus sylvestris</i>	<i>Tragopogon dubius</i>
<i>Carex pensylvanica</i>	<i>Plantago rugelii</i>	<i>Trientalis borealis</i>
<i>Carex siccata</i>	<i>Platanthera psycodes</i>	<i>Trifolium repens</i>
<i>Centaurea stoebe</i> subsp. <i>micranthos</i>	<i>Poa palustris</i>	<i>Typha</i> sp.
<i>Cerastium fontanum</i> subsp. <i>vulgare</i>	<i>Poa pratensis</i> subsp. <i>pratensis</i>	<i>Ulmus americana</i>
<i>Circaea lutetiana</i> var. <i>canadensis</i>	<i>Populus alba</i>	<i>Ulmus pumila</i>
<i>Cirsium muticum</i>	<i>Populus tremuloides</i>	<i>Uvularia sessilifolia</i>
<i>Cornus racemosa</i>	<i>Potentilla recta</i>	<i>Vaccinium angustifolium</i>
<i>Corylus cornuta</i> subsp. <i>cornuta</i>	<i>Potentilla simplex</i>	<i>Verbascum thapsus</i>
<i>Desmodium canadense</i>	<i>Prunus pensylvanica</i>	<i>Viburnum opulus</i>
<i>Dianthus armeria</i> subsp. <i>armeria</i>	<i>Prunus serotina</i>	<i>Viola blanda</i>
<i>Diervilla lonicera</i>	<i>Prunus virginiana</i>	<i>Viola macloskeyi</i> var. <i>pallens</i>
<i>Dryopteris carthusiana</i>	<i>Pseudognaphalium obtusifolium</i>	<i>Zanthoxylum americanum</i>
<i>Dryopteris cristata</i>	<i>Pycnanthemum virginianum</i>	<i>Zizia aurea</i>
<i>Echinocystis lobata</i>	<i>Quercus alba</i>	
<i>Eragrostis</i> sp.	<i>Quercus ellipsoidalis</i>	
<i>Erigeron strigosus</i>	<i>Quercus rubra</i>	
<i>Fragaria virginiana</i>	<i>Ranunculus abortivus</i>	
<i>Galium cf. asprellum</i>	<i>Ratibida pinnata</i>	
<i>Gaylussacia baccata</i>	<i>Rhamnus cathartica</i>	
<i>Glechoma hederacea</i>	<i>Rhus hirta</i>	
<i>Goodyera pubescens</i>	<i>Ribes cynosbati</i>	
<i>Hemerocallis</i> sp.	<i>Ribes missouriense</i>	

## Appendix C – Representative Photos



Photo Pt.0004: Old field (facing south)



Photo Pt.0006: Old field (facing west)



Photo Pt.0008: Wooded area (facing north)



Photo Pt.0010: Open field (facing east)



Photo Pt.0011: Excavated basin (facing east)



Photo Pt.0012: Excavated Pond (facing north)





Photo Pt.0013: Oak woodland (facing east)

## Appendix D – Rare Species Photos



Photo of *Gaylussacia baccata*.



Photo of *Sceptribidium rugulosum*.



Photo of the leaves of *Rubus semisetosus*.



Photo of the leaf underside of *Rubus semisetosus*.



Photo of the inflorescence of *Rubus semisetosus*.



Photo of the habitat of *Rubus semisetosus*.



Photo of the leaf of *Rubus stipulatus*.



Photo of the stipule of *Rubus stipulatus*.



Photo of the inflorescence of *Rubus stipulatus*.



Photo of the habitat of *Rubus stipulatus*.

ESA 09OCT20: ADD WTL B IMPACT FOR ACOE  
 SURVEYED WETLAND AREAS PER 1-4OCT20 TEP FIELD VISIT



Know what's below.  
 Call before you dig.



**INSITES**  
 THE PLANNING AND ARCHITECTURE  
 COMPANY

- 03/20/20 STANBOK
- 05/20/20 SET REVIEW
- 05/19/20 EOW DRAWING
- 02/20/20 EOW CHANGES
- 02/20/20 CITY REVIEW
- 02/20/20 CITY COMMENTS
- 02/19/20 CITY COMMENTS
- 02/20/20 WEDGAL SET
- 02/19/20 WEDGAL PLANS
- 02/19/20 WEDGAL CHANGES
- 02/19/20 SITE CHANGE

PROFESSIONAL SEAL

Version: 1.000  
 Date: 21-AUG-2021

PROFESSIONAL IN CHARGE  
 PROJECT MANAGER  
 QUALITY CONTROL  
 DRAWN BY

PROJECT NAME  
**CIRCLE K STORES INC.**

**HAM LAKE MINNESOTA**

1442 CROSSTOWN BLVD NE  
 HAM LAKE, MN



CIRCLE K STORES INC.

PROJECT NUMBER  
 20-018

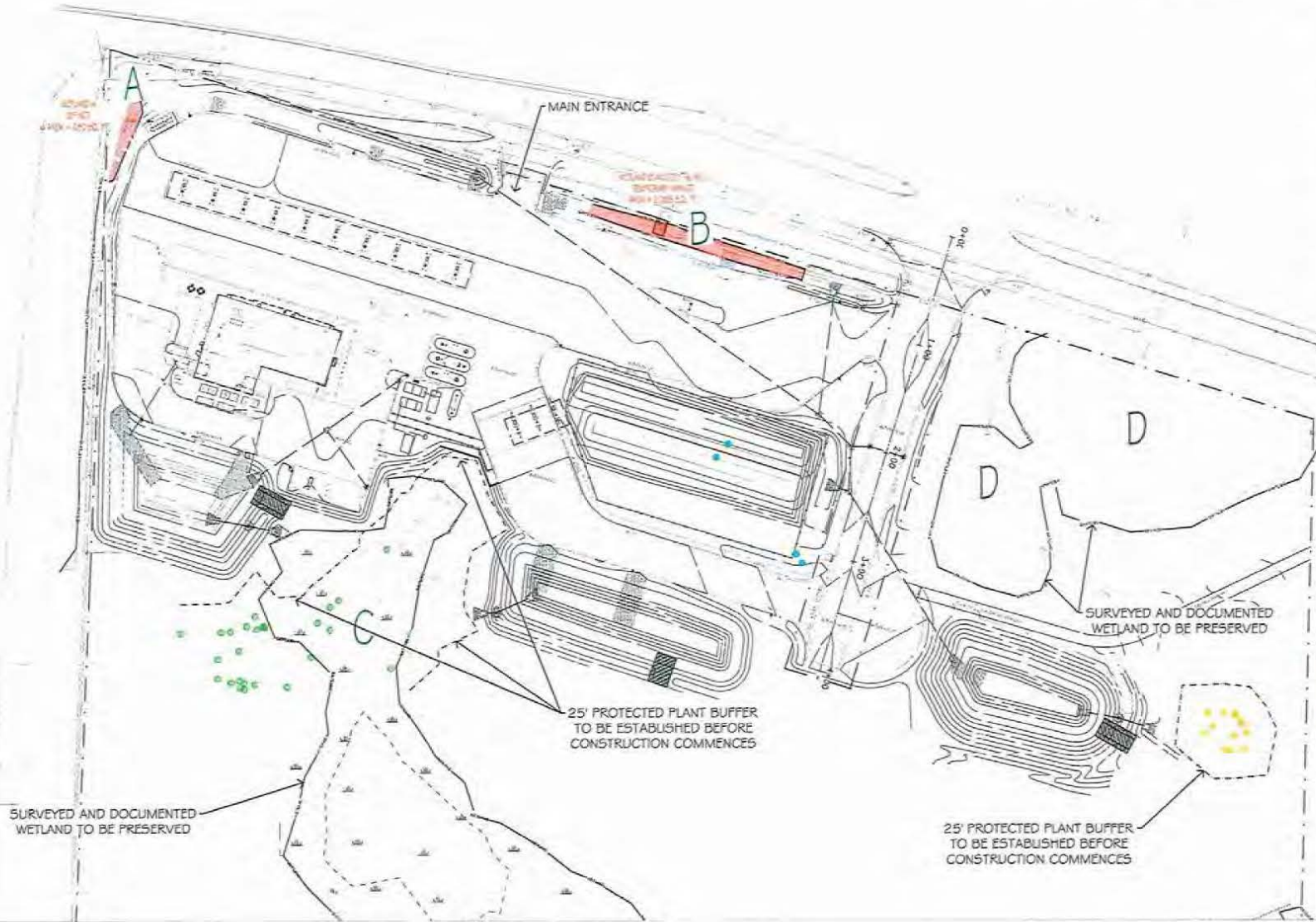
SHEET TITLE

**WETLAND PLANT PRESERVATION**

SHEET NUMBER

**WP**

INSITES INC.



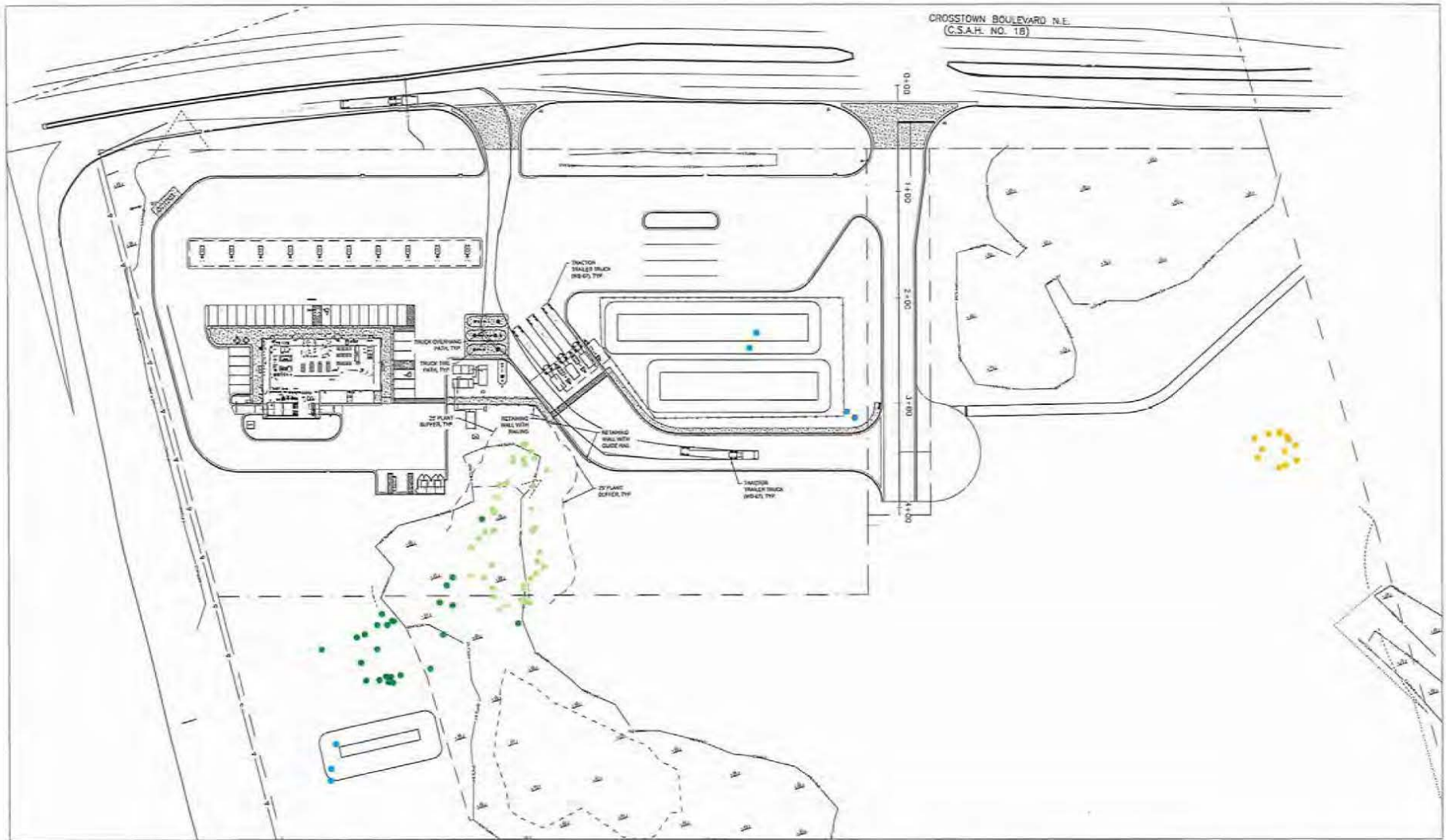
SURVEYED AND DOCUMENTED WETLAND TO BE PRESERVED

25' PROTECTED PLANT BUFFER TO BE ESTABLISHED BEFORE CONSTRUCTION COMMENCES

SURVEYED AND DOCUMENTED WETLAND TO BE PRESERVED

25' PROTECTED PLANT BUFFER TO BE ESTABLISHED BEFORE CONSTRUCTION COMMENCES





HOLIDAY STATIONSTORES - HAM LAKE, MN  
 REVISED SITE PLAN - JULY 6, 2021

SCALE: 1"=40'  
 PREPARED BY: BERGMANN  
 BASE MAP BY INSITES & HONSA SURVEYING

SIGNIFICANT PLANTS

- SCEPTRIDIUM RUGULOSUM (SPECIAL CONCERN - CAN DISTURB)
- GAYLUSSACIA BACCATA (PROTECTED - CAN NOT DISTURB WITHOUT TAKINGS PERMIT)
- RUBUS SEMISETOSUS (PROTECTED - CAN NOT DISTURB WITHOUT TAKINGS PERMIT)
- RUBUS STIPULATUS (PROTECTED - CAN NOT DISTURB WITHOUT TAKINGS PERMIT)

## NOTICE OF PERMIT APPLICATION STATUS

**Project:** Holiday Ham Lake Expansion

**Date:** August 10, 2021

**Applicant:** Holiday Stationstores, LLC  
4567 American Boulevard West  
Bloomington, MN 55437

**Permit Application#:** 20-116

**Purpose:** Gas station expansion

**Location:** SE corner of Crosstown Blvd and Highway 65, Ham Lake

At their meeting on August 9, 2021 the Board of Managers of the Coon Creek Watershed District **conditionally approved** the above referenced project with 5 conditions and 2 stipulations. **This is NOT a permit.**

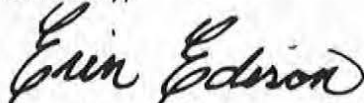
Since your last submittal on 8/6/2021, the following 3 conditions remain which must be addressed before permit issuance (please see note below on how to address conditions).

1. Update outlet routing for Pond 12 in the HydroCAD model. Outlet devices #2 and #3 should be routed to outlet device #1.
2. Provide an O&M Agreement that meets District requirements. – draft under review
3. Provide TEP approval of de minimis exemption. – new information to be reviewed

Please note that there are also 2 stipulations.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rule 5.1. If you have any questions, please call 763-755-0975.

Sincerely,



Erin Edison  
Watershed Development Coordinator

cc: File 20-116  
Ed Matthiesen, Stantec  
Danielle Tourtillott, Stantec  
Tom Collins, City of Ham Lake

To: Erin Edison, Tim Kelly                      From: Brady Schmitz, Stantec Consulting Services Inc.  
Coon Creek Watershed                      Copy: Ed Matthiesen, P.E., Stantec Consulting Services Inc.  
District  
PAN: 20-116                                      Date: August 6, 2021

---

**Reference: Holiday Ham Lake Expansion Update**

**Exhibits:**

1. Construction Plans (40 sheets); by Insights, dated 08/06/2021, received 08/06/2021.
2. Stormwater Management Report; by Sunde Engineering, dated 08/05/2021, received 08/06/2021.

In Response to the Coon Creek Watershed District "Notice of Permit Application Status" dated 8/10/21:

1. Receipt of escrows. **YES**
2. Update the 100-yr HWL for Pond 12 to be consistent between the grading plan and HydroCAD model. **YES**
3. Update the proposed rates for outfall #3 (wetland C) in the rate control table to be consistent with the HydroCAD model. **YES**
4. Provide an O&M Agreement that meets District requirements. **NO**
5. Provide TEP approval of de minimis exemption. **NO**

**Findings:** Outlet routing for Pond 12 is incorrect in the HydroCAD model. Outlet devices #2 and #3 should be routed to outlet device #1, not to primary.

**Recommendation:** Approval with 3 Conditions and 2 Stipulations:

Conditions:

1. Update outlet routing for Pond 12 in the HydroCAD model. Outlet devices #2 and #3 should be routed to outlet device #1.
2. Provide an O&M Agreement that meets District requirements.
3. Provide TEP approval of de minimis exemption.

Stipulations:

1. Submittal of as-builts for the following stormwater management practices, including volume and critical elevations and proof of installation for hydrodynamic separators.

<b>Stormwater Treatment Practices</b>	<b>Number</b>
Wet Sedimentation Pond	3
Lined Grassed Swale	2
Rain Gaurdian	3
Outlet Control Structure	3

2. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.

## Minnesota Wetland Conservation Act Notice of Decision

<b>Local Government Unit:</b> Coon Creek Watershed District (CCWD)	<b>County:</b> Anoka
<b>Applicant Name:</b> Holiday Stationstores LLC – Gary Brant	
<b>Applicant Representative:</b> Midwest Natural Resources – Scott Milburn	
<b>Project Name:</b> Holiday Ham Lake Expansion	<b>LGU Project No. (if any):</b> 20-116
<b>Date Complete Application Received by LGU:</b> 8/10/2021	
<b>Date of LGU Decision:</b> 8/12/2021	
<b>Date this Notice was Sent:</b> 8/12/2021	

**WCA Decision Type - check all that apply**

<input type="checkbox"/> Wetland Boundary/Type	<input type="checkbox"/> Sequencing	<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Bank Plan (not credit purchase)
<input checked="" type="checkbox"/> No-Loss (8420.0415)	<input checked="" type="checkbox"/> Exemption (8420.0420)		
Part: <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H		Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input checked="" type="checkbox"/> 8 <input type="checkbox"/> 9	

**Replacement Plan Impacts (replacement plan decisions only)**

<b>Total WCA Wetland Impact Area:</b>
<b>Wetland Replacement Type:</b> <input type="checkbox"/> Project Specific Credits: <input type="checkbox"/> Bank Credits:
<b>Bank Account Number(s):</b>

**Technical Evaluation Panel Findings and Recommendations (attach if any)**

<input checked="" type="checkbox"/> Approve <input type="checkbox"/> Approve w/Conditions <input type="checkbox"/> Deny <input type="checkbox"/> No TEP Recommendation
--

**LGU Decision**

<input type="checkbox"/> Approved with Conditions (specify below) <sup>1</sup> List Conditions:	<input checked="" type="checkbox"/> Approved <sup>1</sup>	<input type="checkbox"/> Denied
<b>Decision-Maker for this Application:</b> <input checked="" type="checkbox"/> Staff <input type="checkbox"/> Governing Board/Council <input type="checkbox"/> Other:		
<b>Decision is valid for:</b> <input checked="" type="checkbox"/> 5 years (default) <input type="checkbox"/> Other (specify):		

<sup>1</sup> *Wetland Replacement Plan approval is not valid until BWSR confirms the withdrawal of any required wetland bank credits. For project-specific replacement a financial assurance per MN Rule 8420.0522, Subp. 9 and evidence that all required forms have been recorded on the title of the property on which the replacement wetland is located must be provided to the LGU for the approval to be valid.*

**LGU Findings – Attach document(s) and/or insert narrative providing the basis for the LGU decision<sup>1</sup>.**

<input checked="" type="checkbox"/> Attachment(s) (specify): Site Location, Site Map
<input checked="" type="checkbox"/> Summary: The site is located in Section 5, Township 32N, Range 23W, City of Ham Lake, Anoka County, Minnesota. The site is located at 1442 Crosstown Blvd in Ham Lake, Anoka County, MN.
The applicant proposed to impact 688 square feet of Wetland A. The impact falls below the de minimis threshold and is exempt from mitigation.

The applicant proposes to impact Wetland B. Wetland B was previously impacted and mitigated for as part of a 2009 frontage road project. Wetland B formed following construction and is an incidental wetland. As a result, impacts to Wetland B falls under a no loss.

<sup>1</sup> Findings must consider any TEP recommendations.

### Attached Project Documents

Site Location Map  Project Plan(s)/Descriptions/Reports (specify): Site Map

### Appeals of LGU Decisions

If you wish to appeal this decision, you must provide a written request within 30 calendar days of the date you received the notice. All appeals must be submitted to the Board of Water and Soil Resources Executive Director along with a check payable to BWSR for \$500 *unless* the LGU has adopted a local appeal process as identified below. The check must be sent by mail and the written request to appeal can be submitted by mail or e-mail. The appeal should include a copy of this notice, name and contact information of appellant(s) and their representatives (if applicable), a statement clarifying the intent to appeal and supporting information as to why the decision is in error. Send to:

Appeals & Regulatory Compliance Coordinator  
Minnesota Board of Water & Soils Resources  
520 Lafayette Road North  
St. Paul, MN 55155  
[travis.germundson@state.mn.us](mailto:travis.germundson@state.mn.us)

Does the LGU have a local appeal process applicable to this decision?

Yes<sup>1</sup>  No

<sup>1</sup>If yes, all appeals must first be considered via the local appeals process.

**Local Appeals Submittal Requirements** (LGU must describe how to appeal, submittal requirements, fees, etc. as applicable)

### Notice Distribution (include name)

*Required on all notices:*

SWCD TEP Member: Becky Wozney ([becky.wozney@anokaswcd.org](mailto:becky.wozney@anokaswcd.org))

BWSR TEP Member: Ben Meyer ([ben.meyer@state.mn.us](mailto:ben.meyer@state.mn.us))

LGU TEP Member (if different than LGU contact):

DNR Representative: Melissa Collins ([melissa.collins@state.mn.us](mailto:melissa.collins@state.mn.us)); Julie Siems ([Julie.Siems@state.mn.us](mailto:Julie.Siems@state.mn.us))

Watershed District or Watershed Mgmt. Org.:

Applicant: Gary Brant ([gary.brant@holidaycompanies.com](mailto:gary.brant@holidaycompanies.com))

Agent/Consultant: Scott Milburn ([scott.milburn@mnrinc.us](mailto:scott.milburn@mnrinc.us))

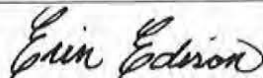
*Optional or As Applicable:*

Corps of Engineers: [usace\\_requests\\_mn@usace.army.mil](mailto:usace_requests_mn@usace.army.mil)

BWSR Wetland Mitigation Coordinator (required for bank plan applications only):

Members of the Public (notice only):  Other: City of Ham Lake, MnDOT

Signature:



Date: 8/12/2021



**Anoka County**  
**TRANSPORTATION DIVISION**

Highway

Joseph J. MacPherson, PE  
County Engineer

May 3, 2021

Stephen Harrison  
280 East Broad Street, Suite 200  
Rochester, NY 14604

Re: Holiday Station - Ham Lake  
Anoka County Plan Approval

Dear Mr. Harrison,

Anoka County has reviewed the Holiday Station - Ham Lake plan and has no further comments. Your contractor can contact our permits section at 763-324-3176 to obtain the right of way permit.

Sincerely,

Michelle Pritchard  
Design Engineer

cc: File (Ham Lake)  
Joe MacPherson, ACHD  
Jerry Auge, ACHD  
Jane Rose, ACHD  
Sue Burgmeier, ACHD  
I:\Eng\Plan Reviews\Ham Lake\2020\Holiday Station\Resubmittal 3-2-21\Approval.docx

**Our Passion Is Your Safe Way Home**

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005  
Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ [www.anokacounty.us/highway](http://www.anokacounty.us/highway)

**Affirmative Action / Equal Opportunity Employer**



# CITY OF HAM LAKE

## PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 7/1/21

Date of Receipt \_\_\_\_\_

Receipt # \_\_\_\_\_

Meeting Appearance Dates:

Planning Commission 8-23-2021 City Council \_\_\_\_\_

Please check request(s):

- |   |   |
|---|---|
| <input type="checkbox"/> Metes & Bounds Conveyance      | <input type="checkbox"/> Commercial Building Permit       |
| <input type="checkbox"/> Sketch Plan                    | <input type="checkbox"/> Certificate of Occupancy         |
| <input type="checkbox"/> Preliminary Plat Approval*     | <input type="checkbox"/> Home Occupation Permit           |
| <input checked="" type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)*    |
| <input type="checkbox"/> Rezoning*                      | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License*          | <input type="checkbox"/> Other _____                      |

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Evergreen Development LLC

Address/Location of property: 153rd Ave NE and Xylite

Legal Description of property: \_\_\_\_\_

PIN # \_\_\_\_\_ Current Zoning - Proposed Zoning R-1

Notes: Plat of Evergreen Estates, 36 single family lots

Applicant's Name: Jim MAUVIN, Tim Lang

Business Name: Evergreen Development LLC

Address 620 Circle Heights Dr

City Circle Pines State MN Zip Code 55014

Phone 763-780-9090 Cell Phone 612-859-2048 Fax \_\_\_\_\_

Email address Jim.MAUVIN@Comcast.net

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

SIGNATURE [Signature] DATE 7-1-21

\*\*\*\*\*

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission \_\_\_\_\_  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT YES NO

## Memorandum

Date: August 18, 2021  
To: Planning Commissioners  
From: Tom Collins, City Engineer *TPC*  
Subject: Evergreen Estates

---

**Introduction:**

The Final Plat, Title Sheet, Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan, Title Sheet, Existing Conditions & General Notes Plan, Street & Storm Sewer Plan & Profile, Utility Plan, Details, Stormwater Pollution Prevention Plan, Intersection Details, Cul-De-Sac Details and Turn Lane Plans were received August 11<sup>th</sup>, and the Storm Sewer Sizing Calculations was received June 15<sup>th</sup> for the proposed 36 lot residential development located on the 75.4 combined acres of parcels 21-32-23-11-0003, 21-32-23-12-0003, 21-32-23-13-0002, 21-32-23-13-0003 and 21-32-23-14-0004. The parcels are currently zoned Rural Single Family Residential (R-A), per the attached, and will be zoned Single Family Residential (R-1). All of the prior review comments have been addressed.

**Discussion:**

The Final Plat conforms with the Preliminary Plat that was approved at the May 3, 2021 City Council meeting. The Plans include a Quamba Street island, which converts the intersection to right-in/right-out as per the Anoka County Transportation Division requirements. The Plans include a 15-foot-wide trail easement offset by 10-feet from the 153<sup>rd</sup> Avenue right-of-way to the west of Quamba Street and a 60-foot-wide trail easement in the southwest corner of the plat. The 10-foot-wide trail within these easements will be constructed with the Development. The Plans also include a 15-foot-wide trail easement offset by 10-feet from the Xylite Street right-of-way, for future trail construction by the City. The Developer is to record the trail easement deeds with Anoka County immediately after recording the Plat.

The Revised Braun Geotechnical Exploration Report, dated March 9<sup>th</sup>, adequately addressed prior review comments. The March 10<sup>th</sup> Tradewell septic certification certifies that each of the proposed lots will support two standard septic systems in accordance with Minnesota Rules 7080.

The Coon Creek Watershed District (CCWD) conditionally approved the development at the April 12<sup>th</sup> Board of Managers meeting. The attached CCWD Permit was issued June 16<sup>th</sup>. The CCWD review for potential impacts to state-listed species and other rare features found that Blanding's turtles have been reported in the vicinity of the proposed project and may be encountered on site. If during construction Blanding's turtles are encountered the contractor is to move them by hand out of harm's way. Otherwise, the turtles are to be left undisturbed.

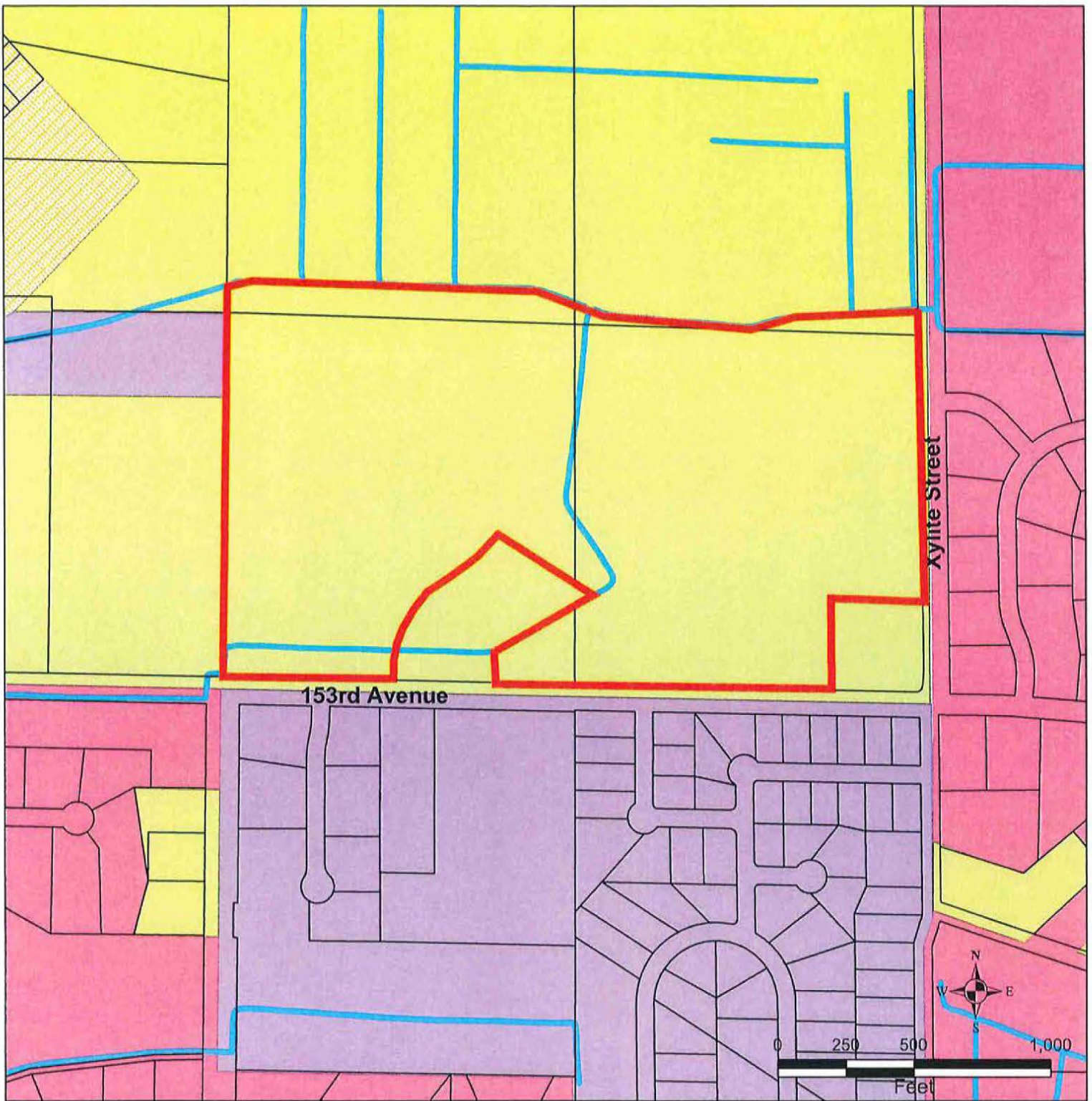
The initial Anoka County Transportation Division review letter, dated December 7, 2020, is attached, along with a follow-up letter dated April 20<sup>th</sup>. The County found that the northerly



extension of Radisson Road into the plat was not feasible. The County is requiring that Quamba Street be constructed as right-in/right-out. The County is requiring construction of a west bound right turn lane at Quamba Street, a west bound right turn lane and east bound left turn lane at Urbank Street and a south bound right turn lane and a north bound left turn lane at 154<sup>th</sup> Lane. Per the attached April 20<sup>th</sup> email, the County is okay with the County Road 61 driveway access for Lots 1, 2, 9 and 10 of Block 5. The County is requiring that the driveways be located directly adjacent to the side yard drainage and utility easements shared by Lot 1 and 2 and by Lots 9 and 10.

**Recommendations:**

It is recommended that the Final Plat of Evergreen Estates be recommended for approval.



- R-A Rural Single Family Residential
- R-1 Single Family Residential
- RS-2 Recreational Shoreland Residential
- PUD Planned Unit Development
- Ditches

Sheet Title:  
ZONING MAP

Project:  
Evergreen Estates

Drawn:  
EMP

Date:  
8/18/2021

Project No.  
2002.031

13635 Johnson Street  
Ham Lake, MN 55304  
Telephone (763) 862-8000  
Fax (763) 862-8042



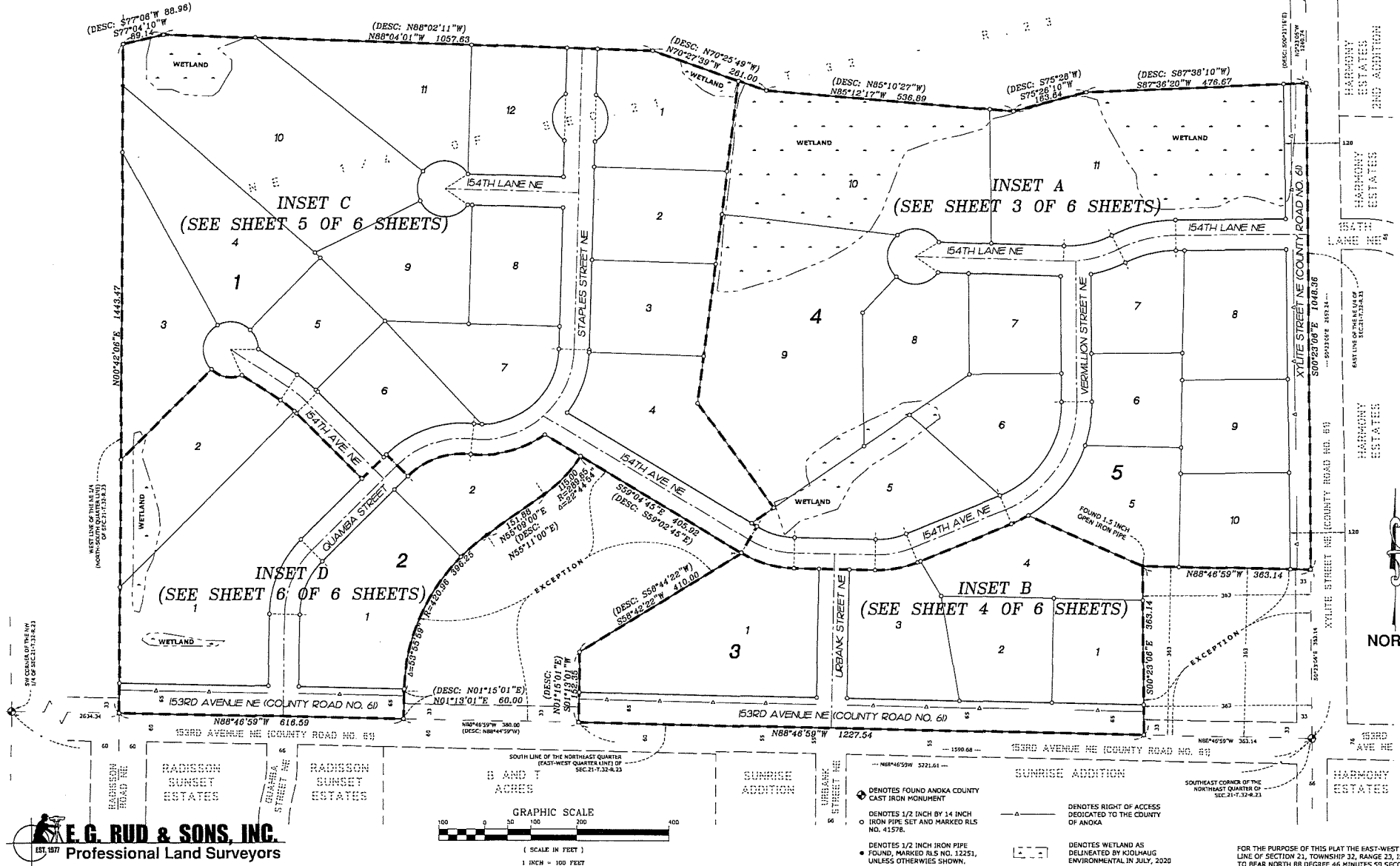


PRELIMINARY COPY

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PLOT DATE: 11/11/2021 10:58:55 AM  
PLOTTER: HP-GLPLT - PLOT PLAT.DWG  
PLOT SIZE: 11.0000

# EVERGREEN ESTATES

CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC.21, T32N, R23W



**E.G. RUD & SONS, INC.**  
Professional Land Surveyors  
EST. 1977

PRELIMINARY COPY  
 DATE: 08/15/2023  
 PROJECT: EVERGREEN ESTATES  
 FILENAME: 200628.PDF - FINAL PLAT DWG  
 FILESIZE: 4.7MB

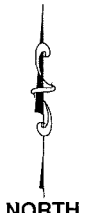
**INSET A**

# EVERGREEN ESTATES

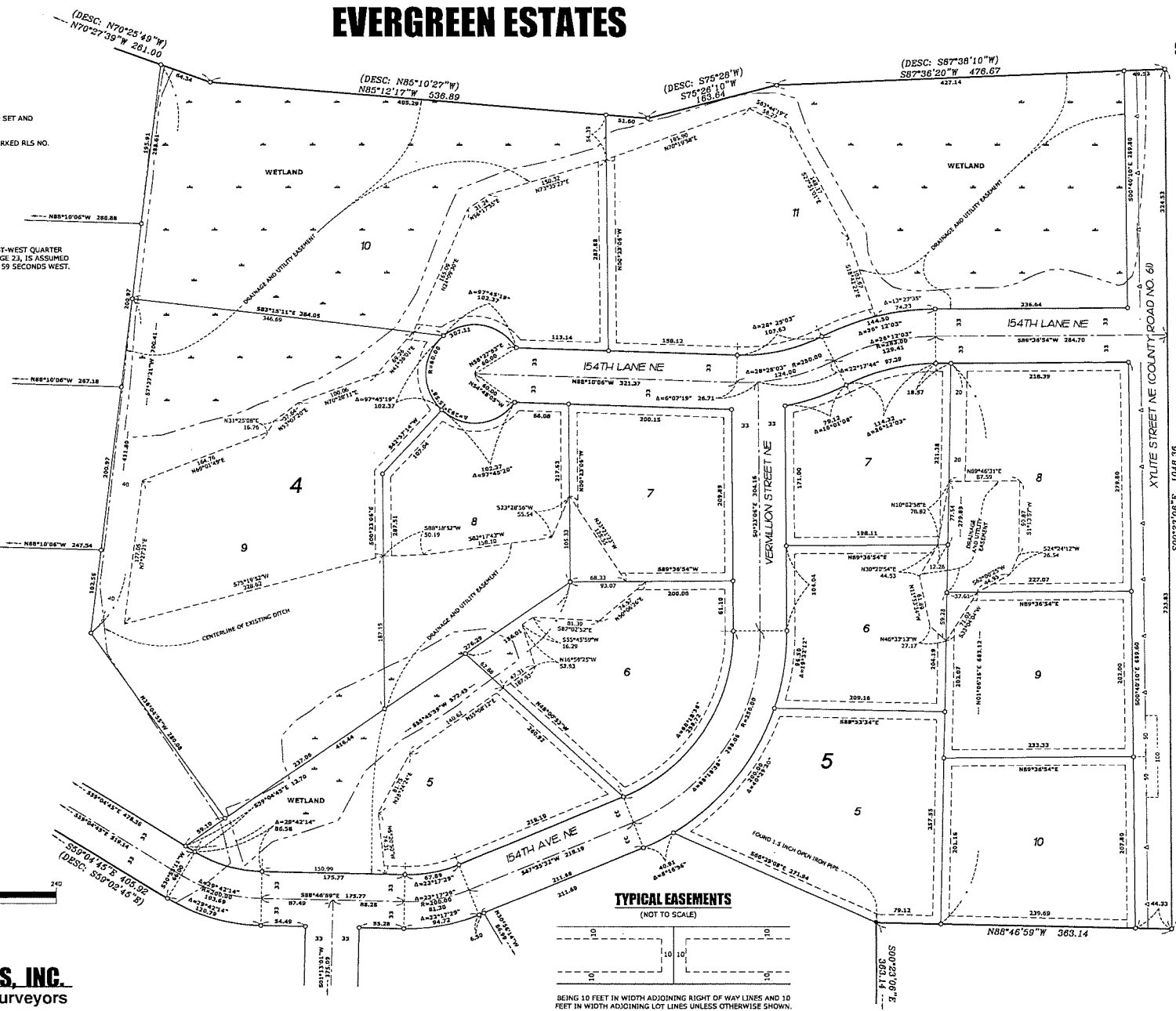
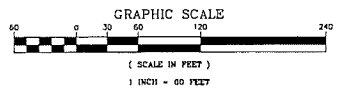
**CITY OF HAM LAKE  
 COUNTY OF ANOKA  
 SEC. 21, T32N, R23W**

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED RLS NO. 41578.
- DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 12251, UNLESS OTHERWISE SHOWN.
- △— DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA
- - - DENOTES WETLAND AS DELINEATED BY KOLHAUG ENVIRONMENTAL IN JULY, 2020

FOR THE PURPOSE OF THIS PLAT THE EAST-WEST QUARTER LINE OF SECTION 21, TOWNSHIP 32, RANGE 23, IS ASSUMED TO BEAR NORTH 88 DEGREE 46 MINUTES 59 SECONDS WEST.



**NORTH**



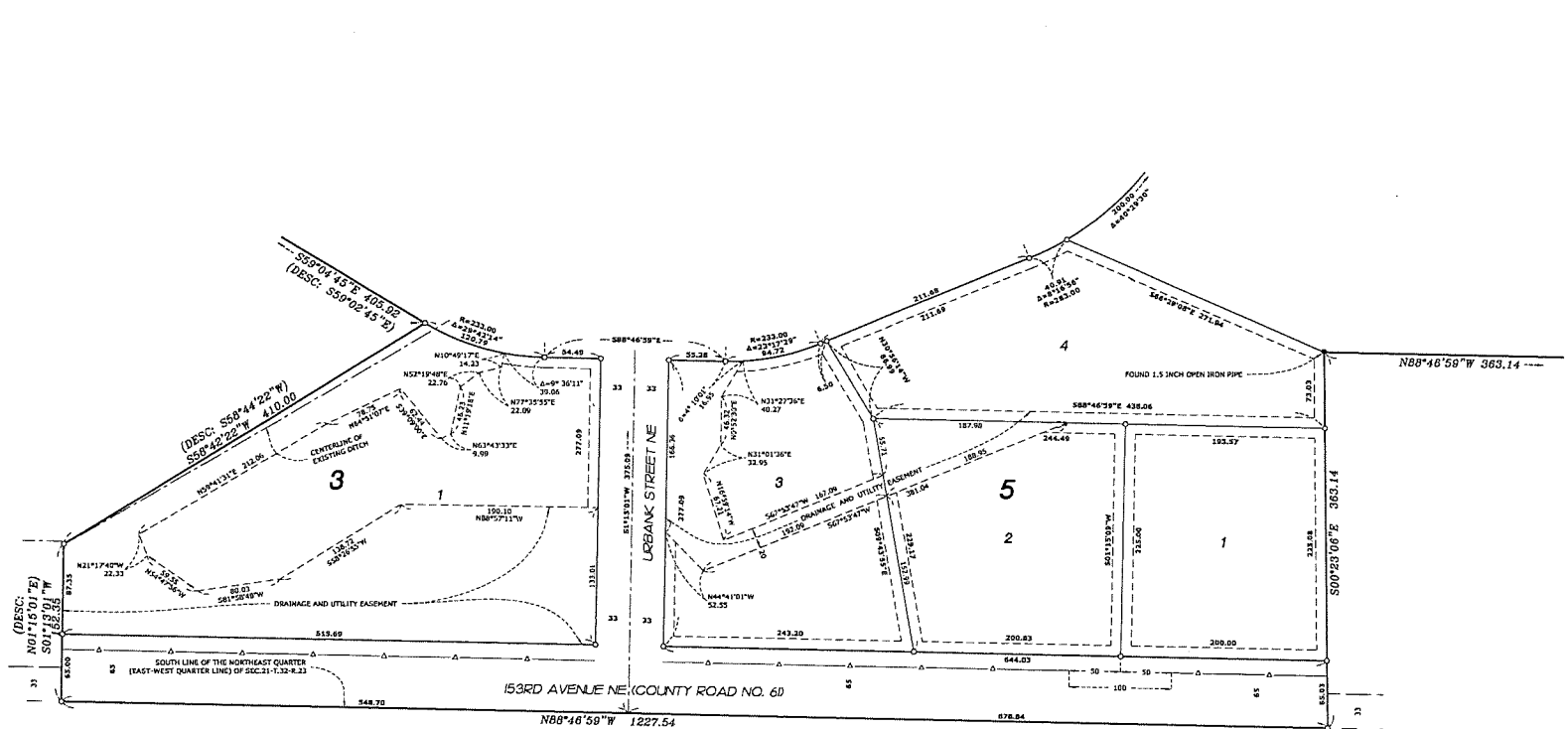
**TYPICAL EASEMENTS**  
 (NOT TO SCALE)

BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

INSET B

# EVERGREEN ESTATES

CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 21, T32N, R23W



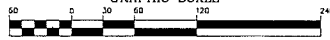
### TYPICAL EASEMENTS (NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

NORTH

GRAPHIC SCALE



(SCALE IN FEET)  
1 INCH = 60 FEET

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED RLS NO. 41578.
- DENOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 12251, UNLESS OTHERWISE SHOWN.
- △— DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA

FOR THE PURPOSE OF THIS PLAT THE EAST-WEST QUARTER LINE OF SECTION 21, TOWNSHIP 32, RANGE 23, IS ASSUMED TO BEAR NORTH 88 DEGREE 46 MINUTES 59 SECONDS WEST.



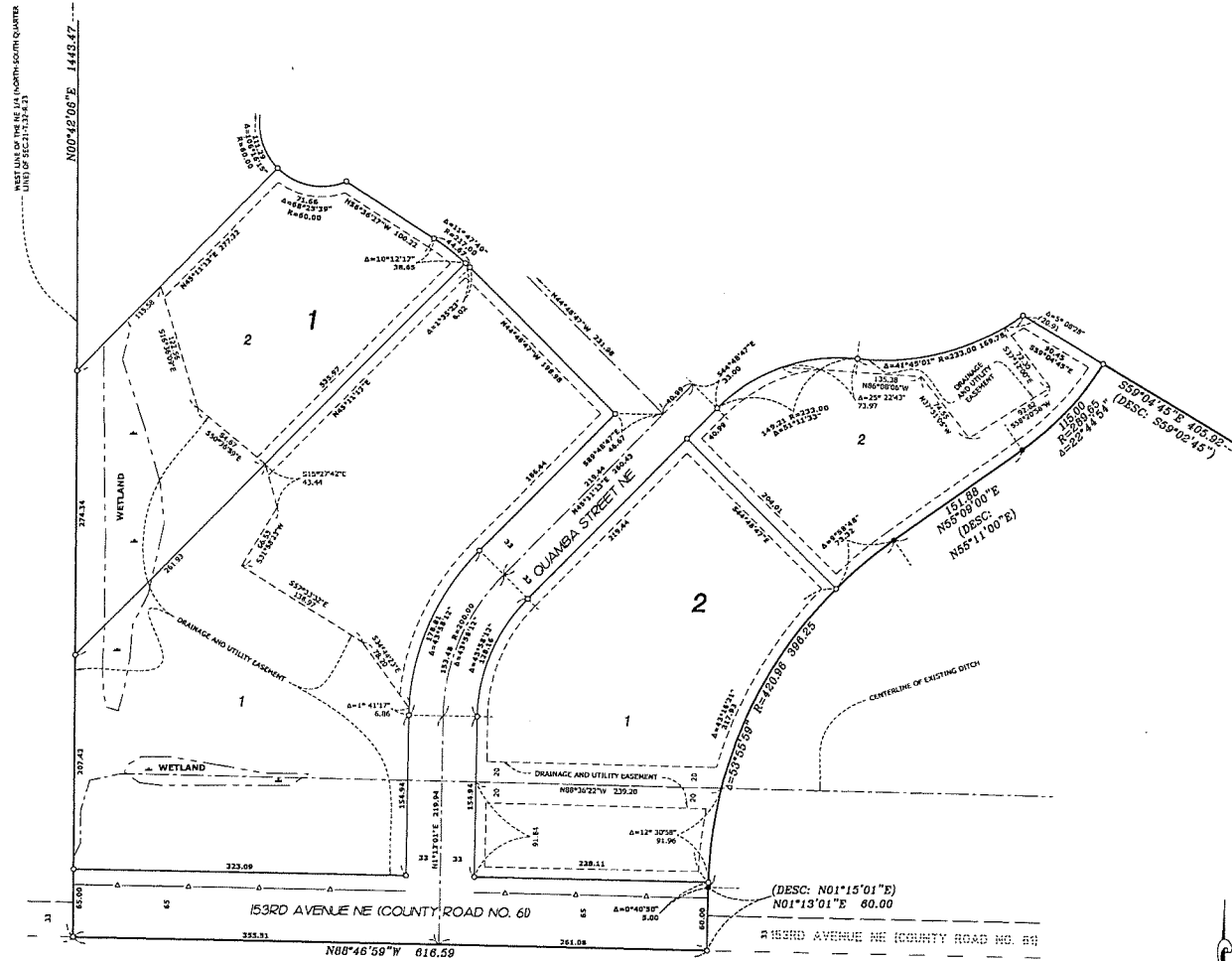
PRELIMINARY COPY

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FILESIZE: 5,070

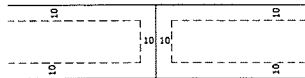
INSET D

# EVERGREEN ESTATES

CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC.21, T32N, R23W



### TYPICAL EASEMENTS (NOT TO SCALE)



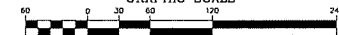
BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED RLS NO. 41578.
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- A— DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA
- - - - DENOTES WETLAND AS DELINEATED BY KODJAHAVIC ENVIRONMENTAL IN JULY, 2020

FOR THE PURPOSE OF THIS PLAT THE EAST-WEST QUARTER LINE OF SECTION 21, TOWNSHIP 32, RANGE 23, IS ASSUMED TO BEAR NORTH 88 DEGREE 46 MINUTES 59 SECONDS WEST.

NORTH

GRAPHIC SCALE



(SCALE IN FEET)  
1 INCH = 60 FEET



# TITLE SHEET

~of- EVERGREEN ESTATES  
 ~for- TIMBER VALLEY DEVELOPMENT  
 620 CIVIC HEIGHTS DR # 100  
 CIRCLE PINES, MN 55014  
 (763) 780-9090

## VICINITY MAP

PART OF SEC. 3, TWP. 32, RING. 23



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)

## SHEET INDEX

- |       |                  |
|-------|------------------|
| T1    | TITLE SHEET      |
| 2     | PRELIMINARY PLAN |
| 3-6   | GRADING PLAN     |
| 7-10  | LIVABILITY PLAN  |
| 11-12 | LIVABILITY CHART |

PLANNING CALCULATIONS AND STORM SEWER DESIGN BY PLUME ENGINEERING, INC.



**PLOWE**  
 ENGINEERING, INC.  
 8778 LAKE DRIVE  
 SUITE 110  
 LINDO LAKES, MN 55014

SITE PLANNING & ENGINEERING PHONE: (651) 381-6210 FAX: (651) 381-6791

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Charles W. Plowe*  
 CHARLES W. PLOWE

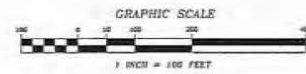
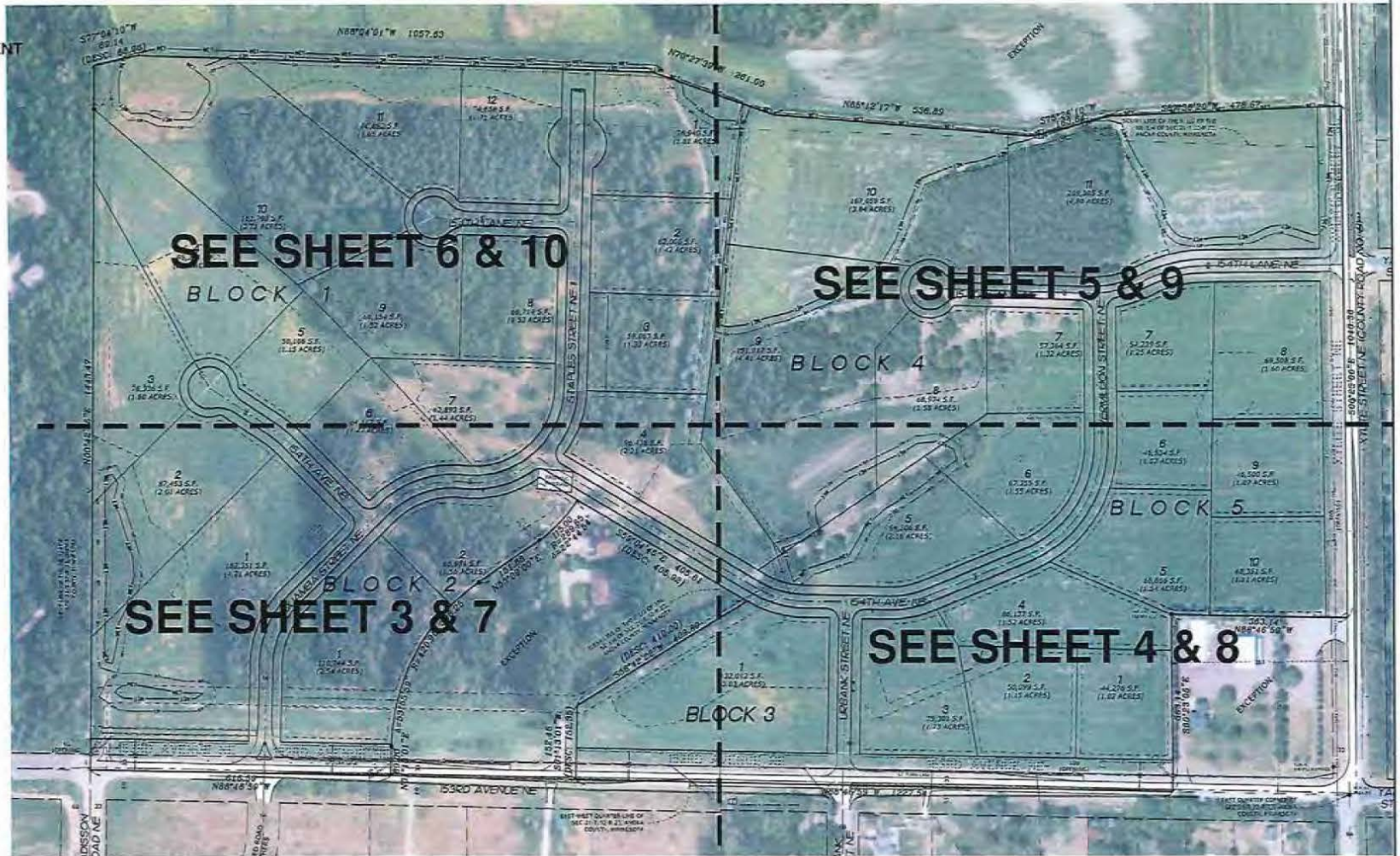
DATE: 08.10.2021 LIC. NO. 18207

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD  
 Date: 08/10/2021 License No. 41578



**E.G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel: (763) 941-9900 Fax: (763) 941-9704



Drawn by	CHKD BY	DATE	DESCRIPTION
1	2	3	4

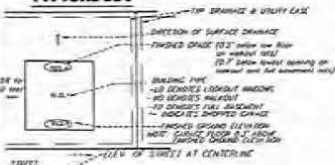




# GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

-of- EVERGREEN ESTATES  
-for- TIMBER VALLEY DEVELOPMENT  
620 CIVIC HEIGHTS DR # 100  
CIRCLE PINES, MN 55014  
(763) 780-9090

## TYPICAL LOT



## LEGEND

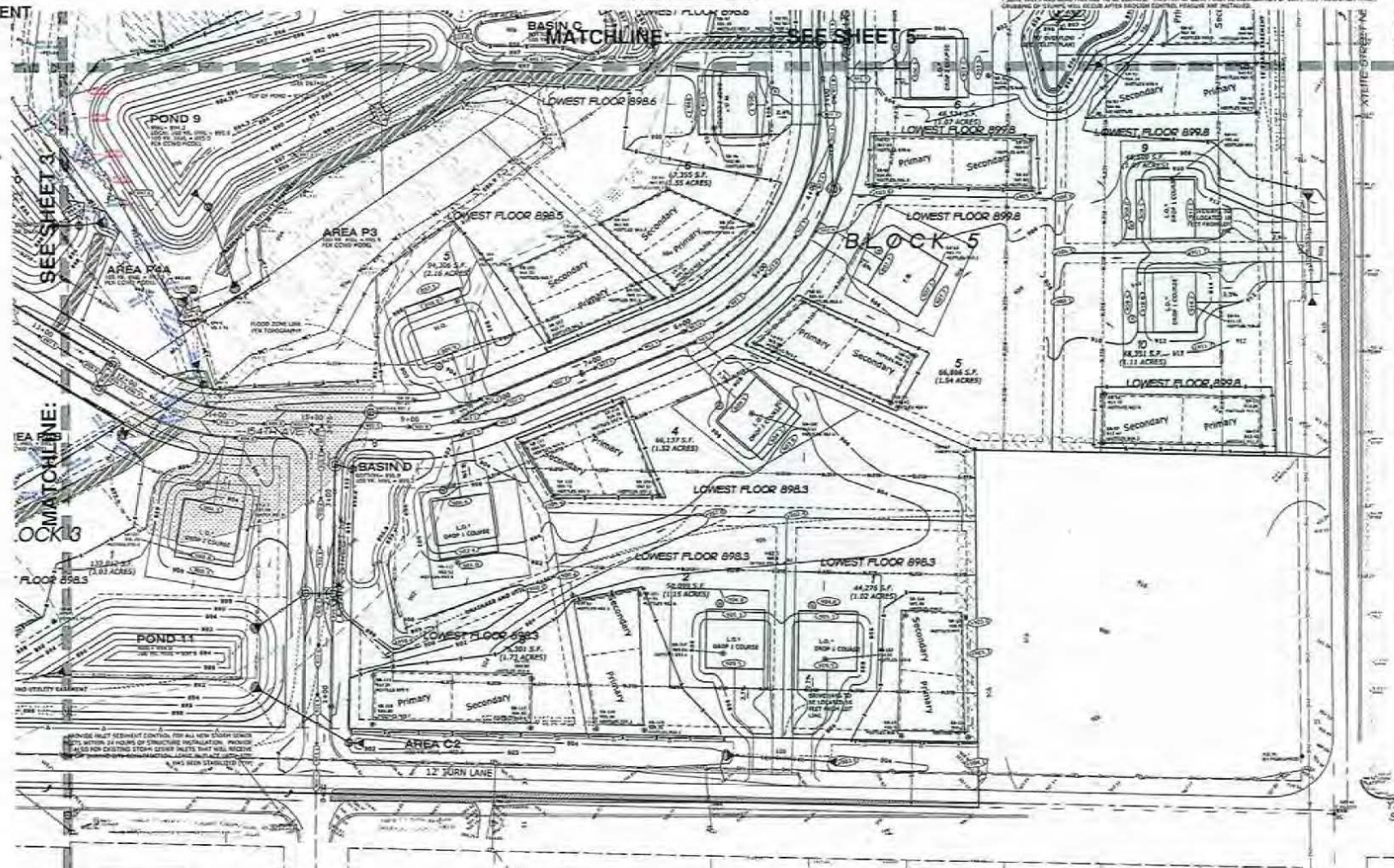
- SHOWS SOIL BOUNDING BY TRACEWELL SOIL TESTING
- SHOWS PROPOSED OR EXISTING DRAINAGE BY SWAN INSTRUMENT, INC.
- SHOWS EXISTING OVERFLOW ELEVATION
- SHOWS EXISTING SPOT ELEVATION
- SHOWS MET LANE
- SHOWS EXISTING 2 FOOT CONTROL
- SHOWS PROPOSED 2 FOOT CONTROL
- SHOWS MET LANE DELINEATED BY KOSOWSKI ENVIRONMENTAL SERVICES COMPANY
- SHOWS EQUIPMENT LANE
- SHOWS EXISTING OR PROPOSED STORM SEWER
- SHOWS PROPOSED 10 FT / TREE PROTECTION FENCE
- SHOWS 10 FT FENCE TO BE INSTALLED TO PROTECT EXISTING OR PROPOSED STORM SEWER
- SHOWS PROPOSED STORM SEWER
- SHOWS PROPOSED CENTRAL ELEVATION
- SHOWS PROPOSED WELL LOCATION
- SHOWS AREA OF ASBESTOS
- SHOWS MET LANE VEGETATION BUFFER
- SHOWS MET LANE VEGETATION BUFFER SIGN
- SHOWS MET LANE VEGETATION BUFFER SIGN
- SHOWS PROPOSED STORM SEWER TREE PROTECTION
- SHOWS TREE PROTECTION AREA
- SHOWS 12' FLOODPLAIN
- SHOWS FLOODPLAIN FILL

## LOT GRADING NOTES

1. FINISH ELEVATIONS SHOWN ARE FOR DEMONSTRATION PURPOSES. MOBILE TRUCKS AND EQUIPMENT THAT VARY FROM 10' TO 12' SHOULD BE PLANNED FOR IN THE GRADING PLAN. A PLAN REVIEW BY THE CITY OF MINNAPOLIS IS REQUIRED. THESE NOTES TO BE OBSERVED ON ALL GRADING OPERATIONS. THESE TO BE IN ACCORDANCE WITH LOCAL LAWS.

## TREE PROTECTION NOTES

1. TREE PROTECTION LIMITS TO BE MAINTAINED IN FIELD PRIOR TO ANY TREE REMOVAL ACTIVITY.  
2. TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.  
3. LAKE IS TO BE FALLOW TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE DEEP LANE OF TREES IN THE TREE PROTECTION ZONE.  
4. FIELD OPERATIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PREVENT UNDESIRABLE TREE REMOVALS.  
5. SOME TREES AND GRASS SHALL HAVE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF TREE PROTECTION FENCE. GRADING OF STUMPS MUST BE DONE AFTER PROPER CONTROL MEASURES ARE INSTALLED.



FOUNDING CALCULATIONS AND DESIGN UNDER CODES BY PLUM ENGINEERING, INC.

**PLOWE ENGINEERING, INC.**  
6774 LAKE DRIVE  
SUITE 410  
LINO LAKES, MN 55014

PHONE: (951) 281-4210  
FAX: (951) 281-8791

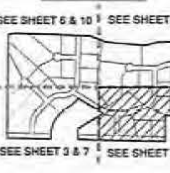
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Charles W. Plowe*  
CHARLES W. PLOWE  
DATE: 08.10.2021 LIC. NO. 18227

## EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO DESIGN GRADING, INSTALL 5' X 10' STOP FENCE IN LOCAL TYPICAL SECTION. ADDITIONAL 3' X 10' STOP FENCE MAY BE REQUIRED AROUND LOCAL CONDITIONS BEYOND INITIAL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO AVOID UNNECESSARY EROSION.
3. 12' TURN LANE: OUTSIDE THE STREET OF GRASS, PINE, MAPLE, TORPEDO, SEED, AND BROWN AND/OR 2" X 4" X 8" STRAIGHT 12' X 12' GATE WITH TACKS GATE AT 12' FROM GRADING.
4. MAINTAIN AND REPAIR 5' X 10' STOP FENCES INCLUDING REMOVAL OF ACCUMULATED SOILS VEGETATION IS ESTABLISHED.
5. SEE "SHOW WHEN POLLUTION PREVENTION PLAN" FOR ADDITIONAL.

## SHEET INDEX



## FLOODPLAIN FILL NOTES

1. FLOODPLAIN FILL BETWEEN BASIN 11 AND BASIN 2 + 1.52' CURT COMPENSATION STORAGE + 1.52' CURT COMPENSATION STORAGE PROVIDED IN POND 7 BETWEEN POND 11 AND POND 12.
2. FLOODPLAIN FILL BETWEEN BASIN 11 AND POND 11 + 1.52' CURT COMPENSATION STORAGE + 1.52' CURT COMPENSATION STORAGE PROVIDED IN POND 11 AND POND 12 BETWEEN POND 11 AND POND 12.
3. FLOODPLAIN FILL BETWEEN BASIN 11 AND POND 11 + 1.52' CURT COMPENSATION STORAGE + 1.52' CURT COMPENSATION STORAGE PROVIDED IN POND 11 BETWEEN POND 11 AND POND 12.

## NOTES

- BOUNDARIES SHOWN ARE ON ANNOVA COUNTY DATUM.
- TYPICAL LOT AREAS ARE SHOWN AS PER THE CITY OF MINNAPOLIS.
- 1 FOOT CONTROL FENCE (10' X 10') SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL MATCH POINTS AND ADJACENT POINTS TO BE MATCHED AT FULL DEPTH.
- TURN AREA TO BE SETBACK WITHIN 10' FROM CENTERLINE OF ROAD DRAINAGE OR INFLUENCE.
- ALL FLOODPLAIN UTILITY PLANS FOR STORM SEWERS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ELEVATIONS ARE BASED ON THE PRIMARY DATUM AND ARE SUBJECT TO REVISION.
- ALL TREE REMOVALS SHALL BE DONE WITHIN THE TREE PROTECTION ZONE.
- PROVIDE CLAYS TO BURNUP WITH FILTER FABRIC FOR ALL FIVE OUTLETS. NORMAL 4" OF TORPEDO ON APPROX 4" METERS AND MORE WITH EACH FIVE OUTLET.
- IF REMEDIATION IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A 10' X 10' GRADING PERMIT AND SHALL PROVIDE FULL TREE PROTECTION, METRIC, PROTECTIVE ELEVATION, HORIZONTAL AND QUANTIFIED TO 10' X 10' PRIOR TO ANY GRADING OPERATIONS.
- CONTRACTORS MUST BE PROVIDED WITH ALL FLOODPLAIN FILL SHEETS ON BOUNDARY'S TABLE.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. TROD License No. 43578  
Date: 08/10/2021

DATE	BY	FOR	PROJECT	SCALE
08/10/21	JET	620 CIVIC HEIGHTS DR # 100	EVERGREEN ESTATES	AS SHOWN
08/10/21	JET	620 CIVIC HEIGHTS DR # 100	EVERGREEN ESTATES	AS SHOWN
08/10/21	JET	620 CIVIC HEIGHTS DR # 100	EVERGREEN ESTATES	AS SHOWN
08/10/21	JET	620 CIVIC HEIGHTS DR # 100	EVERGREEN ESTATES	AS SHOWN
08/10/21	JET	620 CIVIC HEIGHTS DR # 100	EVERGREEN ESTATES	AS SHOWN

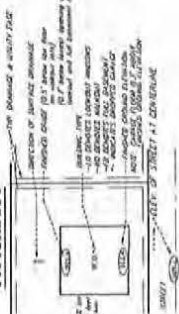
**E. G. RUD & SONS, INC.**  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel: (612) 441-0700 Fax: (612) 441-0704

NORTH

# GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

of- EVERGREEN ESTATES  
 -for- TIMBER VALLEY DEVELOPMENT  
 6200 CIRCLE HEIGHTS DR # 100  
 CIRCLE PINES, MN 55014  
 (763) 780-9090

## TYPICAL LOT



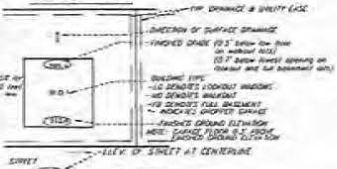
## LEGEND

- 1. 1/2" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 2. 1/4" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 3. 1/8" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 4. 1/16" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 5. 1/32" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 6. 1/64" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 7. 1/128" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 8. 1/256" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 9. 1/512" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 10. 1/1024" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 11. 1/2048" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 12. 1/4096" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 13. 1/8192" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 14. 1/16384" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 15. 1/32768" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 16. 1/65536" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 17. 1/131072" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 18. 1/262144" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 19. 1/524288" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 20. 1/1048576" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 21. 1/2097152" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 22. 1/4194304" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 23. 1/8388608" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 24. 1/16777216" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 25. 1/33554432" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 26. 1/67108864" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 27. 1/134217728" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 28. 1/268435456" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 29. 1/536870912" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 30. 1/1073741824" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 31. 1/2147483648" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 32. 1/4294967296" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 33. 1/8589934592" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 34. 1/17179869184" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 35. 1/34359738368" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 36. 1/68719476736" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 37. 1/137438953472" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 38. 1/274877906944" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 39. 1/549755813888" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 40. 1/1099511627776" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 41. 1/2199023255552" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 42. 1/4398046511104" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 43. 1/8796093022208" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 45. 1/35184372888832" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 47. 1/14073749155328" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 49. 1/56294996621312" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 51. 1/225179986453248" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 101. 1/2535301310158306143545779289888" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 108. 1/324518567800263182136998227057664" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 128. 1/3402823817931725791577446759466948576" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 129. 1/68056476358634515831548951189398971552" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 130. 1/1361129527172690316663099023787978304" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 131. 1/2722259054345380633326198047575956608" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 132. 1/5444518108690761266652396095151913216" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 140. 1/139379676382483484237805377998080184832" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 141. 1/278759352764966968475610755996160369664" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 144. 1/223007482211973574780488604796928297312" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
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- 147. 1/17840598576957885902438883837555777776" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 148. 1/356811971539157718048777676751115555552" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 149. 1/71362394307831544097755353550223111104" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 150. 1/14272478861566308819551107070044222208" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 151. 1/28544957723132617639102141400088444416" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 152. 1/570899154462652352782042828001768888928" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 153. 1/11417983089253047055640565660035377776" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 154. 1/2283596617850609411131211132000715555552" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 155. 1/45671932357012188222624222600014111104" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 156. 1/91343864714024376445328445200028222208" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 157. 1/18268772942804875289065688400056444416" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 158. 1/3653754588560975057813137680001128888928" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 159. 1/73075091771219501157562753600022577776" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 160. 1/14615018354243900311512510720004515555552" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 161. 1/292300367084878006230250214400090311104" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 162. 1/5846007341697560124605004288001806222208" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 163. 1/1169201468339512025321000856003612444416" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 164. 1/2338402936679024050642001712007224888928" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 165. 1/467680587335804810128840034240144737776" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 166. 1/93536117467160962025768006848028951555552" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 167. 1/18707223893432194051553761369778311104" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 168. 1/37414447786864388103075127395566222208" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 169. 1/74828895573728776206150254791132444416" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 170. 1/14965779114745752412230050958226888928" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 171. 1/2993155822949150482446010191645377776" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 172. 1/59863116458983009648920203832907515555552" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 173. 1/1197262329179660192978404076658111104" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 174. 1/23945246583593203859568081533162222208" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 175. 1/47890493167186407719136163066324444416" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 176. 1/9578098633437281543827232613264888928" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 177. 1/1915619266887456308744465226652977776" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 178. 1/38312385337749126174888904533059515555552" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 179. 1/7662477067549825234977780906611911104" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 180. 1/1532495413509960446995556181322222208" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 181. 1/3064990827019920893991112362644444416" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 182. 1/612998165403984178798222472528888928" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)
- 183. 1/122599632800796837598444894511377776" = 1' (SEE SHEET 4 & 5) (SEE SHEET 4 & 5)</

# GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of- EVERGREEN ESTATES  
~for- TIMBER VALLEY DEVELOPMENT  
620 CIVIC HEIGHTS DR # 100  
CIRCLE PINES, MN 55014  
(763) 780-9090

## TYPICAL LOT



## LEGEND

- DENOTES SOIL BORING BY THUNDERBOLT SOIL TESTING
- DENOTES PROPOSED OR EXISTING UTILITY
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WEST LANE
- DENOTES EXISTING 3 FOOT CURBLINE
- DENOTES PROPOSED 3 FOOT CURBLINE
- DENOTES WETLANDS BOUNDARY BY COLORADO ENVIRONMENTAL SERVICES COMPANY
- DENOTES EXISTING LINE
- DENOTES PROPOSED SPOON SLOPE
- DENOTES PROPOSED 5 FT / TREE PROTECTION FENCE
- DENOTES 80 SOIL TO BE INSTALLED
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SWP BY SWP
- DENOTES PROPOSED CONTAINMENT ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA P ADVICE NOTICES
- DENOTES WETLAND VEGETATION BUFFER
- DENOTES WETLAND BUFFERLINE
- DENOTES CROP/STUMP TO BE MAINTAINED IN WETLAND BUFFER
- DENOTES PROPOSED STORM DRAIN PROTECTION
- DENOTES TREE PROTECTION AREA
- DENOTES 12 POND ACCESS
- DENOTES FLOODPLAIN FILL

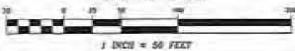
PLANNING, CALCULATING AND DESIGN SERVICES BY

**PLOWE**  
ENGINEERING, INC.  
575 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (763) 261-2079  
FAX: (763) 261-2071

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Charles W. Plowe*  
CHARLES W. PLOWE  
DATE: 08.10.2021 LIC. NO. 18227

## GRAPHIC SCALE



**E. E. G. RUD & SONS, INC.**  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
www.egrud.com



## LOT GRADING NOTES

1. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH MINNESOTA ENGINEERING BOARD RULES AND REGULATIONS. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES. ALL LOT GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES.

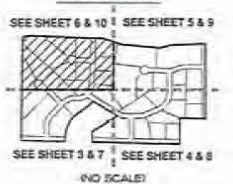
## TREE PROTECTION NOTES

1. TREE PROTECTION LIMITS TO BE MAINTAINED IN FIELD PRIOR TO ANY TREE REMOVAL ACTIVITY. 2. TREE PROTECTION LIMITS TO BE MAINTAINED AT CONSTRUCTION LIMIT LINE. 3. CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE TREE PROTECTION LIMITS. 4. TREE PROTECTION LIMITS TO BE MAINTAINED AT ALL TIMES. 5. TREE PROTECTION LIMITS TO BE MAINTAINED AT ALL TIMES. 6. TREE PROTECTION LIMITS TO BE MAINTAINED AT ALL TIMES.

## EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO ANY GRADING, INSTALL Silt Sump TRAP IN EACH STORM DRAIN. ADDITIONAL 1/2" STOP LOGS WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTANT TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNPROTECTED AREAS.
3. NO CROP AREA OUTSIDE THE STREET CURBLINE, EXCEPT IN THE TOPSOIL, SHALL BE GRADDED WITH A STOP LOGS 1/2" DIA. WITH 2" DIA. GAPS. THESE AREAS SHALL BE GRADDED WITH A STOP LOGS 1/2" DIA. WITH 2" DIA. GAPS.
4. AVOIDANCE AND MINIMUM 2' STOP LOGS (MINIMUM) REMOVAL OF ACCUMULATED SOILS AND WEEDS SHALL BE MAINTAINED.
5. SEE "TYPICAL WATER FLOODPLAIN PROTECTION PLAN" FOR ADDITIONAL.

## SHEET INDEX



## FLOODPLAIN FILL NOTES

- 1. FLOODPLAIN FILL BETWEEN STORM 11 AND STORM 12 - 1.82 CU YD
- 2. FLOODPLAIN FILL BETWEEN STORM 12 AND STORM 13 - 1.82 CU YD
- 3. FLOODPLAIN FILL BETWEEN STORM 13 AND STORM 14 - 1.82 CU YD
- 4. FLOODPLAIN FILL BETWEEN STORM 14 AND STORM 15 - 1.82 CU YD
- 5. FLOODPLAIN FILL BETWEEN STORM 15 AND STORM 16 - 1.82 CU YD
- 6. FLOODPLAIN FILL BETWEEN STORM 16 AND STORM 17 - 1.82 CU YD
- 7. FLOODPLAIN FILL BETWEEN STORM 17 AND STORM 18 - 1.82 CU YD
- 8. FLOODPLAIN FILL BETWEEN STORM 18 AND STORM 19 - 1.82 CU YD
- 9. FLOODPLAIN FILL BETWEEN STORM 19 AND STORM 20 - 1.82 CU YD
- 10. FLOODPLAIN FILL BETWEEN STORM 20 AND STORM 21 - 1.82 CU YD
- 11. FLOODPLAIN FILL BETWEEN STORM 21 AND STORM 22 - 1.82 CU YD
- 12. FLOODPLAIN FILL BETWEEN STORM 22 AND STORM 23 - 1.82 CU YD
- 13. FLOODPLAIN FILL BETWEEN STORM 23 AND STORM 24 - 1.82 CU YD
- 14. FLOODPLAIN FILL BETWEEN STORM 24 AND STORM 25 - 1.82 CU YD
- 15. FLOODPLAIN FILL BETWEEN STORM 25 AND STORM 26 - 1.82 CU YD
- 16. FLOODPLAIN FILL BETWEEN STORM 26 AND STORM 27 - 1.82 CU YD
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- 20. FLOODPLAIN FILL BETWEEN STORM 30 AND STORM 31 - 1.82 CU YD
- 21. FLOODPLAIN FILL BETWEEN STORM 31 AND STORM 32 - 1.82 CU YD
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- 175. FLOODPLAIN FILL BETWEEN STORM 185 AND STORM 186 - 1.82 CU YD
- 176. FLOODPLAIN FILL BETWEEN STORM 186 AND STORM 187 - 1.82 CU YD
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- 189. FLOODPLAIN FILL BETWEEN STORM 199 AND STORM 200 - 1.82 CU YD
- 190. FLOODPLAIN FILL BETWEEN STORM 200 AND STORM 201 - 1.82 CU YD
- 191. FLOODPLAIN FILL BETWEEN STORM 201 AND STORM 202 - 1.82 CU YD
- 192. FLOODPLAIN FILL BETWEEN STORM 202 AND STORM 203 - 1.82 CU YD
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- 270. FLOODPLAIN FILL BETWEEN STORM 280 AND STORM 281 - 1.82 CU YD
- 271. FLOODPLAIN FILL BETWEEN STORM 281 AND STORM 282 - 1.82 CU Y















# EVERGREEN ESTATES

HAM LAKE, MINNESOTA

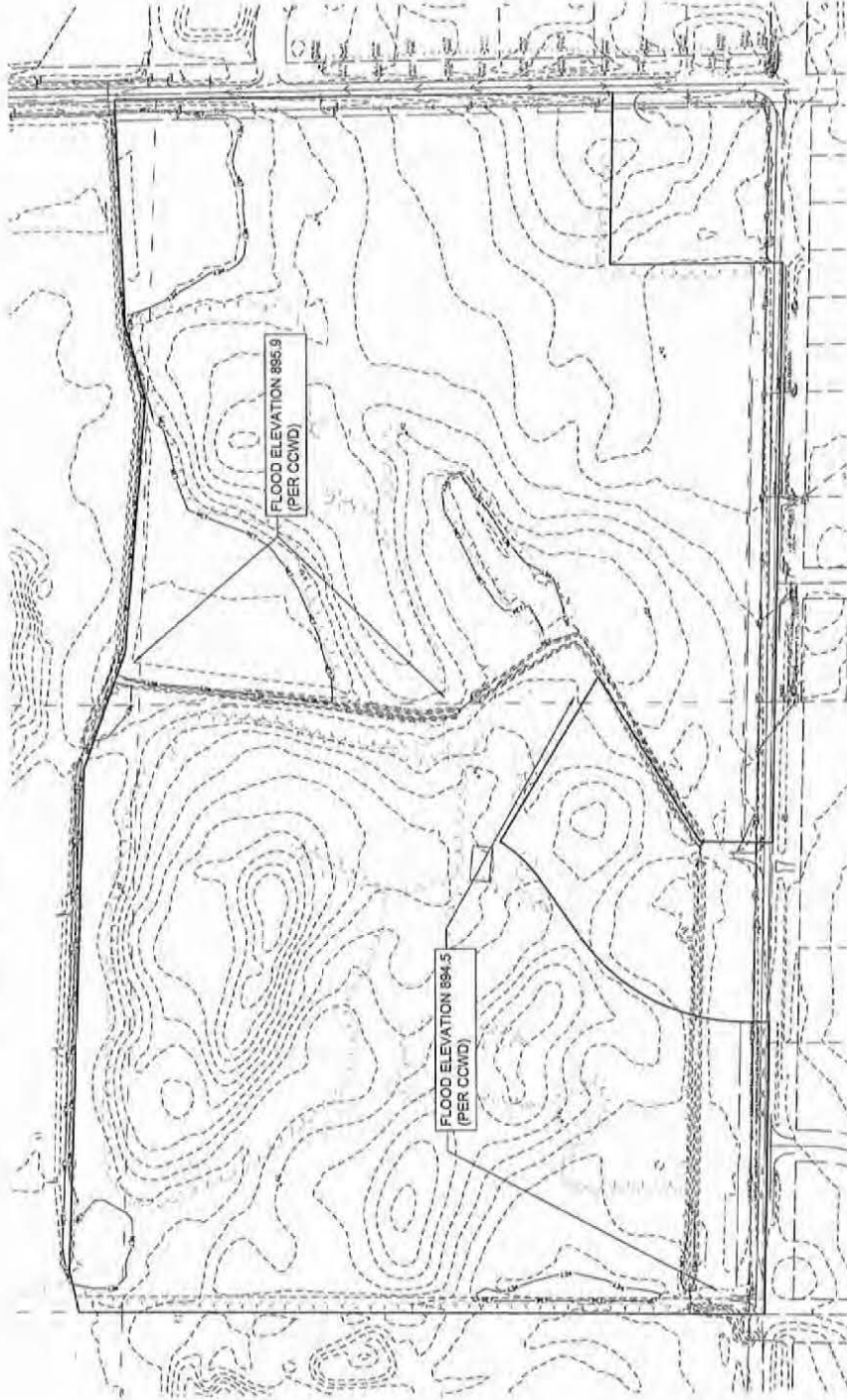
## VICINITY MAP



NOT TO SCALE

## LEGEND

- 1. EXISTING OVERHEAD ELECTRIC
- 2. EXISTING UNDERGROUND TELEPHONE
- 3. EXISTING UNDERGROUND GAS
- 4. EXISTING UNDERGROUND WATER
- 5. EXISTING UNDERGROUND FIBER
- 6. EXISTING UNDERGROUND CABLE TELEVISION
- 7. EXISTING UNDERGROUND FIBER OPTIC
- 8. EXISTING UNDERGROUND FIBER OPTIC
- 9. EXISTING UNDERGROUND FIBER OPTIC
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- 18. EXISTING UNDERGROUND FIBER OPTIC
- 19. EXISTING UNDERGROUND FIBER OPTIC
- 20. EXISTING UNDERGROUND FIBER OPTIC



## GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING THE TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED AND THE CONTRACTOR SHALL VERIFY THE TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO EXISTING UTILITIES.
2. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CHANGES TO THE CITY STANDARD.
3. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CHANGES TO THE CITY STANDARD.
4. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CHANGES TO THE CITY STANDARD.
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9. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CHANGES TO THE CITY STANDARD.
10. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CHANGES TO THE CITY STANDARD.

## STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. ALL STORM SEWER PIPES SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
3. STORM SEWER SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
4. STORM SEWER SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
5. STORM SEWER SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
6. STORM SEWER SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
7. STORM SEWER SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
8. STORM SEWER SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
9. STORM SEWER SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
10. STORM SEWER SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.

## CURB & BITUMINOUS NOTES

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL CURB AND BITUMINOUS SHALL BE 18" THICK UNLESS OTHERWISE NOTED.
3. MANHOLE COVERS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
4. MANHOLE COVERS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
5. MANHOLE COVERS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
6. MANHOLE COVERS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
7. MANHOLE COVERS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
8. MANHOLE COVERS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.
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10. MANHOLE COVERS SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.

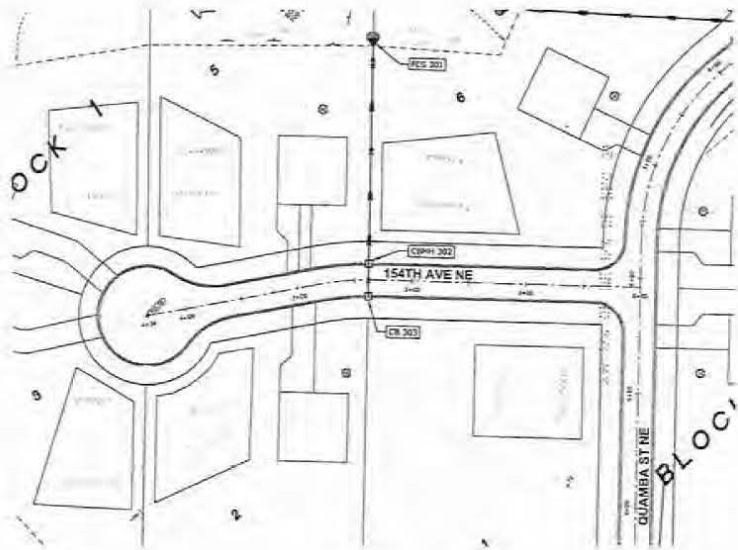
## SHEET INDEX

- DS TITLE SHEET, EXISTING CONDITIONS & GENERAL NOTES
- CS 1 - 1.7 STORM SEWER PLAN & PROFILE
- CS 1 - 2.4 UTILITY PLAN
- CS 1 - 3.4 DETAILS
- CS 1 - 4.2 STORM WATER POLLUTION PREVENTION PLAN
- CS 1 - 6.2 INTERSECTION & CUL-DE-SAC DETAILS

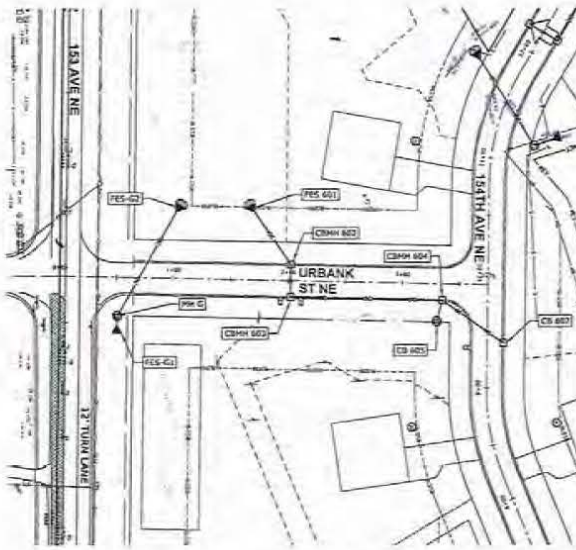
**EVERGREEN ESTATES**  
 CITY OF HAM LAKE, MN  
 TITLE SHEET, EXIST. CONDITIONS & GEN. NOTES  
 PREPARED FOR: THRESH VALLEY DEVELOPMENT

**PLOWE ENGINEERING**  
 10000 W. 130TH AVE., SUITE 100  
 SHALIMAR, MN 55124  
 TEL: 763-437-1111  
 FAX: 763-437-1112  
 WWW.PLOWEENGINEERING.COM

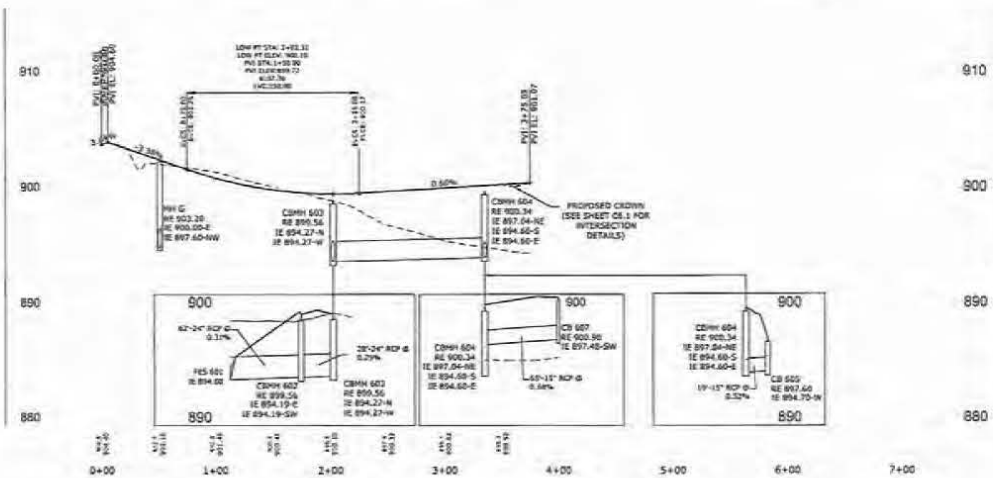
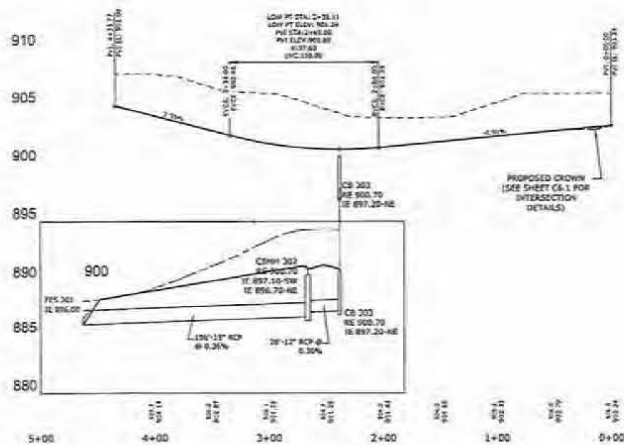
DATE: 08/10/2021  
 US MD: 18287  
 JOB: 21001  
 SHEET: 01 OF 01  
 PROJECT: EVERGREEN ESTATES  
 CLIENT: THRESH VALLEY DEVELOPMENT  
 DESIGNER: J. PLOWE  
 CHECKER: J. PLOWE  
 APPROVED: J. PLOWE  
 DATE: 08/10/2021



NORTH  
154TH AVE NE



NORTH  
URBANK STREET NE



**811**  
Know what's below.  
Call before you dig.



ATLANTA, GA  
PHONE (770) 241-4700  
FAX (770) 241-4707

PROJECT NO. 154TH AVE NE & URBANK ST NE  
DATE: 08.13.2011

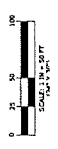
DESIGNED BY: [Signature]  
CHECKED BY: [Signature]  
DATE: 08.13.2011

EVERGREEN ESTATES  
CITY OF WINDY LAKE, ILL.  
STREET & STORM PLAN & PROFILE -  
154TH AVE NE & URBANK STREET  
PREPARED FOR: EVERGREEN ESTATES DEVELOPMENT

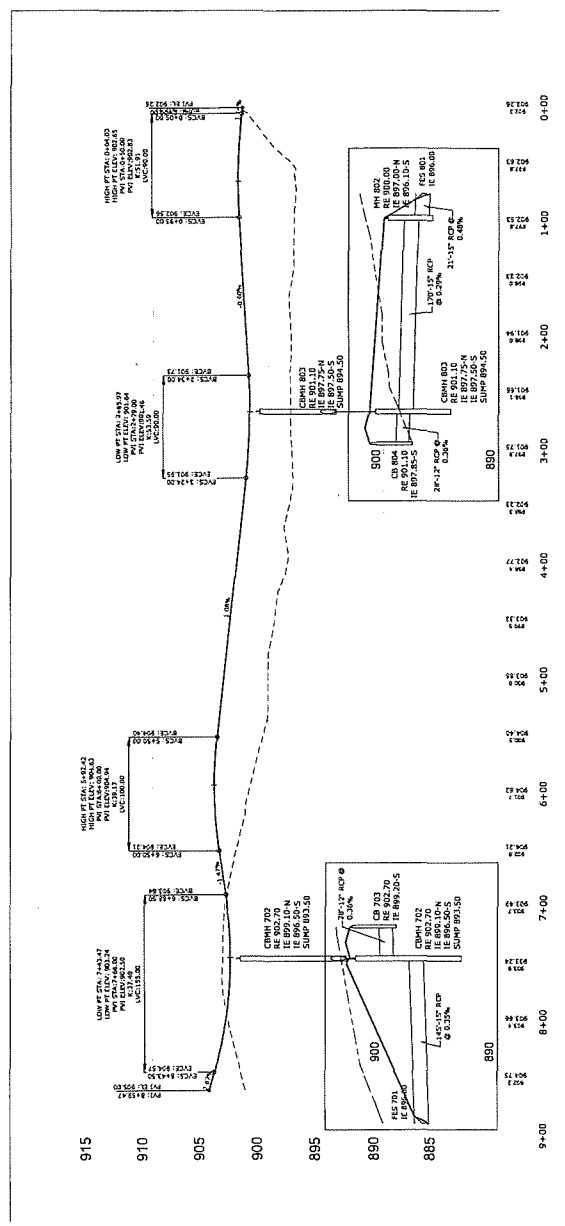
SHEET  
**C1.1**

DATE: 03/10/2021  
LAD NO: 18227  
CHARLES W. PLOWE  
REGISTERED PROFESSIONAL ENGINEER IN MINN.  
NO. 42455  
THE STATE OF MINNESOTA  
MAY BE USED FOR OTHER PROJECTS  
AND SHOULD BE REFERRED TO THE PROJECT'S  
WORKING DRAWINGS FOR ALL CITY COMMENTS  
NO. 18227

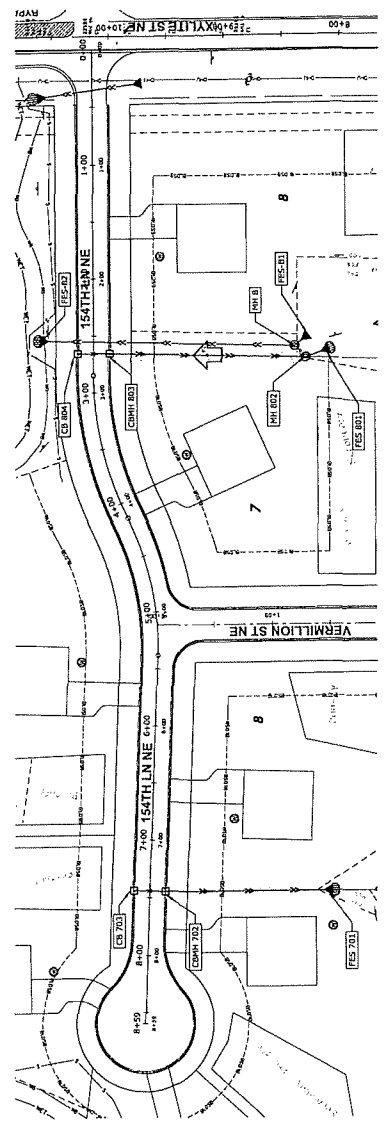
**PLOWE**  
ENGINEERING, INC.  
154TH LANE NE  
SUITE 100  
HAM LAKE, MN 55120  
PHONE: 952.318.8270  
FAX: 952.318.8271  
WWW.PLOWEENGINEERING.COM



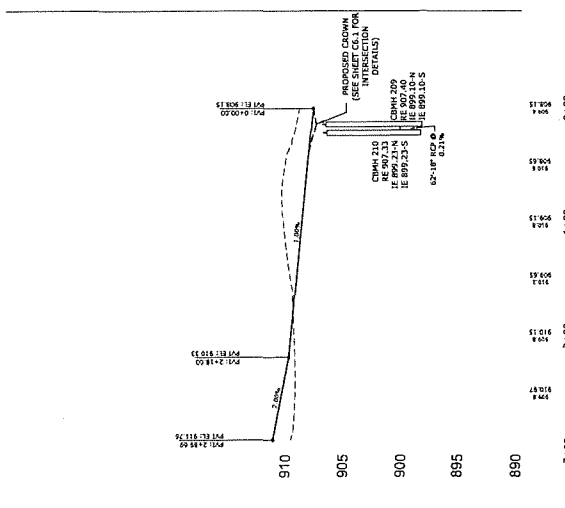
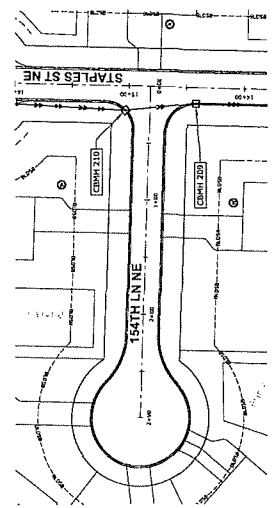
Know what's below.  
Call before you dig.



**154TH LANE NE (EAST)**

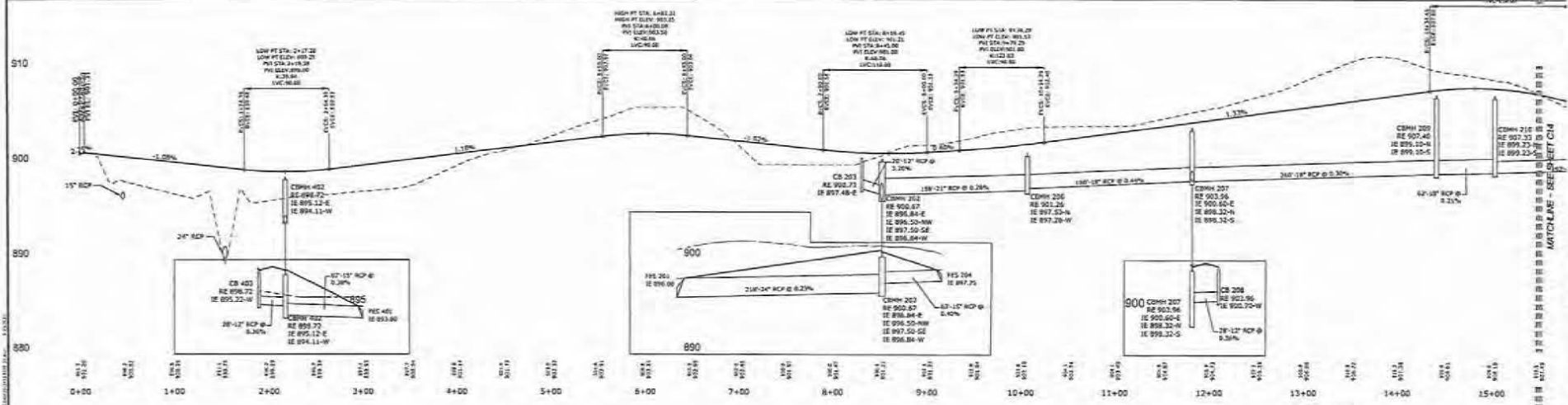
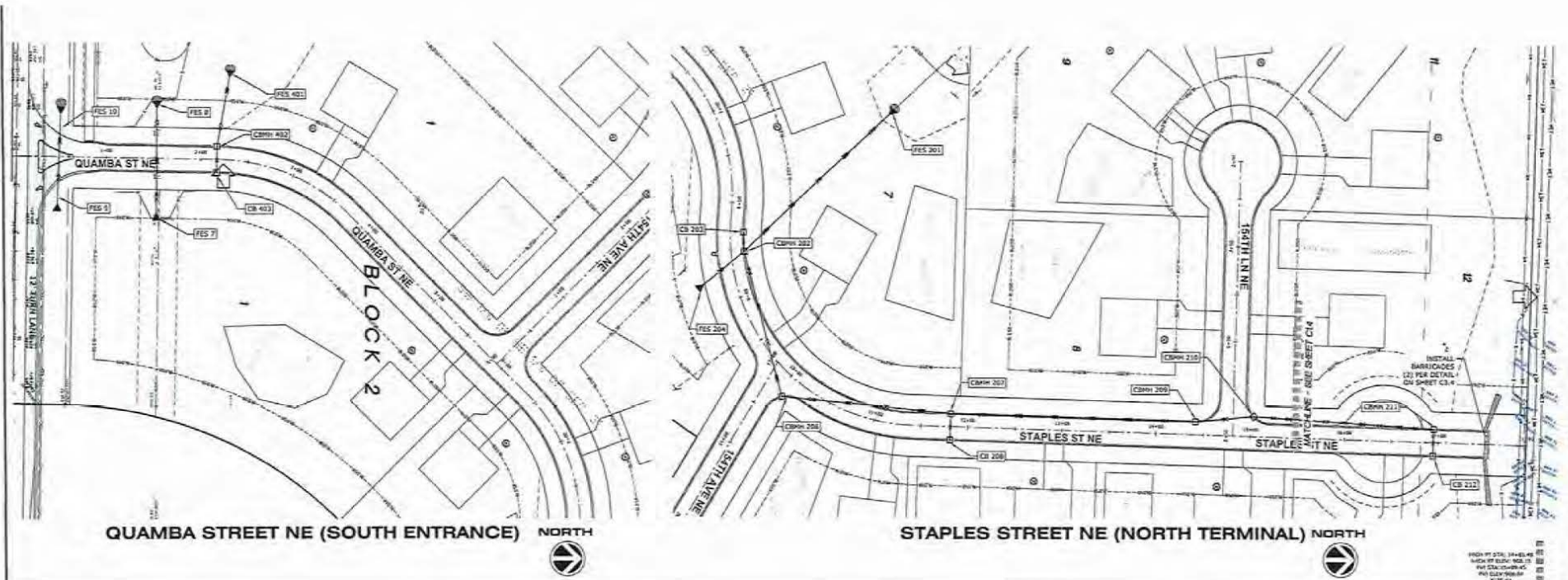


**154TH LANE NE (WEST)**



VERTICAL  
HORIZONTAL





811 PLANNING & ENGINEERING  
**PLOWE**  
 ENGINEERING, INC.

811 LANE DRIVE  
 SUITE 110  
 LINDSEY, MN 55049

PHONE: (612) 341-4710  
 FAX: (612) 341-4711

DESIGNED BY: CHUCK PLOWE  
 MOA

JOB NO.: 15000000000000000000  
 SHEET NO.: 15000000000000000000

DATE: 04/10/2011

DATE: 04/10/2011

DATE: 04/10/2011

DATE: 04/10/2011

DATE: 04/10/2011

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DATE: 04/10/2011

DATE: 04/10/2011

DATE: 04/10/2011

DATE: 04/10/2011

DATE: 04/10/2011

DATE: 04/10/2011

EVERGREEN STATES  
 CITY OF HALLAM, SD  
 STREET & STORM PLAN & PROFILE -  
 QUAMBA STREET

PREPARED FOR: THUNDERVALLEY DEVELOPMENT

SHEET

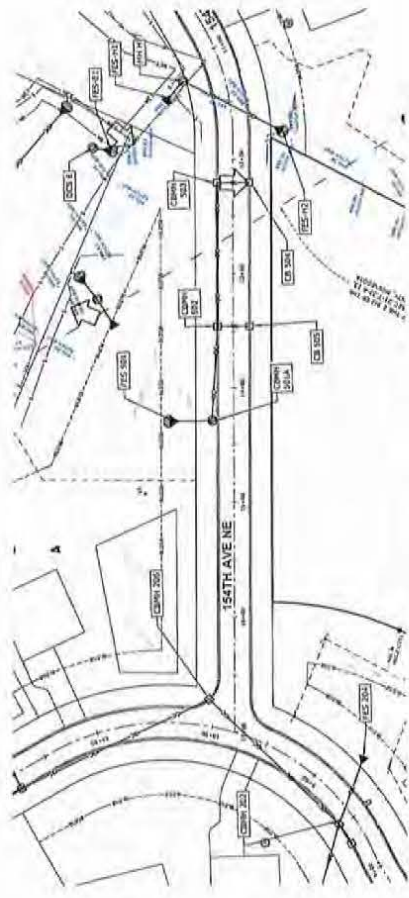
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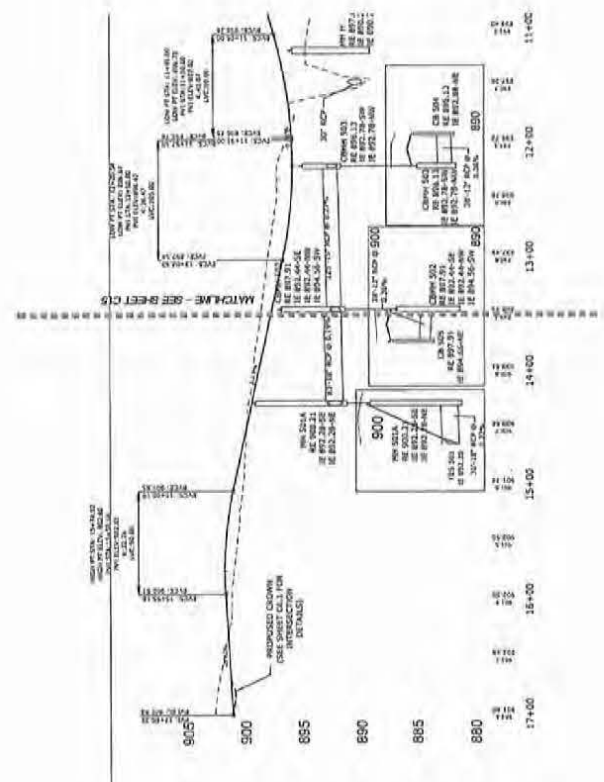








154TH AVENUE NE



Know what's below.  
Call before you dig.



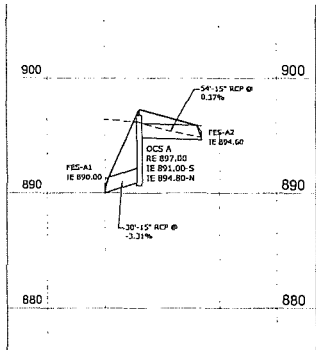
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EVERGREEN ESTATES  
CITY OF HAMLIN, MN  
STREET & STORM PLAN & PROFILE  
154TH AVE NE & URBANK STREET  
PREPARED FOR: THUNDER VALLEY DEVELOPMENT

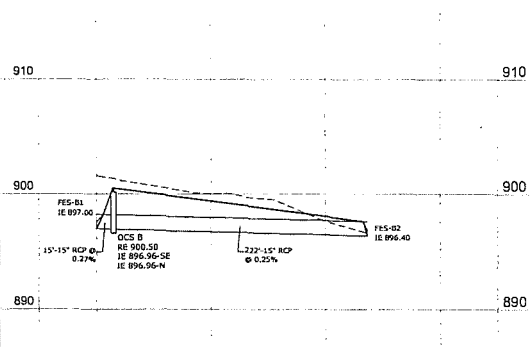
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CHECKED BY: [Signature]  
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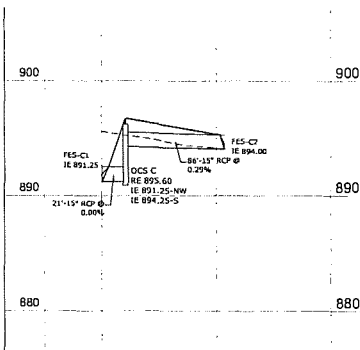
**PLOWS**  
ENGINEERING & ARCHITECTURE  
154TH AVENUE NE  
SUITE 100  
HAMLIN, MN 55127  
PHONE: (612) 438-1548  
FAX: (612) 438-1549  
WWW.PLOWS.COM



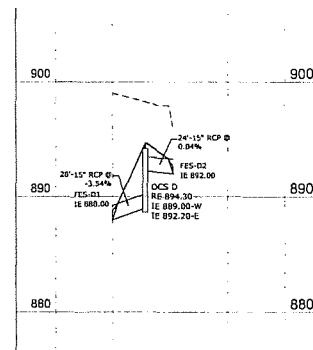
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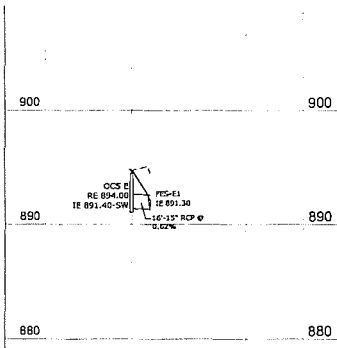
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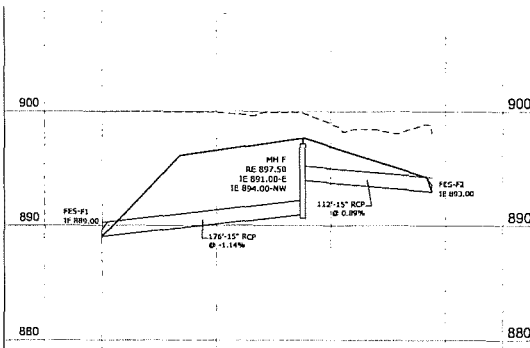
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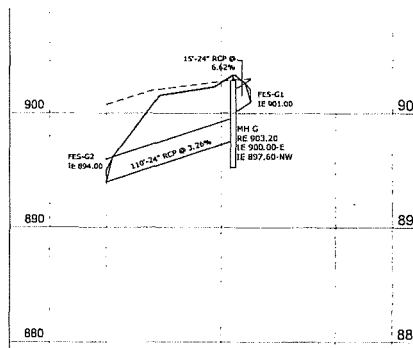
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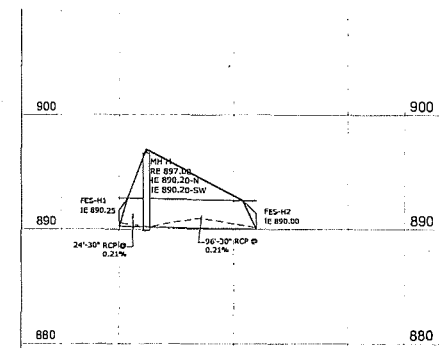
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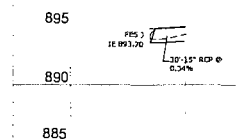
MH F



MH G



MH H



OUTLET J

SEE SHEET C3.4 FOR  
BAFFLE WEIR DETAILS



577 LANE DRIVE  
SUITE 110  
LIND LAKE, MN 55914

PHONE: (551) 351-8210  
FAX: (551) 351-8211

DESIGNED BY: C. C. CHRY  
DRAWN BY: C. C. CHRY

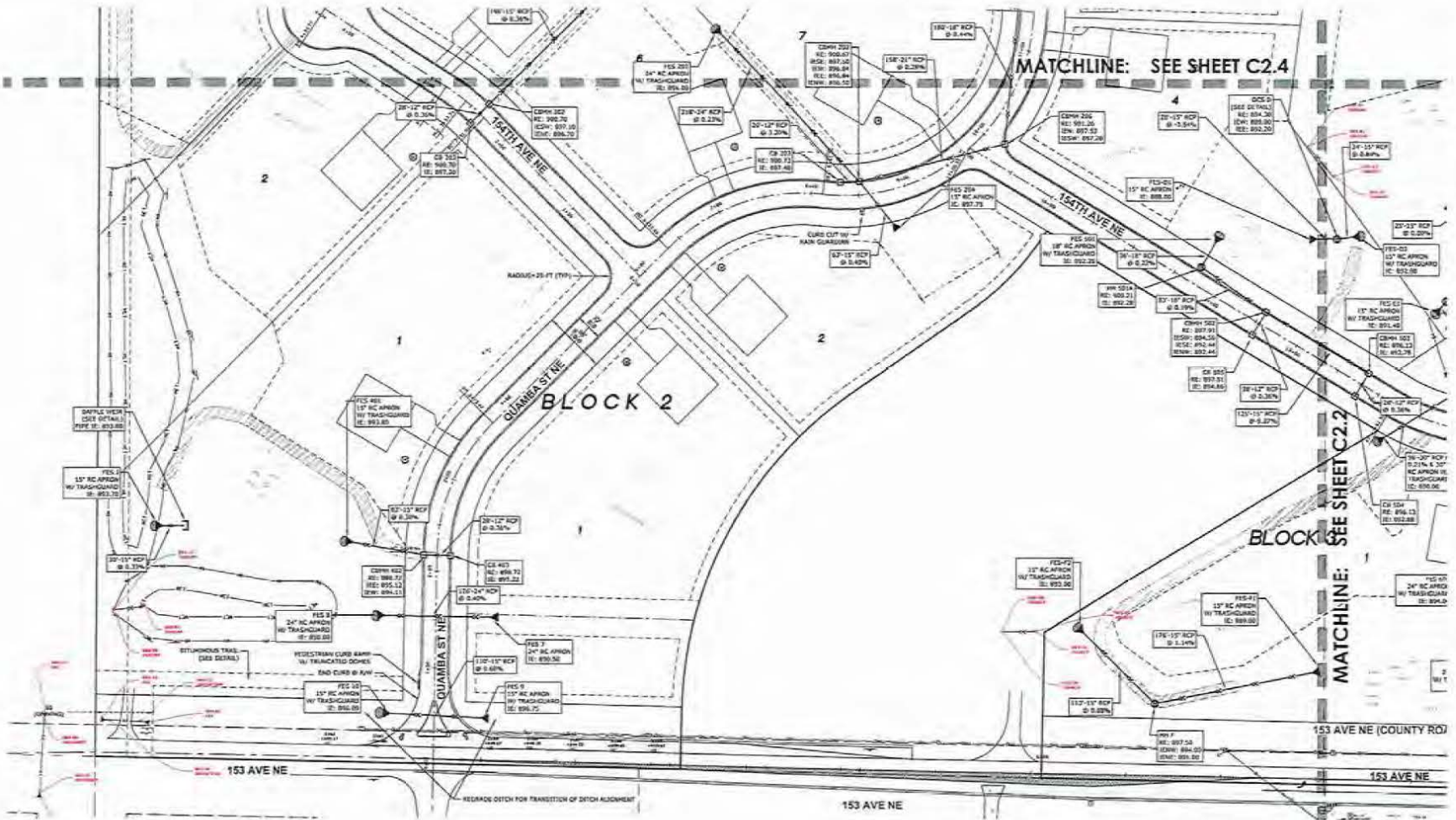
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EVERGREEN ESTATES  
CITY OF HAIL LAKE, MN  
STREET & STORM PLAN & PROFILE  
154TH AVE NE & LURBANK STREET  
PREPARED FOR: TUBERVILLE VALLEY DEVELOPMENT

DATE: 08-13-2011

SHEET  
C17



8718 LAKE DRIVE SUITE 110 LAND LAKE, MN 55124 PHONE: (612) 261-8270 FAX: (612) 261-8270	
DRAWING BY: CHECK BY: JSA DATE: 08-13-20	PROJECT NO.: 2010010 SHEET NO.: 10-13-20
PROJECT DESCRIPTION: EVERGREEN ESTATES PHASE 2 UTILITY PLAN	
DATE: 08-13-20	

EVERGREEN ESTATES  
 CITY OF HAWLAKE, MN  
 UTILITY PLAN  
 PREPARED FOR: THUNDER VALLEY DEVELOPMENT

SHEET  
**C2.1**



Know what's below.  
 Call before you dig.

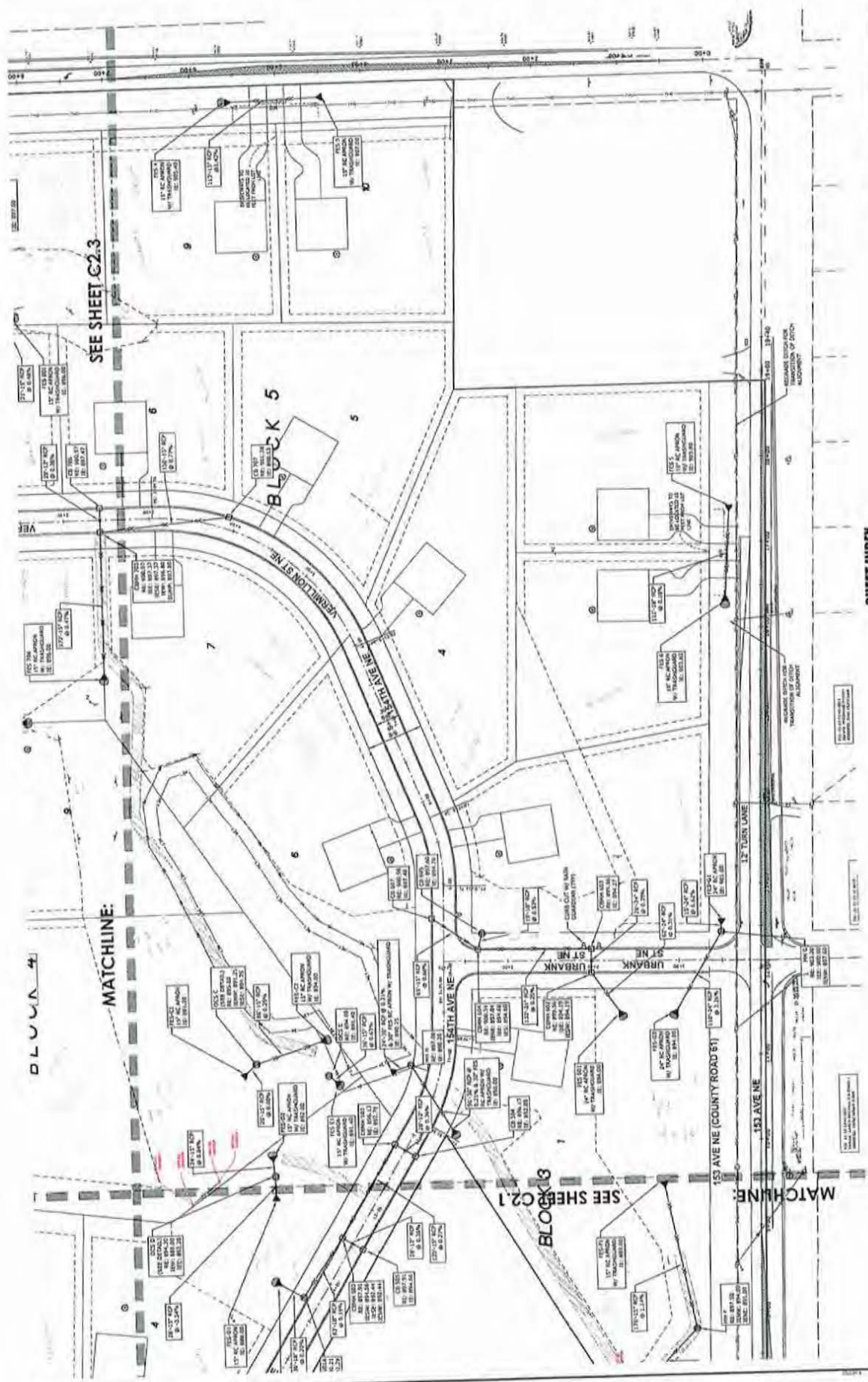
SEE SHEET C2.0 FOR LEGEND AND  
 CONSTRUCTION NOTES  
 SEE SHEET C3.4 FOR STRUCTURE  
 SCHEDULE



NO.	DATE	DESCRIPTION
1	05/13/2021	ISSUE FOR PERMITS
2	05/13/2021	ISSUE FOR PERMITS
3	05/13/2021	ISSUE FOR PERMITS
4	05/13/2021	ISSUE FOR PERMITS
5	05/13/2021	ISSUE FOR PERMITS
6	05/13/2021	ISSUE FOR PERMITS
7	05/13/2021	ISSUE FOR PERMITS
8	05/13/2021	ISSUE FOR PERMITS
9	05/13/2021	ISSUE FOR PERMITS
10	05/13/2021	ISSUE FOR PERMITS
11	05/13/2021	ISSUE FOR PERMITS
12	05/13/2021	ISSUE FOR PERMITS
13	05/13/2021	ISSUE FOR PERMITS
14	05/13/2021	ISSUE FOR PERMITS
15	05/13/2021	ISSUE FOR PERMITS
16	05/13/2021	ISSUE FOR PERMITS
17	05/13/2021	ISSUE FOR PERMITS
18	05/13/2021	ISSUE FOR PERMITS
19	05/13/2021	ISSUE FOR PERMITS
20	05/13/2021	ISSUE FOR PERMITS

EVERGREEN ESTATES  
CITY OF WALKER, MN  
UTILITY PLAN  
PREPARED FOR: THUNDER VALLEY DEVELOPMENT

SHEET  
C2.2



SEE SHEET C2.3 FOR LEGEND AND  
CONSTRUCTION NOTES  
SEE SHEET C2.4 FOR STRUCTURE  
SCHEDULE



SHEET INDEX

NO SCALE

SEE SHEET C2.3

SEE SHEET C2.1

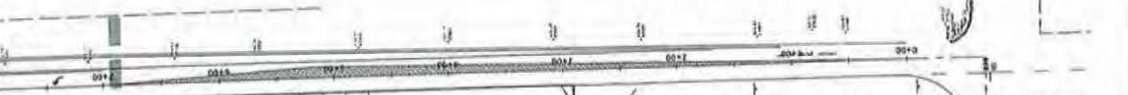
MATCHLINE

MATCHLINE

BLOCK 4

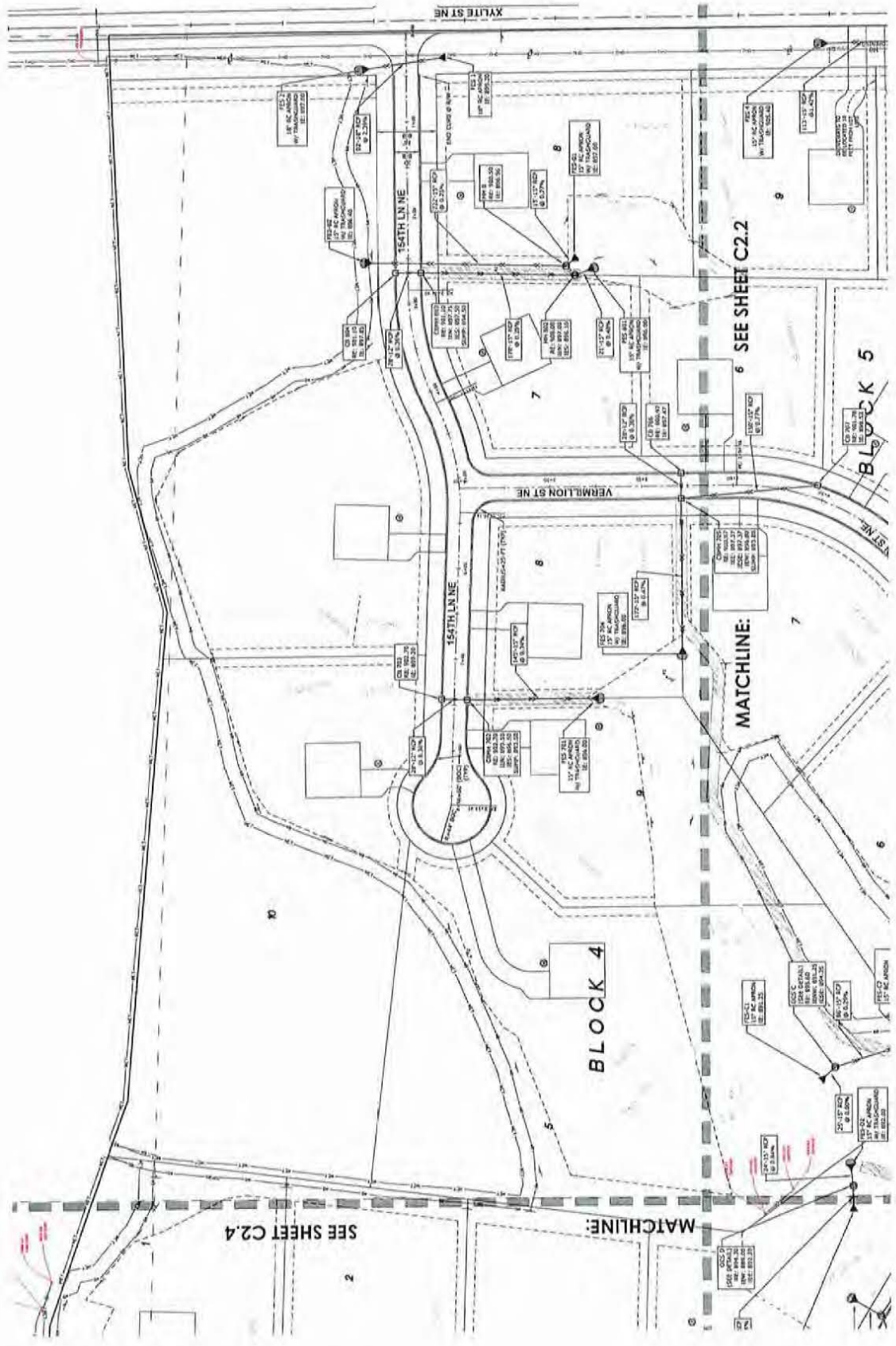
BLOCK 5

BLOCK 3



PLOWE  
ENGINEERS & ARCHITECTS, INC.  
1500 W. WALKER AVE. SUITE 100  
WALKER, MN 55389  
TEL: 763.433.1100  
WWW.PLOWEENGINEERS.COM

DATE: 05/13/2021  
PROJECT: EVERGREEN ESTATES  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]



SEE SHEET C2.4 FOR LEGEND AND  
CONSTRUCTION NOTES  
SEE SHEET C2.4 FOR STRUCTURE  
SCHEDULE

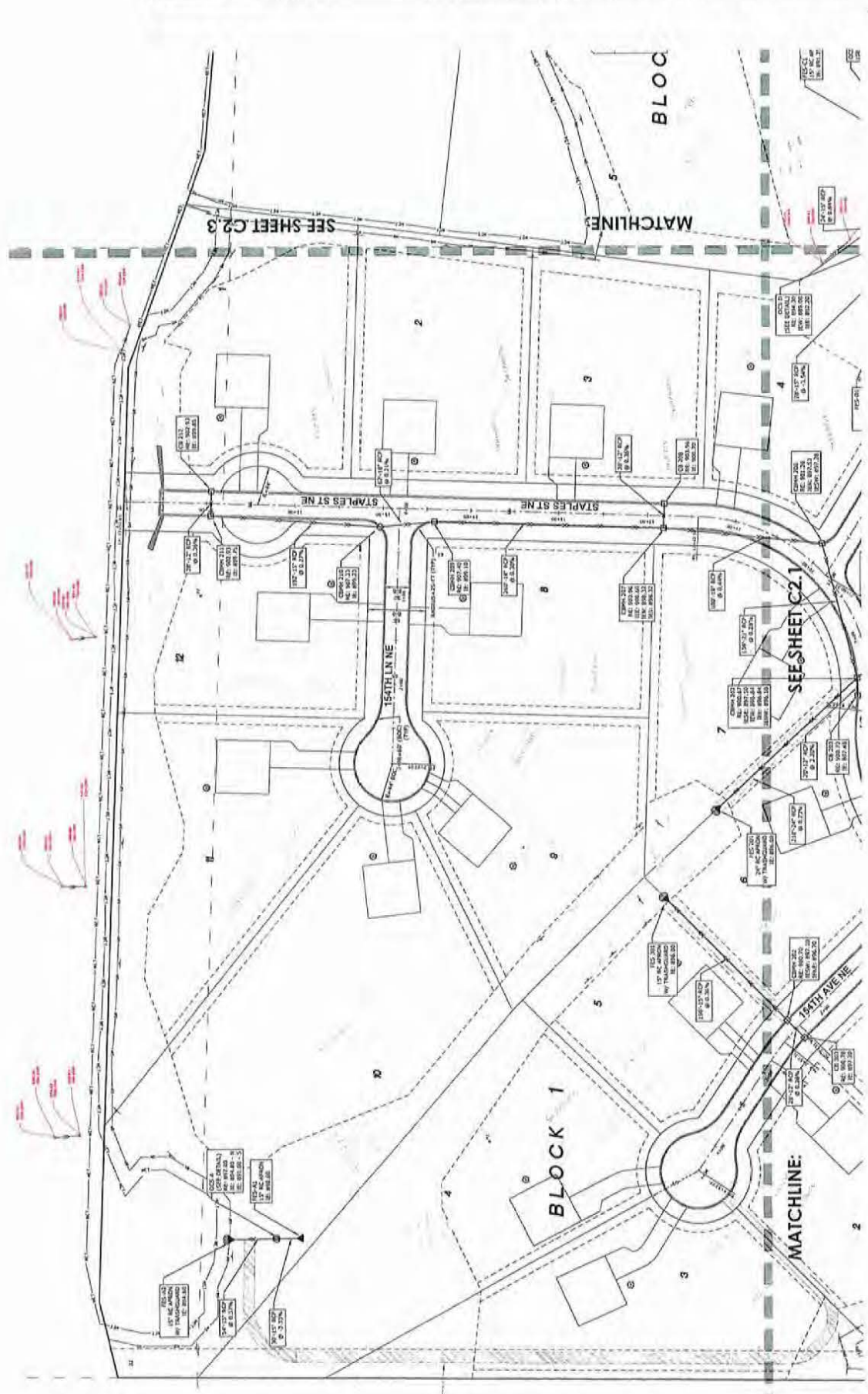


Know what's below.  
Call before you dig.

DATE: 04/15/2014  
DRAWN BY: CHARLES W. MOSE  
CHECKED BY: [Signature]  
PROJECT: EVERGREEN ESTATES  
SHEET: C24

NO.	DATE	REVISION
1	04/15/2014	ISSUED FOR PERMIT
2	04/15/2014	ISSUED FOR PERMIT
3	04/15/2014	ISSUED FOR PERMIT
4	04/15/2014	ISSUED FOR PERMIT
5	04/15/2014	ISSUED FOR PERMIT
6	04/15/2014	ISSUED FOR PERMIT
7	04/15/2014	ISSUED FOR PERMIT
8	04/15/2014	ISSUED FOR PERMIT
9	04/15/2014	ISSUED FOR PERMIT
10	04/15/2014	ISSUED FOR PERMIT
11	04/15/2014	ISSUED FOR PERMIT
12	04/15/2014	ISSUED FOR PERMIT

**PLOWE ENGINEERING, INC.**  
 1000 W. HAWK DR.  
 SUITE 100  
 HAYLAKE, MI 48424  
 PHONE: 248-233-1100  
 FAX: 248-233-1101  
 WWW.PLOWEENGINEERING.COM



SEE SHEET C0 FOR LEGEND AND CONSTRUCTION NOTES  
 SEE SHEET C04 FOR STRUCTURE SCHEDULE

SCALE: 1" = 30'

**811**  
 Know what's below.  
 Call before you dig.





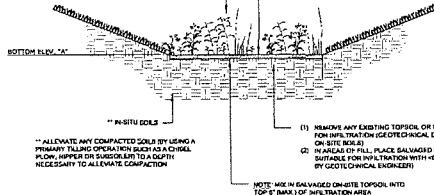


- NOTES**
- MARK OFF BOUNDARY (E.G. FENCING, BUILT FENCE, ETC.) TO PREVENT CONSTRUCTION TRAFFIC FROM ENTERING BASIN AREA.
  - USE LOW IMPACT EARTH MOVING EQUIPMENT (SIDE TRACK OR WALKER TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF-TYPE TIRES) WITH BASIN.
  - PROTECT BASIN FROM RUN-OFF DURING CONSTRUCTION ACTIVITIES. DO NOT EXCAVATE BASIN TO FINAL GRADE UNTIL UPRISING DRAINAGE AREAS HAVE BEEN ESTABLISHED.
  - REMOVE ANY TOPSOIL AND/OR UNDESIRABLE SOILS WITHIN INFILTRATION BASIN FOOTPRINT. ANY SEGMENT THAT IS WASHED INTO THE BASIN SHALL BE REMOVED.
  - NO AERIAL OR OVERLAPPING INFILTRATION BASIN.
  - BASIN BOTTOM TO BE GRADED FLAT.
  - ALLEVATE ANY COMPACTED SOILS PRIOR TO SEEDING.
  - EXCAVATE BASIN TO FINAL GRADE ONLY UPON STABILIZATION OF CONTIGUOUS DRAINAGE AREAS. ALLEVATE ANY COMPACTED SOILS DUE TO FINAL GRADING OPERATIONS PRIOR TO SEEDING.

POST CONSTRUCTION INFILTRATION TESTING IS REQUIRED. PERFORM TEST BY FILLING BASIN WITH 24 INCHES OF WATER AND MONITORING DRAIN DOWN TIMES. CONTACT COON CREEK WATERWEED DISTRICT AT LEAST 24 HOURS PRIOR TO WITNESS TEST!

PRIME: NATIVE SEED MIX (E.G. JACOBY 33-28) @ 30 LBS/AC OR PLANTING SUGGESTIONS (SEE PAGE 10)

EROSION CONTROL BLANKET SUITABLE FOR SEEDING (E.G. STRAW COCOON BLANKET)

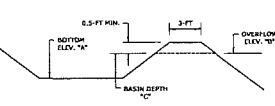


- REMOVE ANY EXISTING TOPSOIL OR FILL CLEANED UNDESIRABLE FOR INFILTRATION OR OF OTHER CRITICAL IMPORTANCE TO WETLAND ON SITE AND:
- IN PLACE OF FILL, PLACE SALVAGED ON-SITE SANDY SOILS SUITABLE FOR INFILTRATION WITH 4% FINES (AS DETERMINED BY GEOTECHNICAL ENGINEER)

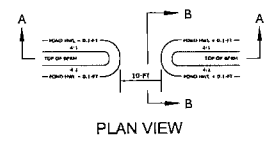
**PLANTING SUGGESTIONS**

BOTTOM OF BASIN	SIDE SLOPES
<b>NATIVE PLANTINGS</b>	<b>NATIVE PLANTINGS</b>
CLAYT BURNING	WET BLUESTEM
WORK GRASS SEED	BLUE JOINT GRASS
CRUD GRASS	SMITH GRASS
OLIVE FLAG IRIS	BLUE VERVAIN
SANDBAR POLYMEDED	PALE BLUESTEM
TANARACK	NEW ENGLAND ASTER
SOC PINE WILD	RED-ODOR DOGWOOD
NEW ENGLAND ASTER	SANDBAR WILLOW
PALE BLUESTEM	BLACK CHOKERBERRY
DOGWOOD	BLACK WILLOW

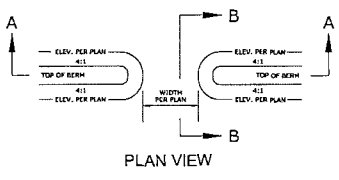
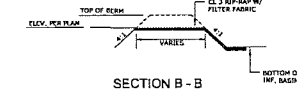
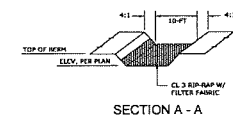
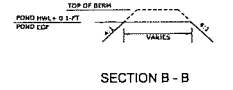
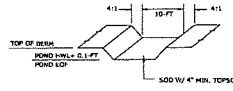
**INFILTRATION BASIN OVERFLOW DETAIL**



	INFILTRATION BASIN NUMBER			
	A	B	C	D
BASIN BOTTOM ELEV. "A"	895.00	895.00	895.00	895.00
DUTILET ELEV. "B"	897.00	897.00	897.00	897.00
DEPTH (FT)	1.00	1.00	0.95	1.00

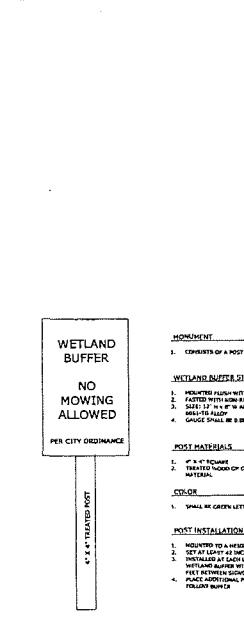


**POND SODDED OVERFLOWS**



**FOREBAY & INFILTRATION BASIN OVERFLOW**

**INFILTRATION BASIN**

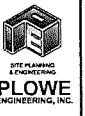


**WETLAND BUFFER SIGNAGE**

**INFILTRATION BASIN SIGNAGE**

**TYPICAL POND SECTION**

**FOREBAY & INFILTRATION BASIN OVERFLOW**



**PLOWE ENGINEERING, INC.**

8775 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014

PHONE: (953) 361-8719  
FAX: (953) 361-8761

DRAWN BY: MCA  
CHECK BY: CWP

JOB NO: 20-1033  
DATE: 10-12-20

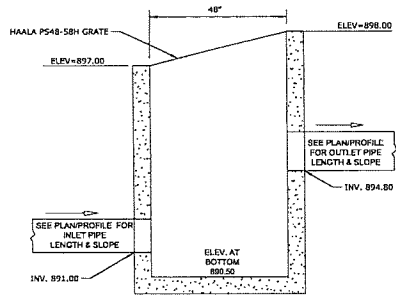
NO.	DATE	DESCRIPTION
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DESIGNED BY: MCA  
CHECKED BY: CWP  
DATE: 10-12-20

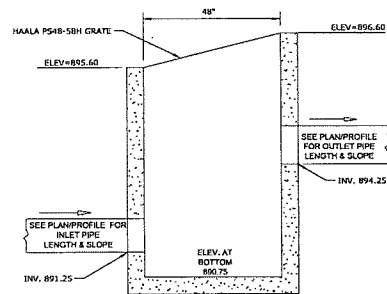
EVERGREEN ESTATES  
CITY OF HAM LAKE, MN  
DETAILS  
PREPARED FOR: TUBERVILLE DEVELOPMENT

SHEET  
C3.2

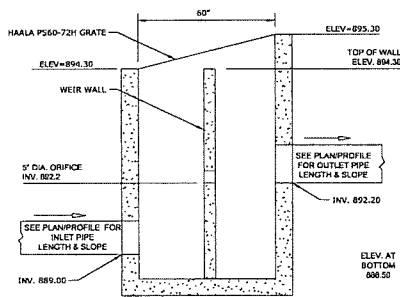




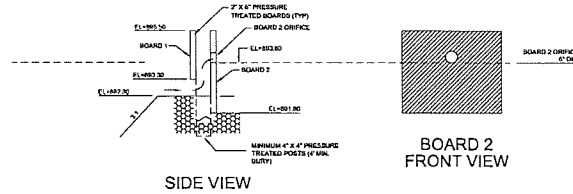
OUTLET CONTROL STRUCTURE "A" (POND 7)  
N.T.S.



OUTLET CONTROL STRUCTURE "C" (POND 9)  
N.T.S.

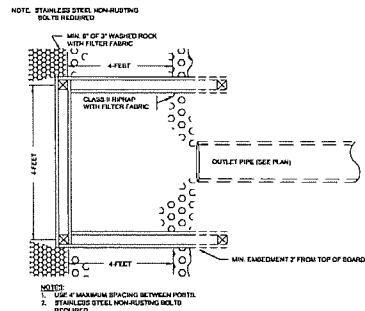


OUTLET CONTROL STRUCTURE "D" (POND 10)  
N.T.S.

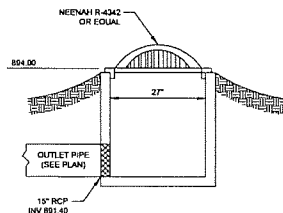


SIDE VIEW

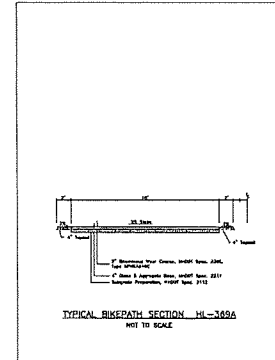
BOARD 2 FRONT VIEW



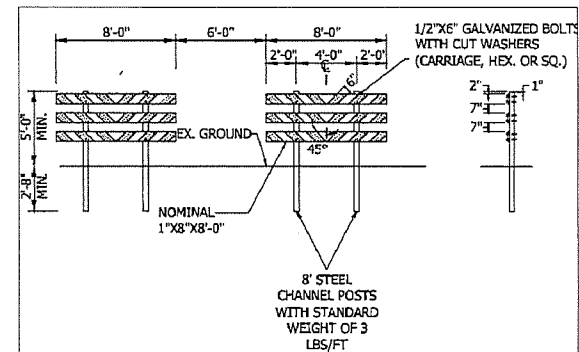
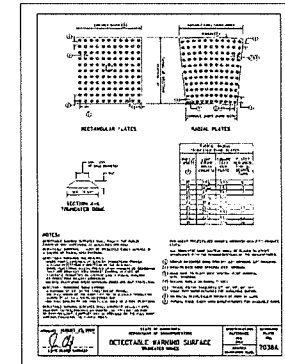
BAFFLE WEIR (WITH ORIFICE FOR RATE CONTROL) - POND 12  
N.T.S.



OUTLET CONTROL STRUCTURE "E" (OUTSIDE P3 WETLAND)  
N.T.S.



TYPICAL BIKEPATH SECTION HI-3686  
NOT TO SCALE



NOTES:

1. THE BARRICADE FACE SURFACES SHALL BE FULLY REFLECTORIZED IN ALTERNATE SILVER-WHITE AND RED STRIPING, USING A REFLECTIVE SHEETING CONFORMING TO THE REQUIREMENTS OF SPEC 2352.2.A2.
2. THE PLACEMENT OF THE BARRICADES SHALL BE 10'-0" FROM THE END OF THE BITUMINOUS ROAD WITH THE BARRICADE CENTERED ON THE ROADWAY FACING THE OF TRAFFIC.
3. PLACE FUTURE ROAD EXTENSION SIGN STR-12 ON ONE BARRICADE IF REQUIRED

\*PLACE AT END OF BITUMINOUS ROAD TO AVOID SLOPE.

DOUBLE PERMANENT BARRICADE - DETAIL

STORM SEWER STRUCTURE SCHEDULE					
#	SIZE	CASTING	#	SIZE	CASTING
202	72" DIA.	NEENAH R-3246-C	802	48" DIA.	NEENAH R-3246-C
203	2' x 3'	NEENAH R-3246-C	803	60" DIA.	NEENAH R-3246-C
208	48" DIA.	NEENAH R-3246-C	804	60" DIA.	NEENAH R-3246-C
207	48" DIA.	NEENAH R-3246-C	807	2' x 3'	NEENAH R-3246-C
208	2' x 3'	NEENAH R-3246-C	702	48" DIA.	NEENAH R-3246-C
209	48" DIA.	NEENAH R-3246-C	703	2' x 3'	NEENAH R-3246-C
210	48" DIA.	NEENAH R-3246-C	705	48" DIA.	NEENAH R-3246-C
211	48" DIA.	NEENAH R-3246-C	708	2' x 3'	NEENAH R-3246-C
212	2' x 3'	NEENAH R-3246-C	707	2' x 3'	NEENAH R-3246-C
302	48" DIA.	NEENAH R-3246-C	802	48" DIA.	NEENAH R-1733
303	2' x 3'	NEENAH R-3246-C	803	48" DIA.	NEENAH R-3246-C
402	48" DIA.	NEENAH R-3246-C	804	2' x 3'	NEENAH R-3246-C
501A	48" DIA.	NEENAH R-1733	B	48" DIA.	NEENAH R-1733
502	48" DIA.	NEENAH R-3246-C	F	60" DIA.	NEENAH R-1733
503	48" DIA.	NEENAH R-3246-C	G	48" DIA.	NEENAH R-1733
504	2' x 3'	NEENAH R-3246-C	H	60" DIA.	NEENAH R-1733
505	2' x 3'	NEENAH R-3246-C			



PLOW ENGINEERING, INC.

8778 LAKE DRIVE  
SUITE 100  
LIMO LAKE, MN 55814

PHONE: (855) 361-3210  
FAX: (855) 361-0501

DRAWN BY: MGA

CHECK BY: CWP

JOB NO: 201820

DATE: 10-12-20

SCALE: AS SHOWN

PROJECT: BARRICADE

DATE: 05/23/2017

DATE: 05/23/2017

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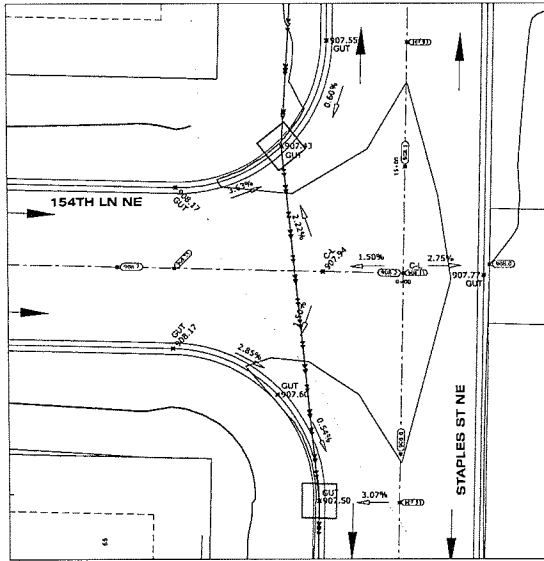
EVERGREEN ESTATES

CITY OF HAM LAKE, MN  
DETAILS  
PREPARED FOR: RUBEN VALLEY DEVELOPMENT

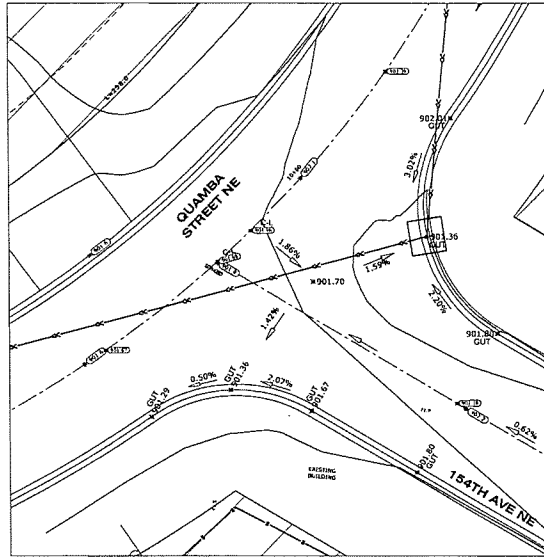
SHEET  
C3.4



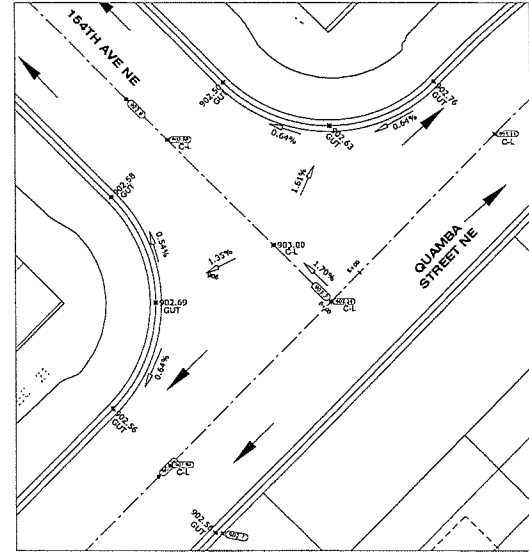




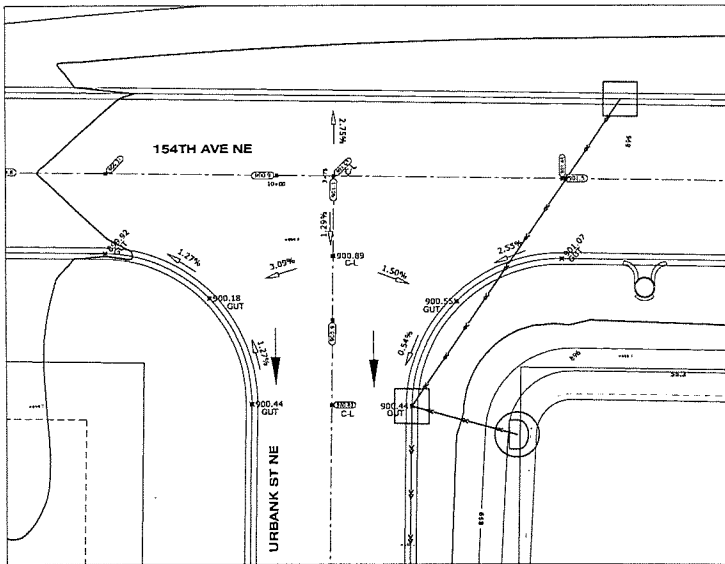
154TH LANE NE  
@ STAPLES STREET NE



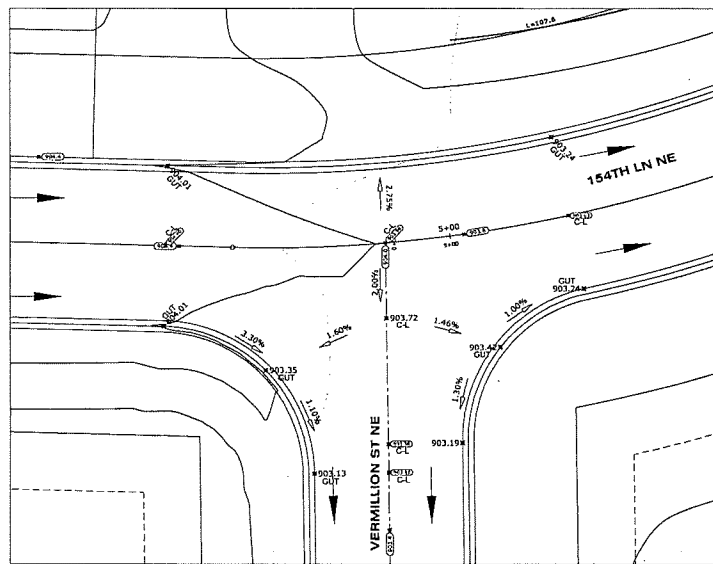
154TH AVE NE  
@ QUAMBA STREET NE (EAST)



154TH AVENUE  
@ QUAMBA STREET NE (WEST)



URBANK ST NE  
@ 154TH AVENUE NE



154TH LANE NE  
@ VERMILLION STREET NE



INTERSECTION DETAILS  
153RD AVENUE & XYLITE STREET NE



**PLOWE**  
ENGINEERING, INC.

5778 LAKE DRIVE  
SUITE 110  
LINO LAKE, MN 55014

PHONE: (651) 361-4210  
FAX: (651) 361-4200

DRAWN BY: CHECK BY:  
LDA CWP

JOB NO. DATE:  
201803 10-12-20

NO. DATE DESCRIPTION

1 11.11.11 INTERSECTION DETAILS

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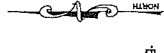


EVERGREEN ESTATES  
CITY OF HAWAII, HI  
RIGHT-IN RIGHT-OUT - OAHU/BA STREET  
PREPARED FOR: THERRA VALLEY DEVELOPMENT

DATE: 06/11/2021  
DESIGNED BY: CHARLES W. MOORE  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT NO.: 20-1793

NO.	DATE	DESCRIPTION
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PLOWE ENGINEERING, INC.  
1000 KALANIANA'OLA BLVD., SUITE 200  
HONOLULU, HI 96813  
PHONE: (808) 531-4010  
FAX: (808) 531-4011



Know what's below.  
Call what you dig.

ALL WORK WITHIN ANNEA COUNTY, KEELE COUNTY SHALL CONFORM TO THE 2018 EDITION OF THE ANNEA COUNTY SPECIFICATIONS FOR CONSTRUCTION.

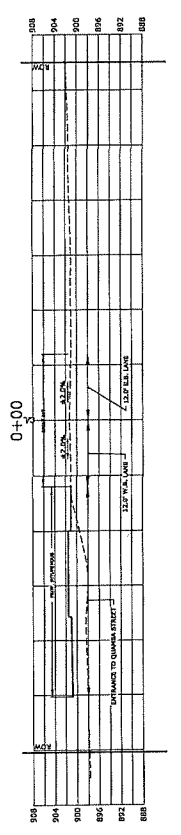
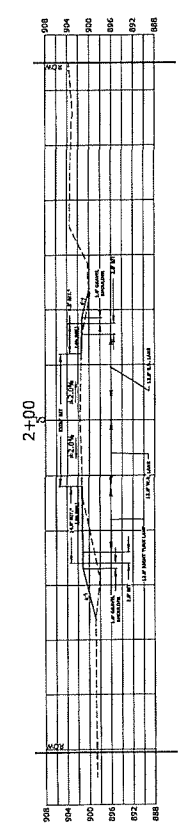
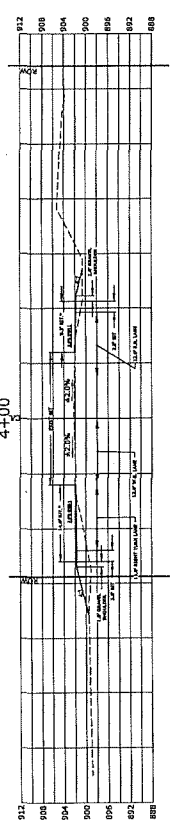
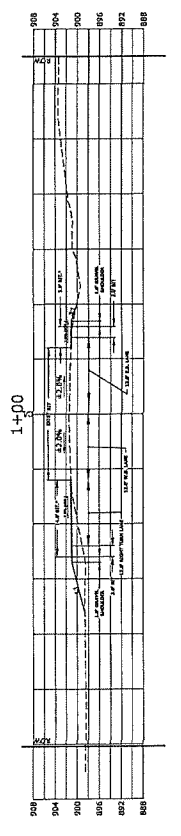
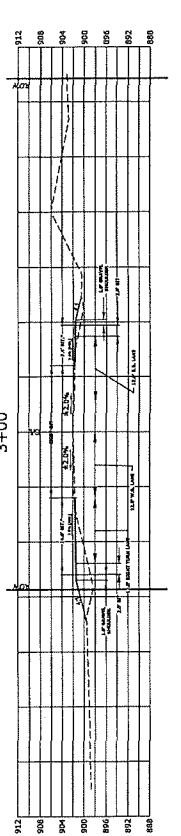
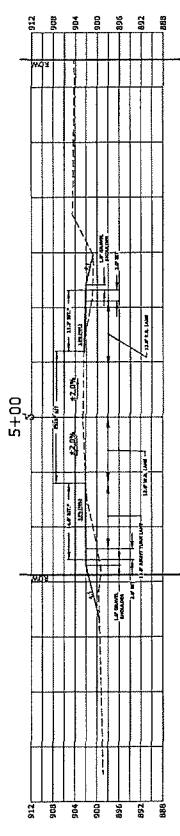
CONTRACTOR SHALL FOLLOW HAWAII'S 811 PROGRAM AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES.

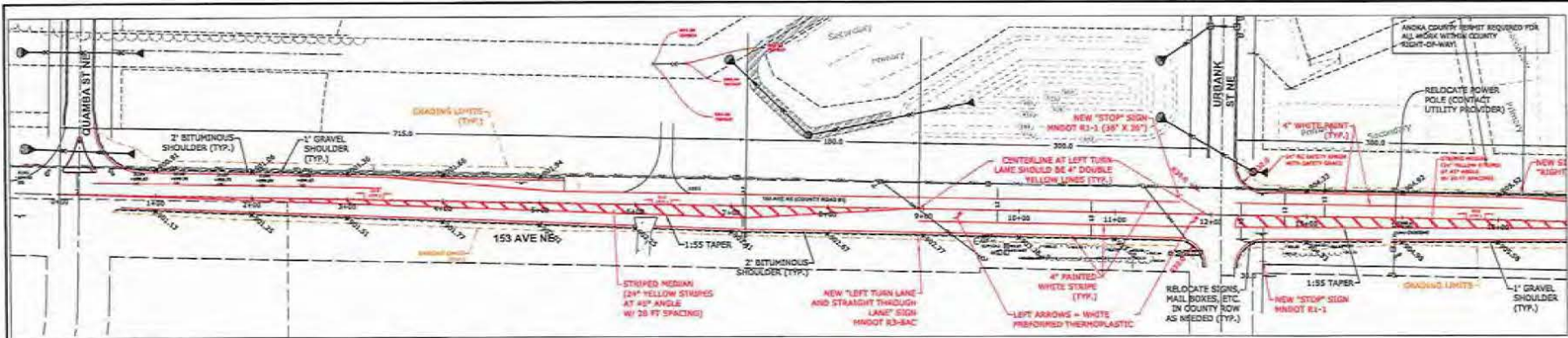
ALL WORK WITHIN SHALL BE PERFORMED FOR ALL WORK WITHIN COUNTY RIGHT-OF-WAY.



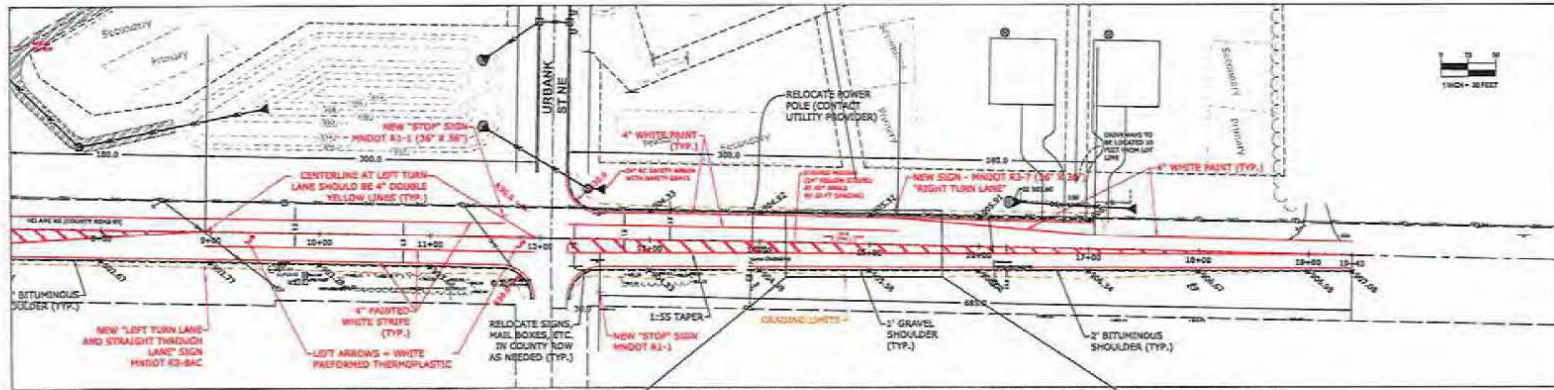
- NOTES:
1. STRENGTHENING PAVEMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT.

1. DUE TO VARIATIONS IN THE SURFACE OF THE ROADWAY (TYPICALLY 2" ±), CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HAWAII COUNTY ENGINEERING DEPARTMENT.





TURN LANES WEST OF URBANK STREET NE & 153RD AVE NE (COUNTY ROAD 61)

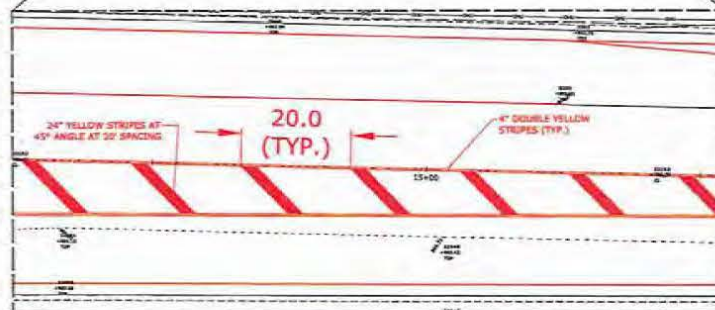


TURN LANES EAST OF URBANK STREET NE & 153RD AVE NE (COUNTY ROAD 61)

**LEGEND**

- EXISTING STRIPING TO REMAIN
- PROPOSED STRIPING (TO BE ADDED PRIOR TO OR REMOVED & REPLACED)

**INSERT "A":  
TYPICAL STRIPING  
IN ALL TAPER/GORE AREAS**



ALL WORK WITHIN ANOKA COUNTY RIGHT-OF-WAY SHALL CONFORM TO THE 2018 EDITION OF THE MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

CONTRACTOR SHALL FOLLOW MNDOT'S 'TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL 554' FOR TRAFFIC CONTROL.

**SEE SHEET C5.1  
FOR STRIPING  
NOTES & DETAILS**



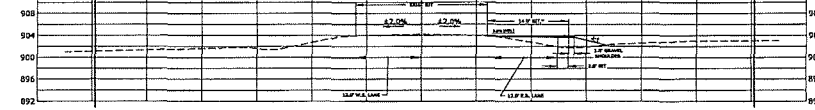
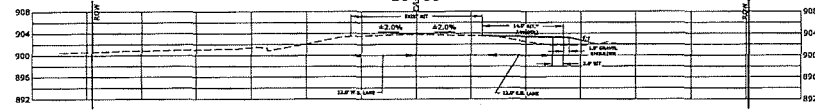
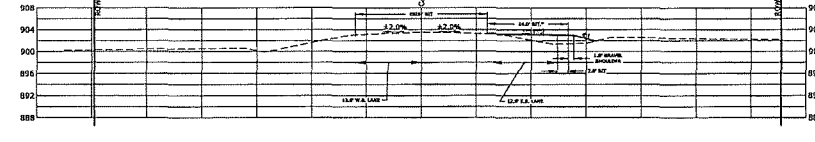
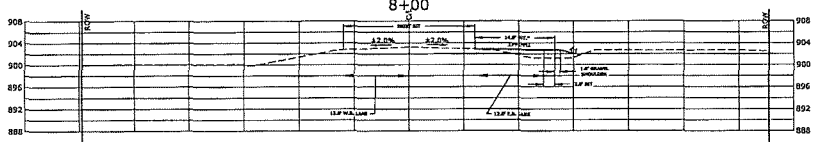
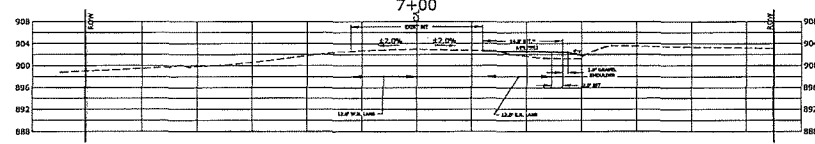
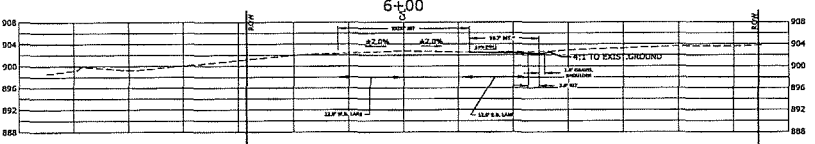
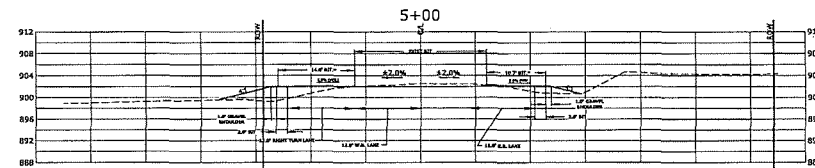
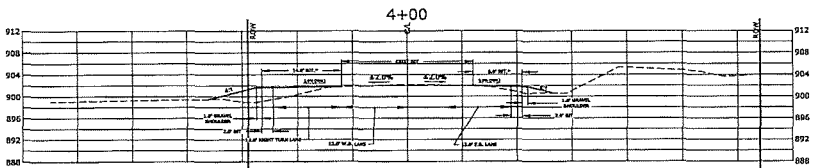
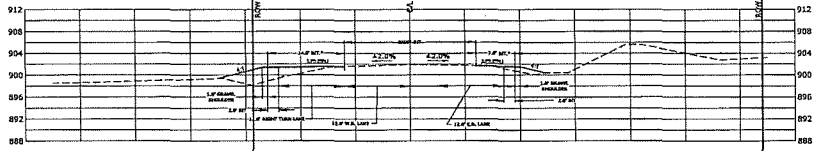
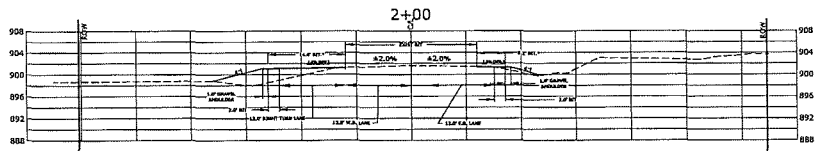
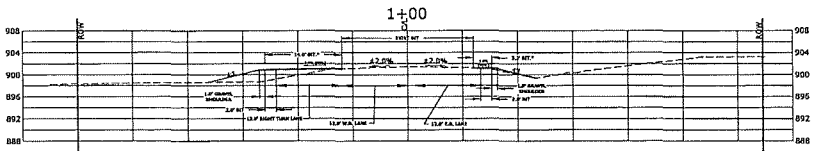
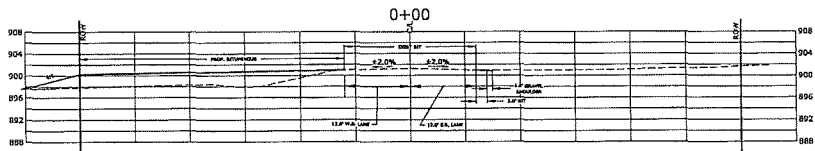
DESIGN BY:	CHECK BY:
DATE:	DATE:
20-1933	10-13-18

NO.	DATE	DESCRIPTION
1	03-17-2018	ISSUE FOR PERMIT
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3	03-17-2018	ISSUE FOR PERMIT
4	03-17-2018	ISSUE FOR PERMIT
5	03-17-2018	ISSUE FOR PERMIT
6	03-17-2018	ISSUE FOR PERMIT
7	03-17-2018	ISSUE FOR PERMIT
8	03-17-2018	ISSUE FOR PERMIT
9	03-17-2018	ISSUE FOR PERMIT
10	03-17-2018	ISSUE FOR PERMIT

EVERGREEN ESTATES  
CITY OF HANNAH, MN  
TURN LANE PLAN - URBANK ST NE  
PREPARED FOR: 153RD VALLEY DEVELOPMENT

EVERGREEN ESTATES  
CITY OF HANNAH, MN  
TURN LANE PLAN - URBANK ST NE  
PREPARED FOR: 153RD VALLEY DEVELOPMENT

SHEET  
**C5.3**



ANOKA COUNTY PERMIT REQUIRED FOR ALL WORK WITHIN COUNTY RIGHT-OF-WAY

ALL WORK WITHIN ANOKA COUNTY RIGHT-OF-WAY SHALL CONFORM TO THE 2018 EDITION OF THE MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

CONTRACTOR SHALL FOLLOW MNDOT'S "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL 2014" FOR TRAFFIC CONTROL.

**EVERGREEN ESTATES**  
CITY OF HAMLAKE, MN  
TURN LANE CROSS SECTIONS - URBANK ST NE  
PREPARED FOR: TURN LANE DEVELOPMENT

**PLOWE ENGINEERING, INC.**  
1075 LAKE DRIVE  
SUITE 110  
LAKELAND, MN 55244  
PHONE: (952) 961-4214  
FAX: (952) 961-4001

PROJECT NO: 20-1933  
JOB NO: 20-1933  
DATE: 10-12-20

DRAWN BY: MHA  
CHECK BY: CYN  
DATE: 10-12-20

DATE: 03/11/2021 1:52 PM 1937

\* DUE TO VARYING WIDTHS OF 153RD AVE NE (TYPICALLY 24.0' WIDE), CONTRACTOR SHALL ADHERE TO NOTED TANGENTS OF STRIPED/GORE AREAS, LANE WIDTHS, AND SHOULDER WIDTHS AS DENOTED ON SHEETS CS.1, CS.3, AND CS.6.

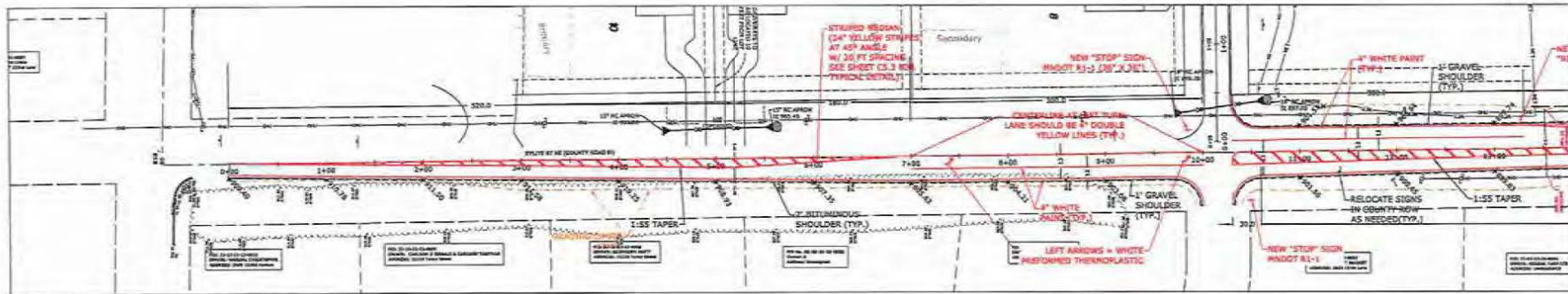


SEE SHEET C5.1  
FOR STRIPING  
NOTES & DETAILS

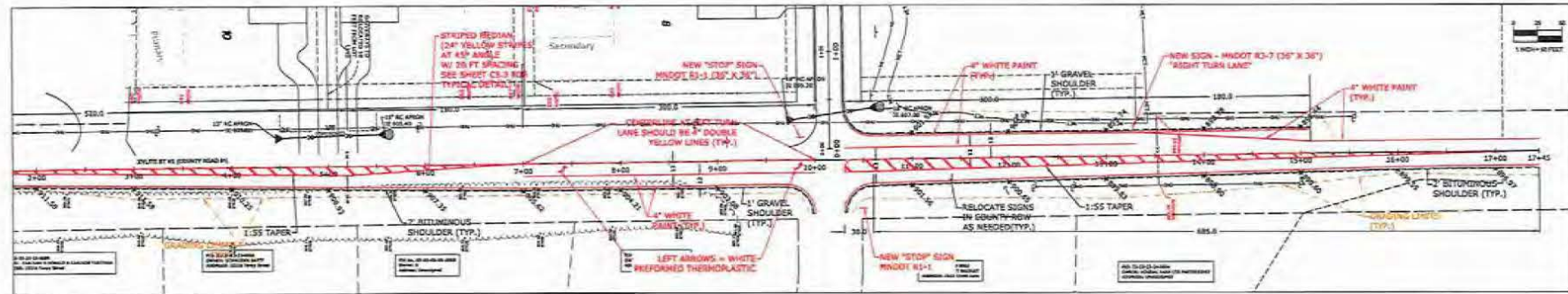
**CROSS-SECTIONS OF TURN LANES @ URBANK STREET NE & 153RD AVE NE (COUNTY ROAD 61)**

SHEET  
**C5.4**





TURN LANES SOUTH OF 154TH LANE NE @ XYLITE



TURN LANES NORTH OF 154TH LANE NE @ XYLITE

**LEGEND**

- EXISTING STRIPINGS TO REMAIN
- STRIPINGS TO BE ADDED OR TO BE REVISED & RELOCATED



Know what's below.  
Call before you dig.

CONTRACTOR SHALL FOLLOW MNDOT'S  
"TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS  
FIELD MANUAL 2014" FOR TRAFFIC CONTROL.

ALL WORK WITHIN ANOKA COUNTY RIGHT-OF-WAY  
SHALL CONFORM TO THE 2013 EDITION OF THE  
MNDOT STANDARD SPECIFICATIONS FOR  
CONSTRUCTION.

SEE SHEET C5.1  
FOR STRIPING  
NOTES & DETAILS



1575 LAKE DRIVE  
SUITE 100  
LINO LAKES, MN 55014

PHONE 952.351.4974  
FAX 952.351.4972

DRAWN BY: [blank] CHECK BY: [blank]

JOB NO: 25-102 DATE: 10-13-20

DATE: 10-13-20

DATE: 10-13-20

DATE: 10-13-20

DATE: 10-13-20

DATE: 10-13-20

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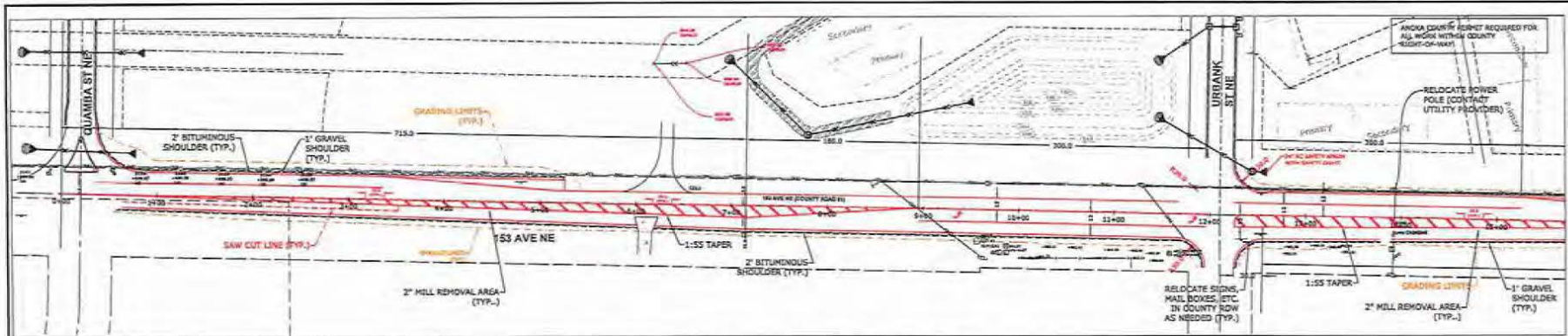
EVERGREEN ESTATES  
CITY OF HAWLAKE, MN  
TURN LANE PLAN - 154TH LANE  
PREPARED FOR: TOWER VALLEY DEVELOPMENT

SHEET  
C5.6

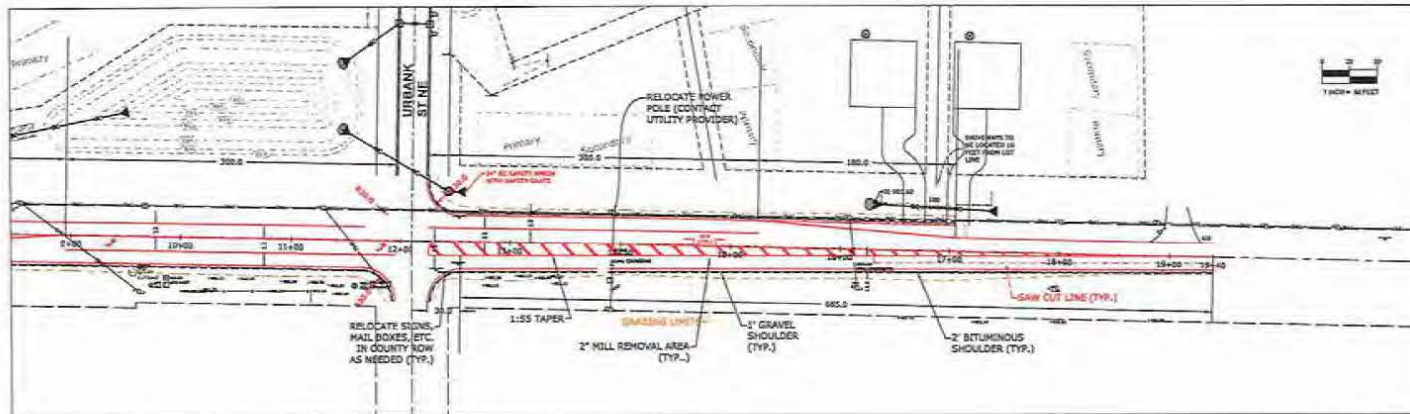








TURN LANES WEST OF URBANK STREET NE & 153RD AVE NE (COUNTY ROAD 61)



TURN LANES EAST OF URBANK STREET NE & 153RD AVE NE (COUNTY ROAD 61)

**LEGEND**

- PROPOSED SAW CUT LINE
- PROPOSED BITUMINOUS TO REMAIN
- PROPOSED BITUMINOUS TO BE REMOVED & REPLACED



Know what's below.  
Call before you dig.

ALL WORK WITHIN ANOKA COUNTY RIGHT-OF-WAY SHALL CONFORM TO THE 2018 EDITION OF THE MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

CONTRACTOR SHALL FOLLOW MNDOT'S "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL, 2014" FOR TRAFFIC CONTROL.

SEE SHEET C5.1  
FOR STRIPING  
NOTES & DETAILS



1575 LAKE DRIVE  
SUITE 110  
URBANK, MN 55054  
PHONE: (952) 341-4200  
FAX: (952) 341-4971

DRAWN BY:	CHECK BY:
JCA	DM
JOS HO:	DATE:
08-08-20	08-15-20

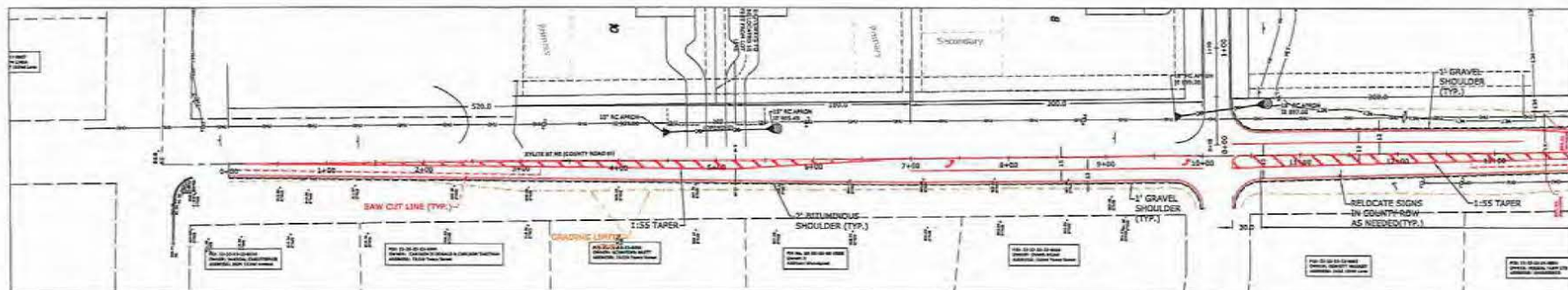
NO.	DATE	DESCRIPTION
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3	08-15-20	ISSUE FOR PERMIT
4	08-15-20	ISSUE FOR PERMIT
5	08-15-20	ISSUE FOR PERMIT
6	08-15-20	ISSUE FOR PERMIT
7	08-15-20	ISSUE FOR PERMIT
8	08-15-20	ISSUE FOR PERMIT
9	08-15-20	ISSUE FOR PERMIT
10	08-15-20	ISSUE FOR PERMIT

EVERGREEN ESTATES  
CITY OF HANNAH, MN  
TURN LANE BLANK, URBANK ST NE  
PADMARD COOL, TARRANT VALLEY DEVELOPMENT

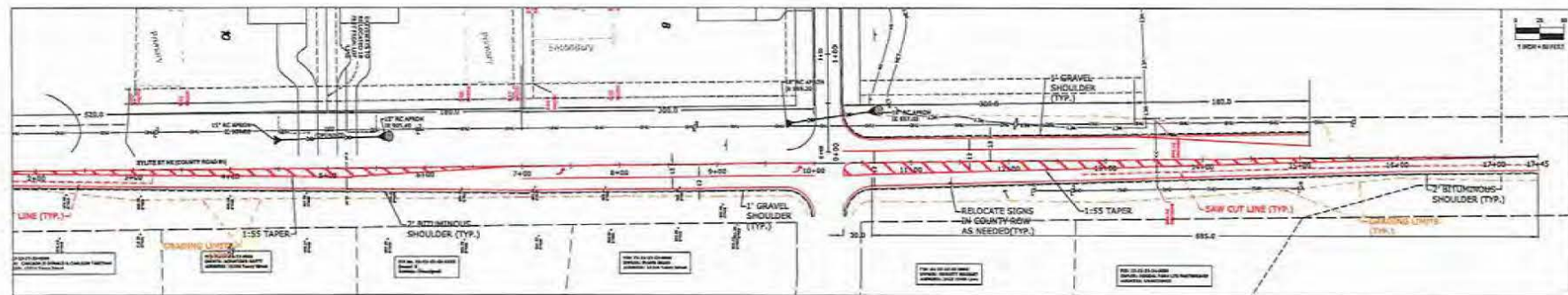
DATE: 08-15-2020  
1575 LAKE DRIVE  
SUITE 110  
URBANK, MN 55054  
PHONE: (952) 341-4200  
FAX: (952) 341-4971

EVERGREEN ESTATES  
CITY OF HANNAH, MN  
TURN LANE BLANK, URBANK ST NE  
PADMARD COOL, TARRANT VALLEY DEVELOPMENT

SHEET  
**C5.9**



TURN LANES SOUTH OF 154TH LANE NE @ XYLITE



TURN LANES NORTH OF 154TH LANE NE @ XYLITE

**LEGEND**

- PROPOSED DASH CENTER LINE
- EXISTING BITUMINOUS TIE BENCH
- PROPOSED SHOULDER (TO BE ADDED AND/OR TO BE REMOVED & REPLACED)



Know what's below.  
Call before you dig.

CONTRACTOR SHALL FOLLOW PROJECT'S  
"TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS  
FIELD MANUAL 2014" FOR TRAFFIC CONTROL.

ALL WORK WITHIN ANOKA COUNTY RIGHT-OF-WAY  
SHALL CONFORM TO THE 2016 EDITION OF THE  
PROJECT STANDARD SPECIFICATIONS FOR  
CONSTRUCTION.

**SEE SHEET C5.1  
FOR STRIPING  
NOTES & DETAILS**



5750 LANE DRIVE  
SUITE 100  
LYNN LAKE, MN 55374  
PHONE: 952.351.4275  
FAX: 952.351.4781

DRAWN BY: CHUCKLEBY  
MCA  
JOB NO.: 20-1933  
DATE: 10-12-20

CHECKED BY:  
CNS  
DATE: 10-12-20

SCALE: 1"=30'-0"

DATE: 10-12-20

PROJECT: TRAILER VALLEY DEVELOPMENT

EVERGREEN ESTATES  
CITY OF HAN LAKE, MN  
TURN LANE PLAN - 154TH LANE  
PREPARED FOR: TRAILER VALLEY DEVELOPMENT

SHEET  
**C5.10**

20-1933

**PERMIT**  
**COON CREEK WATERSHED DISTRICT**  
13632 Van Buren St NE  
Ham Lake, MN 55304  
Permit Number: 2190

**Project:** Evergreen Estates

**Issued to:** Timber Valley Development  
620 Civic Heights Dr, Ste 100  
Circle Pines, MN 55014

**Location:** 2341 153<sup>rd</sup> Ave NE, Ham Lake

**Permit Application #:** 20-103

**Purpose:** Construction of 36 single family lots, residential streets, associated infiltration basins and NURP pond.

At its meeting on April 12, 2021, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Grading Plans (12 sheets); by Plowe Engineering, dated 4/12/2021, received 4/14/2021.
2. Civil Plans (11 sheets); by Plowe Engineering, dated 4/12/2021, received 4/14/2021.
3. Pre plat plans; by Plowe Engineering, dated 12/28/2020, received 12/30/2020.
4. Stormwater Drainage Report; by Plowe Engineering, dated 4/14/2021, received 4/14/2021.
5. Stormsewer Design Calcs; dated 4/14/2021, received 4/14/2021.
6. Drainage Map, by Plowe Engineering, dated 3/10/2021, received 3/10/2021.
7. Revised Geotechnical Report; by Braun, dated 3/9/2021, received 3/31/2021.
8. Soil Borings; by Tradewell Soil Testing, dated 2/5/2020, received 12/30/2020.
9. Septic Borings, by Tradewell Soil Testing, dated 8/24/2020, received 12/30/2020.
10. Water Level Readings, by Braun, dated 12/23/2020, received 12/30/2020.
11. Wetland Delineation Report: by Kjolhaug, dated 6/22/2020, received 6/24/2020.

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 3 stipulations.

1. Submittal of as-builts for the following stormwater management practices, including volume and critical elevations:

<b>Stormwater Treatment Practices</b>	<b>Number</b>
Infiltration Basins	5
Wet Sedimentation Pond	5
RainGuardians	4
Outlet Control Structures	7
Catch Basin Sump	3
Sediment Forebay	3

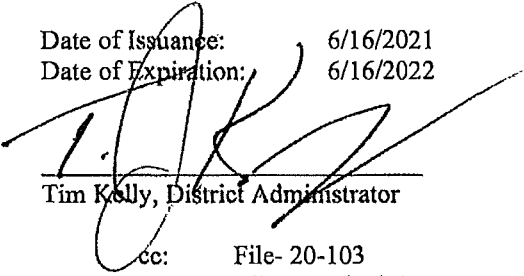
2. Completion of post construction infiltration tests on Infiltration Basins 8, A, B, C, and D by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. If dewatering becomes necessary, provide DNR dewatering permit and well-field location, rates, discharge location, schedule and quantities or dewatering plans must be submitting to the district 7 days prior to activity for review and approval.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: 6/16/2021

Date of Expiration: 6/16/2022



\_\_\_\_\_  
Tim Kelly, District Administrator

cc: File- 20-103  
Eileen Weigel, Stantec  
Danielle Tourtillott, Stantec  
Ed Matthiesen, Stantec  
Tom Collins, City of Ham Lake

**\*\*\*IMPORTANT PERMIT REQUIREMENTS OUTLINED ON NEXT PAGE\*\*\***

**GENERAL PERMIT STIPULATIONS:**

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
  - a. You fail to comply with the terms and conditions of this permit.
  - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
  - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

**ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:**

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

**THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED.** Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

**REFUNDING OF ESCROWS:** Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.



**Anoka County**  
**TRANSPORTATION DIVISION**

Highway



Jennifer Bohr  
City of Ham Lake  
15544 Central Ave. NE  
Ham Lake, MN 55304

December 7, 2020

RE: Sketch Plan – Evergreen Estates

Dear Jennifer,

We have reviewed the Sketch Plan for Evergreen Estates to be located north of CR 61 (153<sup>rd</sup> Avenue NE) and west of CR 61 (Xylite Street NE) within the City of Ham Lake, and I offer the following comments:

An additional 27 feet of right of way along CR 61 (153<sup>rd</sup> Ave. and Xylite St.) will be required for future reconstruction purposes (60 feet total right of way width north and west of CR 61 centerline). Any existing driveways or field entrances are to be removed and the ditch section restored to match existing depth, slope, and grades. Right of access should be dedicated to Anoka County along CR 61 (153<sup>rd</sup> Ave. and Xylite St.) with the exception for the approved street accesses. It is recommended that the sketch plan be reconfigured to eliminate the 4 direct residential access points onto county roads. Radisson Road NE should be extended north to accommodate accesses on 153<sup>rd</sup> Ave. and a CR 61 EB left turn lane and WB right turn lane will be required along 153<sup>rd</sup> Ave. at this extended Radisson Road NE. If a Radisson Road NE connection isn't feasible, a RI/RO at Quamba Street would be required as an EB left turn lane would not be feasible so close to Radisson Road NE. A WB right turn lane would then be required at Quamba Street. The centerlines for the 2 additional proposed accesses should be aligned directly across from Urbank Street NE and 154<sup>th</sup> Lane NE, respectively, to reduce the number of conflict points onto county roads. Urbank Street NE will require an EB CR 61 left turn lane and a WB CR 61 right turn lane. 154<sup>th</sup> Lane NE will require a NB CR 61 left turn lane and a SB CR 61 right turn lane. Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, buildings, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CR 61.

ACHD would like to work with local governments in promoting compatibility between land use and the county highway system. It should be recognized that residential land uses located adjacent to County highways often results in complaints about traffic noise. Existing and/or future traffic noise from CR 61 (153<sup>rd</sup> Ave./Xylite St.) could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities are responsible for taking all reasonable measures to prevent land use activities listed in the MPCA's Noise Area Classification (NAC) where establishment of the land use would result in violations of established noise standards. It is advised that the City and the Developer assess the noise situation for this development as it is proposed to be located directly

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adjacent to CR 61, and take the level of action deemed necessary to minimize the impact of any highway noise by incorporating the appropriate noise mitigation elements into the design and phasing of this plat as applicable.

The ACHD Engineering Plan Review process will apply to this site. Calculations must be submitted along with a grading and erosion control plan that delineates the drainage areas for this development. The post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm. Contact Michelle Pritchard, Engineer II, via phone at 763.324.3162 or via email at [Michelle.Pritchard@co.anoka.mn.us](mailto:Michelle.Pritchard@co.anoka.mn.us) for further information and to coordinate the ACHD Engineering Plan Review Process. Please submit the drainage calculations, grading and erosion control plans, right and left turn lane construction plans, ACHD Design Requirements Checklist for County Highway Modifications (copy available via our website), and the applicable engineering plan review fee (estimated at \$1,500.00) to Ms. Pritchard for her review and approval.

Following completion of the ACHD Engineering Plan Review Process outlined above, the contractor(s) who will be completing any work within the county right of way must begin the ACHD Permit process. Two Permits for Work within the County Right of Way (\$150.00 each) and two Street Access permits (\$250.00 each) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3142 or via email at [Susan.Burgmeier@co.anoka.mn.us](mailto:Susan.Burgmeier@co.anoka.mn.us) for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr  
Traffic Engineering Technician

xc: CR61/Plats+Developments/2020  
Jerry Auge, Assistant County Engineer  
Jane Rose, Traffic Engineering Manager  
Michelle Pritchard, Engineer II  
Chuck Gitzen, County Surveyor  
Sean Thiel, Graduate Engineer  
Sue Burgmeler, Traffic Engineering Technician



**Anoka County**  
**TRANSPORTATION DIVISION**

Highway

Jennifer Bohr  
City of Ham Lake  
15544 Central Ave. NE  
Ham Lake, MN 55304

April 20, 2021

RE: UPDATE - Preliminary Plat – Evergreen Estates

Dear Jennifer,

We have reviewed the preliminary plat for Evergreen Estates, to be located north of CR 61 (153<sup>rd</sup> Avenue NE) and west of CR 61 (Xylite Street NE) within the City of Ham Lake, and I offer the following comments:

Our comments from the letter dated December 7, 2020 still apply. Since a Radisson Road NE connection isn't feasible, a RI/RO at Quamba Street will be required as an EB left turn lane would not be feasible so close to Radisson Road NE. It can be anticipated that a WB right turn lane would then be required at Quamba Street. It can also be anticipated that Urbank Street NE will require an EB CR 61 left turn lane and a WB CR 61 right turn lane along with 154<sup>th</sup> Lane NE requiring a NB CR 61 left turn lane and a SB CR 61 right turn lane in conjunction with this development, and the exact turn lane requirements and design details for construction will be determined through the ACHD Engineering Plan Review process.

The ACHD Engineering Plan Review process will apply to this site. Construction plans for the right turn lane at Quamba Street, right and left turn lanes at Urbank Street NE, right and left turn lanes at 154<sup>th</sup> Lane NE, and drainage calculations must be submitted, along with a grading and erosion control plan that delineates the drainage areas for this development. The post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm. Contact Michelle Pritchard, Engineer II, via phone at 763.324.3162 or via email at [Michelle.Pritchard@co.anoka.mn.us](mailto:Michelle.Pritchard@co.anoka.mn.us) for further information and to coordinate the ACHD Engineering Plan Review Process. Please submit the drainage calculations, grading and erosion control plans, ACHD Design Requirements Checklist for County Highway Modifications (copy available via our website), turn lane construction plans and the applicable ACHD Engineering Plan Review fee (estimated at \$1250.00) to Ms. Pritchard for her review and approval.

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Following the completion of the ACHD Engineering Plan Review process outlined above, the contractor(s) who will be completing any work within the county right of way must begin the ACHD Permit process. Two Permits for Work within the County Right of Way (150.00 each) and three Street Access permits (250.00 each) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3142 or via email at [Susan.Burgmeier@co.anoka.mn.us](mailto:Susan.Burgmeier@co.anoka.mn.us) for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr  
Traffic Engineering Technician

xc: CR 61/Plats+Developments/2021  
Jerry Auge, Assistant County Engineer  
Jane Rose, Traffic Engineering Manager  
Michelle Pritchard, Engineer II  
Chuck Gitzen, County Surveyor  
Sean Thiel, Graduate Engineer  
Sue Burgmeier, Traffic Engineering Technician

## Tom Collins

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**From:** Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>  
**Sent:** Tuesday, April 20, 2021 10:26 AM  
**To:** Tom Collins  
**Subject:** RE: Evergreen Estates

Yes we are okay with them.

Logan

-----Original Message-----

**From:** Tom Collins <TCollins@rfcengineering.com>  
**Sent:** Tuesday, April 20, 2021 10:23 AM  
**To:** Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>  
**Subject:** RE: Evergreen Estates

The December letter had concerns with the 4 proposed driveways to CR60. This letter states that those comments still apply. So are the 4 driveways okay with the County?

-----Original Message-----

**From:** Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>  
**Sent:** Tuesday, April 20, 2021 10:11 AM  
**To:** Tom Collins <TCollins@rfcengineering.com>  
**Subject:** RE: Evergreen Estates

Here is a PDF of the letter.

Logan

-----Original Message-----

**From:** Tom Collins <TCollins@rfcengineering.com>  
**Sent:** Tuesday, April 20, 2021 10:10 AM  
**To:** Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>  
**Subject:** RE: Evergreen Estates

Can I get a pdf? I am preparing my recommendation memo for preliminary plat approval, and would like to include.

-----Original Message-----

**From:** Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>  
**Sent:** Tuesday, April 20, 2021 10:06 AM  
**To:** Tom Collins <TCollins@rfcengineering.com>  
**Subject:** RE: Evergreen Estates

Hi Tom,

I just sent out an updated letter. That should cover everything in the plat.

Logan

-----Original Message-----

From: Tom Collins <TCollins@rfcengineering.com>  
Sent: Thursday, April 15, 2021 6:48 AM  
To: Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>  
Subject: RE: Evergreen Estates

Hi Logan,

What is the status of review of the Evergreen Estates project with the Highway Department?

Has the County approved the street connections to CR 61? Has the developer shown that the extension of Radisson Road to within the plat is not feasible? If so, is the County still requiring that Quamba Street be a RI/RO?

The plans show that the proposed driveways for the lots that have direct access to CR 61 (Lots 1, 2, 9 and 10 of Block 5) is directly adjacent to the 10-foot drainage and utility easement. Based on the email below, my interpretation is that the County is okay with that. The plat does propose a total driveway opening of 50-feet for each driveway. The maximum driveway width is 30 feet, so with the 10-foot drainage and utility easement the County could require that the opening be reduced to 40-feet for each driveway.

Tom

-----Original Message-----

From: Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>  
Sent: Tuesday, December 29, 2020 10:46 AM  
To: Tom Collins <TCollins@rfcengineering.com>  
Subject: RE: Evergreen Estates

Hi Tom,

I just heard back from Joe and this is what he said:

It is our recommendation and preference to not have any additional residential access points on to the county roadways. However, if the city is going to approve the plat as shown then the driveways should be arranged so they are located along adjoining lot lines.

Let me know if you have any other questions.

Logan

-----Original Message-----

From: Tom Collins <TCollins@rfcengineering.com>  
Sent: Tuesday, December 29, 2020 9:28 AM  
To: Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>  
Subject: RE: Evergreen Estates

Thanks Logan. The sooner the better. I understand that the preliminary plat and calculations will be submitted to the City and the Coon Creek Watershed District tomorrow.

-----Original Message-----

From: Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>  
Sent: Monday, December 28, 2020 9:23 AM  
To: Tom Collins <TCollins@rfcengineering.com>

Subject: RE: Evergreen Estates

Hi Tom,

I am still waiting to hear back on this. I sent out an email last Monday and have not heard back yet. I will let you know as soon as I find out.

Logan

-----Original Message-----

From: Tom Collins <TCollins@rfcengineering.com>

Sent: Monday, December 21, 2020 1:28 PM

To: Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>

Subject: Evergreen Estates

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This email originated from outside the Anoka County email system. Use caution when clicking hyperlinks, downloading pictures or opening attachments.

\*\*\*\*EXTERNAL EMAIL ALERT\*\*\*\*

Logan,

So the County will allow the 4 proposed driveways onto both 153rd Avenue and Xylite Street?

Tom

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