

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA TUESDAY, JULY 6, 2021

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

2.0 PUBLIC COMMENT

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

- 3.1 6:01 p.m. – PUBLIC HEARING – to consider the improvement of Polk Street NE from 165th Avenue NE to 810 feet south and adoption of a Resolution
- 3.2 6:02 p.m. – PUBLIC HEARING – to consider the improvement of Tippecanoe Street NE from proposed 162nd Lane NE south to the cul-de-sac and adoption of a Resolution

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of June 21, 2021 and Budget Workshop Meeting Minutes of June 21, 2021
- 4.2 Approval of claims
- 4.3 Approval of the 2022 North Metro Telecommunications Commission Budget (NMTV)
- 4.4 Approval of Transfer from the General Fund to the Revolving Street Fund
- 4.5 Approval of the contract with the City of Wyoming to perform Advanced Septic Inspections

5.0 PLANNING COMMISSION RECOMMENDATIONS

- 5.1 Jeff Stalberger, HFN Properties, LLC., requesting Preliminary Plat approval and rezoning for Hidden Forest East Park Addition (2 Single Family Residential lots) in Section 25 (this is considered the First Reading of a Rezoning Ordinance)
- 5.2 Jeff Stalberger, HFN Properties, LLC., requesting Preliminary Plat approval and rezoning for Hidden Forest East 3rd Addition (38 Single Family Residential lots) in Section 25 (this is considered the First Reading of a Rezoning Ordinance)
- 5.3 Don and Lisa Bickford requesting a Special Home Occupation Permit to operate Bickford's BBQ, LLC at 14745 Baltimore Street NE

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

7.0 APPEARANCES

- 7.1 Discussion of the driveway located at 2119 Soderville Drive NE

8.0 CITY ATTORNEY

9.0 CITY ENGINEER

10.0 CITY ADMINISTRATOR

11.0 COUNCIL BUSINESS

- 11.1 Committee Reports
- 11.2 Announcements and future agenda items



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

June 24, 2021

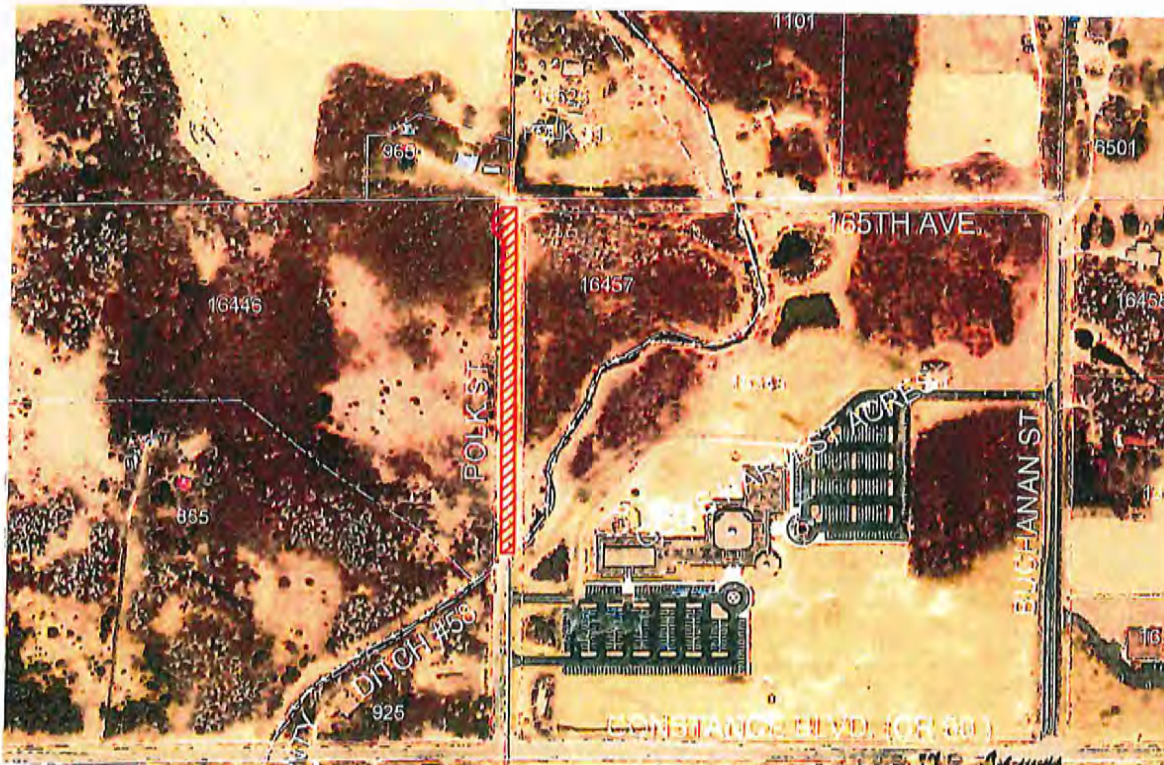
TO WHOM IT MAY CONCERN:

Notice is hereby given that the City Council of Ham Lake will meet in the Council Chambers of the City Hall at 6:01 p.m. on July 6, 2021, to consider the making of an improvement of Polk Street NE from 165th Avenue NE to 810 feet south, pursuant to Minnesota Statutes, Sections 429.011 to 429.111. The area proposed to be assessed for such improvement is the properties abutting on such streets. The estimated cost of such improvement is \$547,165.32. Such persons as desire to be heard with reference to the proposed improvement will be heard at this meeting.

Dawnette Shimek, Deputy City Clerk

Published in the Star Tribune June 24, 2021 and July 1, 2021.

To access the feasibility study for the proposed road improvement project go to:
<http://www.rfcengineering.com/HLProj/1902.093/Polk%20Street%20Feasibility.pdf>



RESOLUTION NO. 21-XX

WHEREAS, a resolution of the City Council adopted the 21st day of June, 2021, fixed a date for a council hearing on the proposed improvement of Polk Street NE from 165th Avenue NE to 810 feet south;

AND WHEREAS, ten days mailed notice and two weeks published notice of the hearing was given, and the hearing was held thereon on the 6th day of July, 2021, at which all persons desiring to be heard were given an opportunity to be heard thereon,

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF HAM LAKE, MINNESOTA:

1. Such improvement is necessary, cost-effective, and feasible as detailed in the feasibility report.
2. Such improvement is hereby ordered as proposed in the Council resolution adopted the 7th day of June, 2021.
3. Tom Collins is hereby designated as the engineer for this improvement. He shall prepare plans and specifications for the making of such improvement.
4. The City Council hereby declares its official intent to reimburse the City for the cost of this improvement project through assessments of the benefiting properties.

Adopted by the City Council of the City of Ham Lake this 6th day of July, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

RESOLUTION NO. 21-20

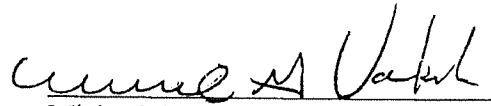
WHEREAS, pursuant to a resolution of the Council adopted on June 7, 2021, a report has been prepared by Tom Collins, City Engineer with reference to the improvement of Polk Street NE from 165th Avenue NE to 810 feet south, and this report was received by the Council on June 21, 2021.

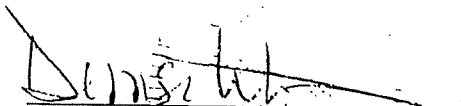
NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAM LAKE, MINNESOTA:

1. The Council will consider the improvement of such street in accordance with the report and the assessment of abutting and benefiting property for all or a portion of the cost of the improvement pursuant to Minnesota Statutes Chapter 429 at an estimated total cost of the improvement of \$547,165.32.

2. A public hearing shall be held on such proposed improvement on the 6th day of July, 2021 in the Council Chambers of the City Hall at 6:01 p.m. and the Clerk shall give mailed and published notice of such hearing and improvement as required by law.

Adopted by the City Council of the City of Ham Lake this 21st day of June, 2021.


Michael G. Van Kirk,
Mayor

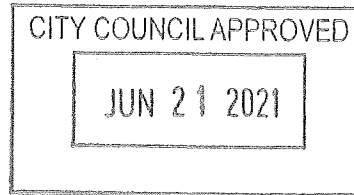

Denise Webster
City Clerk

Polk Street Feasibility 2021.xlsx

Name	Company	Address	City, State Zip
17-32-23-22-0003	FAMILY OF CHRIST LUTHERAN CHURCH	16345 POLK ST NE	HAM LAKE, MN 55304
18-32-23-11-0003	GAZDA GARY	16935 CHISHOLM ST NE	HAM LAKE, MN 55304
07-32-23-44-0002	HUNT JAMES H & V F	965 CONSTANCE BLVD NE	HAM LAKE, MN 55304
08-32-23-33-0002	OSBORNE, DOUGLAS W	5840 S LINWOOD DR NE	WYOMING, MN 55092

June 17, 2021

Honorable Mayor and Councilmembers
City of Ham Lake
15544 Central Avenue NE
Ham Lake, Minnesota 55304

**SCANNED**

Re: Polk Street Feasibility Study

Dear Mayor and Council Members.

The City Council directed the preparation of this report on August 19, 2019 regarding the proposed GCI, LLC lot division of 855 Constance Boulevard (Figure 1). The City Council ordered an update on June 7th, 2021. The purpose of this report is to determine the project necessity, feasibility, cost effectiveness and recommendations on construction. The proposed improvements are for the 810-foot segment of Polk Street from 165th Avenue south to County Ditch 58 (Figure 2).

Existing Conditions:

Polk Street is approximately 1,320 feet long. The 510-foot segment from Constance Boulevard to County Ditch 58 was upgraded to a paved street in 2003. North of County Ditch 58, Polk Street is a 20-foot wide sand road. County Ditch 58 passes under Polk Street through a 60-inch RCP draining to the southwest. The culvert was installed as part of the 2003 project. A street high point exists approximately 100 feet south of 165th Avenue.

Soils:

Soils were evaluated using the Anoka County Soils Map. The soils in the area consist of Zimmerman Fine Sand and Isanti Fine Sandy Loam (Figure 3). The Zimmerman Fine Sand is suitable for road subbase, and is generally well drained. The Isanti Fine Sandy Loam is in narrow low-lying areas near organic soils. It has high water tables and is poorly drained, usually requiring proper drainage and/or placement of suitable fill for roadway construction. Due to the high water tables, the Isanti Fine Sandy Loam is not suitable for stormwater infiltration. Organic soils extend from County Ditch 58 to approximately 300 feet to the north. Any cut material will be used for fill. The estimated excavation and granular borrow quantities are included in the estimated project cost.

Wetlands and Flood Zone:

Wetlands exist adjacent to the proposed street improvements. Figure 4 illustrates the approximate wetland locations based on the National Wetland Inventory. Wetlands affected by the proposed improvements would be delineated prior to beginning preparation of plans. The Flood Zone Map, Figure 5, shows an area adjacent to County Ditch 58 within Zone A (100-year flood area).

Right-of-Way and Easements:

The Family of Christ Lutheran Church dedicated the easterly 33-feet of Polk Street right-of-way with the attached plat of God's Harvest Acres (Figure 6). GCI, LLC dedicated the westerly 33-feet of Polk Street right-of-way with a 10-foot drainage and utility easement and a temporary cul-de-sac easement at 165th Avenue. GCI, LLC also dedicated approximately 20,000 square feet of drainage and utility easement that will be utilized for stormwater treatment. There is a

50-foot-wide prescriptive easement on each side of the County Ditch 58 centerline.

Proposed Improvements:

Polk Street is proposed to be constructed to the City urban street standard of 1-inch of bituminous wear course, 2-inches of bituminous base course, and 4-inches of class 5 aggregate base (Figure 7). The street section has a pavement width of 26-feet with D-312 modified concrete curb and gutter on each side. Catch basins and storm sewer would convey storm run-off to a stormwater pond, located on the north side of County Ditch 58 within the dedicated storm easement. Figure 8 is a map of the proposed improvements. Construction of the urban section with concrete curb and gutter would require less maintenance and right-of-way compared to ditches, and will convey runoff away from the new street base and subgrade into a treatment and ponding area.

Cost Estimate:

The project cost estimates are based on anticipated 2022 construction prices plus a 17% project development cost, an 8% engineering and inspection cost, and a 5% contingency cost (Table 1). The projected costs have increased as a result of the current market and apparent rise in costs of materials such as concrete pipe and bituminous pavement. The final design has not been completed and therefore unknown work is not included in the estimate. Where additional costs may arise are additional subgrade correction and storm water treatment.

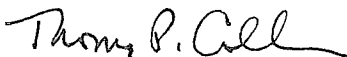
Anticipated Revenues:

City policy is to assess benefited parcels for the improvement. 16446 Polk Street would have one active assessment and three deferred assessments. The City of Ham Lake executed a Development Agreement with the Family of Christ Lutheran Church in 2002. Per item 4C (Figure 9) the Church will only be assessed for future road improvements when future development of the Church property is proposed. Therefore, there are four deferred assessments for the Church. The 965 Constance Boulevard parcel and the 16525 Polk Street parcel would have one active assessment. The total number of assessments is 10, with 3 active and 7 deferred (Figure 10).

Estimated Construction Cost	\$ 547,165.32
3 Active Assessments (\$20,000/Each)	\$ 60,000.00 (11.0%)
7 Deferred Assessments (\$20,000/Each)	\$ 140,000.00 (25.6%)
City Contribution	\$ 347,164.32 (63.4%)

Sincerely,

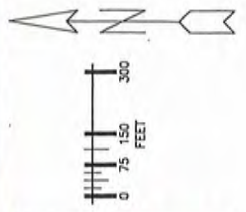
RFC Engineering, Inc.



Tom Collins, P.E.
Ham Lake City Engineer

CONSTRUCTION COST ESTIMATE
Polk Street from 165th Avenue to 810 Feet South
Table 1
6/17/2021

ITEM NUMBER	ITEM DESCRIPTION	UNIT	EST QTY	UNIT PRICE	TOTAL
2021.501	MOBILIZATION	LUMP SUM	1	\$30,000.00	\$30,000.00
2101.505	CLEARING	ACRE	1.1	\$9,300.00	\$10,230.00
2101.505	GRUBBING	ACRE	1.1	\$4,500.00	\$4,950.00
2104.502	REMOVE CONCRETE FLUME	EACH	2	\$500.00	\$1,000.00
2104.502	REMOVE SIGN	EACH	1	\$53.30	\$53.30
2104.502	SALVAGE MAIL BOX SUPPORT	EACH	3	\$21.40	\$64.20
2104.503	SAWING BITUMINOUS PAVEMENT	LIN FT	31	\$3.90	\$120.90
2105.607	COMMON EXCAVATION	CU YD	1,310	\$24.60	\$32,226.00
2105.607	MUCK EXCAVATION	CU YD	1,000	\$17.90	\$17,900.00
2105.607	SUBGRADE EXCAVATION	CU YD	800	\$18.20	\$14,560.00
2105.607	CHANNEL AND POND EXCAVATION	CU YD	2,000	\$20.30	\$40,600.00
2105.607	GRANULAR BORROW (CV)	CU YD	1,000	\$27.80	\$27,800.00
2211.507	AGGREGATE BASE (CV) CLASS 5 - BIT DRIVEWAY	CU YD	15	\$37.50	\$562.50
2211.509	AGGREGATE BASE CLASS 5	TON	537	\$21.40	\$11,491.80
2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (3;C) 2.0" THICK	SQ YD	135	\$23.70	\$3,199.50
2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (2;C)	TON	165	\$101.70	\$16,780.50
2360.509	TYPE SP 12.5 WEARING COURSE MIXTURE (2;C)	TON	331	\$87.70	\$29,028.70
2501.502	15" RC PIPE APRON	EACH	1	\$1,350.00	\$1,350.00
2501.502	24" RC PIPE APRON	EACH	1	\$1,700.00	\$1,700.00
2501.602	TRASH GUARD FOR 15" PIPE APRON	EACH	1	\$600.00	\$600.00
2501.602	TRASH GUARD FOR 24" PIPE APRON	EACH	1	\$1,200.00	\$1,200.00
2503.503	15" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	760	\$68.20	\$51,832.00
2503.503	18" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	292	\$79.10	\$23,097.20
2503.503	24" RC PIPE SEWER DESIGN 3006 CLASS IV	LIN FT	100	\$119.30	\$11,930.00
2506.602	INSTALL CATCH BASIN	EACH	4	\$3,100.00	\$12,400.00
2506.602	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL	EACH	4	\$2,300.00	\$9,200.00
2511.504	GEOTEXTILE FILTER TYPE I	SQ YD	8	\$5.40	\$43.20
2511.507	RANDOM RIPRAP CLASS III	CU YD	13.1	\$145.60	\$1,907.36
2531.503	CONCRETE CURB AND GUTTER DESIGN D312 (MODIFIED)	LIN FT	1,670	\$14.60	\$24,382.00
2540.602	INSTALL MAIL BOX SUPPORT	EACH	3	\$157.90	\$473.70
2563.601	TRAFFIC CONTROL	LUMP SUM	1	\$10,000.00	\$10,000.00
2573.502	STORM DRAIN INLET PROTECTION	EACH	8	\$180.00	\$1,440.00
2573.502	CULVERT END CONTROLS	EACH	3	\$285.00	\$855.00
2573.503	SILT FENCE; TYPE MS	LIN FT	1,500	\$2.90	\$4,350.00
2574.507	COMMON TOPSOIL BORROW	CU YD	360	\$33.50	\$12,060.00
2575.605	TURF ESTABLISHMENT	ACRE	1	\$7,500.00	\$7,500.00
TOTAL ESTIMATED CONSTRUCTION COST					\$416,887.86
PROJECT DEVELOPMENT COSTS (17%)					\$70,870.94
CONSTRUCTION ENGINEERING & INSPECTION COSTS (8%)					\$33,351.03
TOTAL PROJECT COST					\$521,109.83
CONTINGENCY (5%)					\$26,055.49
TOTAL PROJECT COST WITH CONTINGENCY					\$547,165.32
3 Active Assessments (\$20,000/Each)					\$60,000.00
7 Deferred Assessments (\$20,000/Each)					\$140,000.00
City Cost					\$347,165.32



Description LOCATION MAP	Drawn EMP	Date 6/17/21	Project No. 1902.093	Figure No. 2
Project FEASIBILITY STUDY POLK STREET			13635 Johnson Street Horn Lake, MN 55304 Voice: 763.662.8000 Fax: 763.662.8042	





HAM LAKE, MINNESOTA SOIL CLASSIFICATIONS

Legend

Ditches

- Private Ditch
- County Ditch

SOIL TYPES

- Isanti Fine Sandy Loam (Iw)
- Lino Loamy Fine Sand (LnA)
- Markey Muck (Ma)
- Marsh (Mc)
- Rifle Mucky Peat (Rf)
- Zimmerman Fine Sand B (ZmB)
- Zimmerman Fine Sand C (ZmC)

Figure 3

Soils Classifications:

This document is intended to be used as a general indicator of soil type, location, and distribution. It is not a legal record. The map is not intended to be used as a precise locator of soil boundaries, for site specific planning or management, or for regulatory purposes. Please refer to a soil survey for more information.

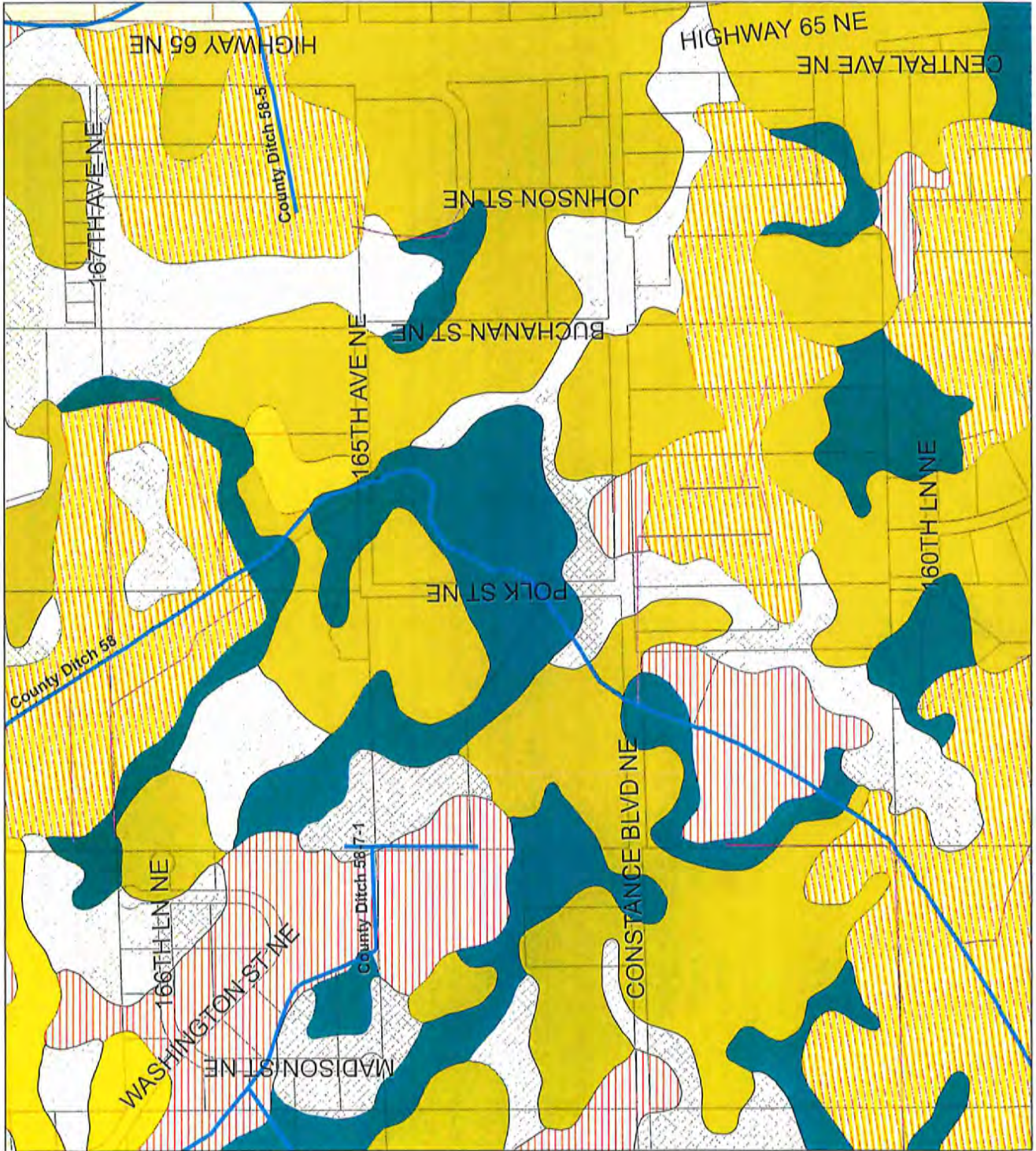


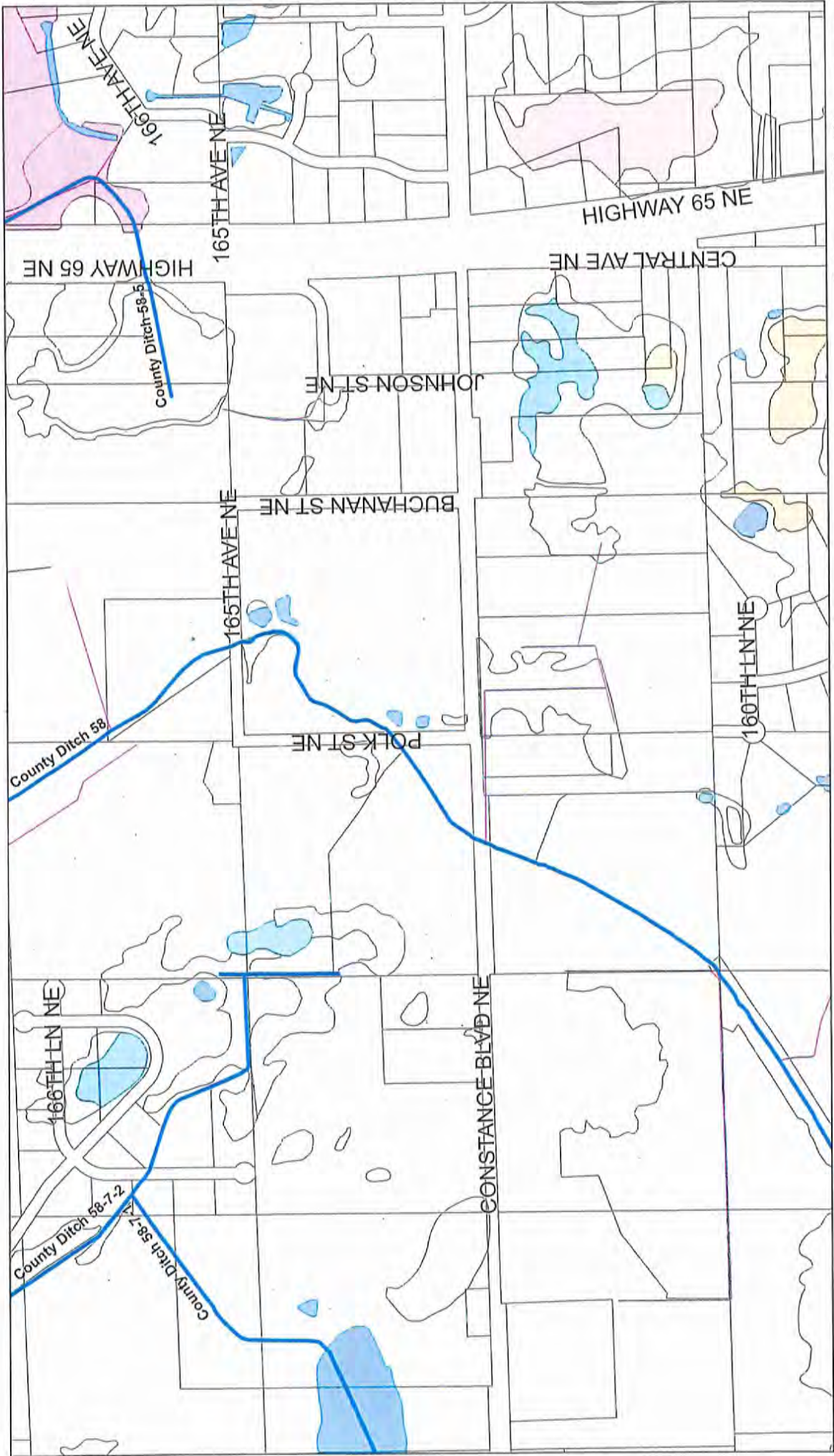
MAP DATE: 6/17/2021

Sources:
Anoka County Engineering & Surveying Departments

Land Management Information Center (LMIC)
MNP/PLANNING

RFC Engineering, Inc.



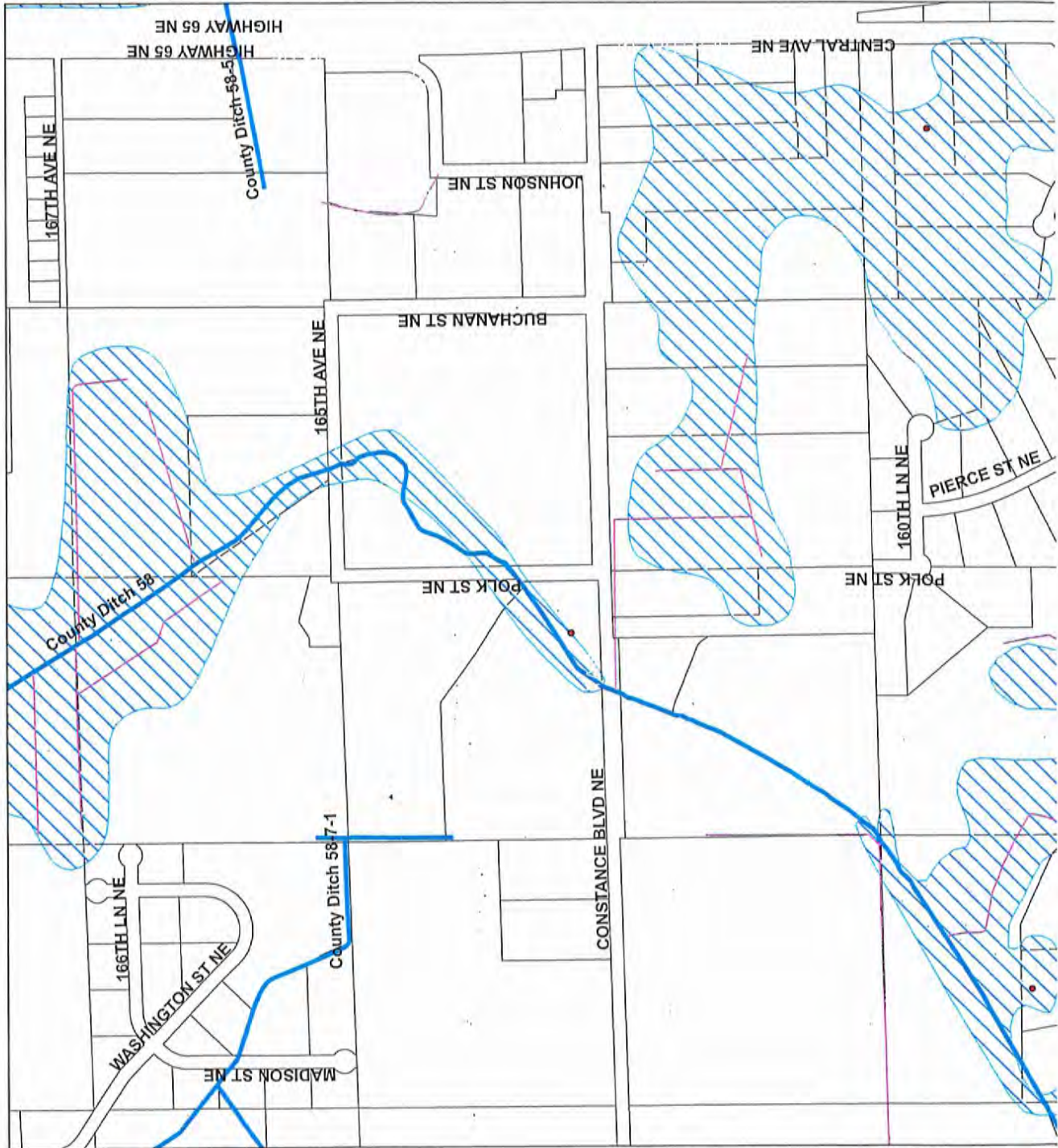


Sheet Title: NATIONAL WETLAND INVENTORY
 Project: FEASIBILITY STUDY
 Date: 6/17/2021 Project No. 1902.093
 13635 Johnson Street
 Ham Lake, MN 55304
 Voice: 763.862.8000
 Fax: 763.862.8042
Legend:
 Emergent Wetland
 Forested Wetland
 Forested/Shrub Wetland
 Pond
 Shrub Wetland
 Shrub/Emergent Wetland
 Ditches
 Private Ditch
 County Ditch
 PFC
 PROJECT FEASIBILITY CONSULTANTS



HAM LAKE, MINNESOTA

FLOOD ZONE MAP



Legend

Ditches

- Private Ditch
- County Ditch

Flood Zone

- Zone A

FEMA-LOMA

- FEMA-LOMA STRUCTURE

0 250 500 1,000 Feet

Map Date: 6/17/2021

ABBREVIATIONS:
 FEMA - Federal Emergency Management Agency
 LOMA - Letter of Map Amendment
 Zone A - 1% probability of flood in any given year.
 (100 Year Flood)
 Zone A Floodway - the channel of a river or other watercourse and the adjacent land area that must be reserved in order to discharge the 100 year flood without cumulatively increasing the water surface elevation more than a designated height.

FLOODPLAIN MAP:
 Features portrayed on this map are a graphical representation, and should be viewed in this context.

Sources:
 Anoka County Engineering & Surveying Departments
 Federal Emergency Management Agency (National Flood Insurance Program)


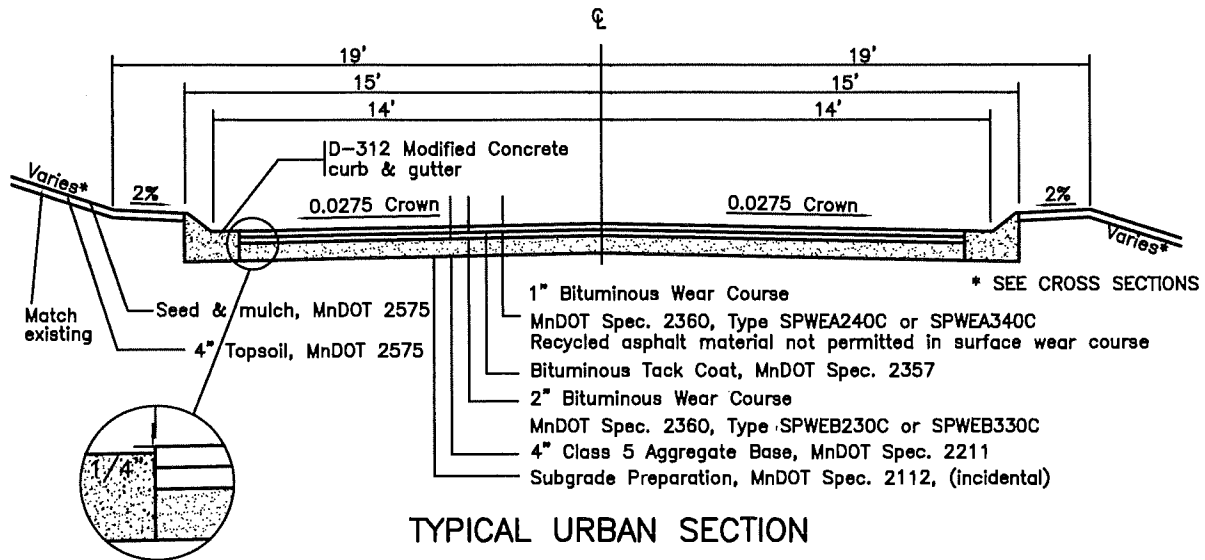


FIGURE 5



TYPICAL STREET SECTION RFC-366E11
NOT TO SCALE

Sheet Title
TYPICAL STREET SECTION

Drawn
EMP

Date
6/17/21

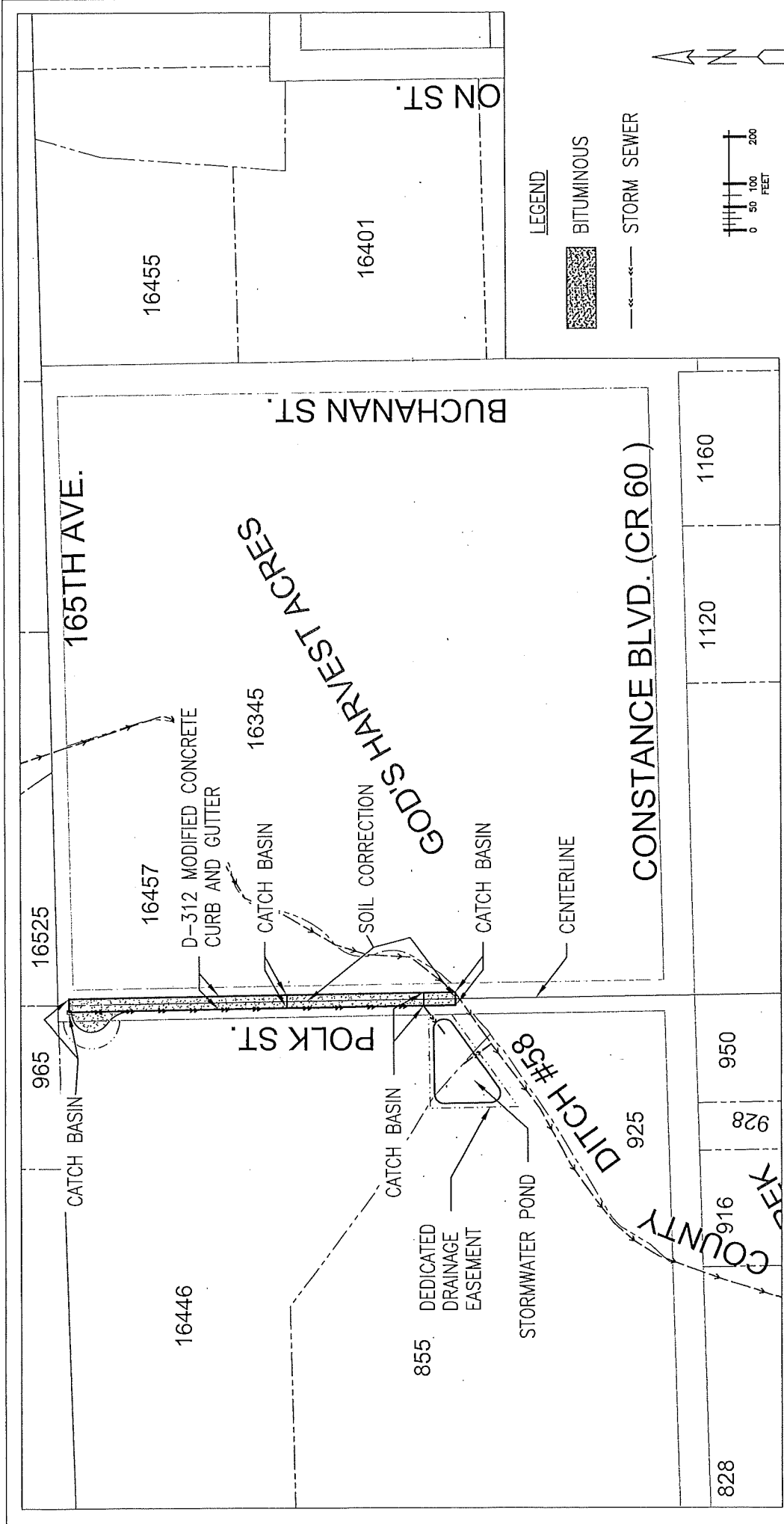
Project No.
1902.93

Figure No.
7


Project
FEASIBILITY STUDY
POLK STREET

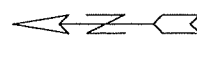
13635 Johnson Street
Ham Lake, MN 55304
Telephone (763) 862-8000
Fax (763) 862-8042

RFC
Engineering, Inc.
CONSULTING ENGINEERS




LEGEND

-  BITUMINOUS
-  STORM SEWER



Description PROPOSED IMPROVEMENTS MAP	Drawn	JRY	Date	10/2/19	Project No.	1902.093	Figure No.	8
	Project FEASIBILITY STUDY POLK STREET							

13635 Johnson Street
 Ham Lake, MN 55304
 Voice: 763.862.8000
 Fax: 763.862.8042



- 3) Establishes a timetable for the construction of such improvements, based on anticipated traffic volume thresholds, and
- 4) Provides for a basic geometric design of the intersection improvements.

B. Costs and Improvements

The cost of the Traffic Study shall be borne by Developer. The City Council shall consider the results of the study, and determine whether intersection improvements referenced in paragraph 4(A)(2) above are warranted by the study as a consequence of the Phase II improvements. The Developer reserves the right to argue to the City Council that the intersection improvements are not necessary, or that the Council should not require their installation. This agreement does not obligate Developer to pay any particular share of such intersection improvement costs, but Developer acknowledges that Developer is aware that under the current City policy, unless modified by the City, no municipal funds would be allocated toward such costs, such that in the absence of sources of funds to complete intersection improvements ordered by the Council, no further development would be permitted, under current City policy, for Phase II Elements which add to traffic volumes which contributed to the need for such improvements.

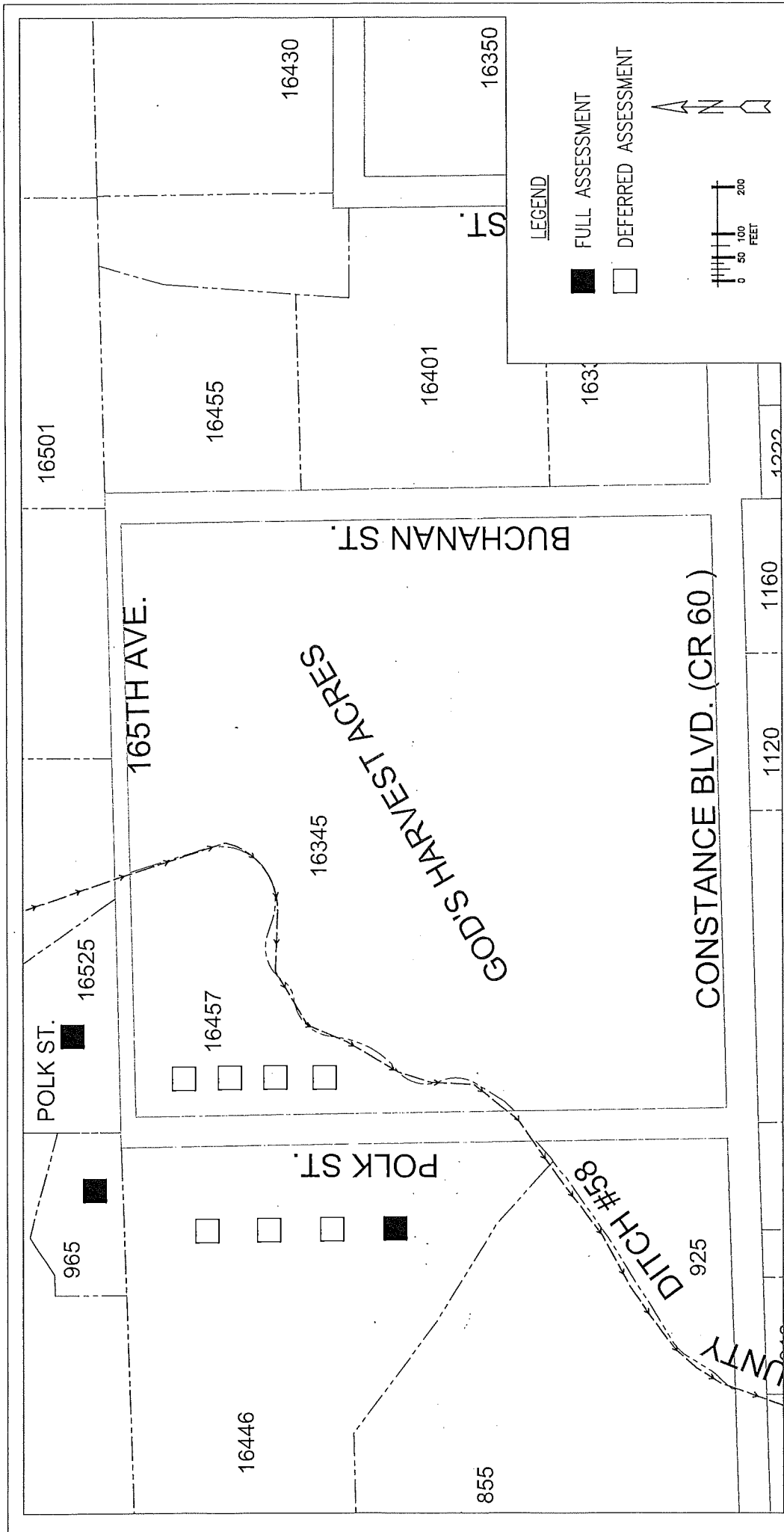


C. Future Special Assessments for Polk Street NE

Developer acknowledges that by discharging its obligation to pay for a share of assessments for the road improvements contemplated in Phase I, developer is not absolved of any responsibility to contribute to future road improvement costs for future road improvements that may be undertaken on Polk Street NE, between Constance Boulevard NE and 165th Avenue NE. Developer further acknowledges that while it is the City's present policy to specially assess the cost of improving streets such as Polk Street NE, it is also the policy of City, unless the policy is modified by the City, to require a land developer to pay for any costs of the paving of such a street which cannot be recovered through special assessments at the City's prevailing unit amount of assessment. It is possible, therefore, that future development of any land use on Developer's land which would benefit by the paving of Polk Street NE may require a substantial Developer contribution toward that end. This agreement does not obligate Developer to pay any particular share of such paving costs, but Developer acknowledges that Developer is aware that under the current City policy, unless modified by the City, no municipal funds would be allocated toward such paving, such that in the absence of sources of funds to complete the paving, no further development will be permitted for Phase II Elements which add to traffic volumes on Polk Street NE.

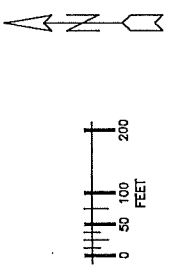
5. Municipal Determination of Traffic Study Need

Notwithstanding the foregoing, the City may, in its discretion, order a Traffic Study similar to that contemplated by paragraph 4(A) above, earlier than the time at which any



LEGEND

- FULL ASSESSMENT
- DEFERRED ASSESSMENT



Description ASSESSMENT MAP	Date 6/17/21	Project No. 1902.083	Figure No. 10
Drawn JRY			

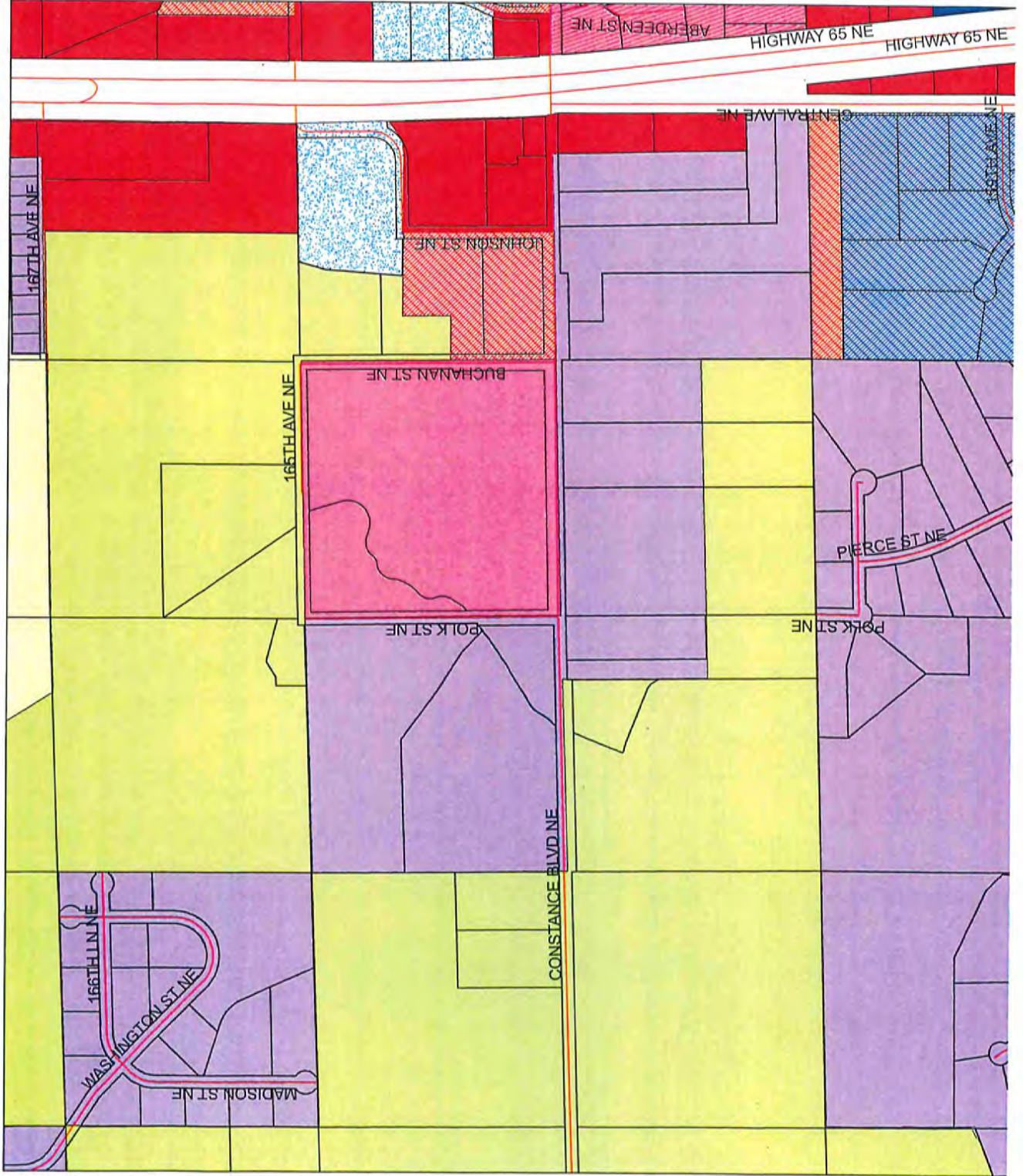
Project
 FEASIBILITY STUDY
 POLK STREET

13635 Johnson Street
 Ham Lake, MN 55304
 Voice: 763.862.8000
 Fax: 763.862.8042



HAM LAKE, MINNESOTA

ZONING MAP



LEGEND

- R-1 Single Family Residential
- R-2 Single Family Residential
- R-3 Single Family Residential
- CD-1 Commercial Development Tier 1
- CD-2 Commercial Development Tier 2
- I-1 Light Industry
- I-2 Industrial Park
- PUD Planned Unit Development
- PUD - CD-1 Underlying Use
- TOD Traditional Use Overlay Districts
- Park



6/17/2021

MAP DATE:
Latest Map Amendment: Ordinance 21-04





CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

June 24, 2021

TO WHOM IT MAY CONCERN:

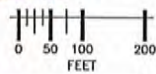
Notice is hereby given that the City Council of Ham Lake will meet in the Council Chambers of the City Hall at 6:02 p.m. on July 6, 2021, to consider the making of an improvement of Tippecanoe Street NE from proposed 162nd Lane NE south to the cul-de-sac, pursuant to Minnesota Statutes, Sections 429.011 to 429.111. The area proposed to be assessed for such improvement is the properties abutting on such streets. The estimated cost of such improvement is \$1,051,950.02. Such persons as desire to be heard with reference to the proposed improvement will be heard at this meeting.


Dawnette Shimek, Deputy City Clerk

Published in the Star Tribune June 24, 2021 and July 1, 2021.

To access the feasibility study for the proposed road improvement project go to:
<http://www.rfcengineering.com/HLProj/2102.053/Tippecanoe%20Feasibility%20Study.pdf>

-PLEASE SEE REVERSE SIDE FOR SITE MAP-



Description	
LOCATION MAP	

Drawn	EMP
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Date	6/17/21
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Project No.	2102.053
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Figure No.	1
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Project	TIPPECANOE STREET FEASIBILITY STUDY
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13635 Johnson Street
Ham Lake, MN 55304
Voice: 763.862.8000
Fax: 763.862.8042



RFC
Engineering, Inc.
Sustaining Expertise

RESOLUTION NO. 21-XX

WHEREAS, a resolution of the City Council adopted the 21st day of June, 2021, fixed a date for a council hearing on the proposed improvement of Tippecanoe Street NE from proposed 162nd Lane NE south to the cul-de-sac;

AND WHEREAS, ten days mailed notice and two weeks published notice of the hearing was given, and the hearing was held thereon on the 6th day of July, 2021, at which all persons desiring to be heard were given an opportunity to be heard thereon,

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF HAM LAKE, MINNESOTA:

1. Such improvement is necessary, cost-effective, and feasible as detailed in the feasibility report.
2. Such improvement is hereby ordered as proposed in the Council resolution adopted the 3rd day of May, 2021.
3. Tom Collins is hereby designated as the engineer for this improvement. He shall prepare plans and specifications for the making of such improvement.
4. The City Council hereby declares its official intent to reimburse the City for the cost of this improvement project through assessments of the benefiting properties.

Adopted by the City Council of the City of Ham Lake this 21st day of June, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

RESOLUTION NO. 21-21

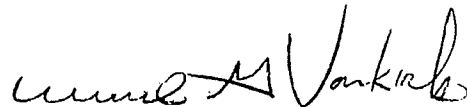
WHEREAS, pursuant to a resolution of the Council adopted on May 3, 2021, a report has been prepared by Tom Collins, City Engineer with reference to the improvement of Tippecanoe Street NE from proposed 162nd Lane NE south to the cul-de-sac, and this report was received by the Council on June 21, 2021.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAM LAKE, MINNESOTA:

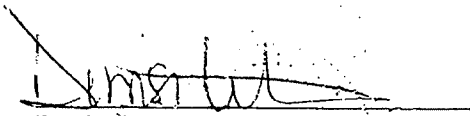
1. The Council will consider the improvement of such street in accordance with the report and the assessment of abutting and benefiting property for all or a portion of the cost of the improvement pursuant to Minnesota Statutes Chapter 429 at an estimated total cost of the improvement of \$1,051,950.02.

2. A public hearing shall be held on such proposed improvement on the 6th day of July, 2021 in the Council Chambers of the City Hall at 6:02 p.m. and the Clerk shall give mailed and published notice of such hearing and improvement as required by law.

Adopted by the City Council of the City of Ham Lake this 21st day of June, 2021.



Michael G. Van Kirk,
Mayor

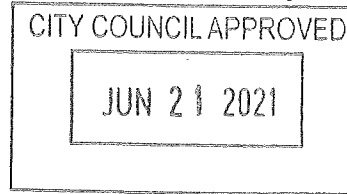

Denise Webster
City Clerk

Tippecanoe Street Feasibility 2021.xlsx

Name	Company	Address	City, State Zip
14-32-23-31-0010	BILLSTROM AARON E & TINA M	15926 TIPPECANOE ST NE	HAM LAKE, MN 55304
14-32-23-24-0004	FILIPS, ELIZABETH	4746 MANITOU RD	TONKA BAY, MN 55331
14-32-23-31-0008	HOPPERT CURTIS C	15990 TIPPECANOE ST NE	HAM LAKE, MN 55304
14-32-23-31-0011	IVERSON, PATRICIA S	15918 TIPPECANOE ST NE	HAM LAKE, MN 55304
14-32-23-24-0003	OCKER DALE E	16160 TIPPECANOE ST NE	HAM LAKE, MN 55304
14-32-23-24-0002	PETERSON, STEVEN M	16120 TIPPECANOE ST NE	HAM LAKE, MN 55304
14-32-23-31-0006	VADIS GORDON J & SANDRA H	15941 TIPPECANOE ST NE	HAM LAKE, MN 55304
14-32-23-31-0003	VERA JULIA & EXEQUIEL	16050 TIPPECANOE ST NE	HAM LAKE, MN 55304

June 17, 2021

Honorable Mayor and Councilmembers
City of Ham Lake
15544 Central Avenue NE
Ham Lake, Minnesota 55304

**SCANNED**

Re: Tippecanoe Street Feasibility Report

Dear Mayor and City Council Members,

The City Council directed the preparation of this report on May 3, 2021. The purpose is to determine the project necessity, feasibility, cost effectiveness and recommendations for the re-alignment and re-construction of Tippecanoe Street from Constance Boulevard south to the cul-de-sac. The proposed improvements are for the re-alignment and re-construction of the 1,999 -foot Tippecanoe Street.

Existing Conditions:

Tippecanoe Street is presently 2,588 feet long, starting at Constance Boulevard and ending at the present cul-de-sac. The street is rural with ditches and gravel surface. The graded top surface width is approximately 26 feet, constructed for a future 26-foot-wide bituminous surface with curb and gutter.

Tippecanoe Street makes a sharp turn to the west just south of Constance Boulevard and follows Anoka County Ditch #11. The approximate first 500 feet is shown over a Rifle Peat area per the Anoka County Soils map. No soil borings have been taken to confirm the existence of peat under the present street. Borings should be taken before final preparation of plans.

A City owned parcel I.D. 14-32-23-31-0012 exists between 15990 and 15926 Tippecanoe Street which is 66-feet in width.

Soils:

Soils were evaluated using the Anoka County Soils Map. The soils in the area consist of Zimmerman Fine Sand, Lino Loamy Fine Sand, Isanti Fine Sandy Loam and Rifle Mucky Peat (Figure 2). Zimmerman Fine Sand is suitable for road subbase and is generally well drained. The suitable cut material will be used for fill. This soil generally covers the higher ground. Lino Loamy Fine Sand is a poorly drained soil with a relatively high-water table and will require placement of suitable fill from site excavation or imported soils for roadway construction. Isanti Fine Sandy Loam is in narrow low-lying areas near organic soils. It has high water tables and is poorly drained, usually requiring proper drainage and/or placement of suitable fill for roadway construction. Due to the high-water tables, the Isanti Fine Sandy Loam is not suitable for stormwater infiltration. A low area exists approximately 1,200 feet south of Constance Boulevard extending for approximately 150 feet. This is an area of Rifle Peat. The estimated excavation and granular borrow quantities are included in the estimated project cost.

Wetlands and Flood Zone:

Wetlands most likely exist in the ditches of the existing roadway but most likely do not exist elsewhere on the proposed improvements. Figure 4 illustrates the approximate wetland locations based on the National Wetland Inventory. Wetlands affected by the proposed improvements would be delineated prior to beginning preparation of plans. The Flood Zone Map, Figure 5, indicates there are no flood zones within the project limits.

Right-of-Way and Easements:

It is anticipated that approximately 16,719 square feet of easement will be required for the roadway and stormwater treatment. The City Attorney on the July 15, 2020 Council began negotiations to acquire this land shown on Figure 13. There is a 50-foot wide prescriptive easement on each side of the County Ditch 11 centerline.

Proposed Improvements:

The proposed improvement will prepare the existing surface for a 9-ton 26-foot wide with curb and gutter, and 6 1/2 inches of class 5 per City Standards. Tippecanoe Street from Constance Boulevard to 162nd Lane and 162nd Lane from Tippecanoe Street to the west plat border are being constructed to a 9-ton street section due to the Bug Company at 15941 Tippecanoe Street.

The improvement would include storm sewer, an infiltration basin and a pond. Note the typical street section on Exhibit 7.

A City owned parcel exists between 15990 and 15926 Tippecanoe Street which is 66-feet in width that can potentially be the 160th Avenue right-of-way. Figure 11 shows the potential thoroughfare from Tippecanoe Street westerly. The existing cul-de-sac exceeds the City's requirement for length.

Cost Estimate:

The project cost estimates are based on anticipated 2022 construction prices plus a 17% project development cost, an 8% engineering and inspection cost, and a 5% contingency cost (Figure 3). The final design has not been completed and therefore unknown work is not included in the estimate. Where additional costs may arise are additional subgrade correction and storm water treatment.

The final design has not been completed, and therefore unknown work is not included in the estimate. The estimated project cost is \$ 1,051,950.02.

Anticipated Revenues:

City policy is to assess benefited parcels for the improvement. The total number of assessments is 8 active assessments and 4 deferred assessments. The seven properties on the west side of Tippecanoe Street will be actively assessed. The property on the east side of Tippecanoe has potential to be split into four parcels for deferred assessments and one active assessment.

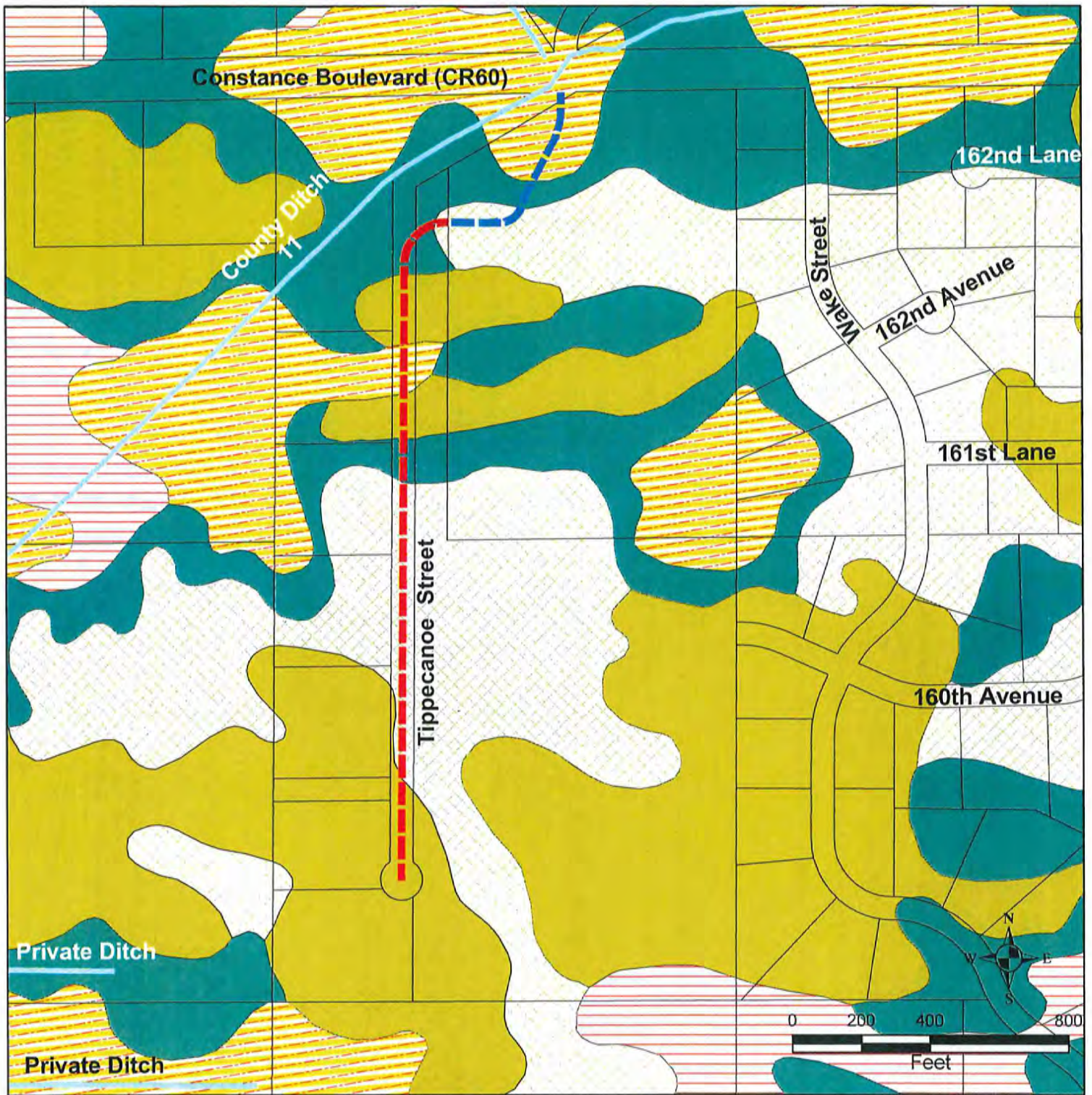
Estimated Construction Cost	\$ 1,051,950.02
8 Active Assessments (\$20,000/Each)	\$ 160,000.00 (15.2%)
4 Deferred Assessments (\$20,000/Each)	\$ 80,000.00 (7.6%)
City Contribution	\$ 811,950.02 (77.2%)

Sincerely,

RFC Engineering, Inc.



Tom Collins, P.E.
Ham Lake City Engineer



- | | | |
|---|---|--|
|  Isanti Fine Sandy Loam (Iw) |  Rifle Mucky Peat (Rf) |  Developer Proposed Construction |
|  Lino Loamy Fine Sand (LnA) |  Zimmerman Fine Sand B (ZmB) |  City Proposed Reconstruction |
|  Markey Muck (Ma) |  Ditches | |

Sheet Title:
SOILS MAP

Drawn:
EMP

Date:
6/17/2021

Project No.
2102.053

Figure No.
2

Project:
FEASIBILITY STUDY
TIPPECANOE STREET

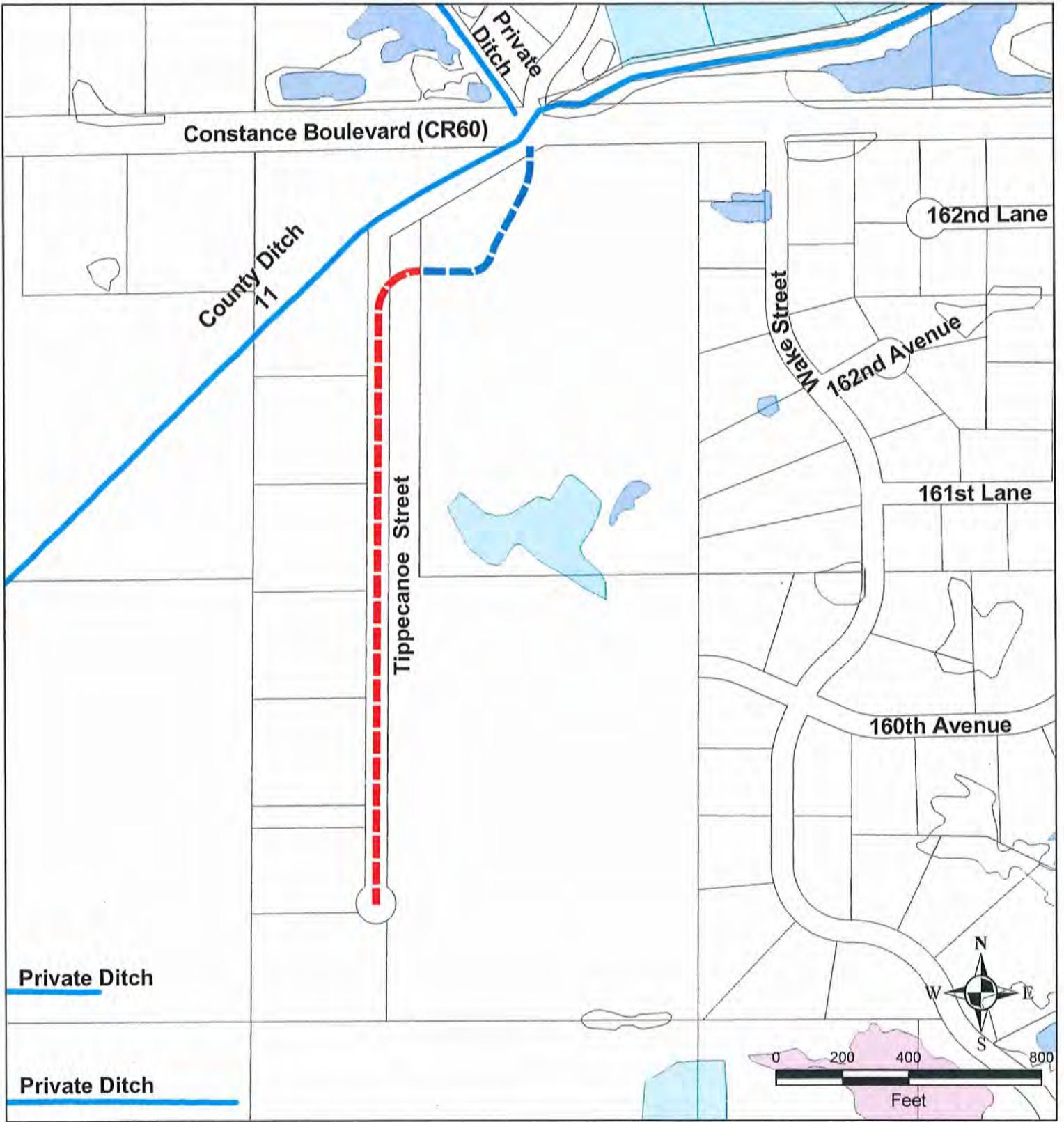
13635 Johnson Street
Ham Lake, MN 55304
Telephone (763) 862-8000
Fax (763) 862-8042



CONSTRUCTION COST ESTIMATE
 TIPPECANOE STREET SOUTH OF CONSTANCE BOULEVARD

6/17/2021

ITEM NUMBER	ITEM DESCRIPTION	UNIT	EST	UNIT PRICE	TOTAL
2021.501	MOBILIZATION	LUMP SUM	1	\$59,000.00	\$59,000.00
2101.505	CLEARING	ACRE	1	\$9,313.17	\$9,313.17
2101.505	GRUBBING	ACRE	1	\$4,496.03	\$4,496.03
2104.502	SALVAGE MAIL BOX SUPPORT	EACH	11	\$1.82	\$20.02
2104.503	SAWING CONCRETE PAVEMENT (FULL DEPTH)	LIN FT	32	\$5.35	\$171.20
2104.503	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	26	\$4.17	\$108.42
2104.503	REMOVE GUARDRAIL	LIN FT	116	\$5.35	\$620.60
2104.504	REMOVE CONCRETE DRIVEWAY PAVEMENT	SQ YD	67	\$13.16	\$881.72
2105.501	COMMON EXCAVATION	CU YD	1,915	\$20.87	\$39,966.05
2105.504	GEOTEXTILE FABRIC TYPE 1	SQ YD	400	\$4.07	\$1,628.00
2105.507	MUCK EXCAVATION (LV)	CU YD	1,522	\$19.15	\$29,146.30
2105.521	GRANULAR BORROW (CV)	CU YD	2,821	\$27.50	\$77,577.50
2105.607	CHANNEL AND POND EXCAVATION	CU YD	680	\$56.71	\$38,562.80
2211.501	AGGREGATE BASE, CLASS 5 OR 7	TON	2,692	\$23.75	\$63,935.00
2211.507	AGGREGATE BASE CLASS 5 - DRIVEWAY	CU YD	38	\$63.99	\$2,431.62
2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2C) COMM. DRIVEWAY 1.0" THICK	SQ YD	2	\$16.48	\$32.96
2360.504	TYPE SP 12.5 WEARING COURSE MIXTURE (2;B) DRIVEWAY 2.0" THICK	SQ YD	14	\$11.88	\$166.32
2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (2,B OR C)	TON	738.0	\$97.16	\$71,704.08
2360.509	TYPE SP 12.5 WEARING COURSE MIXTURE (2;C)	TON	738	\$85.60	\$63,172.80
2501.502	24" CS PIPE APRON	EACH	5	\$824.97	\$4,124.85
2501.602	TRASH GUARD FOR 24" PIPE APRON	EACH	5	\$1,188.77	\$5,943.85
2503.503	24" CP PIPE SEWER	LIN FT	162.0	\$74.04	\$11,994.48
2503.511	15" RC PIPE SEWER CLASS IV	LIN FT	874.0	\$72.97	\$63,775.78
2503.511	18" RC PIPE SEWER CLASS IV	LIN FT	915	\$84.53	\$77,344.95
2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL 1	EACH	6	\$2,518.78	\$15,112.68
2506.602	CATCH BASIN	EACH	6	\$3,323.42	\$19,940.52
2511.501	RANDOM RIPRAP CLASS III	CU YD	40	\$19.26	\$770.40
2531.501	CONCRETE CURB & GUTTER DESIGN D312 (MODIFIED)	LIN FT	4,062	\$15.62	\$63,448.44
2531.504	6" CONCRETE DRIVEWAY PAVEMENT	SQ YD	66.8	\$81.96	\$5,474.93
2540.602	INSTALL MAIL BOX SUPPORT-SWING TYPE	EACH	11	\$159.43	\$1,753.73
2563.601	TRAFFIC CONTROL	LUMP SUM	1	\$10,453.90	\$10,453.90
2564.531	SIGN PANELS TYPE C	SQ FT	59	\$59.81	\$3,528.79
2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$4,711.85	\$4,711.85
2573.502	SILT FENCE, TYPE HEAVY DUTY	LIN FT	2,000	\$3.00	\$6,000.00
2573.502	STORM DRAIN INLET PROTECTION	EACH	14	\$179.23	\$2,509.22
2573.560	CULVERT END CONTROLS	EACH	6	\$285.48	\$1,712.88
2574.507	COMMON TOPSOIL BORROW	CU YD	482	\$33.49	\$16,142.18
2575.605	TURF ESTABLISHMENT	ACRE	2.0	\$6,741.00	\$13,482.00
TOTAL ESTIMATED CONSTRUCTION COST					\$791,160.02
PROJECT DEVELOPMENT COSTS (17%)					\$134,497.20
CONSTRUCTION ENGINEERING & INSPECTION COSTS (8%)					\$63,292.80
LAND ACQUISITION					\$63,000.00
TOTAL PROJECT COST					\$1,051,950.02
8 Active Assessments (\$20,000/Each)					\$160,000.00
4 Deferred Assessments (\$20,000/Each)					\$80,000.00
City Cost					\$811,950.02



Private Ditch

Private Ditch

- Emergent Wetland
- Pond
- Forested Wetland
- Shrub/Emergent Wetland
- Developer Proposed Construction
- City Proposed Reconstruction
- Ditches

Sheet Title:
NATIONAL WETLAND INVENTORY

Drawn:
EMP

Date:
6/17/2021

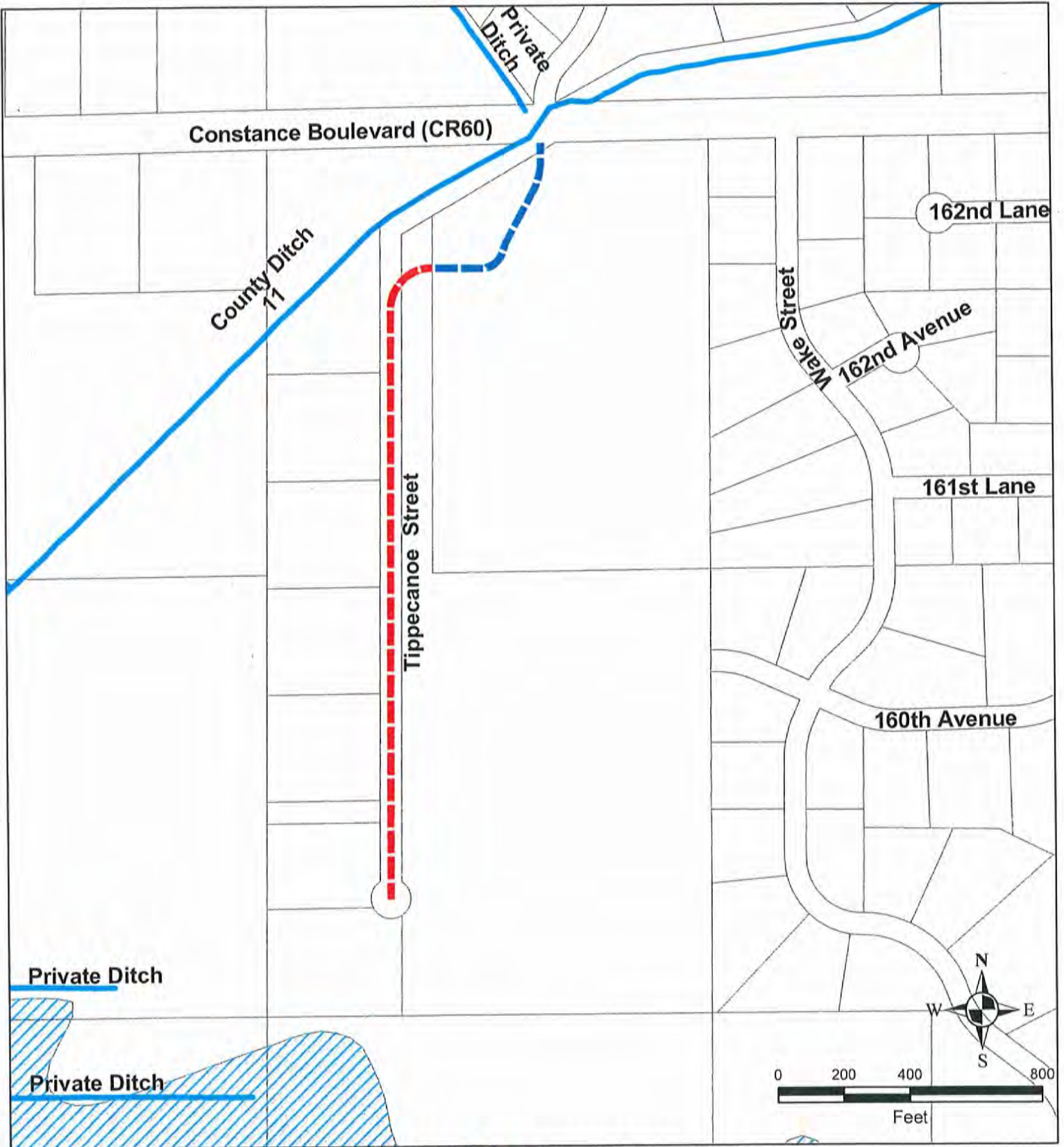
Project No.
2102.053

Figure No.
4

Project:
FEASIBILITY STUDY
TIPPECANOE STREET

13635 Johnson Street
Ham Lake, MN 55304
Telephone (763) 862-8000
Fax (763) 862-8042





- Flood Zone A
- Developer Proposed Construction
- Ditches
- City Proposed Construction

Sheet Title:
FLOOD ZONE MAP

Drawn:
EMP

Date:
6/17/2021

Project No.
2102.053

Figure No.
5

Project:
FEASIBILITY STUDY
TIPPECANOE STREET

13635 Johnson Street
Ham Lake, MN 55304
Telephone (763) 862-8000
Fax (763) 862-8042



N 1/2 SECTION 14, T. 32, R. 23

CITY OF HAM LAKE

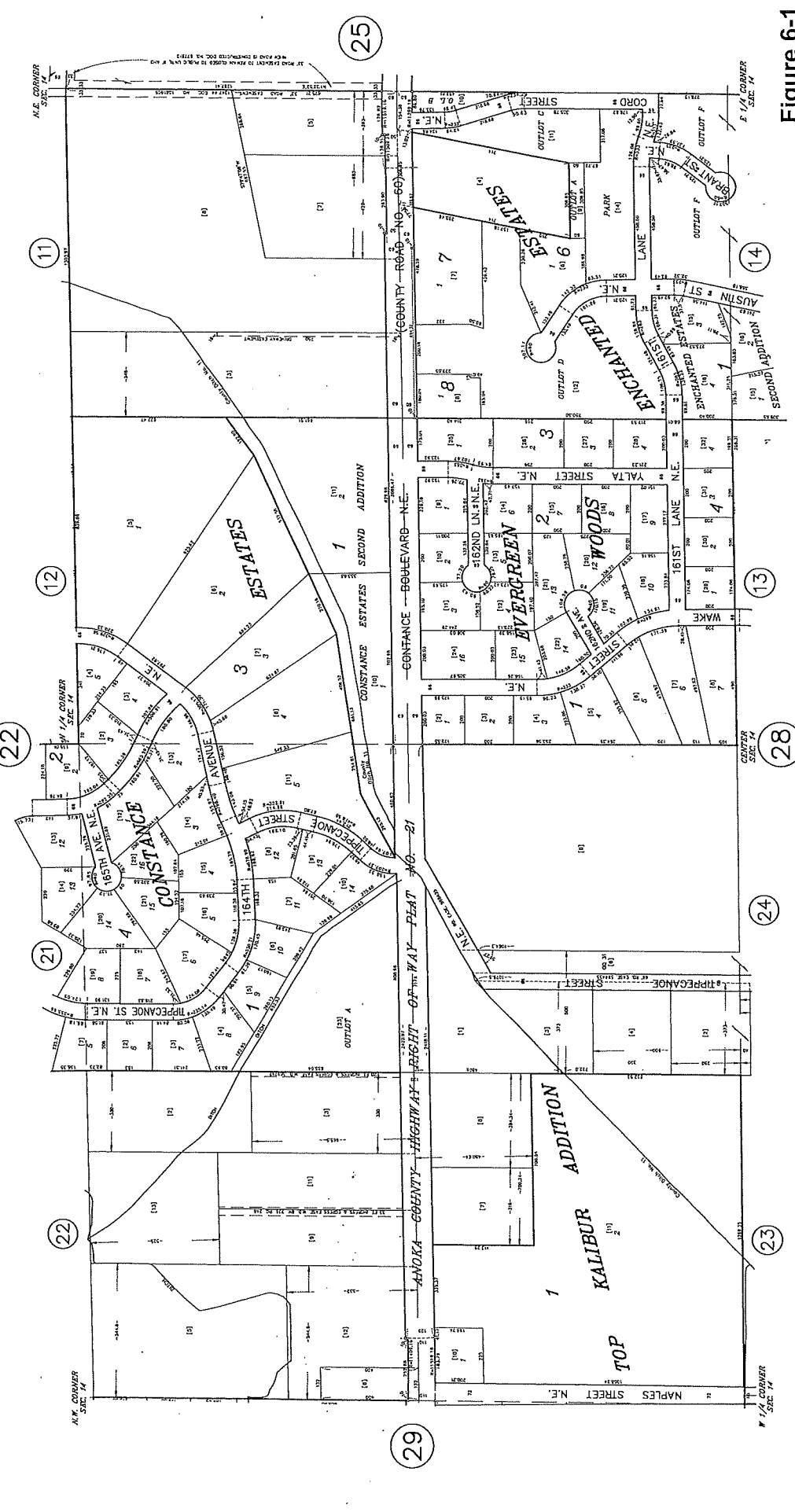


Figure 6-1

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY RECORDS. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES THEREIN CONTAINED.

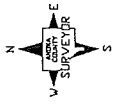
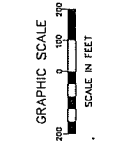
PROPERTY IDENTIFICATION NUMBER
 Station Township Range Quarter Parcel
 Number Number Number Quarter Parcel
 XX XX XX XX XXXX
 SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
 EXAMPLE OF PIN NUMBER: 14-22-21-14-0030

QUARTER QUARTER INDEX

22	21	12	11						
23	24	13	14						
24	31	42	41						
23	34	43	44						

NORTH HALF OF SECTION
 SOUTH HALF OF SECTION

ANOKA COUNTY
 SURVEYOR'S OFFICE
 ROOM 224
 2100 3RD AVENUE
 ANOKA, MN 55303
 (763) 324-3200



S 1/2 SECTION 14, T. 32, R. 23

CITY OF HAM LAKE

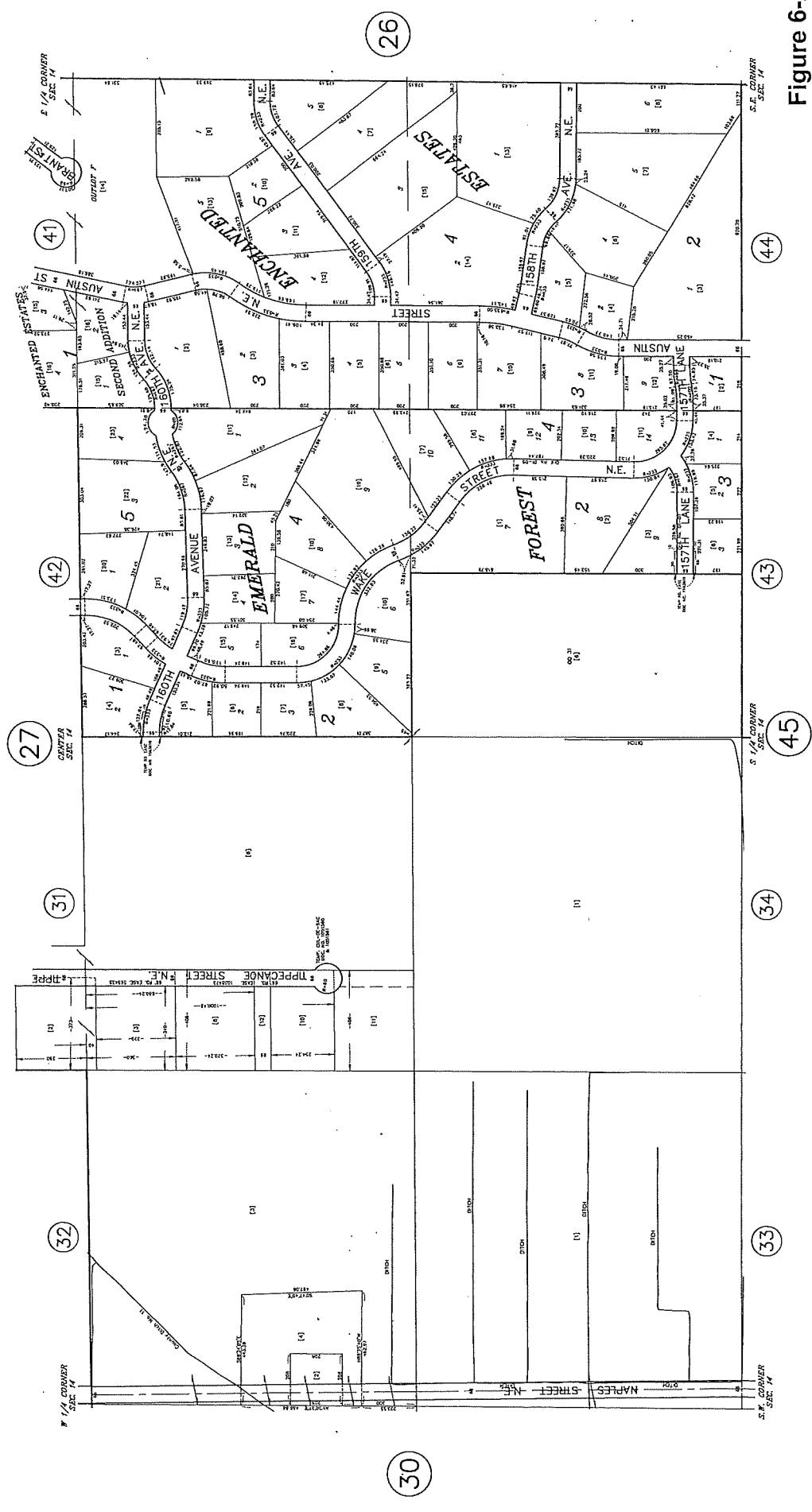


Figure 6-2

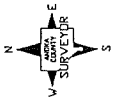
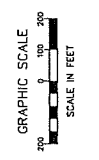
THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE PUBLIC RECORDS OF THE COUNTY OF ANOKA, MINNESOTA. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

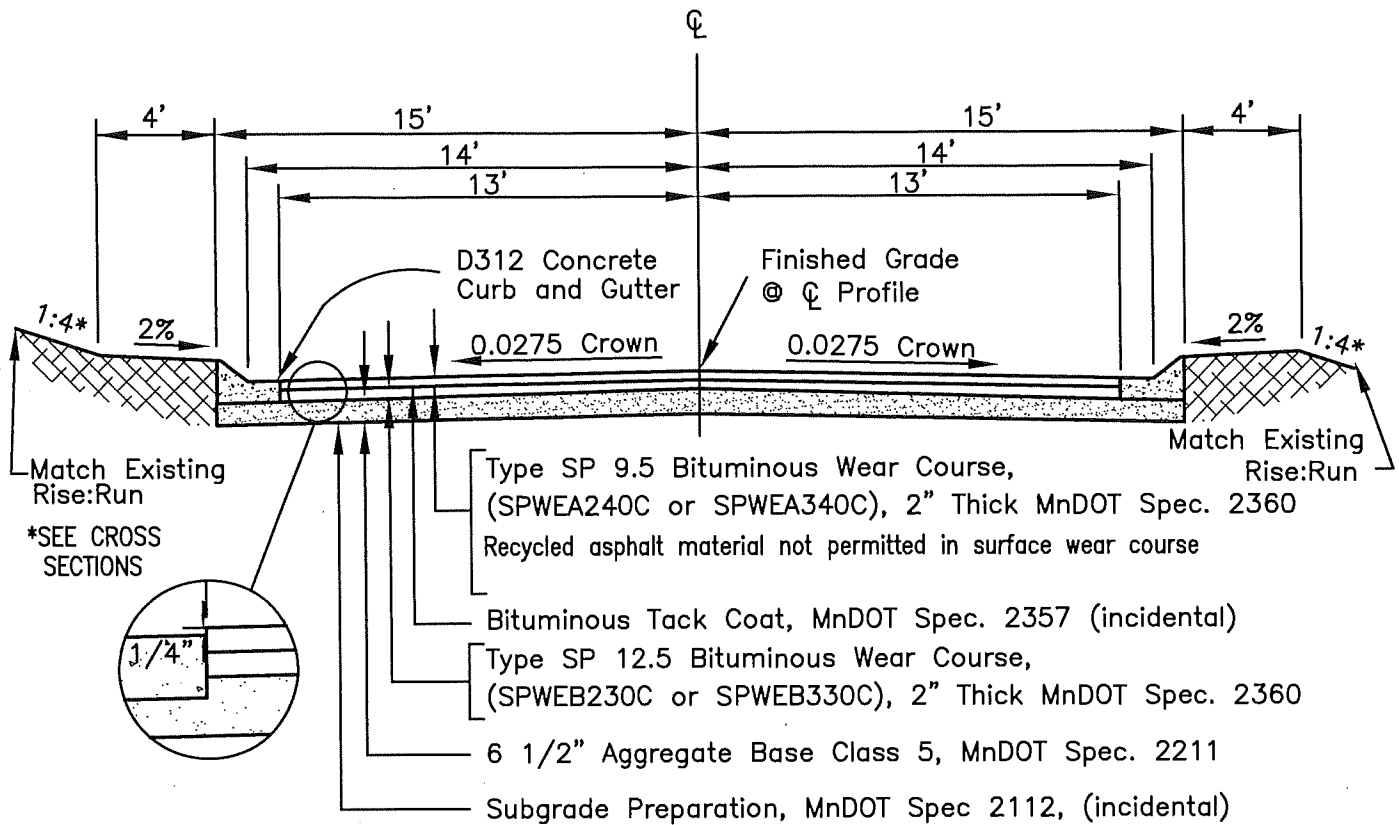
PROPERTY IDENTIFICATION NUMBER
 Section Township Range Quarter Specific
 Number Number Number Parcel Number
 XX XX XX XXXX
 EXAMPLE OF PIN NUMBER: 14-32-23-4-000

QUARTER QUARTER INDEX

22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

ANOKA COUNTY
 SURVEYOR'S OFFICE
 ROOM 224
 2100 3RD AVENUE
 ANOKA, MN 55303
 (763) 324-3200




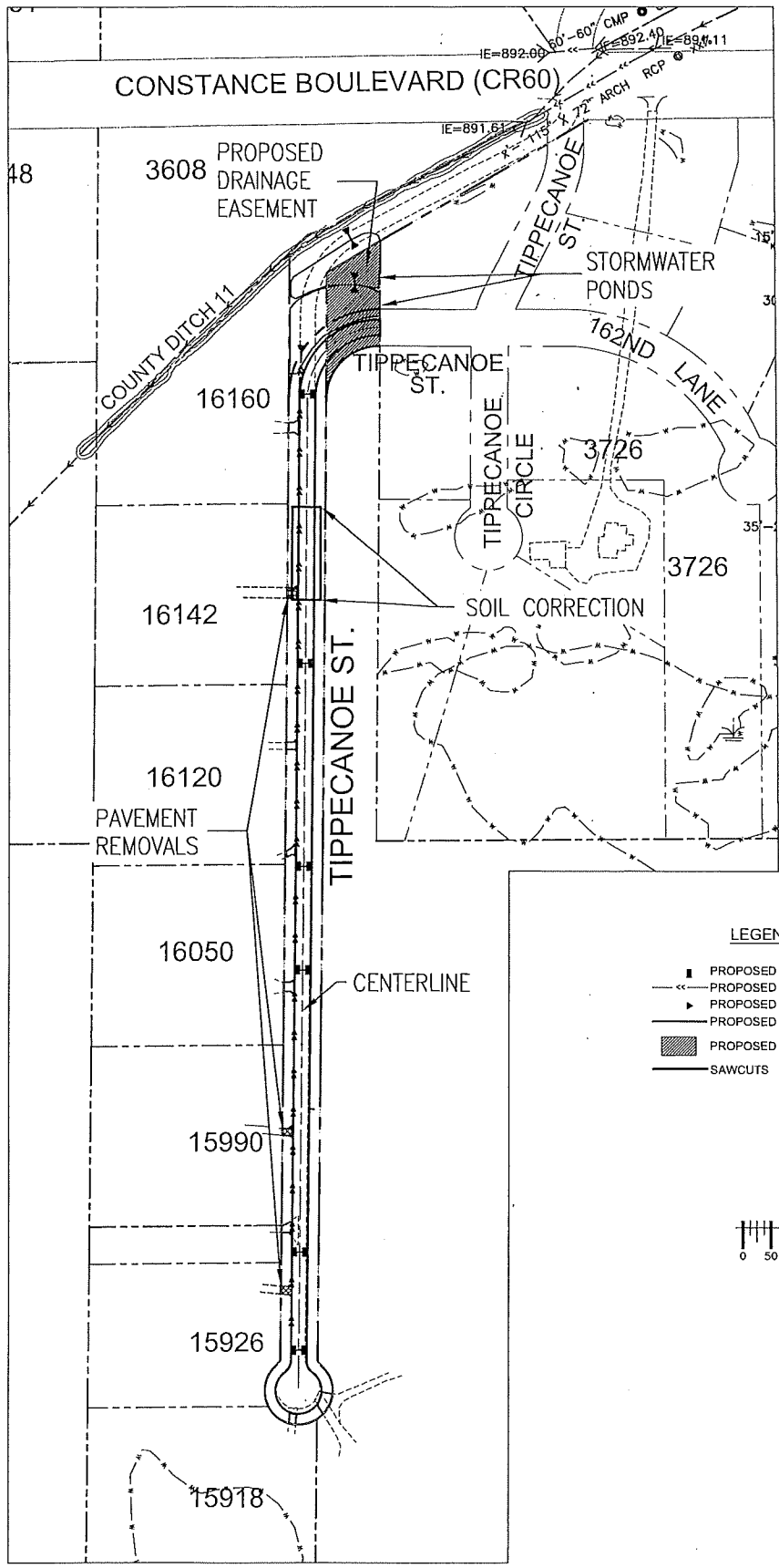


TYPICAL URBAN SECTION

TYPICAL STREET SECTION
COMMERCIAL 9-TON RFC-366B12

NOT TO SCALE

Sheet Title PROPOSED TYPICAL SECTION	Drawn CSA	Date 6/17/21	Project No. 2102.053	Figure No. 7
Project TIPPECANOE STREET FEASIBILITY STUDY	13635 Johnson Street Ham Lake, MN 55304 Telephone (763) 862-8000 Fax (763) 862-8042			



Description
 PROPOSED IMPROVEMENTS

Drawn
 CSA

Date
 6/17/21

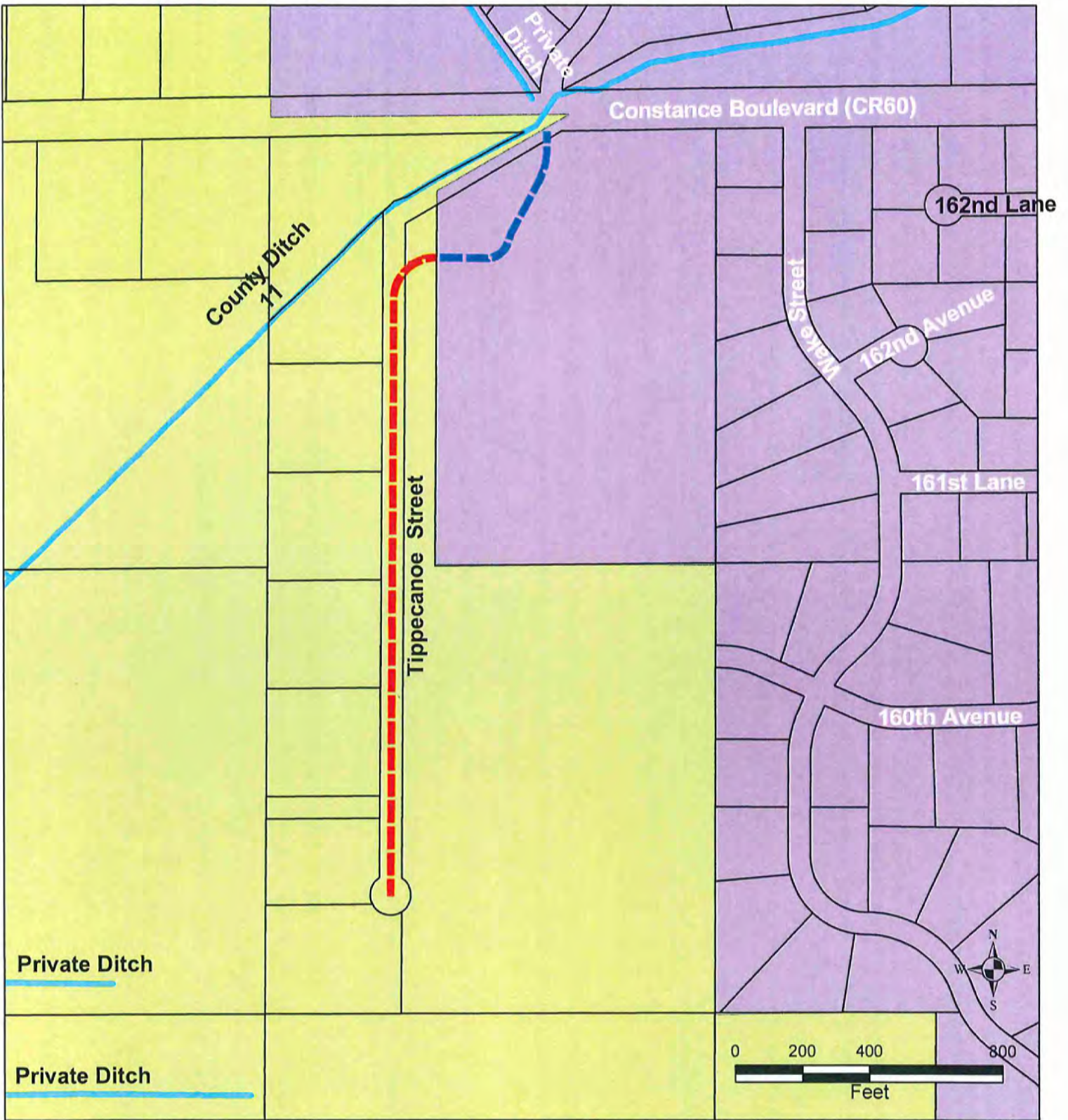
Project No.
 2102.053

Sheet No.
 8

Project
 TIPPECANOE STREET FEASIBILITY STUDY

13635 Johnson Street
 Horn Lake, MN 55304
 Voice: 763.862.8000
 Fax: 763.862.8042





- R-A Rural Single Family Residential
- R-1 Single Family Residential
- Developer Proposed Construction
- City Proposed Reconstruction
- Ditches

Sheet Title:
ZONING MAP

Drawn:
EMP

Date:
6/17/2021

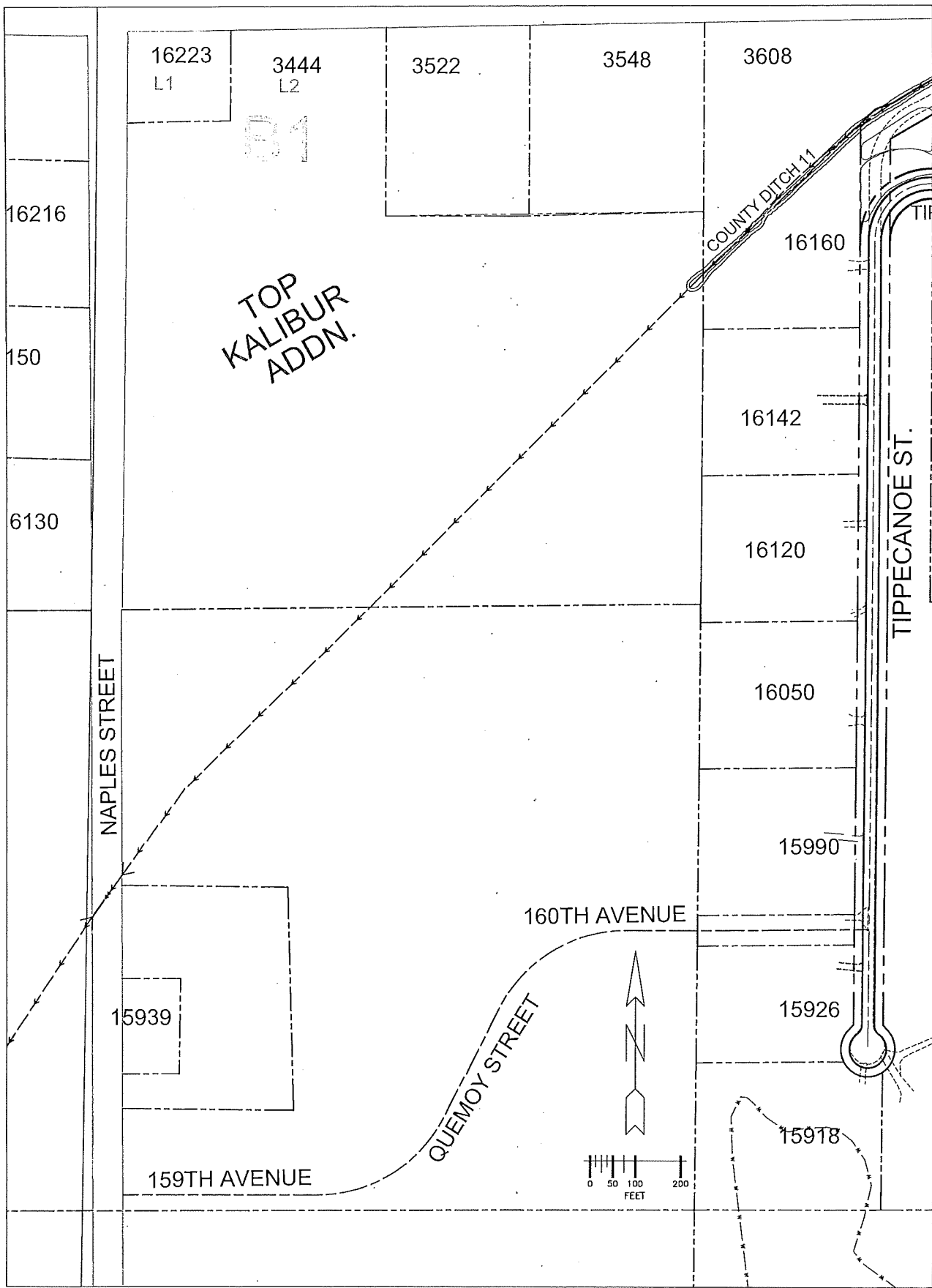
Project No.
2102.053

Figure No.
9

Project:
FEASIBILITY STUDY
TIPPECANOE STREET

13635 Johnson Street
Ham Lake, MN 55304
Telephone (763) 862-8000
Fax (763) 862-8042





Description
 POTENTIAL THOROUGHFARE

Drawn
 CSA


Date
 6/17/21

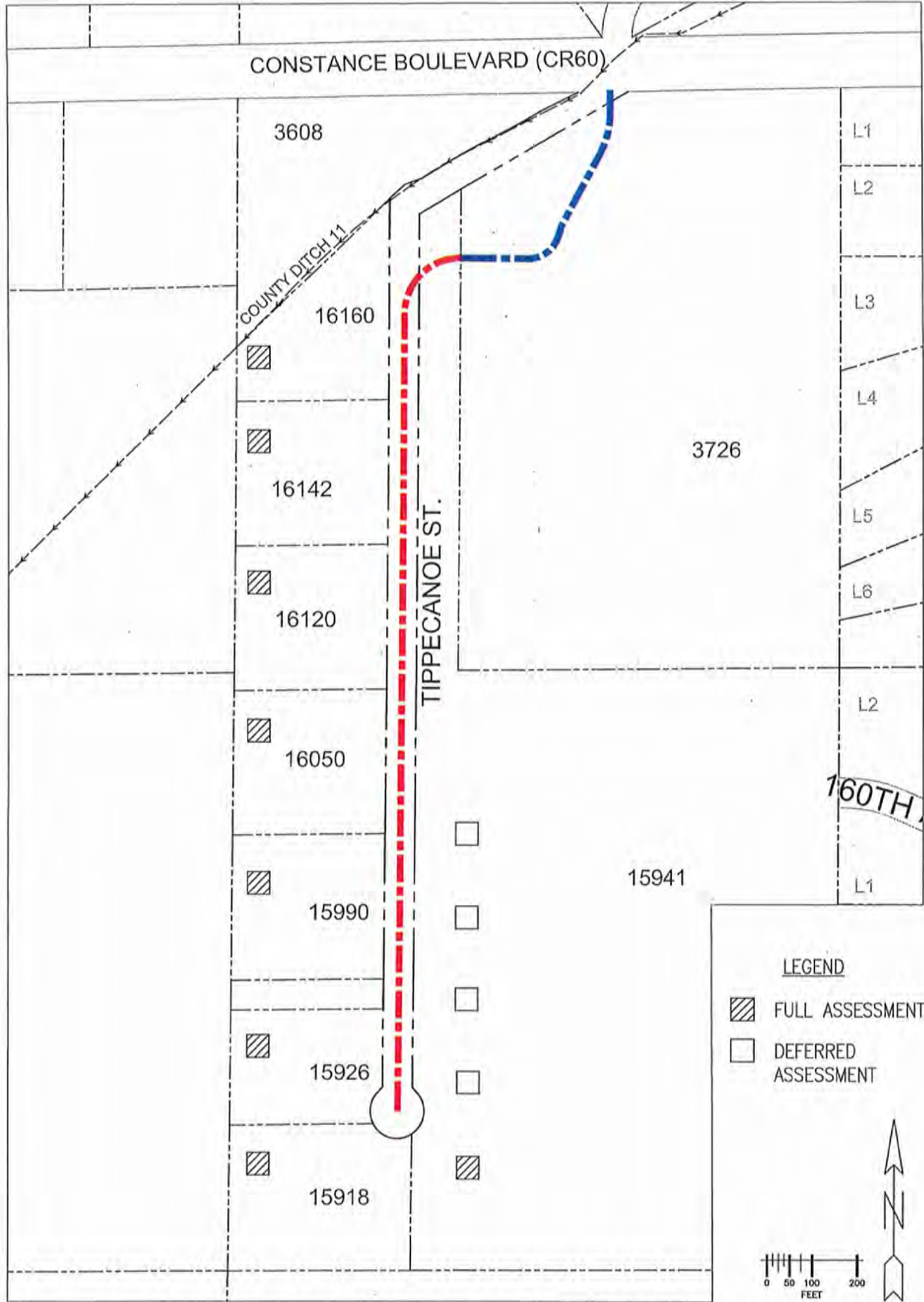
Project No.
 2102.053

Figure No.
 11

Project
 TIPPECANOE STREET FEASIBILITY STUDY

13635 Johnson Street
 Horn Lake, MN 55304
 Voice: 763.862.8000
 Fax: 763.862.8042





Description
ASSESSMENT MAP

Drawn
EMP

Date
6/17/21

Project No.
2102.053

Figure No.
12

Project
FEASIBILITY STUDY
TIPPECANOE STREET

13835 Johnson Street
Ham Lake, MN 55304
Voice: 763.862.8000
Fax: 763.862.8042



SKETCH AND DESCRIPTION

ANOKA COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 21
 CONSTANCE BOULEVARD (COUNTY ROAD NO. 60)

~for~ RFC ENGINEERING

PROPOSED RIGHT OF WAY DESCRIPTION

That part of the east 94.00 feet of the west 500.00 feet of the Southeast Quarter of the Northwest Quarter of Section 14, Township 32, Range 23, Anoka County, Minnesota, lying southerly of the southerly right-of-way line of Tippecanoe Street N.E. as described in Document Number 598435 and northerly of the following described line:

Commencing at the southeast corner of said west 500 feet of the Southeast Quarter of the Northwest Quarter of Section 14; thence on an assumed bearing of North 0 degrees 29 minutes 51 seconds East along the east line of said west 500.00 feet of the Southeast Quarter of the Northwest Quarter of Section 14 a distance of 878.06 feet to the point of beginning of the line to be described; thence North 89 degrees 30 minutes 09 seconds West a distance of 2.00 feet; thence 144.51 feet southwesterly along a tangential curve, concave to the southeast, said curve having a radius of 92.00 feet and a central angle of 90 degrees 00 minutes 00 seconds to the west line of the east 94.00 feet of said west 500.00 feet of the Southeast Quarter of the Northwest Quarter of Section 14 and said line there terminating.

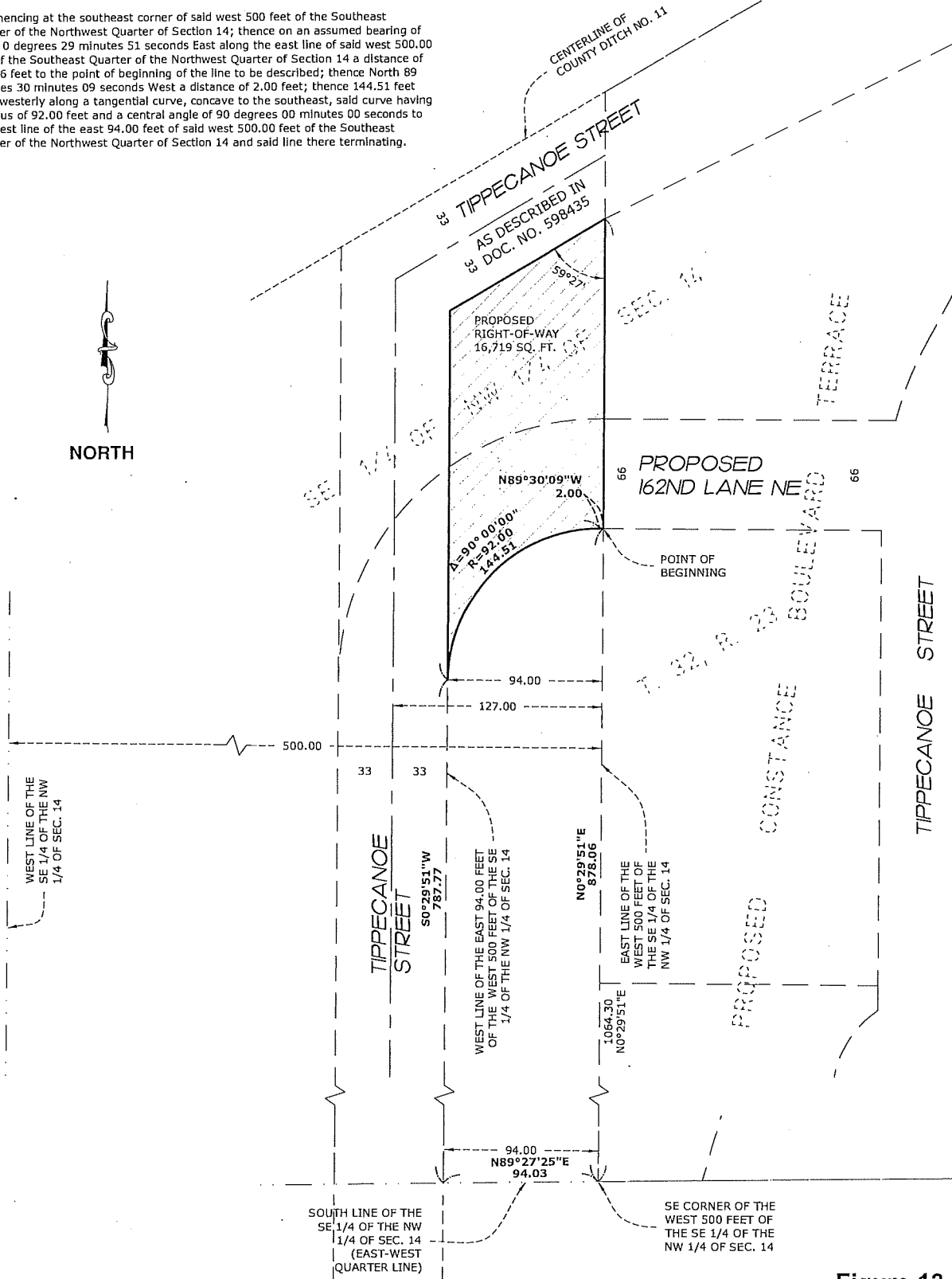


Figure 13

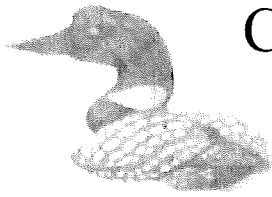
I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

By: *[Signature]*
 Minnesota License No. 41578

Dated 8th day of September, 2020.

DATUM: Assumed		JOB NO. 201003ED	
REVISIONS			
1		SCALE: 1" = 60'	DATE: 9/4/2020
2		DRAWN BY: BPN	
3		CREW:	
NO.	DATE	DESCRIPTION	BY

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701
 www.egrud.com



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES MONDAY, JUNE 21, 2021

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, June 21, 2021 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Mike Van Kirk and Councilmembers Gary Kirkeide, Jim Doyle, Brian Kirkham and Jesse Wilken

MEMBERS ABSENT: None

OTHERS PRESENT: City Attorney, Joe Murphy; City Engineer, Tom Collins; City Administrator, Denise Webster; and Building and Zoning Clerk, Jennifer Bohr

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Mayor Van Kirk called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

2.0 PUBLIC COMMENT

Joe Thomas, Trustee and former President of the Ham Lake Fire Relief Association, twenty-three-year member and District Fire Chief of the Ham Lake Fire Department and nineteen-year resident of the City requested item 4.3, Approval of amending the Fire Department Regulations, be removed from the Consent Agenda and tabled. Mr. Thomas stated it is the responsibility and obligation of the Chief Officers of the Fire Department (Fire Chief, Deputy Fire Chief and District Fire Chiefs) to review and update policies, procedures and regulations, and ensure they are in accordance with state statute, for members of the Ham Lake Fire Relief Association (HLFRA). Mr. Thomas stated, as a member of the HLFRA Board of Trustees, he was not asked for input on the changes to the regulations. Mr. Thomas stated the newly appointed Fire Chief has been a member of the HLFRA for several years, but it has been the expressed intent of the HLFRA, for seventeen plus years, that a full-time employee of the City not be eligible to be a member of the HLFRA. Mr. Thomas suggested that the Ham Lake Fire Relief Association (HLFRA) Board of Trustees and the City Council meet to discuss changes to the regulations that are acceptable to both entities.

Mayor Van Kirk recognized two members of Troop 5509 of the Boy Scouts of America -Ms. Natalie Lund, Senior Patrol Leader, and Lauren Gauthier, Scribe. Ms. Lund stated their troop is the first girl's troop of the Boy Scouts of America in Ham Lake. Ms. Jodi Kimball, Scout Master, and Mr. Jason Lund, Assistant Scout Master were also present. Ms. Kimball stated Ms. Lund and Ms. Gauthier are working to obtain a Communication Merit Badge; they must take notes on two sides of an issue discussed at a public meeting and discuss the issue with their merit badge counselor.

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

3.1 Commander Paul Lenzmeier, Anoka County Sheriff's Monthly Report

Commander Lenzmeier gave the summary of the Sheriff's Report for the month of May, 2021.

3.2 6:01 p.m. – Public Hearing – For citizens to have an opportunity to give written or oral input to reduce or eliminate pollutants from storm water runoff as part of the National Pollutant Discharge Elimination System (NPDES)

Mayor Van Kirk called the Public Hearing to order at 6:30 p.m. Mayor Van Kirk asked for public comment and with there being none, closed the public hearing at 6:30 p.m.

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

4.1 Approval of minutes of June 7, 2021

4.2 Approval of claims in the amount of \$262,544.22

4.3 Approval of amending the Fire Department Regulations

4.4 Approval of Resolution No. 21-20 accepting the feasibility study to improve Polk Street NE from 165th Avenue NE to 810 feet south and scheduling a Public Hearing

4.5 Approval of Resolution No. 21-21 accepting the feasibility study to improve Tippecanoe Street NE from proposed 162nd Lane NE south to the cul-de-sac and scheduling a Public Hearing

4.6 Approval of a New Tobacco License for Rama Corporation, dba Network Liquors, 13648 Highway 65 NE

4.7 Park Committee Recommendation:

- Approval of the asphalt quote for reconstructing at the tennis courts at Lion's Park

4.8 Approval of Liquor License, subject to the approval of the City Attorney

Off-Sale

- NEW LIQUOR LICENSE – Rama Corporation dba Network Liquors, 13548 Highway 65 NE, Ham Lake, MN

Motion by Kirkham, seconded by Wilken, to approve the June 21, 2021 Consent Agenda as written, removing Item 4.3. All in favor, motion carried.

Mayor Van Kirk asked for discussion on Item 4.3. Councilmember Kirkeide stated he understands Mr. Thomas's fiduciary responsibility as a Trustee of the HLFRA; as a courtesy, the City Council Fire Department Liaisons should meet with the Board of Trustees of the HLFRA to discuss the issues of concern and obtain additional information. Councilmember Kirkeide stated the City and the HLFRA are two separate entities operating under two different sets of rules; the City needs to meet with, and work with, the Board of Trustees of the HLFRA as a matter of good policy and good will. Paul Demro, board member of the HLFRA, spoke and expressed concerns related to the auditing of service credit hours by a Fire Chief who is a relief association member, on how the proposed changes to the regulations could cause potential issues in the future if a fire chief is chosen who is not currently a relief association member and asked the City Council if consideration had been given to increasing the amount of the voluntary contribution the City makes to the HLFRA if a full-time city employee is allowed to earn pension benefits from the HLFRA. Mr. Demro stated the intent of the current HLFRA by-laws is to exclude the Fire Chief from the HLFRA if they are PERA compensated. Councilmember Doyle asked Attorney Murphy what regulation or by-laws

superseded the other. Attorney Murphy stated the HLFRA by-laws supersede the City's Fire Department Regulations. Councilmember Doyle stated the HLFRA Board of Trustees should propose changes they would like to see made in the regulations as well as the by-laws and present them to the City Council. Mr. Demro and Mr. Thomas stated they would like to meet with members of the City Council to discuss proposed changes so that they are mutually beneficial to both entities. Councilmember Kirkham stated the next HLFRA Board of Trustees meeting is scheduled for July 8, 2021. Councilmember Kirkeide stated the City Council Fire Department liaisons should attend that meeting; the City Council can resume discussion on this matter after that meeting. **Motion by Kirkeide, seconded by Kirkham, to table Item 4.3, Approval of amending the Fire Department Regulations, until the Fire Department liaisons have met with the Ham Lake Fire Relief Association Board of Trustees. All in favor, motion carried.**

5.0 PLANNING COMMISSION RECOMMENDATIONS

5.1 Roger and Sue Haugen, S & R Developers LLC, requesting Preliminary Plat approval for Enchanted Estates 3rd Addition (8 Single Family Residential lots) in Section 14

Motion by Van Kirk, seconded by Kirkham, to concur with the recommendation of the Planning Commission and approve the Preliminary Plat of Enchanted Estates 3rd Addition in Section 14, as presented by Roger and Sue Haugen of S & R Developers LLC, subject to obtaining approval from the Coon Creek Watershed District, obtaining approval from the Board of Water and Soil Resources to modify the current Conservation Easement that is over portions of Lots 3, 4 and 5 of Block 1, obtaining a License Agreement for the septic line crossing the drainage and utility easement on Lot 1, Block 2, meeting all requirements of the City Engineer and meeting all City, State and County requirements. All favor, motion carried.

5.2 Coco March, Greens World Inc., requesting a Conditional Use Permit to operate a nutritional supplement business at 14200 Lincoln Street NE, Ste. 200, 300 and 500

Motion by Wilken, seconded by Kirkham, to concur with the recommendation of the Planning Commission and approve the Conditional Use Permit, as requested by Coco March, to operate Greens World Inc. at 14200 Lincoln Street NE, suites 200, 300 and 500, subject to operating hours of 6:00 a.m. to 5:00 p.m., no outside storage, striping the parking lot and meeting all City, State and County requirements. All in favor, motion carried.

5.3 Jason and Kari Lund requesting a Home Occupation Permit to operate Plaid Anvil Consulting, LLC at 14948 Madison Street NE

Motion by Kirkham, seconded by Kirkeide, to concur with the recommendation of the Planning Commission and approve the Home Occupation Permit, requested by Jason and Kari Lund, to operate Plaid Anvil Consulting, LLC at 14948 Madison Street NE, subject to the following conditions: complying with criteria outlined in Article 9-350.1 of the City Code, all activities being carried on indoors, no customer meetings at the residence and meeting all City, State and County requirements. All in favor, motion carried.

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

7.0 APPEARANCES – None

8.0 CITY ATTORNEY – None

9.0 CITY ENGINEER – None

10.0 CITY ADMINISTRATOR – None

11.0 COUNCIL BUSINESS

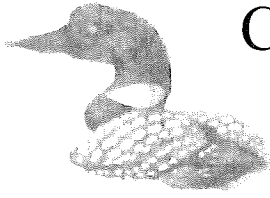
11.1 Committee Reports - None

11.2 Announcements and future agenda items

Mayor Van Kirk stated the City of Ham Lake will be offering 400 free pulled pork sandwiches at the upcoming Freedom Fest on July 3, 2021 and the Ham Lake Chamber of Commerce will offering an additional 600 free sandwiches starting at 4:00 p.m.

Motion by Kirkeide, seconded by Kirkham, to adjourn the meeting at 6:55 p.m. All in favor, motion carried.

Jennifer Bohr, Building and Zoning Clerk



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE CITY COUNCIL BUDGET WORKSHOP MINUTES MONDAY, JUNE 21, 2021

The Ham Lake City Council met on Monday, June 21, 2021 immediately following the regularly scheduled Council Meeting in the Conference Room at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Mike Van Kirk and Councilmembers Jim Doyle, Brian Kirkham, Gary Kirkeide, and Jesse Wilken

MEMBERS ABSENT: Public Works Superintendent, John Witkowski

OTHERS PRESENT: Finance Director, Andrea Worcester; Administrator, Denise Webster; and Fire Chief Mike Raczkowski

1.0 Call to Order

Mayor Van Kirk called the meeting to order at 7:08 p.m.

2.0 Discussion of the American Rescue Plan Act

Finance Director Worcester informed the City Council that the City was going to receive 1.775M from the Federal Government through the American Rescue Plan Act. The funds need to be obligated to a project by 2024 and disbursed by 2026. Finance Director Worcester explained that the funds could be spent on stormwater, broadband, grants, and Covid-19 mitigation. A committee was formed with Councilmembers Wilken and Kirkham to help plan spending and will meet in July after obtaining more information from the City Engineer.

3.0 Discussion of implementing a budget calendar and approval process

Finance Director Worcester introduced the budget calendar and asked going forward in 2022 it is approved by the City Council.

4.0 Property Tax 101

Finance Director Worcester went over how the tax rate is calculated. Finance Director Worcester went over how market value is established and how it equates to tax capacity. Finance Director Worcester then explained the relationship between the City levy and total tax capacity and the formula used to get to the City tax rate.

5.0 Discussion of the proposed 2022 Budget and CIP Review

Finance Director Worcester introduced the draft 2022 budget. Finance Director Worcester explained with the current budget the City would dip \$87,536 into reserves. Finance Director Worcester explained this was due to a new position in the Building Department, it being an Election year, and increases in the Police and Information Technology contracts. Finance Director Worcester also stated she budgeted for a 3% cost of living adjustment. Mayor Van Kirk stated that he wants to make sure healthcare costs are steady and will not affect the budget. Finance Director Worcester stated she spoke

to the broker and was told that the City's health insurance is comparable to others, but will not have concrete numbers until August or September.

Finance Director Worcester then discussed the option the City had instead of using reverses and asked for guidance. Council directed staff to use reserves and to revisit it again once more concrete numbers were given.

The 2021 Capital Improvement Plan was then discussed with Council not having any new recommendations. Fire Station #3 was discussed and Fire Chief Raczkowski stated he met with an architect and the estimated cost was between 1.2M to 1.4M to building the new station. Councilmember Kirkeide stated it would be best to push it out further in order to keep the cost for the City down since current inflation rates have increased and there are labor shortages. Council also believes it would be a good idea to put extra reserves into the Fire Station project as well as the Revolving Street Fund to help smooth out the cash flow.

6.0 Discussion of Revolving Street Fund and Transfer

Finance Director Worcester showed the Council the 10-year plan for the Revolving Street Fund and stated in 2024 it is expected the fund will have a deficit of 1.4M. Finance Director Worcester went on to state that at the last Road Committee meeting it was recommended to do a \$550,470 transfer from the General Fund to the Revolving Street Fund and would be bringing this forward at the next council meeting for approval. Finance Director Worcester also stated budgeted transfers will increase \$50,000 year after year to help fund the Revolving Street Fund. Councilmember Kirkeide stated that projects will also be pushed back to help alleviate the deficit until the City gets to the period where there were no projects completed in the previous years. Then at that point the City can rebuild the fund. Councilmember Kirkeide stated new roads are also being built to better standards, which will help keep costs down in the future.

Motion by Kirkeide, seconded Kirkham, to adjourn the meeting at 7:58 p.m. All in favor, motion carried.

Andrea Worcester, Finance Director

**CITY OF HAM LAKE
CLAIMS SUBMITTED TO COUNCIL
July 6, 2021**

CITY OF HAM LAKE

EFTS, CHECKS, AND BANK DRAFTS	6/24/21 - 7/8/21	
EFT	# 1471 - 1480	\$ 7,987.78
CHECKS	# 63063 - 63106	\$ 399,612.30
BANK DRAFTS	DFT0002235 - DFT0002238	\$ 24,946.56
TOTAL EFTS, CHECKS, AND BANK DRAFTS		\$ 432,546.64

PAYROLL CHECKS		
07/02/21		\$ 39,283.07

TOTAL PAYROLL CHECKS		\$ 39,283.07
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TRUST CHECKS	#5675 - 5694	\$ 37,550.00
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TOTAL OF ALL PAYMENTS		\$ 509,379.71
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VOID CHECKS
 EFT
 CHECKS
 TRUST CHECKS

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 6TH DAY OF JULY 2021

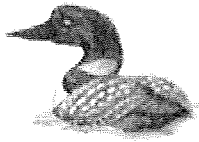
MAYOR

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER



Payment Dates 6/24/2021 - 7/8/2021

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1471	OPTUM BANK - 6011	Health Savings Account-6011	Flexible spending	100-21705	54.17
1472	WELLS FARGO - 6003	Health Savings Account-6003	Flexible spending	100-21705	125.00
1473	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	100.27
1473	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1473	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	100.27
1473	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1474	BRODIN PRESS	JULY HAM LAKER	Editing	211-41704-3125	900.00
1475	DELTA DENTAL PLAN OF MINN	JULY DK COBRA	COBRA receivable	100-11502	42.00
1475	DELTA DENTAL PLAN OF MINN	JULY DENTAL	Flexible spending	100-21705	957.90
1476	MATTHEW DOWNING	URRWMO MEETINGS (1/5, 1/	Advisory/representative	100-43201-1610	120.00
1476	MATTHEW DOWNING	SRWMO MEETINGS (1/7 & 5/	Advisory/representative	100-43201-1610	60.00
1477	MOBILE HEALTH SERVICES LLC	SCBA EXAMS	Personnel testing & recruitme	100-42201-3150	4,510.00
1478	O'REILLY AUTOMOTIVE STORE	ADAPTER	Operating supplies	100-43101-2290	21.99
1478	O'REILLY AUTOMOTIVE STORE	#97 LAMPS, REFRIGERANT	Vehicle parts & supplies	100-43101-2340	145.53
1478	O'REILLY AUTOMOTIVE STORE	#97 WIPER BLADE	Vehicle parts & supplies	100-43101-2340	19.50
1478	O'REILLY AUTOMOTIVE STORE	CARB CLEANER	Operating supplies	100-43101-2290	23.88
1478	O'REILLY AUTOMOTIVE STORE	FUEL FILTER	Operating supplies	100-43101-2290	4.08
1478	O'REILLY AUTOMOTIVE STORE	POWER BEAD	Operating supplies	100-43101-2290	17.99
1478	O'REILLY AUTOMOTIVE STORE	GENERATOR BATTERY	Building repair & maintenanc	100-41702-2310	152.03
1479	TERI MCMAHON	MENARDS - PAR TAG VELCRO	Operating supplies	100-42201-2290	9.17
1480	WICK COMMUNICATIONS	JULY HAM LAKER	Printing	211-41704-3970	600.00
63063	US BANK CORPORATE PAYME	AMAZON-File Folder Labels-D	Office supplies	100-41201-2110	89.95
63063	US BANK CORPORATE PAYME	ZOOM-June 2021 Zoom-DW	Dues & subscriptions	100-41201-3920	12.84
63063	US BANK CORPORATE PAYME	AMAZON-3 ring binder tabs-N	Office supplies	100-41701-2110	5.66
63063	US BANK CORPORATE PAYME	AMAZON-shipping-NW	Office supplies	100-41701-2110	5.99
63063	US BANK CORPORATE PAYME	WAL-MART- USB-Sheriff video	Office supplies	100-41701-2110	57.59
63063	US BANK CORPORATE PAYME	GFOA-CAFR Review-AW	Other professional services	100-41701-3190	460.00
63063	US BANK CORPORATE PAYME	MN DVS-Credit card fee-JW	Credit card & bank fees	100-41701-4130	1.16
63063	US BANK CORPORATE PAYME	AMAZON-desk calendar-NW	Office supplies	100-42201-2110	12.99
63063	US BANK CORPORATE PAYME	HOIST FITNESS-Weight Mach	Equipment parts & supplies	100-42201-2320	41.25
63063	US BANK CORPORATE PAYME	FIRE SAFETY USA-Stoz Elbows-	Equipment repair & maintena	100-42201-3440	573.07
63063	US BANK CORPORATE PAYME	DPS FIREFIGHTER LICENSING-	Dues & subscriptions	100-42201-3920	50.00
63063	US BANK CORPORATE PAYME	ICC-2020 Code Books Tax Cre	Codes & standards	100-42401-2820	-16.74
63063	US BANK CORPORATE PAYME	ICC-Updated Code Books Tax	Codes & standards	100-42401-2820	-14.60
63063	US BANK CORPORATE PAYME	AMAZON-Keyboard/Mouse a	Computer & software support	100-42401-3120	74.74
63063	US BANK CORPORATE PAYME	NACD-#86 REPAIR PARTS-JW	Equipment parts & supplies	100-43101-2320	1,251.00
63063	US BANK CORPORATE PAYME	BP-HAM LAKE-Fuel for 2 cycle	Operating supplies	100-44101-2290	100.00
63063	US BANK CORPORATE PAYME	MN DVS-#104 Title-JW	Capital assets	430-43101-5110	47.25
63063	US BANK CORPORATE PAYME	BROCK WHITE-RED FOX HOLL	Capital assets	440-44103-5110	43.15
63065	ALL SEASON SERVICES INC	SODERVILLE DRIVE - BLACK DI	Street supplies	431-43301-2330	600.00
63066	ALLDATA LLC	DATABASE SUBSCRIPTION 7/8	Software licenses & upgrades	100-43101-2510	1,500.00
63067	AME RED-E-MIX, INC	RED FOX HOLLOW PLAYGROU	Capital assets	440-44103-5110	754.10
63068	ANOKA COUNTY TREASURY D	JULY BROADBAND FIRE #2	Internet & website	100-41301-3220	75.00
63068	ANOKA COUNTY TREASURY D	JULY BROADBAND	Internet & website	100-41301-3220	37.50
63069	ARCHITECT MECHANICAL INC	CITY HALL AIR CONDITIONING	Building repair & maintenanc	100-41702-3420	280.00
63070	ASPEN MILLS INC	UNIFORM - MR	Clothing & personal protectiv	100-42201-2210	215.00
63070	ASPEN MILLS INC	UNIFORM - DL	Clothing & personal protectiv	100-42201-2210	184.08
63071	CENTRAL WOOD PRODUCTS I	RED FOX HOLLOW WOOD CHI	Capital assets	440-44103-5110	1,675.00
63071	CENTRAL WOOD PRODUCTS I	STORM CLEANUP - BRUSH & L	Operating supplies	100-43101-2290	40.00
63072	CITY OF ROSEVILLE	LASERFICHE - TK	Software licenses & upgrades	100-42401-2510	894.54
63073	CONNEXUS ENERGY	GARAGE	Electricity	100-41702-3610	34.54
63073	CONNEXUS ENERGY	CITY HALL	Electricity	100-41702-3610	1,383.10
63073	CONNEXUS ENERGY	SOUTH WELCOME	Electricity	100-41703-3610	14.44
63073	CONNEXUS ENERGY	CITY SIGN	Electricity	100-41703-3610	129.13

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
63073	CONNEXUS ENERGY	FIRE #1	Electricity	100-42202-3610	445.97
63073	CONNEXUS ENERGY	FIRE #2	Electricity	100-42202-3610	413.86
63073	CONNEXUS ENERGY	SIRENS	Electricity	100-42302-3610	65.00
63073	CONNEXUS ENERGY	PW	Electricity	100-43104-3610	1,159.32
63073	CONNEXUS ENERGY	BUNKER/LEXINGTON SIGNALS	Electricity	100-43401-3610	73.98
63073	CONNEXUS ENERGY	HWY 65/ANDOVER BLVD SIGN	Electricity	100-43401-3610	83.23
63073	CONNEXUS ENERGY	RADISSON/BUNKER SIGNALS	Electricity	100-43401-3610	85.91
63073	CONNEXUS ENERGY	HWY 65/BUNKER SIGNALS	Electricity	100-43401-3610	94.36
63073	CONNEXUS ENERGY	HWY 65/CONSTANCE SIGNALS	Electricity	100-43401-3610	137.90
63073	CONNEXUS ENERGY	CROSSTOWN/HWY 65 SIGNAL	Electricity	100-43401-3610	85.24
63073	CONNEXUS ENERGY	STREET LIGHTS #2	Electricity	100-43401-3610	282.56
63073	CONNEXUS ENERGY	STREET LIGHTS #1	Electricity	100-43401-3610	25.54
63073	CONNEXUS ENERGY	BUNKER/JEFFERSON SIGNALS	Electricity	100-43401-3610	68.70
63073	CONNEXUS ENERGY	LEXINGTON/CROSSTOWN SIG	Electricity	100-43401-3610	51.15
63073	CONNEXUS ENERGY	HAM LAKE PARK	Electricity	100-44101-3610	125.58
63073	CONNEXUS ENERGY	SODERVILLE PARK WELL	Electricity	100-44101-3610	19.80
63073	CONNEXUS ENERGY	SODERVILLE PARK	Electricity	100-44101-3610	38.10
63073	CONNEXUS ENERGY	LION'S PARK CONCESSION	Electricity	100-44102-3610	102.47
63073	CONNEXUS ENERGY	HAM LAKE PARK CONCESSION	Electricity	100-44102-3610	160.75
63073	CONNEXUS ENERGY	HAM LAKE PARK SHELTER	Electricity	100-44102-3610	32.93
63073	CONNEXUS ENERGY	HAM LAKE PARK BUILDING	Electricity	100-44102-3610	170.39
63073	CONNEXUS ENERGY	LION'S PARK PAVILION	Electricity	100-44102-3610	141.34
63073	CONNEXUS ENERGY	SR CENTER	Electricity	100-44202-3610	744.74
63073	CONNEXUS ENERGY	STREET LIGHTS	Electricity	232-43701-3610	4,470.98
63075	CONNEXUS ENERGY	MAY HAM LAKE WELL	Electricity	100-44101-3610	304.73
63076	COON CREEK WATERSHED DIS	LUND LAKEVIEW FOREST ESC	Performance escrows receive	431-11503	4,400.00
63077	CUSTOM CAP & TIRE	#100 TIRES	Equipment parts & supplies	100-43101-2320	295.00
63078	DEARBORN LIFE INS CO	JULY VOL LIFE	Other payroll deductions	100-21706	152.70
63078	DEARBORN LIFE INS CO	JULY LIFE	Other payroll deductions	100-21706	54.40
63079	DEHN OIL CO	300 GAL. GASOLINE	Fuel	100-43101-2230	802.50
63079	DEHN OIL CO	500.3 GAL DIESEL	Fuel	100-43101-2230	1,295.78
63080	DO ALL PRINTING	JULY HAM LAKER DELIVERY	Other services and charges	211-41704-3990	130.00
63081	HAM LAKE HARDWARE INC	SPARK PLUG, MISC	Operating supplies	100-43101-2290	23.97
63081	HAM LAKE HARDWARE INC	GROUNDED PLUG	Operating supplies	100-43101-2290	3.99
63081	HAM LAKE HARDWARE INC	HOOK	Operating supplies	100-44101-2290	5.49
63082	HIEN NGO	LIQUOR LICENSE REFUND - NE	Beer & liquor license	100-32102	380.00
63083	MINNESOTA EQUIPMENT	WEED WHIP FILTERS, SPARK P	Equipment parts & supplies	100-44101-2320	26.05
63083	MINNESOTA EQUIPMENT	WEED WHIP KNOB	Equipment parts & supplies	100-44101-2320	3.98
63083	MINNESOTA EQUIPMENT	WEED WHIP PARTS	Equipment parts & supplies	100-44101-2320	23.85
63083	MINNESOTA EQUIPMENT	#46 GASKET	Equipment parts & supplies	100-44101-2320	2.45
63084	MINUTEMAN PRESS INC	SEPTIC REMINDER CARDS	Office supplies	100-42401-2110	464.51
63085	MN FIRE SERVICE CERT BOAR	INSTRUCTOR 1 CERT EXAM	Training/conferences/schools	100-42201-3510	120.00
63086	MN METRO NORTH TOURISM	MAY LODGING TAX	Convention bureau	263-46101-4120	2,699.21
63087	MN/WI PLAYGROUND INC	PLAYGROUND CONSULTANT-R	Capital assets	440-44103-5110	2,160.00
63088	NCPERS GROUP LIFE INSURAN	JULY LIFE	Other payroll deductions	100-21706	96.00
63089	NEW BRIGHTON FORD	#89 LIGHT/LENS	Vehicle parts & supplies	100-43101-2340	45.62
63089	NEW BRIGHTON FORD	#89 MUFFLER, PIPE, CHAMBE	Vehicle parts & supplies	100-43101-2340	38.49
63090	NEW LOOK CONTRACTING IN	TWIN BIRCH ACRES	Contractors	431-43301-3810	266,056.05
63091	NORTH METRO MAINTENANC	CLEANING	Cleaning service	100-41702-3430	625.00
63091	NORTH METRO MAINTENANC	CLEANING-FIRE #1	Cleaning service	100-42202-3430	130.00
63091	NORTH METRO MAINTENANC	CLEANING-FIRE #2	Cleaning service	100-42202-3430	115.00
63091	NORTH METRO MAINTENANC	CLEANING	Cleaning service	100-43104-3430	100.00
63091	NORTH METRO MAINTENANC	CLEANING	Cleaning service	100-44202-3430	230.00
63092	OCCUPATIONAL HEALTH CENT	DRUG TESTING	Personnel testing & recruitme	100-44101-3150	58.00
63093	PEARSON BROTHERS INC	SEAL COATING	Blacktop maintenance	100-43101-3410	77,543.82
63094	QUADIENT FINANCE USA INC	POSTAGE	Postage	100-41701-2120	500.00
63095	S & S INDUSTRIAL SUPPLY INC	MISC SUPPLIES	Operating supplies	100-43101-2290	18.12
63096	SCHAEFFER MANUFACTURIN	NEW MOWER SUPPLIES	Equipment parts & supplies	100-44101-2320	512.90
63097	SHI	OFFICE PRO 2019 - TK	Software licenses & upgrades	100-41701-2510	365.00
63098	SITEONE LANDSCAPE SUPPLY	RED FOX HOLLOW TIE DOWN	Capital assets	440-44103-5110	77.00

Council Approval List

Payment Dates: 6/24/2021 - 7/8/2021

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
63098	SITEONE LANDSCAPE SUPPLY	RED FOX HOLLOW WEED BAR	Capital assets	440-44103-5110	236.47
63098	SITEONE LANDSCAPE SUPPLY	RED FOX HOLLOW PLAYGROU	Capital assets	440-44103-5110	118.24
63099	TASC	AUG COBRA ADMINISTRATIO	Other professional services	100-41701-3190	15.00
63100	TRI STATE BOBCAT, INC.	#47 DRIVE BELT	Equipment parts & supplies	100-44101-2320	42.79
63101	TURFWERKS	NEW MOWER CLAMP	Equipment parts & supplies	100-44101-2320	18.35
63101	TURFWERKS	NEW MOWER BREATHER	Equipment parts & supplies	100-44101-2320	146.12
63102	TYLER TECHNOLOGIES INC	ESS SUPPORT 1/22 - 7/22	Prepaid expense	100-15501	1,624.30
63102	TYLER TECHNOLOGIES INC	ESS SUPPORT 8/21 - 12/21	Computer & software support	100-41401-3120	1,160.22
63102	TYLER TECHNOLOGIES INC	SECURE SIGNATURE SUPPORT	Prepaid expense	100-15501	103.70
63102	TYLER TECHNOLOGIES INC	SECURE SIGNATURE SUPPORT	Computer & software support	100-41401-3120	74.08
63103	UNLIMITED SUPPLIES INC	MISC PARTS	Operating supplies	100-43101-2290	64.28
63104	US POSTMASTER	POSTAGE 6184 x .164	Postage	211-41704-2120	1,014.18
63105	VERIZON WIRELESS	MR, DK	Phones/radios/pagers	100-42201-3210	83.02
63105	VERIZON WIRELESS	TD, MJ, TK & 2 LAPTOPS	Phones/radios/pagers	100-42401-3210	212.94
63105	VERIZON WIRELESS	JK, JW,CH, CS, EH, & 2 LAPTOP	Phones/radios/pagers	100-43101-3210	292.57
63105	VERIZON WIRELESS	DH, AC	Phones/radios/pagers	100-44101-3210	83.02
63106	WELLS FARGO BANK N.A.	2010 CIP BOND INTEREST	Interest	370-47101-6120	14,771.88
DFT0002235	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	1,375.00
DFT0002235	EMPOWER	Roth IRA	Deferred compensation	100-21704	50.00
DFT0002236	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	5,373.80
DFT0002236	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,644.88
DFT0002236	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	6,589.36
DFT0002237	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,472.38
DFT0002238	PERA	Retirement-Coordinated	PERA	100-21703	6,385.81
DFT0002238	PERA	Retirement-Police & Fire	PERA	100-21703	1,055.33

Grand Total: 432,546.64

Report Summary

Fund Summary

Fund	Payment Amount
100 - GENERAL	131,793.13
211 - HAM LAKER	2,644.18
232 - STREET LIGHT	4,470.98
263 - LODGING TAX	2,699.21
370 - 2010 CIP BOND DEBT	14,771.88
430 - PUBLIC WORKS EQUIPMENT	47.25
431 - REVOLVING STREET	271,056.05
440 - PARK & BEACH LAND	5,063.96
Grand Total:	432,546.64

Account Summary

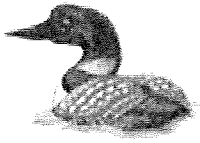
Account Number	Account Name	Payment Amount
100-11502	COBRA receivable	42.00
100-15501	Prepaid expense	1,728.00
100-21701	Federal WH/FICA/MC	13,608.04
100-21702	State W/H	2,472.38
100-21703	PERA	7,441.14
100-21704	Deferred compensation	1,425.00
100-21705	Flexible spending	1,137.07
100-21706	Other payroll deductions	303.10
100-32102	Beer & liquor license	380.00
100-41201-2110	Office supplies	89.95
100-41201-3920	Dues & subscriptions	12.84
100-41301-3220	Internet & website	112.50
100-41401-3120	Computer & software su	1,234.30
100-41701-2110	Office supplies	69.24
100-41701-2120	Postage	500.00
100-41701-2510	Software licenses & upgr	365.00
100-41701-3190	Other professional servi	475.00
100-41701-4130	Credit card & bank fees	1.16
100-41702-2310	Building repair & mainte	152.03
100-41702-3420	Building repair & mainte	280.00
100-41702-3430	Cleaning service	625.00
100-41702-3610	Electricity	1,417.64
100-41703-3610	Electricity	143.57
100-42201-2110	Office supplies	12.99
100-42201-2210	Clothing & personal prot	399.08
100-42201-2290	Operating supplies	9.17
100-42201-2320	Equipment parts & suppl	41.25
100-42201-3150	Personnel testing & recr	4,510.00
100-42201-3210	Phones/radios/pagers	83.02
100-42201-3440	Equipment repair & mai	573.07
100-42201-3510	Training/conferences/sc	120.00
100-42201-3920	Dues & subscriptions	50.00
100-42202-3430	Cleaning service	245.00
100-42202-3610	Electricity	859.83
100-42302-3610	Electricity	65.00
100-42401-2110	Office supplies	464.51
100-42401-2510	Software licenses & upgr	894.54
100-42401-2820	Codes & standards	-31.34
100-42401-3120	Computer & software su	74.74
100-42401-3210	Phones/radios/pagers	212.94
100-43101-2210	Clothing & personal prot	200.54
100-43101-2230	Fuel	2,098.28
100-43101-2240	Safety supplies	24.00
100-43101-2290	Operating supplies	218.30
100-43101-2320	Equipment parts & suppl	1,546.00

Account Summary

Account Number	Account Name	Payment Amount
100-43101-2340	Vehicle parts & supplies	249.14
100-43101-2510	Software licenses & upgr	1,500.00
100-43101-3210	Phones/radios/pagers	292.57
100-43101-3410	Blacktop maintenance	77,543.82
100-43104-3430	Cleaning service	100.00
100-43104-3610	Electricity	1,159.32
100-43201-1610	Advisory/representative	180.00
100-43401-3610	Electricity	988.57
100-44101-2290	Operating supplies	105.49
100-44101-2320	Equipment parts & suppl	776.49
100-44101-3150	Personnel testing & recr	58.00
100-44101-3210	Phones/radios/pagers	83.02
100-44101-3610	Electricity	488.21
100-44102-3610	Electricity	607.88
100-44202-3430	Cleaning service	230.00
100-44202-3610	Electricity	744.74
211-41704-2120	Postage	1,014.18
211-41704-3125	Editing	900.00
211-41704-3970	Printing	600.00
211-41704-3990	Other services and charg	130.00
232-43701-3610	Electricity	4,470.98
263-46101-4120	Convention bureau	2,699.21
370-47101-6120	Interest	14,771.88
430-43101-5110	Capital assets	47.25
431-11503	Performance escrows re	4,400.00
431-43301-2330	Street supplies	600.00
431-43301-3810	Contractors	266,056.05
440-44103-5110	Capital assets	5,063.96
	Grand Total:	432,546.64

Project Account Summary

Project Account Key	Payment Amount
None	165,890.59
201709-160	600.00
201805-140	266,056.05
	Grand Total:
	432,546.64



City of Ham Lake, MN

EFT Payroll Check Register Report Summary

Pay Period: 6/13/2021-6/26/2021

Packet: PYPKT01174 - PPE 06/26/21 PAID 07/02/21

Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	38	39,283.07
Total	38	39,283.07

CITY OF HAM LAKE-TRUST
MONTHLY CHECK REGISTER
 June 17 - 30, 2021

1:47 PM
 06/30/21
 Accrual Basis

Type	Date	Num	Name Contact	Memo	Amount
Jun 17 - 30, 21					
Check	06/18/2021	5675	DINGMAN CUSTOM HOMES	TURF ESCROW 2852 - 147TH AVENUE	-2,500.00
Check	06/18/2021	5676	KATHRYN POTTHOFF	06/13/21 HAM LAKE PARK DEPOSIT	-150.00
Check	06/18/2021	5677	REGENCY HOMES	DRIVEWAY ESCRO 14466 MARMON	-2,600.00
Check	06/18/2021	5678	REGENCY HOMES	TURF ESCROW 14466 MARMON	-2,500.00
Check	06/18/2021	5679	TH CONSTRUCTION	TURF ESCROW 3634-172ND LANE	-2,500.00
Check	06/24/2021	5680	LAURA REGINO	06/20/21 LION'S PARK DEPOSIT	-150.00
Check	06/24/2021	5681	ANTHONY PELOQUIN	06/19/21 HAM LAKE PARK DEPOSIT	-150.00
Check	06/24/2021	5682	ELDORA ANDERSON	06/19/21 LION'S PARK DEPOSIT	-150.00
Check	06/28/2021	5683	SHARPER HOMES	TURF ESCROW 16535 WAKE STREET NE	-2,500.00
Check	06/28/2021	5684	LANG BUILDERS INC	DRIVEWAY ESCROW 13747 GHIA STREET	-2,600.00
Check	06/28/2021	5685	LANG BUILDERS INC	TURF ESCROW 13747 GHIA STREET	-2,500.00
Check	06/28/2021	5686	LANG BUILDERS	DRIVEWAY ESCROW 4701-145TH AVE	-2,600.00
Check	06/28/2021	5687	LANG BUILDERS	TURF ESCROW 4701-145TH AVENUE	-2,500.00
Check	06/28/2021	5688	PARENT CUSTOM HOMES	DRIVEWAY ESCROW 4823-145TH AVENUE	-2,600.00
Check	06/28/2021	5689	PARENT CUSTOM HOMES	TURF ESCROW 4823 - 145TH AVENUE	-2,500.00
Check	06/30/2021	5690	FELICE SCHILLING	6/16/21 HAM LAKE PARK DEPOSIT	-150.00
Check	06/30/2021	5691	CHAD LEMM	06/27/21 LION'S PARK DEPOSIT	-150.00
Check	06/30/2021	5692	REGENSCHEID INVESTMENTS	DEMO ESCROW 3571 INTERLACHEN DR	-3,750.00
Check	06/30/2021	5693	SHARPER HOMES	TURF ESCROW 17337 - 3RD ST	-2,500.00
Check	06/30/2021	5694	BRANDON BRAASTAD	TURF ESCROW 2300-153RD AVE	-2,500.00
Jun 17 - 30, 21					-37,550.00

Meeting Date: July 6, 2021

CITY OF HAM LAKE

STAFF REPORT

To: Mayor and Councilmembers

From: Denise Webster, City Administrator

Subject: 2022 North Metro Telecommunications Commission Budget (NMTV)

Introduction/Discussion: Attached is a copy of the NMTV 2022 proposed budget which has been approved by the Operations Committee and the Commission.

Recommendation: I recommend approval of the 2022 North Metro Telecommunications Budget as presented.



June 21, 2021

TO: NMTTC OPERATIONS COMMITTEE

**RE: APPROVAL OF 2022 NORTH METRO TELECOMMUNICATIONS
COMMISSION BUDGET**

Enclosed, please find for the council's review and approval the 2022 North Metro Telecommunications Commission Budget and support materials.

The Commission's operating budget for 2022 is proposed at \$1,353,056. This number represents a \$14,617 increase over last year's operating budget. The increase is due entirely to an up to 2.75% COLA increase. Any actual increase will be determined later in 2021, and will be dependent upon whether income meets or exceeds expectations.

Budgeted capital costs for 2022 are \$727,496. Capital expenditures include video equipment for North Metro TV, office equipment, closed captioning equipment, \$228,480 for the HD Bond payment, and \$225,000 to be returned to cities for capital expenditures. Some NMTV video equipment expenditures and the introduction of closed captioning may be revisited later in 2021, if income estimates do not meet expectations.

Recommendation: That the Member Cities approve the 2022 Commission Budget as recommended by the Telecommunications Commission and the Operations Committee.

The Joint Powers Agreement states, "submitted budgets shall be deemed approved by a Member City unless, prior to October 15 preceding the effective date of the proposed budget, the Member City gives notice in writing to the Commission that it is withdrawing from the Commission."

I want to thank the Commission directors, staff, and the Operations Committee for their efforts in preparing these budgets. If you have any questions about either budget please consult with your Commission director or City Administrator.

Page 2

I look forward to working with all parties, throughout the remainder of 2021, toward reaching the full potential of North Metro TV and to increase both the quality and quantity of community programming and services in 2022.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Nelson".

Robert Nelson
Chair, North Metro Telecommunications Commission

Enc.

2022 North Metro Telecommunications Commission Budget Talking Points

Overall Organizational Goals

- Continue with organizational assessment and strategy.
- Better define income parameters with information from court decisions and franchise renewal.
- Introduce closed-captioning to the system.
- Grow commercial remote productions streaming service.
- Continue with franchise renewal negotiations.
- Continue to provide staff for meeting coverage.
- Continue to be responsive to cities communications needs.
- Maintain accessibility of all channels through live streaming, OTT channels, and video on demand services, 24-hours-a-day, on any device.
- Provide program playback, video transport, channel management services, video equipment maintenance and consulting services, internet streaming services for city channels, VOD libraries for meetings, meeting management software licenses and bookmarking services, program production and event coverage services, home-media transfer services, and public access to television production for our cities, schools and general public.

Estimated Fund Balance/Revenues/Expenses

- The beginning fund balances for 2022 are estimates based on previous allocations, planned spending for 2021, and estimated income.
- Estimated revenues include: Franchise fees, including the actual first quarter franchise fee payment, with anticipated reductions across quarters two through four. PEG fees based on estimated number of subscribers, throughout 2022, multiplied by the PEG fee, or by a percentage in a new franchise document. Other income includes dub fees, home movie transfers, drone, and production services. Interest income is estimated based on the first quarter interest earnings of this year.
- Estimated expenditures include the operating expenses and capital expenses including the bond payment, production and office equipment, and the fee payment to the cities.
- The year end fund balances include:
 - The **Operating reserve** traditionally at 25% of the operating budget. Temporarily includes additional allocations for possible 2022 budgetary support.
 - **Accrued vacation, sick and comp** time. The total value of owed vacation, sick, and comp time to employees.

- The **capital equipment fund** is intended for emergency replacement of unplanned equipment failures. Could also be used for closed captioning equipment.
- The **vehicle replacement fund** is to cover the cost of a new fleet vehicle.
- The **building repair fund** is to cover major costs related to the building such as windows, roof, furnace, parking lot, AC replacement and painting, carpet replacement etc.
- The **franchise renewal fund** is a reserve fund for the NMTC's franchise renewal process. Franchise renewal can be very expensive, with the informal negotiation process historically costing around \$200,000 across the renewal period. Moving to a formal negotiation process is more expensive. These costs include needs assessments, consulting, and legal fees.

Budget

- The recommended operating budget for the organization totals \$1,353,056. This number is a \$14,617 increase over last year's operating budget. If income does not meet expectations, COLA increases will be reexamined.
- Budgeted capital purchases for 2022 are set at \$727,496. Budgeted capital items include channel server replacements, a tripod for the truck, several cameras, microphones, and closed captioning equipment. The capital budget also includes routine computer/software upgrades, and software licenses. The HD Bond payment of \$228,480 and \$225,000 in capital equipment support for cities are also included.
- Some reductions may be made in capital equipment expenditures. If necessary, fewer channel servers could be purchased and introduction of closed captioning could be delayed.

Closing Points

- We have worked together to create a thriving and dynamic service for our cities, schools, producers, and viewers. Through program playback and channel management, internet streaming of city meetings including an agenda bookmarking tool, channel live streaming, Roku and AppleTV channels, video equipment consulting, drone services, and video production services, our cities are seeing real benefits from their investment of franchise fees and PEG fees. Our cable subscribers are benefiting from this investment with educational opportunities, tape and film transfer services, and varied, informative and interesting programming regarding their communities.
- While financial circumstances may dictate modifications, North Metro TV will continue to serve as a vital, responsive, and economical local communication resource.
- 2022 will be a busy year for the Commission. Franchise renewal will move forward, questions regarding funding will be answered, and the new service of

closed captioning will be provided...all under a backdrop of self-examination and responsive change.

North Metro Telecommunications Commission
2022 FINANCIAL SUMMARY
Estimated Fund Balances/Revenues/Expenditures.

BEGINNING FUND BALANCES

Operating Reserve	\$395,656
Accrued Vac, Sick, Comp	\$120,000
Capital Equip. Fund	\$253,323
Vehicle Replacement Fund	\$45,000
Bldg Repair Reserve	\$200,000
Franchise Renewal Fund	\$200,000
Bond Reserve	\$0

TOTAL: \$1,213,979

ESTIMATED REVENUES

Franchise Fees	\$1,150,000
PEG Fees	\$700,000
Other Income	\$25,000
Interest Income	\$500
Income From Reserve Funds	\$205,052

TOTAL: \$2,080,552

ESTIMATED EXPENDITURES

Operating Expenses	\$1,353,056
Capital Expenses: Equipment	\$274,016
Capital Expenses: Bond Payment	\$228,480
Capital Expenses: PEG Fees to Cities	\$225,000

TOTAL: \$2,080,552

YEAR END FUND BALANCES

		Increase(Decrease)
Operating Reserve	\$338,264	-\$57,392
Accrued Vac, Sick, Comp	\$120,000	\$0
Capital Equip. Fund	\$155,663	-\$97,660
Truck Replacement Fund	\$45,000	\$0
Bldg Repair Reserve	\$200,000	\$0
Franchise Renewal Fund	\$150,000	-\$50,000
Bond Reserve	\$0	\$0

TOTAL: \$1,008,927 -\$205,052

North Metro Telecommunications Commission

Budget Line Item Supporting Information

Personnel

- As with last year, there is some uncertainty regarding income. The personnel line-item is our largest, and, usually, the only budget area that experiences any fluctuation from year to year. Last year I had planned to include no COLA increase because of income concerns. At that time, it was recommended that an up-to COLA increase be put in the budget as a separate line-item that could be revisited based on income. I have followed that same protocol this year. Based on information provided by the Operations Committee, I have budgeted an up-to 2.75% COLA increase as a separate line-item. The personnel total could increase by \$21,984. The possible increase would cover a step increase for one employee, and an up-to 2.75% COLA increase. Final salary determinations can be made when a clearer understanding of income for 2022 is known.
- Part-time staff is divided into two groups; freelancers and 20 hour-per-week staff. Employees in the freelancer group are contracted when needed for a sports shoot or to cover a city meeting and generally do not work enough to qualify for PERA. The second part-time designation is for two 20 hours per week positions that do qualify for PERA. Neither category is eligible for health benefits. Payroll taxes apply.

Benefits

- The NMTC employee benefits package budget is based on the values of the benefits packages offered by the Member Cities to their employees. It is budgeted at \$1,225.00 per person/per month. This is \$30 more than was budgeted for 2020 and for 2021. This amount is less than the average of Member City package values for 2022 (average = \$1,285) The benefits package was not increased last year, so currently remains at the 2020 level.
- All indications are that the NMTC's contribution to PERA will remain at 7.5% in 2022.
- If no COLA increases are given the benefits line-item would decrease by \$3,331.

Administrative Expenses

- Budgeted administrative expenses are \$20,000 less than 2021. The difference is that \$20,000 was budgeted for a consultant in 2021 to analyze the needs of the organization going forward. That amount was removed from the 2022 budget. It is anticipated that there will be no need to conduct a technical audit or additional franchise or PEG fee audits of Comcast in 2022.

Production Expenses

- Budgeted production expenses are \$1,000 more than 2021. The DVD/Flash Drive/Cases line-item was increased to reflect actual 2020 costs.
- All other production expenses remain near the 2021 level.

Office Expenses

- Office expenses are budgeted \$1,900 more than the 2021 level.
- The building maintenance line-item remains at \$30,000. Building maintenance includes the furnace/AC maintenance contract, lawn care, snow removal, carpet and window cleaning, fire inspection, and landscaping and building mechanical services. While expenses have been high in 2020 and so far in 2021, it includes some COVID related costs.
- The building utilities line item remains at \$30,000. Building utilities include sewer, water, gas, and electric.
- Insurance includes all property, liability, crime, volunteer, vehicle, and monument sign coverage.
- Office supply line-item includes all office supplies, and maintenance contracts on printers and copiers. It was reduced by \$3,500.
- The Telephone/Internet/Web Hosting line-item was increased by \$5,000 over the 2021 budget. The increase will cover probable cost increases for bandwidth. Bandwidth is required to transport signals from city hall. NMTV continues to pay a fee to house video-on-demand and streaming content on a remote server. This allows for unlimited simultaneous viewing, without a reduction in speed, or an inordinate amount of bandwidth for that purpose. The line-item also covers the wireless live transmission of sporting events and other field productions. The website maintenance contract, web hosting, telephone costs, license fees for our Roku and AppleTV apps, and the annual phone software upgrade are also included.
- Postage covers the cost of mailing dubs and equipment for contract maintenance, and other postage for the NMTC.
- Property tax is for the recycling assessment. It went up by \$1,000 in 2021, so the line-item was increased to reflect that charge.
- Building cleaning, trash, recycling, and hazardous material disposal/recycling.

Capital Expenditures

- The 2022 capital budget currently includes \$186,016 for production equipment, \$60,000 for the introduction of closed captioning, \$28,000 for office systems, \$228,480 for the HD bond payment, and \$225,000 for city capital expenses. The only capital item set in stone for the 2022 budget is the HD bond payment. The majority of the equipment budget is dedicated to master control server upgrades. The current 9 channel servers will outlive their hardware support lives as of May 22, 2022. Having hardware support means that if a channel server goes down we will have a replacement server within 24 hours. Without the contract we would have to wait until the failing server is repaired or until we could replace the server with a new one. That means a channel would be down for that period of time. We can't pick which channel is down. It would be whichever channel is housed on that server. Money was also budgeted to introduce one closed captioning unit to the system. Other capital items for 2022 have been kept to a bare minimum and include a tripod system for the production truck, microphone replacements, two camcorders and the annual maintenance/support/insurance contracts for city and NMTV Tighrope, Ross, Haivision and Carousel equipment.
- Office equipment includes routine computer and software upgrades, and software licenses for office and editing computers

- Fees back to Cities are included as a capital cost. Once the franchise is renewed with Comcast PEG fees could be restricted to capital costs. In such a case, any PEG fees used for operating costs would result in lower franchise fees. As such, PEG fees will be returned to cities for equipment upgrades and reserves.

Summary

- Depending on COLA and benefits decisions, operating expenses could be \$10,329 less than in 2021, or up to \$14,617 more than was budgeted in 2021.
- Capital equipment expenditures are budgeted at \$186,016. It is possible to reduce this expenditure to \$153,216. The majority of the equipment expenditures are for master control servers.
- Delaying the introduction of closed captioning would decrease the capital budget by \$60,000
- It is recommended that fees returned to cities be included in capital expenditures in order to maximize fee payments in the future. This budget includes \$225,000 in fees for city capital expenditures and capital reserves.

2022
North Metro Telecommunications Commission Budget

	2020 ACTUAL	2021 BUDGET		2022 BUDGET	NOTES
		Budget	April Act.		
PERSONNEL					
Director Meeting Per Diem	3,780	0	0	0	7 per month @ \$45
Executive Director (1) FT	95,666	94,886	29,197	94,886	Heidi Arnson
IT Engineer/ Administrative Asst.	71,561	70,967	21,837	70,967	Rose Valez
Video Engineer (1) FT	71,561	70,967	21,837	70,967	Matt Waldron
Sports Director (1) FT	64,325	63,799	19,629	63,799	Kenton Kipp
News Director (1) FT	64,325	63,799	19,629	63,799	Danika Peterson
Programming Coord. (1) FT	58,774	58,305	17,939	58,305	Michele Silvester
Ed./Special Projects Coord. (1) FT	58,774	58,305	17,939	58,305	T.J. Tronson
Municipal Producer (1) FT	48,573	51,214	15,197	51,214	Trevor Scholl
Sports Producer (1) FT	48,486	51,214	15,008	51,214	Jeremy Millington
News Producer (1) FT	45,165	48,772	14,291	51,214	Rusty Ray
Studio Manager (1) FT	58,774	58,305	17,939	58,305	Eric Houston
Freelancers/Sports/Meetings	62,921	74,473	33,462	74,473	Freelancers Sports/City Mtgs
20 Hour per Week Assistants (2)	12,150	34,384	0	34,384	News/City Mtgs/Sports
Contingency Up to 2.75% COLA	0		0	21,984	
PERSONNEL TOTAL:	764,835	799,390	243,904	823,816	Up to 2.75 % COLA increase 1 staff w/ step increase
BENEFITS					
FICA	56,190	49,562	17,786	49,562	6.2% of gross wages
Medicare		11,592		11,592	1.45% of gross wages
PERA	53,680	59,955	16,747	59,955	7.50% of FT gross wages
Benefits Package	154,757	157,740	66,207	161,700	Health/Dental/STD, LTD, ADD
Workers Compensation	8,708	2,000	1,016	2,000	
Electronic Filing Charges	1,456	2,000	444	2,000	
Contingency COLA Tax Increase				3,331	Dependent on any COLA increase
BENEFITS TOTAL:	274,791	282,849	102,200	290,140	
*Benefits package = based on cities \$1,225 per employee/per month \$30 increase over 2020					
\$1,241 = 2020 average					
\$1,285 = 2022 average					

2022
North Metro Telecommunications Commission Budget

	2020 ACTUAL	2021		2022	NOTES
		Budget	April Act.		
ADMINISTRATIVE EXPENSES					
Audit: Commission	16,925	16,500	0	17,000	Annual audit of Commission finances
Audit: Company	0	0	0		
Conferences	0	500	0		
Consultants	800	20,000	0		
General/Special Meeting Expenses	477	1,000	0	1,000	
Government/Legislative Affairs	0	0	0		
Legal Fees	38,168	50,000	8,355	50,000	Franchise renewal/FCC Issues
Membership Dues	5,221	5,500	5,281	5,500	NATOA, MACTA, Arts Alliance, Cof C
Mileage Reimbursement	1,828	1,500	198	1,500	
Personnel Recruitment	0	0	0		
Tuition and Training	0	0	0		
Contingency Expenses	0	0	0		
ADMINISTRATIVE EX. TOTAL:	63,419	95,000	13,834	75,000	
PRODUCTION EXPENSES					
Advertising/Marketing/Entry Fees	433	1,500	54	1,000	Printed materials, entry fees
Awards Ceremony/ Entry Fees	170	0	225	0	
Bulbs/Batteries/Other Prod. Costs	2,428	4,000	842	4,000	Bulbs, Camera Batt. Duct tape
Interns	2,375	5,500	875	5,500	Stipends for internships
Truck/Fleet Vehicle Gas/Oil	1,937	2,500	471	2,500	Prod. Van & fleet vehicles
Truck/Fleet Vehicle Maint/Lic.	4,047	6,000	1,986	6,000	Prod. Van & fleet vehicles
Video Equipment/Parts/Maint.	2,198	5,000	0	4,000	Parts and Maintenance for video equip.
DVDs/Flash Drives/Cases	7,499	5,000	1,582	7,500	Blank media for masters/copies
PRODUCTION EX. TOTAL:	21,087	29,500	6,035	30,500	
OFFICE EXPENSES					
Building Maintenance	29,009	30,000	29,639	30,000	Bldg & Prop./Fire Insp./Furn. Contract
Building Security	538	800	171	700	
Building Utilities	27,090	30,000	8,951	30,000	Sewer, Water, Gas & Electric
Insurance	11,331	12,500	11,775	12,500	Liability/property/vehicle/volunteer
Office Supp./Office Equip. Maint.	11,573	16,500	3,839	13,000	Copier & Fax maint. contracts, Supplies
Phone/Internet Service/Web Hosting	37,754	33,000	12,338	38,000	VOD, Live Streaming, web maint., bandwidth
Postage/Shipping	775	2,000	49	1,000	equipment/dub/packet postage
Property Tax	389	400	1,363	1,400	Recycling assessment
Trash/Recycling/Janitorial	6,534	6,500	2,358	7,000	
OFFICE EXPENSES TOTAL:	124,993	131,700	70,483	133,600	
OPERATIONS TOTAL:	1,124,132	1,338,439	436,456	1,353,056	

2022
North Metro Telecommunications Commission Budget

	2020 ACTUAL	2021		2022	NOTES
		Budget	April Act.		
CAPITAL EXPENDITURES					
Video Equipment	117,873	100,000	73,280	186,016	MC Channel servers; cameras; tripods; mics
Closed Captioning 1 live Stream				60,000	Set-up for 1 live stream & post captioning
Computer/Office Equipment/Sftwre	21,563	28,000	3,914	28,000	office systems, software
Vehicles	0		0		
Building Expenditures	0		0		
Bond Payment	231,630	227,430	227,430	228,480	HD Upgrade
City Capital Expenditures				225,000	Equipment/Equipment Reserves
CAPITAL EXP. TOTAL:	371,066	355,430	304,624	727,496	
GRAND TOTAL:	1,495,198	1,693,869	741,080	2,080,552	

North Metro TV 2022 Equipment Budget

Master Control Service & Subscriptions

ID No.	Model No.	Make	Description	Qty	Cost	Total
2022-1	CBL-PLATINUM-4	Tightrope	4 I/O Platinum Support through Tightrope. Loaner, Night Support, Upgrade Assistance	1	3600	3600
2022-2	CBL-PLATINUM-ADDL	Tightrope	Tightrope Additional I/O Annual Software Maintenance Contract for Large Systems	8	450	3600
2022-3	CBL-REFLECT-BND	Tightrope	Cablecast Reflect Live Stream Server Subscription - 3 Channels	4	2200	8800
2022-4	M-PREM-SUPP-1	Haivision	Premium Maintenance & Support 1-Year -Renew in November-	1	4000	4000
2022-5	Ross Equipment Support	Ross	Ross Service Contract Quote 30330 - Studio Xpression, Studio Carbointes, Blackstorm, Tr	1	20000	20000
2022-6	Imagine Equipment Support	Imagine Communcial	Imagine Contract for MC Router, Encoder "Good Through April 30"	1	8600	8600
2022-7	K2-ESA-1YR	Grass Valley	Dyno Service Contract -Renew in March-	1	9500	9500
						58100.00

Master Control Equipment

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2022-11	Vio 4 Plus	Tightrope	Two 8-channel fully configurable boxes	2	32800	65600
2022-12	Vio Life	Tightrope	1 in 1 out Tightrope Box	1	9000	9000
2022-15	SVR450 VOD 10	Tightrope	Video on Demand Player with 40TB *priority	1	13900	13900
						88500.00

Control Room/Studio A

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2021-20						0
						0

Control Room/Studio B

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2021-30						0
						0

Production Truck

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2021-41	Tripod	Vinten	Vinten Vision 250 Carbon Fiber Tripod with Mid-Spreader	1	13000	13000
						13000

Sports Department

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2021-42	AG-CX350	Panasonic	Panasonic AG-CX350 4K Camcorder w Network	1	4500	4500
						4500

Public Access

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2021-50			Various Small Items: audio, hard drives, decks, transfer equipment	1	4000	4000
						4000

News Department

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2021-60	aktiv8 flowtech75	Sachtler	MS Tripod System	2	3300	6600
						6600

Special Events

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2021-71	TB50	DJI	TB50 Batterues for the Drone	4	179	716
2021-72		SD Cards	SD Cards	10	40	400
						1116

Municipal Servies

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2021-80	Cyber Shot	Sony	DSC-RX100 VII Digital Camera	1	1200	1200
						1200

Tech Shop Equipment					1200	
ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2021-90			Cable Reels, Cable Ends, Small Tools, etc.....AMOUNT LEFT			4000
						0
						4000
Various Small Items						
ID No.	Model No.	Make	Description			Total
			Small Item Budget Remaining			5000
						5000
Grand Total						186016.00

Meeting Date: July 6th, 2021



CITY OF HAM LAKE
MEMO

To: Mayor and Councilmembers
From: Andrea Worcester, Finance/Human Resource Director
Subject: Transfer from the General Fund to the Revolving Street Fund

Introduction/Discussion:

As discussed during the June 21st budget meeting, the City's General Fund increased in 2020 by \$588,609 and ended the year at \$3,818,890. This end of year fund balance contributed to a fund balance ratio is 66.6 percent and well above the 35-50 percent required by the City's Fund Balance Policy. Based on the historical trend of the City, it the fund balance ratio has been kept at an average of 57 percent year over year. In order to move back into the normal ration, a transfer of \$550,470 should be done from the General Fund.

The Revolving Street Fund's fund balance decreased \$719,920 in 2020 and ended with a total of \$898,185. In the next couple of years, the fund is going to have some large projects that it will struggle to fully fund without more revenue sources.

Recommendation:

I recommend transferring \$550,470 from the General Fund to the Revolving Street fund.

Meeting Date: July 6th, 2021



CITY OF HAM LAKE

MEMO

To: Mayor and Councilmembers

From: Andrea Worcester, Finance/Human Resource Director

Subject: Contract with the City of Wyoming to Perform Advanced Septic Inspections

Introduction/Discussion:

The Building Department currently does not have a staff member qualified to perform plan review and inspections on septic systems using over 2,500 gallons of water per day. This lack of expertise has caused the City to fall behind on State Code adhering to annual inspections of large septic systems as well as making sure new systems are built and installed correctly. In order to make sure the City is in compliance with State Statute, it must contract out an Advanced Septic Inspector to complete the inspections.

The City of Wyoming has worked with the City of Coon Rapids to perform advanced septic inspections and is willing to offer the same agreement. They would charge \$63.25 per hour for plan review and inspections. This cost would be passed onto the permit holder. This agreement has been reviewed and approved by the City Attorney.

Recommendation:

I recommend approval of the contract with the City of Wyoming to Perform Advanced Septic Inspections.

**INSPECTION SERVICES AGREEMENT BY AND BETWEEN THE CITY OF WYOMING
AND THE CITY OF HAM LAKE**

This Agreement ("Agreement") is made this ____ day of _____, 2021, by and between the City of Wyoming (hereinafter referred to as "Wyoming") and the City of Ham Lake (hereinafter referred to as "Ham Lake") for the utilization of Wyoming employees to provide Services to Ham Lake within the boundaries of Ham Lake.

WHEREAS, Ham Lake is authorized and empowered to provide for various types of building and septic system inspections and plan review services to ensure the public health, welfare, and safety; and

WHEREAS, Wyoming maintains qualified full-time staffing and personnel for the provision of these same Services within its own municipal boundaries; and

WHEREAS, Ham Lake maintains qualified staff and personnel to provide these Services, but on occasion may require assistance in performing these Services due to high volume, staff vacations, or other unforeseen circumstances, and wishes to enter into this Agreement with Wyoming in order to have assistance from Wyoming to provide these Services from time to time as needed by Ham Lake; and

WHEREAS, it is the desire of the parties and the purpose of this Agreement that certain of the aforesaid building and septic system inspection and plan review services be performed, when requested by Ham Lake, by qualified personnel of Wyoming on behalf of Ham Lake.

NOW, THEREFORE, in consideration of the mutual covenants and conditions set forth below, the above parties hereto agree as follows:

1. The term of this Agreement shall be perpetuating, until terminated pursuant to Section 6.
2. For the term of this Agreement, Wyoming, through use of its personnel, shall provide Ham Lake with the following Services ("Services"), in and on behalf of Ham Lake to the same degree and with the same effect as if the Ham Lake was performing such services and at the direction and request of Ham Lake's Chief Building Official on an as-needed basis:
 - a. Enforce all provisions of the Minnesota Building Code and;
 - b. Enforce applicable provisions of Minnesota Rule Chapters 7080, 7081, 7082, and 7083;
 - c. Provide required inspections for building and septic permits;
 - d. Furnish evidence necessary in any prosecution of the violation of applicable ordinances, rules, or regulations.

The Services Wyoming will provide under this Agreement do not include planning or zoning review unless such review is specifically related to a building permit request for a structure permitted under the Ham Lake Code or unless specifically requested by Ham Lake.

3. Wyoming shall consult with and abide by the manner in which the inspections, plan review, and activities are conducted and over the determination of what enforcement action is appropriate and consistent with applicable portions of the Ham Lake Code. Wyoming shall confer as necessary with Ham Lake staff regarding interpretation of the Code. Ham Lake shall have a duty to inform Wyoming of any and all updates or changes to the Ham Lake Code.

4. When Ham Lake desires the assistance of Wyoming with provision of the Services, Wyoming staff shall take direction from Ham Lake Chief Building Official for all work performed under this Agreement.
5. Ham Lake shall pay Wyoming for the Services provided at the request of Ham Lake at the current rates and fees found in the City of Wyoming Fee Schedule as of the date the Services are provided. Wyoming shall provide Ham Lake with a written and itemized billing statement for hourly and other fees under this Agreement. Ham Lake shall submit payment to Wyoming within 30 days of receipt of such written and itemized billing statement.
6. This agreement shall terminate as follows:
 - a. Upon the expiration of 45 days after service of written notice upon the other party at the following address: or

To Ham Lake:	City of Ham Lake Chief Building Official 15544 Central Avenue NE Ham Lake, MN 55304
To Wyoming:	City of Wyoming City Administrator 26885 Forest Blvd. P.O. Box 188 Wyoming, MN 55092
 - b. At any time, upon mutual written agreement of the parties.
7. Wyoming agrees to defend, indemnify, and hold harmless Ham Lake, and its officials, agents, and employees, from and against all claims, actions, damages, losses, and expenses arising out of or resulting from Wyoming's performance of the duties required under this Agreement, provided that any such claim, action, damage, loss, or expense is attributable to bodily injury, sickness, disease, or death or to the injury to or destruction of property including the loss of use resulting therefrom and is caused in whole or in part by any negligent act or omission or willful misconduct of Wyoming. This provision shall not be construed as a waiver by either party of any defenses, immunities, or limitations on liability with respect to claims made by third parties.
8. Ham Lake agrees to defend, indemnify, and hold harmless Wyoming, and its officials, agents, and employees from and against all claims, actions, damages, losses, and expenses arising out of or resulting from Ham Lake performance of the duties required under this Agreement, provided that any such claim, action, damage, loss, or expense is attributable to bodily injury, sickness, disease, or death or to the injury to or destruction of property including the loss of use resulting therefrom and is caused in whole or in part by any negligent act or omission or willful misconduct of Ham Lake. This provision shall not be construed as a waiver by either party of any defenses, immunities, or limitations on liability with respect to claims made by third parties.

9. Notwithstanding Sections 7 and 8, each parties' liability shall be governed by the provisions of Minnesota Statutes Chapter 466.
10. Wyoming shall carry liability insurance in the amount of at least \$1,000,000 per occurrence and \$2,000,000 in the aggregate for both Bodily Injury and Property Damage. Ham Lake shall be named as an additional insured, and a certificate of said insurance shall be provided to Ham Lake. Wyoming shall carry Worker's Compensation Insurance as required by Minnesota Statutes, Section 176.181, Subd. 2 and further agrees to provide a certificate of said insurance to Ham Lake.
11. Any employee assigned by Wyoming to perform its obligations hereunder shall remain the exclusive employee of Wyoming for all purposes including, but not limited to, wages, salary, and employee benefits.
12. It is agreed that nothing herein contained is intended or should be construed in any manner as creating or establishing the relationship of co-partners, joint parties to any joint powers agreement or similar legal relationship between the parties hereto or as constituting the persons employed by Wyoming as the agent, representative, or employee of Ham Lake for any purpose or in any manner whatsoever except as expressly otherwise provided herein. Wyoming is to be and shall remain an independent contractor with respect to all Services performed under this contract. Wyoming represents that it has, or will secure at its own expense, all personnel and equipment required in performing Services under this contract. Any and all personnel of Wyoming or other persons, while engaged in the performance of any work or Services required by Wyoming under this contract, and shall not be considered employees of Ham Lake and any and all claims that may or might arise under the Workers' Compensation Act of the State of Minnesota on behalf of said personnel or other persons while so engaged, and any and all claims whatsoever on behalf of any such person or personnel arising out of employment or alleged employment including, without limitation, claims of discrimination against Wyoming, its officers, agents, contracts, or employees shall in no way be the responsibility of Ham Lake; and Wyoming shall defend, indemnify, and hold Ham Lake, its officers, agents, and employees harmless from any and all such claims regardless of any determination of any pertinent tribunal, agency, board, commission, or court. Such personnel or other persons shall not require nor be entitled to any compensation, rights, or benefits of any kind whatsoever from Wyoming, including, without limitation, tenure rights, medical and hospital care, sick and vacation leave, Workers' Compensations, Unemployment Compensation, disability, severance pay, and PERA.
13. The books, records, documents, and accounting procedures of Wyoming relevant to this Agreement, are subject to examination by Ham Lake and either the legislative or state auditor as appropriate, pursuant to Minnesota Statutes, Section 16C.05, Subd. 5.
14. At the end of the term of this Agreement, the records created as a result of the performance of this agreement shall be filed with the Ham Lake and copies of such records shall be maintained by the Wyoming as required by applicable laws. All data collected, created, received, maintained, or disseminated for any purposes by the activities of the Ham Lake because of this contract is governed by the Minnesota Government Data Practices Act, Minnesota Statutes Chapter 13, as amended, the Minnesota Rules implementing such act now in force or as adopted, as well as federal regulations on data privacy.

15. This Agreement represents the entire Agreement between Wyoming and Ham Lake and supersedes and cancels any and all prior agreements or proposals, written or oral, between the parties relating to the subject matter hereof, any amendments, addenda, alterations, or modifications to the terms and conditions of this Agreement shall be in writing and signed by both parties.
16. Wyoming and Ham Lake agree to comply with the American with Disabilities Act and the Human Rights Act (Minnesota Chapters 363 and Title VII of the Civil Rights Act of 1964) not to discriminate on the basis of disability in the admission or access to, or treatment of employment in its Services, programs, or activities. Upon request, accommodation will be provided to allow individuals with disabilities to participate in all Services, programs, and activities. Wyoming has designated coordinators to facilitate compliance with the Americans with Disabilities Act of 1990 (ADA), as required by Section 35.107 of the U.S. Department of Justice regulations, and to coordinate compliance with Section 504 of the Rehabilitation Act of 1973, as mandated by Section 8.53 of the U.S. Department of Housing and Urban Development regulations. For information contact the City Administrator, City of Wyoming, P.O. Box 188, 26885 Forest Boulevard, Wyoming, Minnesota 55092; telephone 651-462-0575. Ham Lake agrees to hold harmless and indemnify Wyoming from costs, including but not limited to damages, attorney's fees, and staff time, in any action or proceeding brought alleging a violation of ADA by Wyoming.
17. Both parties agree to comply with all applicable state, federal, and local laws, rules, and regulations.
18. This Agreement may be executed in multiple counterparts, all of which together shall constitute one in the same instrument.

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SIGNATURE PAGE FOR BUILDING CODE INSPECTION SERVICES

CITY OF WYOMING

By: _____ Date: _____
Lisa Iverson
Mayor

Attest:

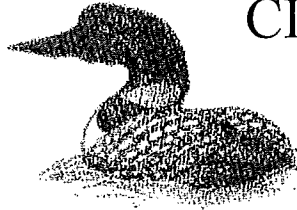
Robb Linwood
City Administrator

CITY OF HAM LAKE

By: _____ Date: _____
Mike Van Kirk
Mayor

Attest:

Denise Webster
City Administrator



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, JUNE 28, 2021

The Ham Lake Planning Commission met for its regular meeting on Monday, June 28, 2021 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Kyle Lejonvarn, Erin Dixon, Scott Heaton, Jonathan Fisher and Jeff Entsminger

MEMBERS ABSENT: Commissioner Dave Ringler

OTHERS PRESENT: City Engineer Tom Collins, Building Official, Mark Jones and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Vice Chair Dixon called the meeting to order at 6:01 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Lejonvarn, seconded by Fisher, to approve the minutes of the June 14, 2021 Planning Commission meeting as written. All present in favor, motion carried.

Chair Pogalz arrived at 6:03 p.m.

PUBLIC HEARINGS:

Jeff Stalberger, HFN Properties, LLC., requesting Preliminary Plat approval and rezoning for Hidden Forest East Park Addition (2 Single Family Residential lots) in Section 25.

Mr. Jeff Stalberger was present. Mr. Stalberger stated when the plat of Hidden Forest East 2nd Addition was approved, approval of the plat included the requirement of parkland dedication in the next phase of development. Mr. Stalberger stated the Hidden Forest East 3rd Addition plat requires 8.09 acres of land to be dedicated for parkland and Hidden Forest East Park Addition requires 1.19 acres of land be dedicated for parkland. Mr. Stalberger stated the City of Ham Lake has discussed using parkland dedication fees collected from the first two phases of the Hidden Forest East development to purchase additional land for the park. Mr. Stalberger stated he is also creating two additional single-family residential lots for construction. Engineer Collins stated the total planned park area is 27.12 acres in which 16.48 is upland and 10.64 acres is wetland. Engineer Collins stated the Coon Creek Watershed District has approved the plan, a septic certification has been done for both residential lots certifying both lots will support two standard septic systems and a Rare Plant Survey Report has been provided showing no rare plants or animals exist within the plat boundary. Vice Chair Dixon completed the inspection, a

copy which is on file. Vice Chair Dixson stated the area is an open space with tree cover and suitable for development.

Vice Chair Dixson opened the public hearing at 6:06 p.m. and asked for public comment.

Joshua Ritchie, 14137 Packard St NE, asked how much parking would be within the park and asked that the City not allow any on-street parking for the park as the roads are narrow and have S-curves; in other communities he's lived in, overflow, on-street parking from parks have caused issues. Mr. Ritchie also asked if no parking signs could be put in place.

Engineer Collins stated 143rd Avenue NE is not designed for on-street parking. Engineer Collins stated the City has not formally accepted the park nor has there been any discussion on the amenities the park may have. Engineer Collins stated speed limit signs would be warranted near the park.

Ryan Carlson, 14210 Opal St NE, asked when the park would be constructed, if the park will have a playground, ball fields or open space, and what the purpose of the park was. Mr. Carlson stated there are approximately fifty children in the Hidden Forest East development. Mr. Carlson stated families in the development would probably drive to the park as there is a great deal of large truck traffic in the neighborhood. Mr. Carlson stated he would like to know more about what the development plans are for the park area; to him if feels like the park addition is being created as a reason to allow two additional lots to be developed at the entrance to the development.

Engineer Collins stated there hasn't been any discussion on what amenities the park will have; recommendations will be made to the City's Park Committee at some point in the future and they will determine what amenities will be in the park. Engineer Collins stated the northerly portion of the designated park area is currently a sod farm; the sod farmer has requested that no park development be done on the now sodded portion of the area (northerly 50-60% of the proposed park) until after 2023. Mr. Carlson asked Mr. Stalberger to identify where the park will be located on a map of the proposed plat. Chair Pogalz stated members of the community and the general public will use the park.

Vice Chair Dixson closed the public hearing at 6:15 p.m.

Motion by Dixson, seconded by Fisher, to recommend approval of the Preliminary Plat and rezoning to R-1 (single family residential) for the development of Hidden Forest East Park Addition consisting of two single family residential lots in Section 25 as presented by Jeff Stalberger of HFN Properties, LLC, subject to meeting the requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. *This item will be placed on the July 6, 2021 City Council Agenda.*

Jeff Stalberger, HFN Properties, LLC., requesting Preliminary Plat approval and rezoning for Hidden Forest East 3rd Addition (38 Single Family Residential lots) in Section 25.

Mr. Stalberger stated this plat is the third phase of the Hidden Forest East development. Mr. Stalberger stated this phase will be accessed by what is now a temporary cul-de-sac just northeast of where 145th Avenue NE and Packard Street NE intersect in the northeastern corner of Hidden Forest East 2nd Addition; this phase will have 38 lots and the characteristics of the lots will be almost the same as the lots created in phases one and two. Mr. Stalberger stated some endangered plant species, black huckleberry, have been found in the northeast corner of the proposed development and an avoidance plan has been created so the huckleberry will not be disturbed. Vice Chair Dixson completed the inspection, a copy which is on file. Vice Chair Dixson stated she drove to the temporary cul-de-sac where the next phase will be accessed; it is a wooded area ready for development. Chair Pogalz asked Engineer Collins to comment. Engineer Collins stated the development includes 38 lots, will be rezoned from R-A to R-1 and does not include parkland dedication as parkland has been proposed within the Hidden Forest East Park Addition. Engineer Collins stated a Rare Plant Survey Report found a small cluster of rare plants adjacent to Carlos Avery Wildlife Management Area, an avoidance plan has been drafted and will be part of the development's covenants; the plants are outside of the proposed construction area. Engineer Collins stated in the mid 2000's, an Environmental Assessment Worksheet (EAW) was completed by another developer as the development proposed (in the same location) at that time triggered the preparation of the EAW. Engineer Collins stated the courts found that the City should have done additional environmental review; since that time, the thresholds for requiring the preparation of EAW's have changed. Engineer Collins stated the City Attorney reviewed the requirements for an EAW under MN rule 4410.4300, subp. 36 and is of the opinion that no EAW is needed for this development. Commissioner Heaton asked Engineer Collins to comment on the proposed monument. Engineer Collins stated a monument is proposed; the developer will need to apply for a permit and execute a license agreement with the City as the proposed location of the monument is within a drainage and utility easement. Engineer Collins stated an amendment to the original development agreement for Hidden Forest East will be needed to address the monument.

Chair Pogalz opened the public hearing at 6:24 p.m. and asked for public comment.

James Cummins, 14214 Packard St NE, stated he really supports the continued development in Hidden Forest East, however, there are some ongoing issues that he wants the City to be aware of that affect the general health and safety of current Hidden Forest East residents and that are also a public nuisance, in his opinion, as development continues.

Damage to the Streets. Oversize vehicles such as front-end loaders, semis, fully loaded dump trucks and cement trucks all drive on the streets within Hidden Forest East as there is one ingress/egress for all parts of the Hidden Forest East development. Mr. Cummins stated residents have been leaving garbage cans at the end of their driveways all week long to prevent further cracking and damage caused by large vehicles using the driveways to do three point turns when turning around.

Access to and from properties is constricted. Several times throughout the past year oversized vehicles are parked on both sides of street barely leaving enough room for a single passenger vehicle to drive between. Mr. Cummans is concerned that the roadway would be impassable if an emergency vehicle needed to get through.

Speed. Mr. Cummans stated he and other residents have contacted the Anoka County Sheriff's Department several times requesting patrol officers to address the issue of drivers speeding through the development. Mr. Cummans stated he has put up temporary 20 mph speed limit signs to slow people down and has personally confronted people driving faster than the speed limit. Mr. Cummans stated there are 70 children under the age of 18, most are under the age of 10, in the first and second addition of Hidden Forest East. Mr. Cummans stated since there is so much large truck traffic, he is concerned for the safety of the children; one kid could easily roll down a driveway into the path of a dump truck. Mr. Cummans said it took a child dying in Blaine for the City to act on a similar issue.

Cement trucks. Drivers constantly clean out trucks onto the street or empty lots; drivers are not using their clean out buckets. Mr. Cummans stated this is toxic and not healthy. Mr. Cummans stated he has called the City and Cemstone multiple times about this problem.

Crime. Mr. Cummans stated the crime in the area has increased significantly, especially since construction started in Hidden Forest East 2nd Addition. Mr. Cummans stated there have been multiple thefts from vehicles, a stolen vehicle came through the neighborhood while being pursued by deputies that led to a foot chase and there is frequent theft from job sites. Mr. Cummans stated this is unnerving for many. Mr. Cummans stated more deputies and patrol is needed for the neighborhood and the City.

Street cleaning. Mr. Cummans stated streets are frequently covered with gravel, debris and construction material (screws/nails); a number of residents have had to replace tires due to punctures.

Mr. Cummans stated Minnesota Statutes empower city commissions to protect and promote public health, safety and general welfare and provide for the orderly economic and safe development of land. Mr. Cummans also cited parts of Article 4-100(1) of the City Code related to public nuisances. Mr. Cummans stated he understands some of the issues need to be addressed by civil authorities, however, he would like the city's inspectors to increase governance and oversight on issues that can be addressed per City Code. Mr. Cummans stated he, and other residents, would like a second access to the Hidden Forest East development and speed limit signs and no parking signs posted within the development to improve the safety of the residents living in the development.

Ryan Carlson, 14210 Opal St NE, expressed his concerns related to truck traffic, speeding and the one access road into the development. Mr. Carlson stated there is non-stop truck traffic within the development when trees are taken down for each new phase. Mr. Carlson said the trucks travel all throughout the development rather than making U-

turns to travel out of the development the same way they came into the development. Mr. Carlson stated residents have parked their personal vehicles on the side of the road in an attempt to slow drivers down. Mr. Carlson stated access to the development is via 143rd Avenue NE from Lexington Avenue NE; 143rd Avenue NE, and access to or from the development, has been blocked for several hours on a couple of occasions recently due to fatalities and law enforcement investigating the incidents.

Chair Pogalz stated he understands the concerns voiced tonight. Chair Pogalz stated some of the issues are beyond the scope of what the Planning Commission can address. Chair Pogalz encouraged the residents to present their concerns to the City Council and continue to contact law enforcement for speed and crime related issues. Chair Pogalz asked Building Official Jones what issues the inspectors could help address and if he could comment on the street cleaning schedule. Building Official Jones stated he and the other building inspectors can communicate more with contractors about parking on one side of the street and make sure contractors have proper erosion control measures in place. Building Official Jones stated Public Works schedules street cleaning once a year; contractors are to put rock in driveways of lots where new construction is taking place and put silt fences in place to control erosion.

Chair Pogalz asked Engineer Collins and Mr. Stalberger to comment on creating another access or road leading into the development. Mr. Stalberger stated creating another way into the development at this time is next to impossible as there is a large amount of wetland in the area; it would also take one and half years to obtain various agency's approvals. Mr. Stalberger stated when the land to the south of Hidden Forest East is developed, another access into the development could be created. Engineer Collins stated the City has a street thoroughfare plan that shows where streets are anticipated to be once the City is fully developed; it is available to view on the City's website. Engineer Collins stated, at some point, a street will be constructed that goes to the north and then west connecting to Lexington Avenue NE; there is no timeline in which those streets need to be constructed. Engineer Collins stated there are several developments that have one access road and temporary cul-de-sacs in place.

Commissioner Lejonvarn commented on the issue of wear on the streets. Commissioner Lejonvarn stated once a resident pays for a lot they are not assessed any expense for road repair. Engineer Collins stated it is the City's policy that residents pay for a road one time; crack sealing, seal coating, routine maintenance and overlays are not assessed to residents; the maintenance is paid for by funds in a revolving street fund.

Patrick Arneson stated he didn't understand how the City could allow one road in and out of a development that has 100 homes. Chair Pogalz stated there have been similar situations in the City for years, the development he lives in has one access in and out for many homes. Commissioner Heaton asked if a construction entrance could be created; some other developments in the City have had construction only entrances.

Ryan Carlson asked if signage could be put in place for traffic direction and control. Mr. Carlson stated he and a neighbor created a hand-written sign stating all construction traffic must turn left; it worked great for two months. Mr. Carlson suggested the contractor

or the City install signs to provide direction to contractors. Commissioner Lejonvarn asked if temporary, no parking signage could be placed on one side of the street in a development with active construction.

Joshua Ritchie asked about lots in the northeast corner of Hidden Forest East 3rd Addition and future development in the 4th Addition. Mr. Ritchie stated he felt the same issues being discussed tonight will reoccur when the 4th Addition is constructed. Mr. Ritchie asked Mr. Stalberger to create a formal plan on what could be done differently in the next phase to correct the issues and create a better situation for both Mr. Stalberger and the homeowners.

Chair Pogalz closed the public hearing at 7:01 p.m.

Commissioner Fisher asked if the City had seen a plan related to signage for developments under construction. Commissioner Lejonvarn stated he felt the City should consider providing direction on signage needed for construction in new developments. Commissioner Entsminger asked who determines where speed limit signs should be placed. Engineer Collins stated the City places the signs and noted the speed limit in residential areas is 30 MPH. Chair Pogalz and Commissioner Heaton stated creating a plan to address issues created by builders and contractors could be a condition of final plat approval; Mr. Stalberger could meet with residents in the neighborhood and create a plan with terms agreeable to all parties. Commissioner Dixon asked Building Official Jones if the City had signs that could be put in place to direct construction traffic. Building Official Jones stated the City does not have an ordinance stating signage needs to be put in place to direct construction traffic and regulate parking but it could be part of an agreement with the developer. Building Official Jones stated it will be difficult to police and control contractors and sub-contractors.

Motion by Dixon, seconded by Fisher, to recommend approval of the Preliminary Plat and rezoning to R-1 (single family residential) for the development of Hidden Forest East 3rd Addition consisting of 38 single family residential lots in Section 25 as presented by Jeff Stalberger of HFN Properties, LLC, subject to an action plan being provided by the developer to better control construction related issues within the development prior to final plat approval, meeting the requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. *This item will be placed on the July 6, 2021 City Council Agenda.*

Don and Lisa Bickford requesting a Special Home Occupation Permit to operate Bickford's BBQ, LLC at 14745 Baltimore Street NE.

Don Bickford was present. Mr. Bickford stated he plans to operate a barbeque catering business; all food prepared will be delivered to customers. Mr. Bickford stated he is remodeling a section of his garage into a commercial kitchen and is currently working to meet all the county and state requirements for a commercial kitchen. Commissioner Heaton asked if customers will come to his residence and will he be catering a large number of events. Mr. Bickford stated no customers will come to his residence and he plans to prepare food for approximately two events per week. Mr. Bickford stated he anticipates graduation season to be a busy time and will occasionally cater some

corporate events. Mr. Bickford stated he and his wife will operate the business; he has no plans to hire employees. Chair Pogalz completed the inspection, a copy which is on file. Chair Pogalz stated the renovation of the garage will require a building permit and the Anoka County Public Health and Environmental Services Department will oversee, and approve, all commercial fixtures, equipment, utilities and septic and water systems. Chair Pogalz stated one neighbor can be seen from the site; the Bickford's could operate without being noticed. Building Official Jones stated Anoka County is requiring the Bickford's to have a commercial kitchen for their catering business which must have commercial grade countertops and appliances and meet commercial mechanical and plumbing requirements. Building Official Jones stated the County requires the smoker to be under a shelter when used outside.

Chair Pogalz opened the public hearing at 7:18 p.m. and asked for public comment.

Louis Luberacki, 1616 148th Lane NE, stated he lives on the north side of this property. Mr. Luberacki, and wife, Gayle, asked how much smoking will be occurring; will the business be smoking meat 24 hours a day, several days a week; will there be an odor they will be able to smell when the windows are open.

Scott Kolb, 1535 148th Lane NE, stated he lives within sight of Mr. Bickford's residence. Mr. Kolb stated he has no issue with the business. Mr. Kolb asked if there will be any events held at the location or would it be strictly a catering/delivery business; he doesn't want extra traffic on his street.

Tom Kuehn, 14815 Aberdeen Street NE, stated since there is no traffic going in and out of Mr. Bickford's property he is OK with the business operating at this location.

Chair Pogalz asked Mr. Bickford to provide answers to the resident's questions. Mr. Bickford stated he will cook a couple times a week and smoke meat for approximately five hours each time during the day. Commissioner Heaton asked if Mr. Bickford smoked meat at the location already. Mr. Bickford asked Mr. & Mrs. Luberacki if they had noticed and odor in the past. Mr. & Mrs. Luberacki stated they had not; their biggest concern was the hours of operation. Mr. Bickford stated there will be no customer traffic.

Chair Pogalz closed the public hearing at 7:27 p.m.

Motion by Pogalz, seconded by Heaton, to recommend approval of a Special Home Occupation Permit, as requested by Don and Lisa Bickford, to operate Bickford's BBQ, LLC at 14745 Baltimore Street NE, subject to meeting all City, State and County requirements prior to offering any catering services to the public, no obvious outward indicia of the activities being carried on under the Special Home Occupation Permit, no customer traffic, no noise generated which is audible to nearby properties, no odor, no outside storage for the business which is visible from nearby properties or public ways and all trash to be disposed of as to not attract rats, mice, or vermin. All present in favor, motion carried. *This application will be placed on the City Council's Monday, July 6, 2021 agenda.*

NEW BUSINESS: None

COMMISSION BUSINESS:

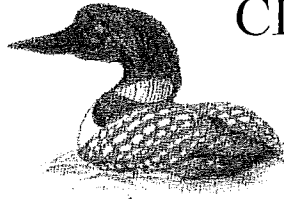
City Council Update

Commissioner Heaton attended the City Council's June 21, 2021 meeting. Commissioner Heaton stated the City Council accepted the Planning Commission's recommendations. Commissioner Entsminger will attend the July 6, 2021 City Council meeting.

ADJOURNMENT:

Motion by Heaton, seconded by Dixon, to adjourn the Planning Commission meeting at 7:31 p.m. All present in favor, motion carried.

Jennifer Bohr
Zoning and Building Clerk



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, JUNE 28, 2021

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: June 14, 2021

PUBLIC HEARINGS:

- 6:01 p.m.** Jeff Stalberger, HFN Properties, LLC., requesting Preliminary Plat approval and rezoning for Hidden Forest East Park Addition (2 Single Family Residential lots) in Section 25.
- 6:01 p.m.** Jeff Stalberger, HFN Properties, LLC., requesting Preliminary Plat approval and rezoning for Hidden Forest East 3rd Addition (38 Single Family Residential lots) in Section 25.
- 6:01 p.m.** Don and Lisa Bickford requesting a Special Home Occupation Permit to operate Bickford's BBQ, LLC at 14745 Baltimore Street NE.

NEW BUSINESS: None

COMMISSION BUSINESS:

1. City Council Update



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 5/13/2021

Date of Receipt _____
Receipt # _____

Meeting Appearance Dates:
Planning Commission 10-28-2021 City Council _____

Please check request(s):

- | | |
|--|---|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input type="checkbox"/> Commercial Building Permit |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input checked="" type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input checked="" type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other _____ |

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: HFN Properties, LLC

Address/Location of property: 143rd EAST OF LEXINGTON

Legal Description of property: Tract C RLS 274/outlot C

PIN # 25-32-23-31-0004 Current Zoning R-A Proposed Zoning R-X

Notes: Fol: Hidden Forest east - Park Addition - (Park Plus 2 Lots)

Applicant's Name: JEFF A. STALLER

Business Name: HFN Properties LLC

Address 17404- WARD LK. Dr. NW

City Andover State Mn. Zip Code 55304

Phone 612-799-1471 Cell Phone _____ Fax _____

Email address STALLY68@MSN.COM

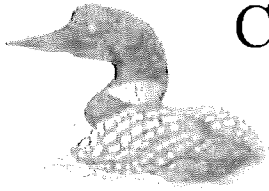
You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 5/13/2021

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

NOTICE OF PUBLIC HEARING
CITY OF HAM LAKE
COUNTY OF ANOKA
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, June 28, 2021 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Jeff Stalberger, HFN Properties, LLC, requesting preliminary plat approval and rezoning to R-1 (single family residential) the development of Hidden Forest East Park Addition (2 residential single family lots) located in Section 25, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

Parcel ID# 25-32-23-31-0004 (Formerly 25-32-23-31-0002 and 25-32-23-31-0003)

TRACT C REG LAND SURVEY NO 274, TOGW OUTLOT C HIDDEN FOREST EAST,
SUBJ TO EASE OF REC

At such hearing both written and oral comments will be heard.

DATED: June 18, 2021

Jennifer Bohr
Zoning & Building Clerk
City of Ham Lake

ORDINANCE NO. 21-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Hidden Forest East Park Addition).

The land referred to herein is situated in the State of Minnesota, Anoka County described as follows:

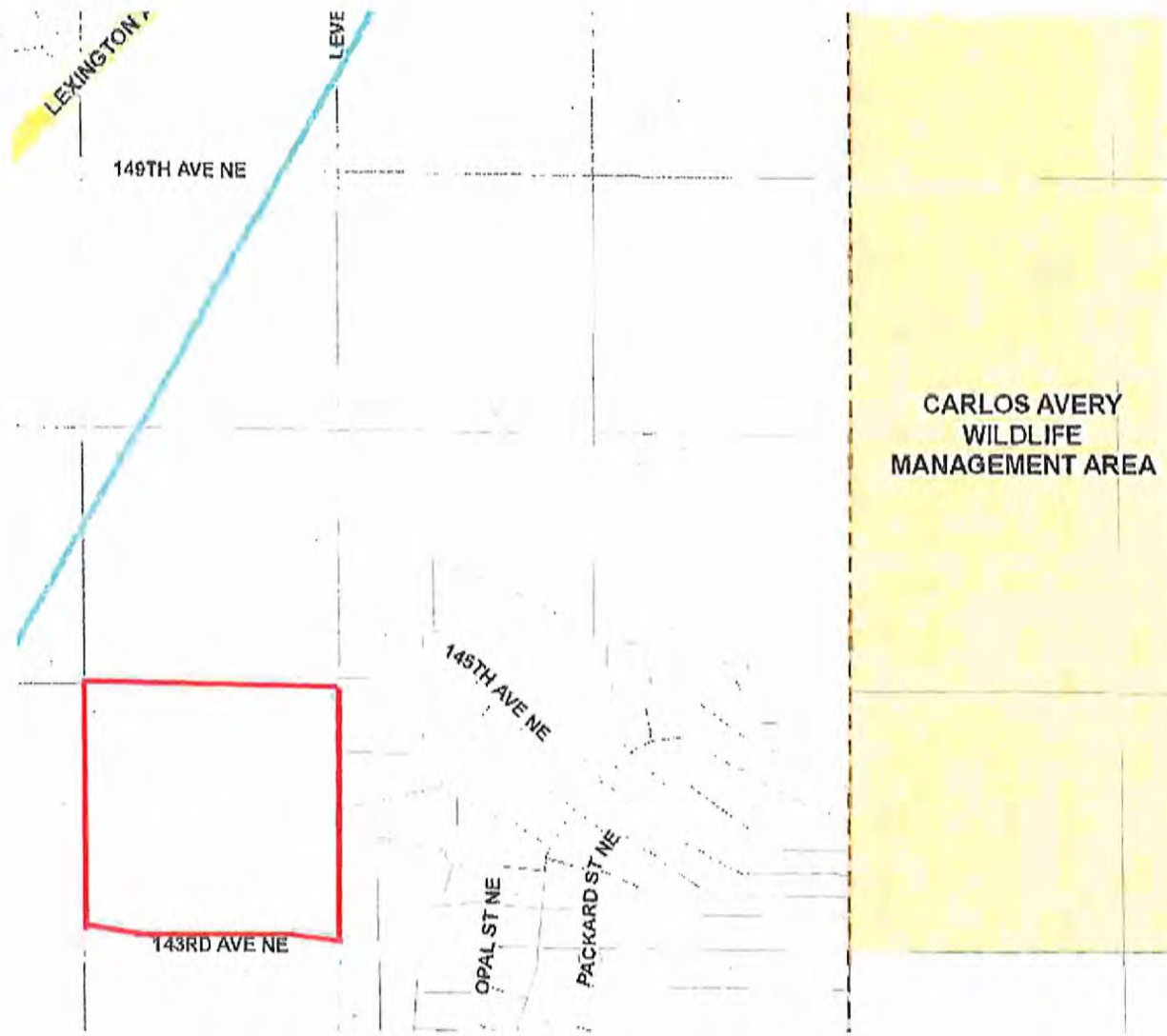
Parcel ID# 25-32-23-31-0004 (Formerly 25-32-23-31-0002 and 25-32-23-31-0003)

TRACT C REG LAND SURVEY NO 274, TOG/W OUTLOT C HIDDEN
FOREST EAST, SUBJ TO EASE OF REC

Presented to the Ham Lake City Council on July 6, 2021 and adopted by a unanimous vote this ____ day of _____, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk



Hidden Forest East Park Addition



Memorandum

Date: June 21, 2021

To: Planning Commissioners

From: Tom Collins, City Engineer *TPC*

Subject: Hidden Forest East Park Addition

Introduction:

The proposed 2 lot residential development is located on 38.98 acres, which is Tract C of the attached 2017 Registered Land Survey No. 274 (<https://gis.anokacountymn.gov/propertysearch/?find=25-32-23-31-0004>). The Preliminary Plat, Grading, Erosion Control Plan and Tree Protection Plan, Livability Plan and Site Drainage Narrative received June 17th and the Stormwater Pollution Prevention Plan and Stormwater Drainage Report received June 2nd address prior review comments. The current zoning is Rural Single Family Residential (R-A) and the post development zoning will be Single Family Residential (R-1). A 600-scale zoning map is attached. The project conforms to the Sketch Plan that was approved at the November 16, 2020 City Council meeting.

Discussion:

The development dedicates 27.12 acres of parkland. The parkland is 16.48 acres of upland and 10.64 acres of wetland, per the attached Revised Figure 2 – Existing Conditions exhibit. The parkland dedication was coordinated with the adjacent developments of Hidden Forest East, Hidden Forest East 2nd Addition and proposed Hidden Forest East 3rd Addition. The City Council concurred with the Park and Tree Commission recommendation that the next phase include parkland dedication. The September 19, 2018 Park and Tree meeting minutes are attached. The northerly portion of the parkland is planted in sod, and the farmer has requested that they have until the end of 2023 for removal. The area is approximately 16.5 acres. A 200-scale 2020 aerial photo is attached. The timing for sod removal and City being able to utilize the entire parkland will be addressed in the Development Agreement. Custom grading of building pads is proposed, which will also be addressed in the Development Agreement.

The Lot 2 driveway crosses a drainage and utility easement. A License Agreement will be required, especially when considering that the City's maintenance access easement is partially over the proposed driveway. The Plans were approved at the June 14th Coon Creek Watershed District Board of Managers meeting, per the attached. The attached June 7th Tradewell septic certification certifies that the lots will support two standard septic systems in accordance with Minnesota Rules 7080. There are no rare plants or animals within the plat boundary, per the attached Rare Plant Survey Report.

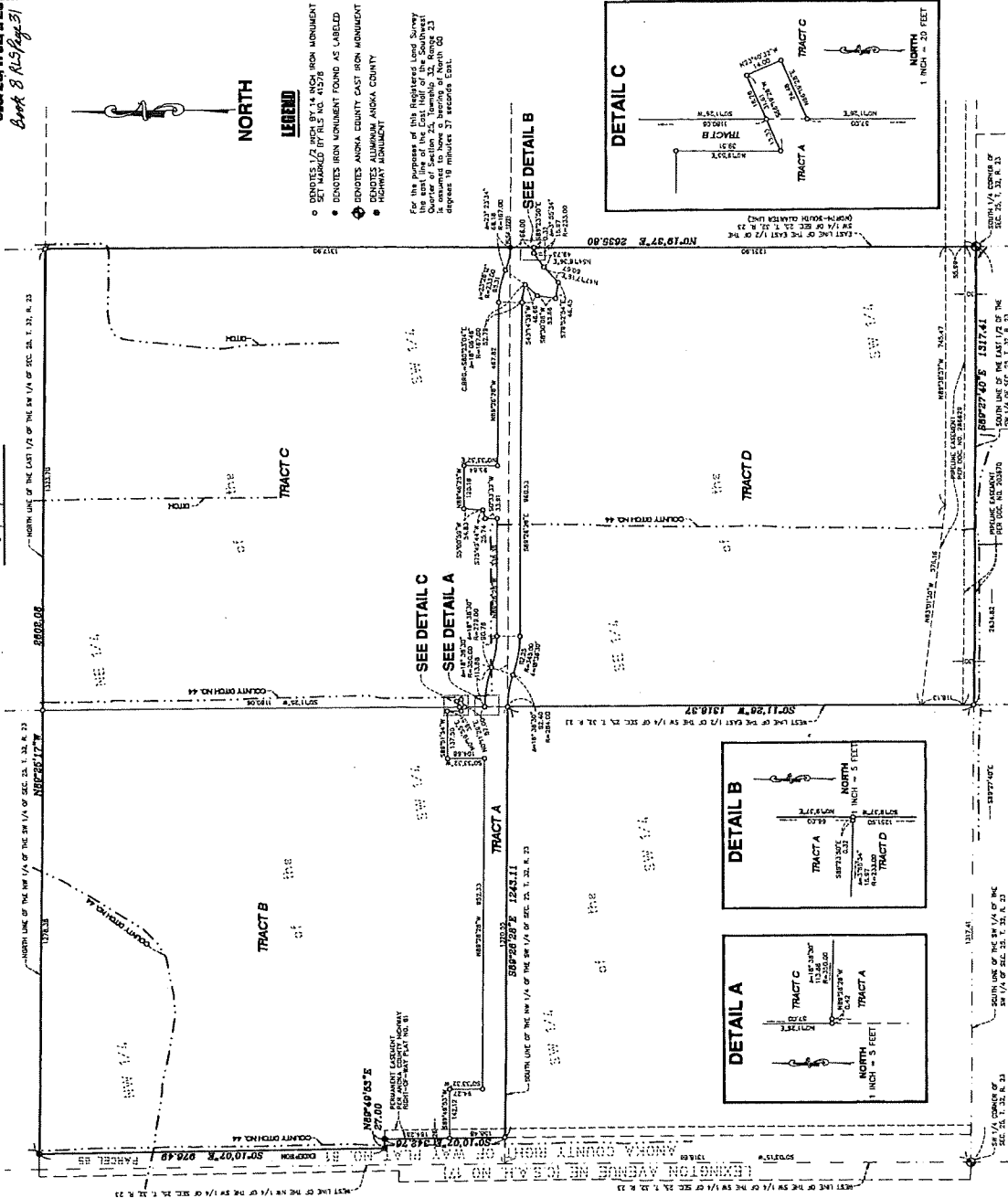
Recommendations:

It is recommended that the Preliminary Plat of Hidden Forest East Park Addition be recommended for approval to the City Council.

OFFICIAL PLAT

REGISTERED LAND SURVEY NO. 274

CITY OF HAN LAKE
COUNTY OF ANOKA
SEC. 25, T. 32 N. R. 23
Book 8 A/S Page 31



\$56.00

I, James E. Rud, hereby certify that, in accordance with the provisions of Minnesota Statutes, Section 508.47, I have surveyed the following described property situated in the County of Anoka, State of Minnesota:

The East half of the Southwest Quarter, Section 25, Township 32, Range 23.
The Northwest Quarter of the Southwest Quarter, Section 25, Township 32, Range 23.
EXCEPT Parcel 05, Anoka County Highway Right-of-Way Plat No. 81.

I hereby certify that this Registered Land Survey was prepared by me or under my direct supervision and that this Registered Land Survey is a correct representation of said parcel of land.

Dated this 20th day of March, 2017.

[Signature]
James E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

CITY COUNCIL, CITY OF HAN LAKE, MINNESOTA
I, the undersigned, Mayor of the City of Han Lake, Minnesota, have approved this Registered Land Survey.

[Signature]
Mayor, City of Han Lake, Minnesota

ANOKA COUNTY SURVEYOR
I, the undersigned, County Surveyor, have reviewed and approved this Registered Land Survey.

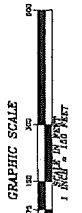
[Signature]
Larry O'Connell, Anoka County Surveyor

COUNTY AUDITOR/TREASURER
I, the undersigned, County Auditor/Treasurer, have reviewed and approved this Registered Land Survey.

[Signature]
Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA
I hereby certify that this REGISTERED LAND SURVEY NO. 274 was filed in the office of the County Recorder/Registrar of Titles for public record on this 20th day of March, 2017, at 1:12 o'clock P.M. and was duly recorded in Book 8, Page 31, of Document Number 2109160281.

[Signature]
County Recorder/Registrar of Titles
Deputy



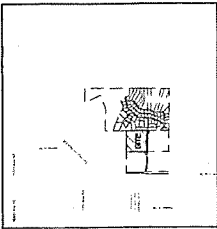
E. G. RUD & SONS, INC.
Professional Land Surveyors

PRELIMINARY PLAT

of- HIDDEN FOREST EAST PARK ADDITION
 for- HEN PROPERTIES, LLC
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

VICINITY MAP

PART OF SEC. 20, TWP. 33, RANG. 23



ANDOKA COUNTY, MINNESOTA
 (NO SCALE)

LEGEND

- DOWNSIDE FROM INDUSTRY PROPERTY AS SHOWN ON THE PLAT
- DOWNSIDE FROM INDUSTRY PROPERTY AS SHOWN ON THE PLAT
- DOWNSIDE FROM INDUSTRY PROPERTY AS SHOWN ON THE PLAT
- DOWNSIDE FROM INDUSTRY PROPERTY AS SHOWN ON THE PLAT
- DOWNSIDE FROM INDUSTRY PROPERTY AS SHOWN ON THE PLAT

PROPERTY DESCRIPTION

TRACT C, HIDDEN FOREST EAST, ANDOKA COUNTY, MINNESOTA
 AND
 TRACT D, HIDDEN FOREST EAST, ANDOKA COUNTY, MINNESOTA

NOTES

- Bearings shown are an Andoka County claim.
- This survey was prepared without the benefit of title work. Additional easements, encumbrances, and other interests may exist and are not shown.
- Dimensions are given in feet and inches.
- Wetlands delineated by Aghave Environmental Services, Inc.

PLAT ID # 25-25-251-004

DRAWN: KIMBLE FAMILY LIMITED PARTNERSHIP

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 364-8200 Fax (651) 364-8701



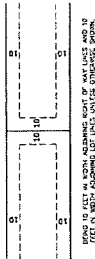
NORTH

DEVELOPMENT DATA

TOTAL SITE AREA = 38.96 ACRES
 2 THROUGHDRAWN SINGLE-FAMILY LOTS
 PARK AREA TO BE DEVELOPED = 25.14 ACRES
 PARK W/TOUR AREA = 10.64 ACRES
 AVERAGE LOT SIZE = 5.94 ACRES
 MINIMUM STREET FRONTAGE = 200 FEET
 MINIMUM LOT SIZE = 1.00 ACRES
 MINIMUM LOT AREA = 13,600 SQ. FT.
 BUILDING SETBACKS: FRONT = 30 FEET
 SIDE = 10 FEET
 REAR = 10 FEET

TYPICAL EASEMENTS

(NOT TO SCALE)



NOTE: ALL UTILITY EASEMENTS SHALL BE 10 FEET WIDE UNLESS OTHERWISE SPECIFIED.

GRAPHIC SCALE



1 INCH = 100 FEET

NO.	DATE	BY	FOR	REVISIONS
1	08/20/13	ET	PRELIMINARY PLAT	PRELIMINARY PLAT
2	08/20/13	ET	PRELIMINARY PLAT	PRELIMINARY PLAT
3	08/20/13	ET	PRELIMINARY PLAT	PRELIMINARY PLAT

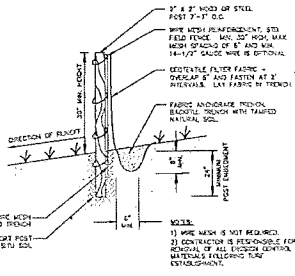
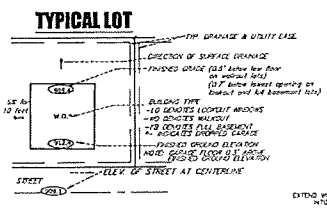
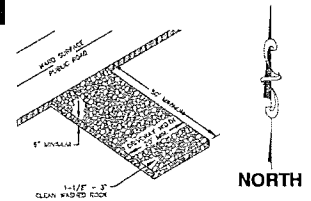
SHEET

I hereby certify that this survey, plat or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

E. G. RUD & SONS, INC.
 License No. 41578
 Date: 08/20/2013

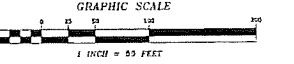
GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

-of- HIDDEN FOREST EAST PARK ADDITION
 -for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



- ### LEGEND
- DENOTES SOIL TESTING BY TRAPWELL DRILL TESTING
 - DENOTES EXISTING OVERFLOW QUANTITY
 - DENOTES EXISTING SPOT ELEVATION
 - DENOTES WETLAND
 - DENOTES EXISTING 2 FOOT CONTOUR
 - DENOTES PROPOSED 2 FOOT CONTOUR
 - DENOTES WETLAND DELINEATED BY GEOTECH ENVIRONMENTAL SERVICES COMPANY
 - DENOTES EXISTING LINE
 - DENOTES PROPOSED STEEP SLOPE
 - DENOTES PROPOSED SILT / TRAP PROTECTION FENCE
 - DENOTES AREA TO BE IMPROVED DRAINAGE SLOPE ADJACENT TO WETLAND
 - DENOTES EXISTING OR ENHANCED DENOTES PROPOSED SPOT ELEVATION
 - DENOTES PROPOSED CONTOUR ELEVATION
 - DENOTES PROPOSED WETLAND LOCATION
 - DENOTES AREA P ABOVE WETLAND
 - DENOTES WETLAND VEGETATION IN PLOTS
 - DENOTES WETLAND VEGETATION BUFFER ZONE
 - DENOTES SLOPE ADJACENT TO BE VEGETATED IN WETLAND BUFFER
 - DENOTES APPROXIMATE FLOOD FLOOD LINE ALONG FROM FEMA FLOOD INSURANCE RATE MAP FOR FLOOD PROTECTION PANEL NO. 480101A, EFFECTIVE DATE FEBRUARY 14TH, 2015.
 - DENOTES TREE PRESERVATION AREA
 - DENOTES LOT ROAD ACCESS

- ### NOTES
1. ELEVATIONS SHOWN ARE ON ANCHOR COUNTY DATUM.
 2. TOTAL LOT AREA ARE CALCULATED TO EXIST CONTAINING PER GRADING.
 3. 2 FOOT CONTOUR INTERVAL (SCALE 1/8\"/>



- ### EROSION CONTROL / REVEGETATION SPECS.
1. PRIOR TO SOIL GRADING, INSTALL SILT STOP FENCE IN EXISTING SWAMP / ANCHORAGE SILT STOP FENCE WILL BE PROVIDED IN CASE LOCAL CONDITIONS REQUIRE. ACTUAL SITE PROTECTION AS DEMAND REQUIRED BY THE CITY RECORDER PRIOR TO ANY GRADING.
 2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MAINTAIN SLOPES/STABILITY.
 3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE MATING TOPSOIL, SEED AND MULCH AND COVER WITH A STRAIGHT SET EDGE WITH SLOPE DATA AFTER SOIL GRADING.
 4. MAINTAIN AND REPAIR SILT STOP FENCES INCLUDING REMOVAL OF ACCUMULATED SOIL UNTIL VEGETATION IS ESTABLISHED.
 5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL, NOTES AND SITE SPECIFICATIONS.

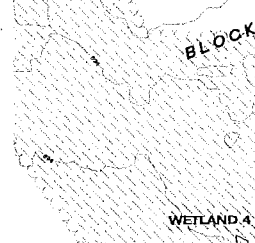
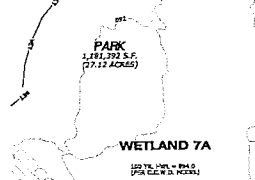
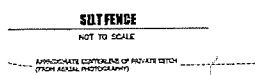
- ### LOT GRADING NOTES
1. NO CHANGE TO SHOWN ARE FOR CONSTRUCTION PURPOSES.
 2. THESE NOTES ARE GRADING THAT THEY FROM WHAT IS SHOWN ON THE GRADING PLAN REGARDS A PLAN REVIEW BY THE CITY OF ANCHORAGE.
 3. EASY FENCE TO BE INSTALLED AT ALL LOTS PRIOR TO HOLD CONSTRUCTION. THERE IS TO BE NO GRADING WITHIN THIS AREA.

POISSON CALCULATIONS AND STORM SEWER DESIGN BY
PLOWE ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 118
 LINO LAKE, MN 55014
 PHONE: (612) 361-0910
 FAX: (612) 361-0701

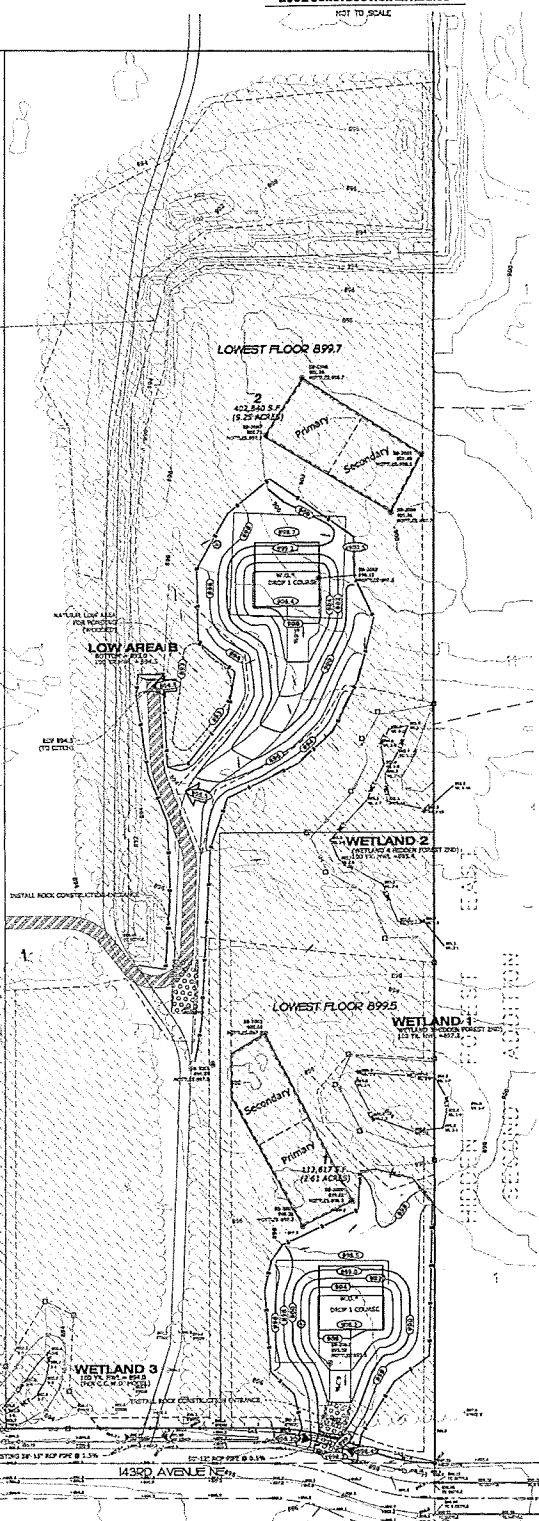
I HEREBY CERTIFY THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Charles W. Plowe
 CHARLES W. PLOWE
 DATE: 06.17.2021 LIC. NO. 18827

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (612) 361-8200 Fax (612) 361-6701



- ### TREE PROTECTION NOTES
1. TREE PROTECTION LIMITS TO BE MAINTAINED BY FIELD PERSONS AT ALL TIMES DURING CONSTRUCTION.
 2. SILT / TRAP PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
 3. CALL TO THE TOWN TO STOP CONSTRUCTION ACTIVITY OR CONSTRUCTION TO THE TOWNIC NOTICER THE END LINE OF YEARS IN THE TREE PROTECTION FENCE.
 4. THESE NOTES SHALL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO INCLUDE EXISTING TREES.
 5. REMOVE TREES AND DEAD HULLS TO BE REMOVED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TRAP PROTECTION FENCE. CHANGING OF STOPS WILL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.



I hereby certify that the survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON G. RUD
 DATE: 06/17/2021 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	06/17/21	CITY / MATHEMATICS COMMENTS	PLW
2	06/17/21	CITY COMMENTS	PLW
3	06/17/21	DESCRIPTION	BY



PREPARED FOR: HFN PROPERTIES, LLC.

HIDDEN FOREST EAST PARK ADDITION PARK ADDITION CHRYSLER BLVD., MO., 63101 DATE: MAY 7, 2012

Table with columns for REVISION NO., DATE, and DESCRIPTION. Revision 1 dated 5/7/12 describes 'REVISED PER COMMENTS FROM AECOM'.

STORM WATER POLLUTION PREVENTION PLAN HIDDEN FOREST PARK ADDITION



MAP OF SURFACE WATERS

INTRODUCTION: This plan is intended to provide information on the proposed site and the location of the proposed stormwater management facilities. It includes a list of facilities, a site map, and a list of references. The plan is intended to provide information on the proposed site and the location of the proposed stormwater management facilities.

Table for 'LIST OF SURFACE WATERS' with columns for NAME, ADDRESS, and PHONE.

Table for 'LIST OF FACILITIES' with columns for NAME, ADDRESS, and PHONE.

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Professional Engineer Seal for Adam Ghiselli, License No. 10851, State of Missouri.

Professional Engineer Seal for James W. Smith, License No. 10851, State of Missouri.

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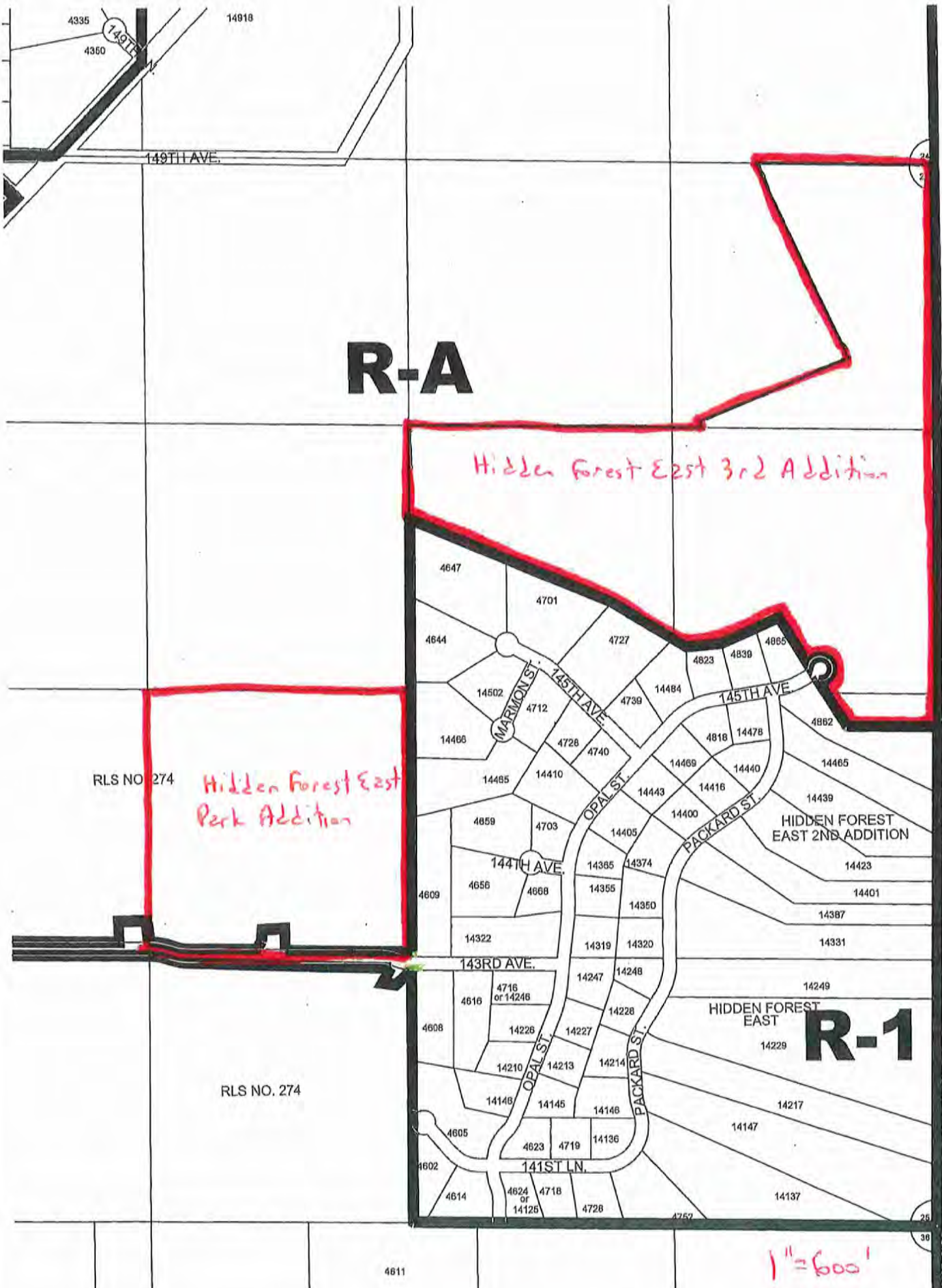
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R-A

Hidden Forest East 3rd Addition

RLS NO. 274 *Hidden Forest East Park Addition*

HIDDEN FOREST EAST 2ND ADDITION

HIDDEN FOREST EAST **R-1**

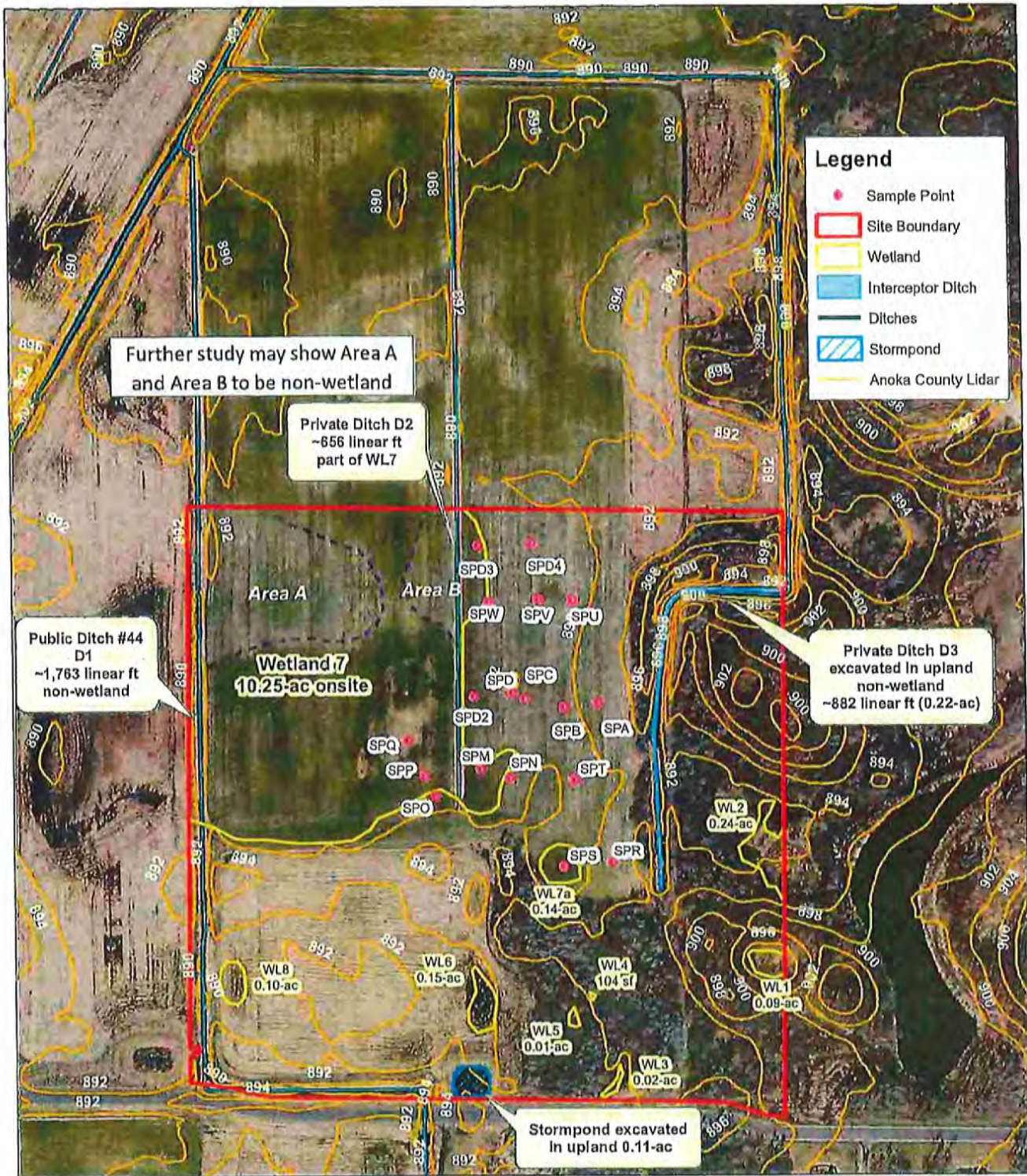
RLS NO. 274

1" = 600'

4611

24
2

25
30



6/4/2021 Revised Figure 2 - Existing Conditions (2020 Metro Photo)

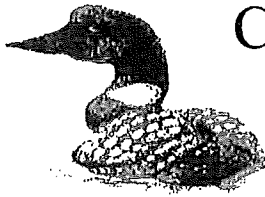
0 500 Feet

143rd Ave NE (KES 2020-178)
Ham Lake, Minnesota

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

KJØLHAUG ENVIRONMENTAL SERVICES COMPANY

Source: MNGEO Spatial Commons



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE PARK AND TREE COMMISSION MINUTES WEDNESDAY, SEPTEMBER 19, 2018

The Ham Lake Park and Tree Commission met for its regularly scheduled meeting on Wednesday, September 19, 2018 at 6:00 p.m. at the Ham Lake City Hall, 15544 Central Avenue NE, Ham Lake, Minnesota.

MEMBERS PRESENT: Vice Chair Tim Donnay and Commissioners, Al Stauffacher, Tara Lanigan and Doug Miller

MEMBERS ABSENT: Patrick Wolfgram

OTHERS PRESENT: Public Works Superintendent, Tom Reiner and Deputy City Clerk, Jennifer Bohr

CALL TO ORDER:

Vice Chair Donnay called the meeting to order at 6:00 p.m. and the Pledge of Allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Stauffacher, seconded by Miller, to approve the minutes of the July 18, 2018 Park and Tree Commission meeting as written. All present in favor. Motion carried.

CITY COUNCIL UPDATE: None

1.0 APPEARANCES:

- * 1.1 Jeff Stalberger, HFN Properties, LLC, consideration of Parkland Dedication for Sketch Plan of Hidden Forest East 2nd Addition (42 Single Family Residential Lots) in Section 25.

Jeff Stalberger of HFN Properties, LLC was present. Mr. Stalberger stated he developed the plat of Hidden Forest East last spring and Hidden Forest East 2nd Addition will be to the north of that plat. Vice Chair Donnay asked Mr. Stalberger if he has plans to develop additional land in this area and would those developments include a park. Superintendent Reiner stated that the Comprehensive Plan identifies an area north of the Hidden Forest East 2nd Addition as a potential future park location. Mr. Stalberger stated he prefers to offer the City money in lieu of parkland but he would be willing to work with the Knolls, current owners of the adjacent property, and the City to negotiate a purchase of land for a park, perhaps in a section to the southwest of Hidden Forest East 2nd Addition. Superintendent Reiner suggested that Mr. Stalberger purchase land in the next phase of development that could be parkland. Discussion followed regarding dedication of future parkland bordering Carlos Avery Wildlife

PARK AND TREE COMMISSION
WEDNESDAY, SEPTEMBER 19, 2018

Management Area (WMA); there was concern that hunters would utilize any parkland bordering Carlos Avery WMA as an entrance to the WMA for hunting and cause parking issues. Commissioner Miller voiced his concern with the limited amount of parkland the City has obtained in the past two years and that tonight's discussion is only speculative; there is no guarantee the City will obtain parkland in future phases of development in this area. Vice Chair Donnay asked Mr. Stalberger when he would develop the next phase in the Hidden Forest East development. Mr. Stalberger stated it could possibly be eighteen months from now. Vice Chair Donnay asked if Mr. Stalberger would be willing to plan a park in the next phase. Mr. Stalberger stated he would be willing to plan a park in the next phase. Commissioner Stauffacher stated that if money is accepted in lieu of parkland for this development a park needs to be required in the next phase. Commissioner Miller stated the maximum amount of parkland needs to be obtained in the next phase. **Motion by Donnay, seconded by Lanigan, to recommend to City Council to accept monies in lieu of parkland for the Sketch Plan of Hidden Forest East 2nd Addition (42 Single Family Residential Lots) in Section 25. Commissioners Donnay and Lanigan voted yes, Commissioners Stauffacher and Miller voted no.** Commissioner Stauffacher said he would like a stipulation included in the motion to require parkland in the next phase of the Hidden Forest East development. **Donnay moved to amend the motion by adding the following to the motion on the table: with the understanding parkland will be required in the next phase of the Hidden Forest East development. Seconded by Stauffacher.** **Commissioners Donnay, Lanigan and Stauffacher voted yes, Commissioner Miller voted no. Motion carried.** *(This item will be placed on the October 1, 2018 City Council Agenda.)*

2.0 PARK & TREE COMMISSION BUSINESS:

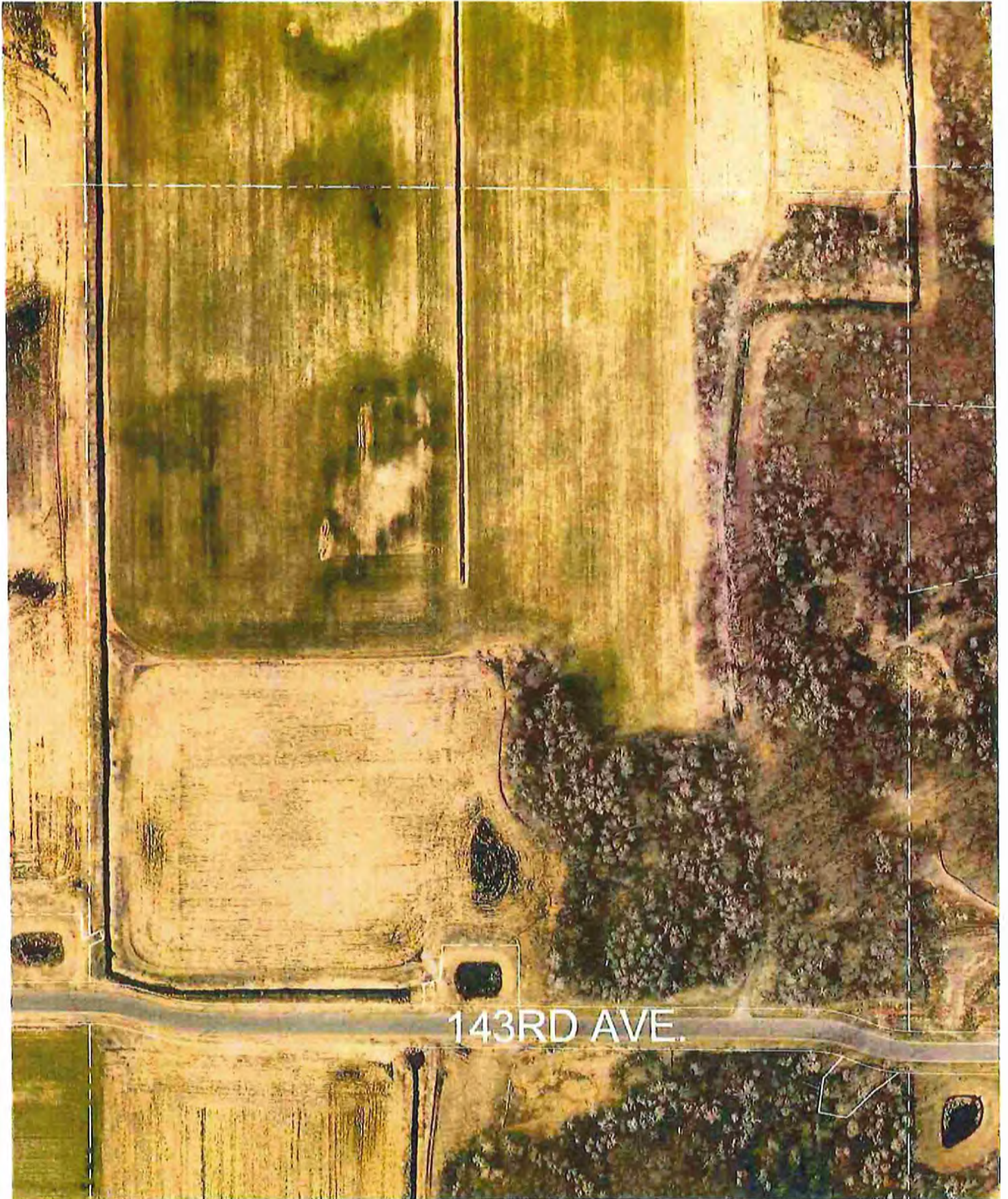
2.1 Discussion of recommending a feasibility study for construction of a 1.75 mile bike trail on the west side of Radisson Road NE from 139th Avenue NE to 153rd Avenue NE

Superintendent Reiner stated extending the pedestrian trail on the west side of Radisson Road NE was discussed at the April 4, 2018 workshop meeting and the July 18, 2018 Park and Tree Commission meeting. Superintendent Reiner stated a recommendation was made to City Council for Engineer Collins to contact Anoka County to ask if the County would allow the City to purchase and construct a trail in the county right-of-way; Engineer Collins has contacted Anoka County and they are open to the trail extension. Superintendent Reiner stated the trail would connect to the current bike lane on 149th Avenue NE, which connects to a trail going into Blaine. Superintendent Reiner stated the next step in this process would be to conduct a feasibility study. **Motion by Stauffacher, seconded by Miller, to recommend to City Council that Engineer Tom Collins conduct a feasibility study for the 1.75 mile bike trail along the west side of Radisson Road NE between 139th Lane NE and 153rd Avenue NE. All present in favor. Motion carried.** *(This item will be placed on the October 1, 2018 City Council Agenda.)*

3.0 TREE UPDATE:

3.1 Oak Wilt Tree Inspections

Superintendent Reiner stated tree inspectors have completed road side inspections for oak wilt; 159 notices were sent to residents to inform them that their oak trees have symptoms of



143RD AVE.

1" = 200'

NOTICE OF PERMIT APPLICATION STATUS

Project: Hidden Forest East Park Addition

Date: June 15, 2021

Applicant: Jeff Stalberger
17404 Ward Lake Dr. NW
Andover, MN 55304

Permit Application#: 20-169

Purpose: Development of 2 single family home lots with parkland

Location: 143rd Ave NE, East of Lexington Ave, Ham Lake

At their meeting on June 14, 2021, the Board of Managers of the Coon Creek Watershed District **conditionally approved** the above referenced project with 2 conditions and 0 stipulations: **This is NOT a permit.**

ISSUES/CONCERNS:

ISSUE	NEED
Escrows: \$2,000 + (XX ac * \$500/ac = \$2875.00	1. Receipt of escrows.
Stormwater & Hydraulics: Rate control is not met for the discharge point to 143 rd Ave ditch. No adverse impacts are expected due to the increase in rates.	No action required.
Wetlands: Wetlands are located on site. The TEP is currently reviewing recently submitted information.	2. Provide TEP approval of wetland delineation.

To secure Board review and obtain your permit, the District must receive:

Conditions:

1. Receipt of escrows.
2. Provide TEP approval of wetland delineation.

After issuance, the permit will include the following stipulations that need to be fulfilled before permit closeout:

Stipulations:

None.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rule 5.1. If you have any

questions, please call 763-755-0975.

Sincerely,



Erin Edison
Water Resource Regulation Coordinator

cc: File 20-169
Ed Matthiesen, Stantec
Eileen Weigel, Stantec
Tom Collins, Ham Lake

Note: Please respond to each of these items in writing when resubmitting the revised plans to the District. Resubmittals must include two hard copies and an electronic version sent to permitsubmittals@cooncreekwd.org. **Please submit written responses below the original typed comments, using extra sheets as necessary, addressing comments from the District.** If you have any questions, feel free to contact Erin Edison at (763) 755-0975. Pursuant to Coon Creek rule 7.3 deficiencies must be addressed and resubmitted within 60 days. Failure to do so shall be deemed a withdrawal of the permit application.

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

June 7th, 2021

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304
Attention: Tom Collins

Dear Mr. Collins:

As a licensed site evaluator who conducted the soil borings in Hidden Forest Park Addition for Jeff Stalberger, I found the following: Each boring has at least 12" of natural, undisturbed and unmottled soil. In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of mottling is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink that reads "Mark Tradewell". The signature is written in a cursive, flowing style.

Mark Tradewell
MPCA #307

143RD AVENUE NE - HAM LAKE, MN - RARE PLANT SURVEY REPORT

Prepared for:

**Mr. Jeffrey Stalberger
HFN Properties, LLC
17404 Ward Lake Dr. NW
Andover, MN 55304**



MAY 20, 2021



**Prepared by:
Midwest Natural Resources, Inc.
1032 West 7th Street, Suite 150
St. Paul, Minnesota 55102
www.mnrinc.us**



Mr. Jeffrey Stalberger
HFN Properties, LLC
17404 Ward Lake Dr. NW
Andover, MN 55304

May 20, 2021

Mr. Stalberger,

Midwest Natural Resources, Inc. (MNR) is pleased to provide the following report for botanical surveys of the Ham Lake property located north of 143rd Avenue NE, east of Lexington Avenue in Anoka County, Minnesota. (**Figure 1**).

Project Limits and Existing Background Data

The project area, which is approximately 38.7 acres, is located in Township 32 North, Range 23 West in the NESW and NWSW quarter-quarter sections of Section 25 (**Figure 2**). Background data evaluated includes digital soil data, the Minnesota Biological Survey (MBS) sites of biodiversity significance data layer, and the Minnesota Department of Natural Resources (DNR) Native Plant Community (NPC) data layer. According to the Anoka County Soil Survey (**Figure 3**), the site includes four different soil series: Isanti fine sandy loam (Iw), Lino loamy fine sand (LnA), Markey muck (Ma), and Rifle mucky peat (Rf). All of these soil series, with the exception of Zimmerman fine sand, are very poorly drained to somewhat poorly drained and are often associated with rare plant species occurrences. The MBS sites of biodiversity significance data layer identifies the eastern portion of the project area as a site of outstanding biodiversity significance (**Figure 4**). The majority of the area identified with this designation, the Carlos Avery Natural Area, continues well outside of the project area. This designation indicates locations that include occurrences of the rarest species, the best examples of the rarest native plant communities, and/or the largest, most ecologically intact or functional landscapes. However, no NPCs are mapped within the project site, and the landscape itself is not considered unique. Therefore, it is assumed that a rare species occurrence, either animal or plant, was previously documented somewhere within the mapped site of biodiversity significance.

Methods

Prior to conducting field surveys, MNR submitted a rare plant survey protocol to the DNR Endangered Species Coordinator (**Appendix A**). This survey protocol identified 39 state-listed vascular plant species to target during survey efforts.

Field efforts were conducted on May 13, 2021 by Otto Gockman, Jake Walden, and the undersigned. Meander surveys were conducted throughout the site and a general species list for all species observed was recorded (**Appendix B**). Due to the time of year, certain species were identified only to genus.

Results

The majority of the site serves as an operational sod farm that includes two north-south lateral drainage ditches. The lower southern third of the property is under active agricultural row-crop production, but was not planted at the time of the survey. This area additionally includes an excavated basin on south end of site, which was inundated at the time of the field review and dominated by cattails (*Typha* sp.) with bald spikerush (*Eleocharis* cf. *erythropoda*) along perimeter.

The site also includes an oak forest in the eastern half of the site which includes a number of depressional wetlands. The forest has an interrupted canopy that includes white oak (*Quercus alba*), northern pin oak (*Q. ellipsoidalis*), red oak (*Q. rubra*), and black cherry (*Prunus serotina*). Box elder (*Acer negundo*) and common buckthorn (*Rhamnus cathartica*) are prevalent throughout the shrub layer along with beaked hazel (*Corylus cornuta*). The ground layer has varying diversity and is wormed throughout. Common ground layer species include Pennsylvania sedge (*Carex pensylvanica*), common enchanter's nightshade (*Circaea lutetiana* var. *canadensis*), wild geranium (*Geranium maculatum*), Canada mayflower (*Maianthemum canadense*), interrupted fern (*Osmunda claytoniana*), common buckthorn, and common blue violet (*Viola sororia*). This feature includes a north-south ditch near the edge of the forest as well. The wetland basins within the forest are generally open, species-depauperate depressional basins that are dominated by reed canary grass (*Phalaris arundinacea*). Much of the site was documented with representative photos; these photos are provided in **Appendix C**, and photo locations are displayed in **Figure 5**.

Conclusion

Nearby projects have resulted in the detection of the state-threatened black huckleberry (*Gaylussacia baccata*). However, this species was not observed within the project area nor were any other state-listed plant species. Furthermore, based on the conditions observed onsite, we are not recommending follow-up surveys later this year.

For recordkeeping purposes, we will provide this report to the DNR with your approval. We can also directly send this report to the Coon Creek Watershed District upon request.

Please feel free to contact us with any questions.

Respectfully submitted,



Scott A. Milburn, MS
Principal Botanist/President
Midwest Natural Resources, Inc.

MNR

Anoka County

Lat: 45.229443
Long: -93.157902

- Reference Point
- Survey Area

Source: OpenStreetMap, US Census Bureau, Date: 5/20/2021

0 0.25 0.5 Miles

Project Location
Rare Plant Survey
143rd Ave NE Site
Ham Lake, Anoka County, Minnesota

Figure 1

12



Anoka County

T032N
R023W
Sec 24

NENE

NWNW

NENW

NWNE

SENE

143rd SENE

SWNW

SENW

SWNE

T032N
R023W
Sec 26

T032N
R023W
Sec 25

NESE

NWSW

NESW

NWSE

NESE

Lat: 45.229443
Long: -93.157902

SESE

SWSW

SESW

SWSE

SESE

T032N
R023W
Sec 35

T032N
R023W
Sec 36

NENE

NWNW

NENW

NWNE

NENE

Reference Point

PLSS Section

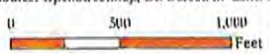
PLSS Quarter-Quarter Section

Survey Area

139th Lane Northeast

131st Avenue Southeast

Source: OpenStreetMap, US Bureau of Land Management, US Census Bureau, Date: 5/20/2021



PLSS Survey Divisions
Rare Plant Survey
143rd Ave NE Site
Ham Lake, Anoka County, Minnesota

Figure 2



Source: MnGeo, MN Department of Natural Resources, USDA Natural Resources Conservation Service, US Census Bureau, Date: 5/20/2021

0 200 400 Feet

Anoka County Soil Survey
 Rare Plant Survey
 143rd Ave NE Site
 Ham Lake, Anoka County, Minnesota

Figure 3

MNR

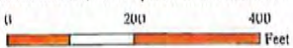
Anoka County

Lat: 45.229443
Long: -93.157902

CARLOS AVERY NATURAL AREA

- Reference Point
- Outstanding Significance
- Survey Area

Source: MntGeo, MN Department of Natural Resources, US Census Bureau, Date: 5/20/2021



Sites of Biodiversity Significance
Rare Plant Survey
143rd Ave NE Site
Ham Lake, Anoka County, Minnesota

Figure 4



Photo Locations
 Rare Plant Survey
 143rd Ave NE Site
 Ham Lake, Anoka County, Minnesota

Figure 5

Appendix A – Survey Protocol





Ms. Lisa Joyal
Endangered Species Review Coordinator
Minnesota Department of Natural Resources
Ecological & Water Resources
500 Lafayette Road
St. Paul, MN 55155

April 2, 2021

Ms. Joyal,

Midwest Natural Resources, Inc. (MNR) is proposing to conduct an early season rare plant survey within the 38-acre Ham Lake property located north of 143rd Ave NE, east of Lexington Ave, Anoka County, Minnesota (**Figure 1**).

We are unaware if a formal request of the Natural Heritage Information System (NHIS) has been made. Regardless, we are intending to conduct an early season rare plant survey in mid- to late-May.

Survey efforts will involve documenting all vascular plant species observed during this visit. Rare plant species, if encountered, will be documented spatially using sub-meter GPS units (Trimble GeoXT 6000). Rare plant species documentation will include notes on habitat, associate species, number of individuals observed within each population documented, and representative photos. Voucher collections will be made following the DNR's collection guidance procedure should the population allow for collecting. We will also evaluate the site at this time to determine the potential need for additional surveys later in the growing season. Species on the attached list will be considered as we determine the need for follow-up surveys.

A summary report will be produced at the conclusion of field efforts. This document will include information pertaining to survey methods, survey results, report figures/graphics, and appendices (species lists and representative photos). The report along with the GIS shapefile, associated spreadsheet, and an email from Welby Smith verifying specimen identification will be submitted to the designated NHIS email address should we have positive results.

Please let us know if you have any questions.

Scott A. Milburn, MS
Principal Botanist/President
Midwest Natural Resources, Inc.

MNR

Anoka County

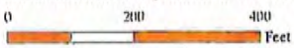


143rd Ave NE

Lat: 45.229221
Long: -93.152778

- Reference Point
- Project Area
- Land Parcel

Source: MnGeo, MN Department of Natural Resources, US Census Bureau, Date: 1/4/2021



Project Area
143rd Ave NE Site
Ham Lake, Anoka County, Minnesota

Figure 1

Target Species List		
Common name	Scientific name	State status
Slimspike Three-awn	<i>Aristida longespica</i> var. <i>geniculata</i>	endangered
Seaside Three-awn	<i>Aristida tuberculosa</i>	threatened
White Wild Indigo	<i>Baptisia lactea</i> var. <i>lactea</i>	special concern
Yellow Bartonla	<i>Bartonia virginica</i>	endangered
Blunt-lobed Grapefern	<i>Botrychium oneldense</i>	threatened
St. Lawrence Grapefern	<i>Botrychium rugulosum</i>	special concern
Least Moonwort	<i>Botrychium simplex</i>	special concern
Gray's Sedge	<i>Carex grayi</i>	special concern
Ram's Head Orchid	<i>Cypripedium arietinum</i>	threatened
Water-willow	<i>Decodon verticillatus</i> var. <i>laevigatus</i>	special concern
Autumn Fimbrly	<i>Fimbristylis autumnalis</i>	special concern
Black Huckleberry	<i>Gaylussacia baccata</i>	threatened
Beach Heather	<i>Hudsonia tomentosa</i>	threatened
Butternut	<i>Juglans cinerea</i>	endangered
Marginated Rush	<i>Juncus marginatus</i>	endangered
Rock Sandwort	<i>Minuartia dawsonensis</i>	threatened
Slender Nalad	<i>Najas gracillima</i>	special concern
Olive-colored Southern Nalad	<i>Najas guadalupensis</i> ssp. <i>olivacea</i>	special concern
Old Field Toadflax	<i>Nuttallanthus canadensis</i>	special concern
Rhombic Evening Primrose	<i>Oenothera rhombipetala</i>	special concern
One-flowered Broomrape	<i>Orobanche uniflora</i>	threatened
American Ginseng	<i>Panax quinquefolius</i>	special concern
Small Green Wood Orchid	<i>Platanthera clavellata</i>	special concern
Tuberclad Rein Orchid	<i>Platanthera flava</i> var. <i>herbiola</i>	threatened
Cross-leaved Milkwort	<i>Polygala cruciata</i>	endangered
Snailseed Pondweed	<i>Potamogeton bicupulatus</i>	endangered
Diverse-leaved Pondweed	<i>Potamogeton diversifolius</i>	endangered
Toothcup	<i>Rotala ramosior</i>	threatened
a bristle-berry	<i>Rubus fulleri</i>	threatened
Missouri Bristle-berry	<i>Rubus missouricus</i>	endangered
Kinnickinnick Dewberry	<i>Rubus multiflorus</i>	special concern
Swamp Blackberry	<i>Rubus semisetosus</i>	threatened
A Bristle-berry	<i>Rubus stipulatus</i>	endangered
Vermont Bristle-berry	<i>Rubus vermontanus</i>	special concern
Tall Nutrush	<i>Scleria triglomerata</i>	endangered
Clinton's Bulrush	<i>Trichophorum clintonii</i>	threatened
Purple Sandgrass	<i>Triplasis purpurea</i> var. <i>purpurea</i>	special concern
Lance-leaf Violet	<i>Viola lanceolata</i> var. <i>lanceolata</i>	threatened
Twisted Yellow-eyed Grass	<i>Xyris torta</i>	endangered

Appendix B – Species Lists



Species List

<i>Acer negundo</i>	<i>Lathyrus sp.</i>	<i>Urtica dioica</i> subsp. <i>gracilis</i>
<i>Acer rubrum</i>	<i>Lemna sp.</i>	<i>Uvularia sessilifolia</i>
<i>Ageratina altissima</i> var. <i>altissima</i>	<i>Lilium philadelphicum</i>	<i>Vaccinium angustifolium</i>
<i>Alliaria petiolata</i>	<i>Lonicera dioica</i>	<i>Verbascum thapsus</i>
<i>Amelanchier sp.</i>	<i>Lycopus americanus</i>	<i>Veronicastrum virginicum</i>
<i>Amphicarpaea bracteata</i>	<i>Maianthemum canadense</i>	<i>Viburnum opulus</i>
<i>Anemone quinquefolia</i>	<i>Maianthemum racemosum</i>	<i>Viola pubescens</i>
<i>Arctium minus</i>	<i>Matteuccia struthiopteris</i>	<i>Viola sororia</i>
<i>Arisaema triphyllum</i>	<i>Monarda fistulosa</i>	<i>Vitis riparia</i>
<i>Athyrium filix-femina</i> var. <i>angustum</i>	<i>Myosoton aquaticum</i>	
<i>Betula papyrifera</i>	<i>Onoclea sensibilis</i>	
<i>Calamagrostis canadensis</i>	<i>Oryzopsis asperifolia</i>	
<i>Capsella bursa-pastoris</i>	<i>Osmorhiza sp.</i>	
<i>Carex blanda</i>	<i>Osmunda claytoniana</i>	
<i>Carex deweyana</i> var. <i>deweyana</i>	<i>Ostrya virginiana</i>	
<i>Carex gracillima</i>	<i>Parthenocissus vitacea</i>	
<i>Carex lacustris</i>	<i>Phalaris arundinacea</i>	
<i>Carex pennsylvanica</i>	<i>Plantago rugelii</i>	
<i>Celtis occidentalis</i>	<i>Poa cf. compressa</i>	
<i>Circaea lutetiana</i> var. <i>canadensis</i>	<i>Poa pratensis</i>	
<i>Cirsium arvense</i>	<i>Populus tremuloides</i>	
<i>Comandra umbellata</i>	<i>Potentilla simplex</i>	
<i>Cornus racemosa</i>	<i>Prunus serotina</i>	
<i>Corylus americana</i>	<i>Prunus virginiana</i>	
<i>Cryptotaenia canadensis</i>	<i>Pteridium aquilinum</i>	
<i>Diervilla lonicera</i>	<i>Quercus alba</i>	
<i>Doellingeria umbellata</i>	<i>Quercus ellipsoidalis</i>	
<i>Dryopteris carthusiana</i>	<i>Quercus rubra</i>	
<i>Echinocystis lobata</i>	<i>Ranunculus sceleratus</i>	
<i>Eleocharis cf. erythropoda</i>	<i>Rhamnus cathartica</i>	
<i>Equisetum hyemale</i> subsp. <i>affine</i>	<i>Rubus cf. allegheniensis</i>	
<i>Erigeron annuus</i>	<i>Rubus idaeus</i> var. <i>strigosus</i>	
<i>Eurybia macrophylla</i>	<i>Rubus sp. 1</i>	
<i>Fallopia sp.</i>	<i>Salix interior</i>	
<i>Fragaria virginiana</i>	<i>Sambucus sp.</i>	
<i>Fraxinus pennsylvanica</i>	<i>Schoenoplectus tabernaemontani</i>	
<i>Galium aparine</i>	<i>Scirpus cyperinus</i>	
<i>Galium boreale</i>	<i>Solanum dulcamara</i>	
<i>Galium triflorum</i> var. <i>triflorum</i>	<i>Solidago gigantea</i>	
<i>Geranium maculatum</i>	<i>Symphyotrichum sp.</i>	
<i>Geum canadense</i>	<i>Taraxacum officinale</i>	
<i>Glechoma hederacea</i>	<i>Thlaspi arvense</i>	
<i>Hackelia virginiana</i>	<i>Toxicodendron rydbergii</i>	
<i>Helianthus sp.</i>	<i>Trientalis borealis</i>	
<i>Ilex verticillata</i> var. <i>verticillata</i>	<i>Typha sp.</i>	
<i>Impatiens capensis</i>	<i>Ulmus americana</i>	

Appendix C – Representative Photos





Photo pt 0003: Wetland basin dominated by reed canary grass (facing east)



Photo pt 0004: Oak forest with interrupted canopy (facing northwest)



Photo pt 0005: Wetland basin dominated by reed canary grass (facing northwest)



Photo pt 0006: Oak forest (facing west)



Photo pt 0007: North-south ditch near edge of oak forest community (facing north)



Photo pt 0009: Sod field (facing north)



Photo pt 0010: North-south ditch within sod field (facing north)



Photo pt 0012: North-south ditch on west end of survey area (facing north)



Photo pt 0013: Sod field (facing east)



Photo pt 0014: East-west lateral ditch along 143rd St. NE (facing east)



Photo pt 0015: Excavated basin adjacent to 143rd St. NE (facing west)



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 3/3/2021

Date of Receipt _____
Receipt # _____

Meeting Appearance Dates:
Planning Commission 6-28-2021 City Council _____

Please check request(s):

- | | |
|--|---|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input type="checkbox"/> Commercial Building Permit |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input checked="" type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input checked="" type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other _____ |

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: HFN Properties LLC

Address/Location of property: 244 - Packard St. NE

Legal Description of property: Phase III Hidden Forest East

PIN # 25-32-23-12-0001 25-32-23-11-0001 Current Zoning R-A Proposed Zoning R-1

Notes: Parts of 25-32-23-13-0002 + 14-0002, Tract B+C RLS 281

Applicant's Name: JEFF STAIBUGER

Business Name: HFN Properties, LLC

Address 17404 - WARD LK DR. NW

City Andover State MN Zip Code 55304

Phone 612-799-1471 Cell Phone _____ Fax _____

Email address STALLY68@MSN.COM

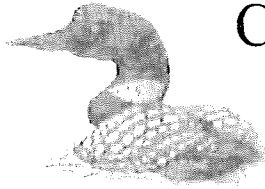
You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Jeff Stalbuger DATE 3/3/2021

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

NOTICE OF PUBLIC HEARING
CITY OF HAM LAKE
COUNTY OF ANOKA
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, June 28, 2021 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Jeff Stalberger, HFN Properties, LLC, requesting preliminary plat approval and rezoning to R-1 (single family residential) the development of Hidden Forest East 3rd Addition (38 residential single family lots) located in Section 25, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

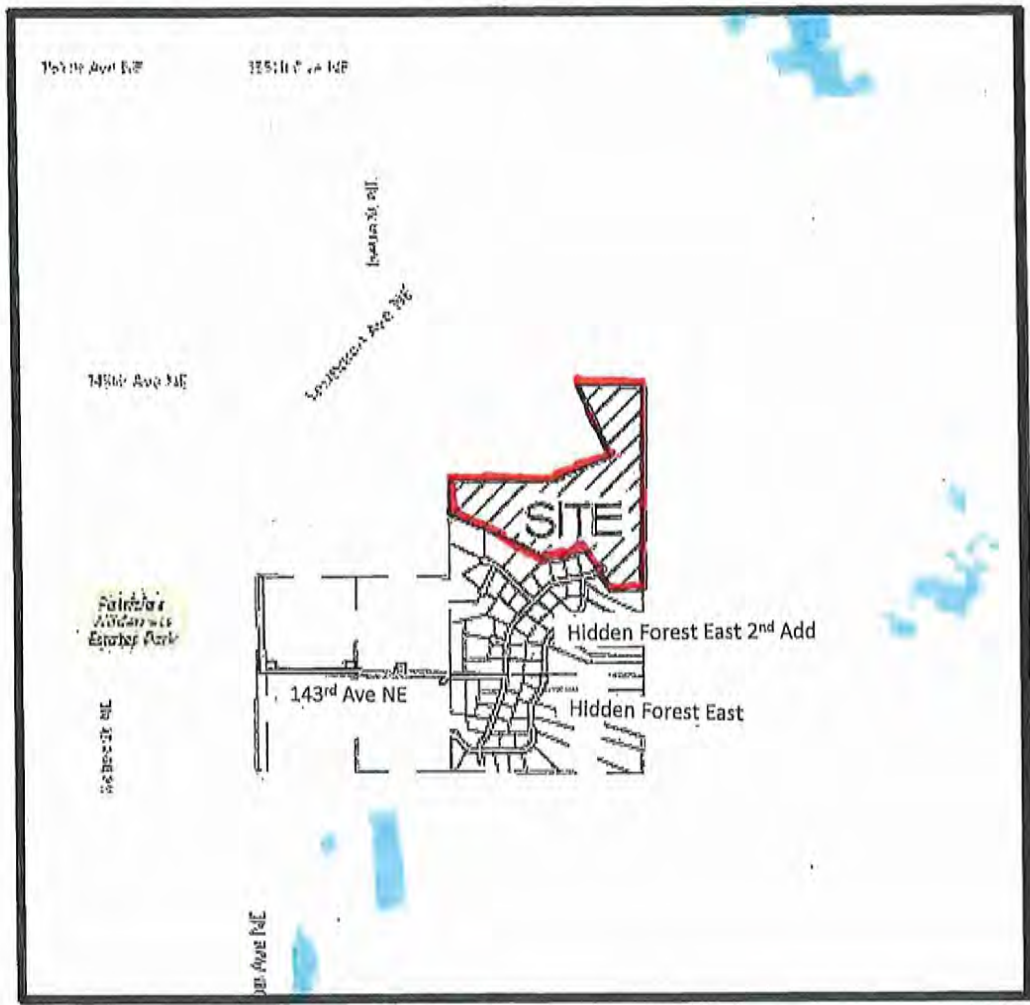
Parcel ID#'s	25-32-23-12-0001 25-32-23-11-0001
Parts of	25-32-23-13-0002 25-32-23-14-0002

Tract B and Tract C, Registered Land Survey 281, Anoka County, Minnesota and Part of the Northeast Quarter of the Northeast Quarter of Section 25, Township 32, Range 23, Anoka County, Minnesota.

At such hearing both written and oral comments will be heard.

DATED: June 18, 2021

Jennifer Bohr
Zoning & Building Clerk
City of Ham Lake



Hidden Forest East 3rd Addition



ORDINANCE NO. 21-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Hidden Forest East 3rd Addition).

The land referred to herein is situated in the State of Minnesota, Anoka County described as follows:

Parcel ID#'s	25-32-23-12-0001
	25-32-23-11-0001
Parts of	25-32-23-13-0002
	25-32-23-14-0002

Tract B and Tract C, Registered Land Survey 281, Anoka County, Minnesota and Part of the Northeast Quarter of the Northeast Quarter of Section 25, Township 32, Range 23, Anoka County, Minnesota.

Presented to the Ham Lake City Council on July 6, 2021 and adopted by a unanimous vote this ____ day of _____, 2021.

Michael G. Van Kirk, Mayor

Denise Webster, City Clerk

Memorandum

Date: June 23, 2021
To: Planning Commissioners
From: Tom Collins, City Engineer *TPC*
Subject: Hidden Forest East 3rd Addition

Introduction:

The Title Sheet, Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan, Livability Chart were received June 17th, the Utility Plan – Storm Sewer, Details and Stormwater Pollution Prevention Plan were received May 13th and the Stormwater Drainage Report was received May 13th for the proposed 38 lot residential development located on the 80.91 combined acres of parcels 25-32-23-13-0002 (Tract B of RLS 281) and 25-32-23-14-0002 (Tract C of RLS 281) and a portion of parcel 25-32-23-11-0001. The parcels are currently zoned Rural Single Family Residential (R-A) and will be zoned R-1. A 600-scale zoning map is attached. The project conforms to the Sketch Plan that was approved at the September 21, 2020 City Council meeting. All of the prior review comments have been addressed.

Discussion:

In addition to the standard preliminary plat, this development requires a Registered Land Survey (RLS) in order to split off the parcel from the parent parcels, due to the overall property being registered with Anoka County as Torrens property. Since this land is registered (versus abstract), it cannot be conveyed utilizing a simple “metes and bounds” description. Tracts A and B of the RLS will remain under the current ownership, and Tract C is being incorporated into the Plat.

Parkland dedication is being proposed within the Hidden Forest East Park Addition, which is located on the 143rd Avenue access to the proposed 3rd Addition. The City Council concurred with the Park and Tree Commission recommendation that the next phase after Hidden Forest East 2nd Addition include parkland dedication. The September 19, 2018 Park and Tree meeting minutes are attached.

Minnesota Rule 4410.4300 (<https://www.revisor.mn.gov/rules/4410.4300>) specifies mandatory Environmental Assessment Worksheet (EAW) categories. Per this Rule, if the proposed project is an expansion or additional stage of an existing project, the cumulative total of the proposed project and any existing stages or components of the existing project must be included when determining if a threshold is met or exceeded if construction began within three years before the date of application for a permit or approval from a governmental unit for the expansion or additional stage. The cumulative total includes Hidden Forest 2nd Addition, since construction commencement was within the last three years. The project was reviewed for whether it triggered an EAW for subpart 19 (Residential Development) or subpart 36 (Land use conversion, including golf courses).

The threshold for the preparation of an EAW per subpart 19 is 250 unattached units, per Part D. The combined units for the 2nd Addition (43 lots) and the 3rd Addition (38 lots) is well under the 250-unit threshold. The subpart 36 threshold is land use conversion where the lot size is less than five acres, and other projects resulting in the permanent conversion of 80 or more acres of agricultural, native prairie, forest, or naturally vegetated land. The combined land use conversion, which excludes the ponding areas and the proposed borrow pit, is 64.2 acres (33.9 acres for the 2nd Addition and 30.3 acres for the 3rd Addition) so the acreage requirement is also under the threshold for the preparation of an EAW.

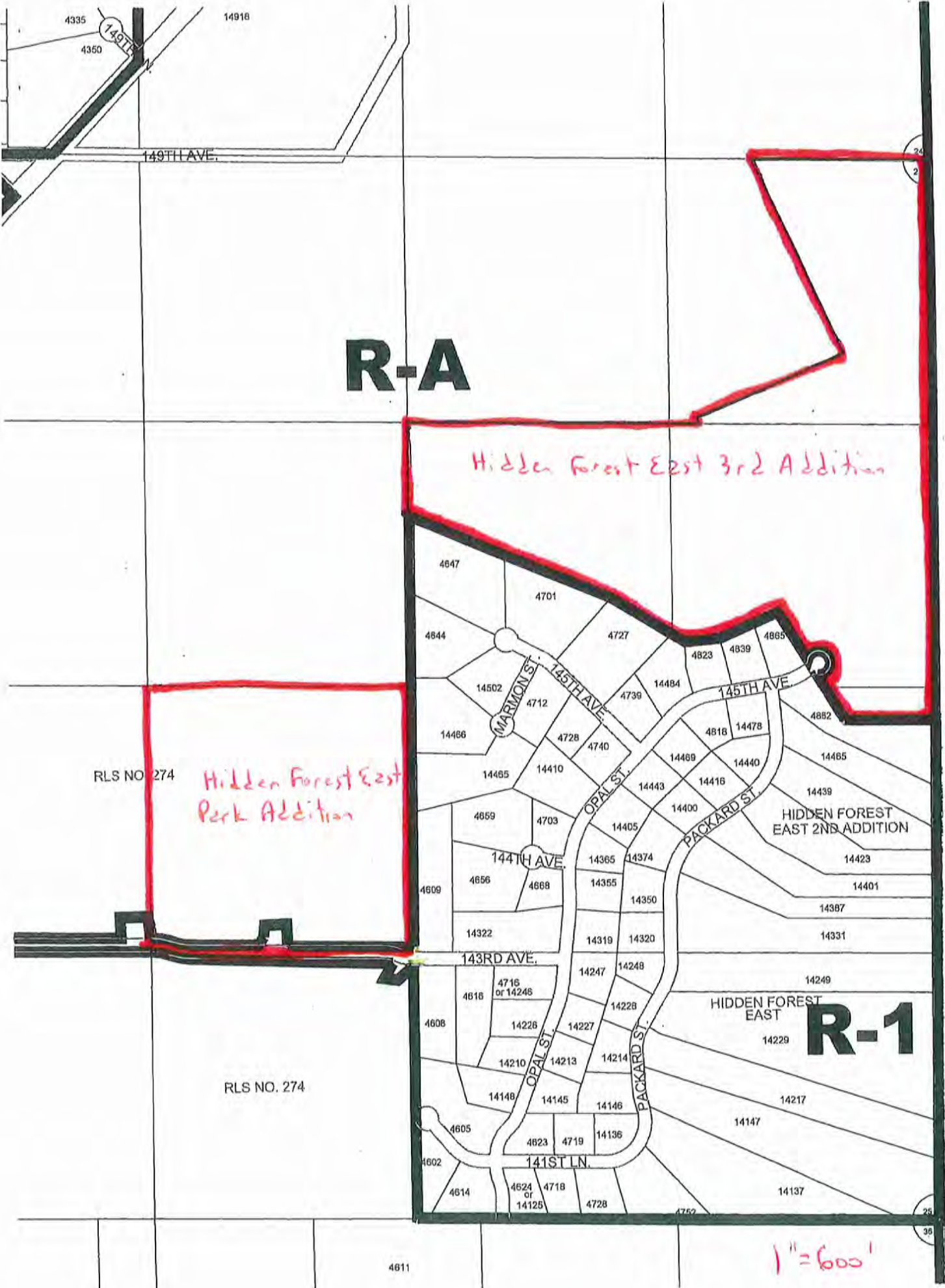
A proposed Hidden Forest East monument is proposed in the northeast corner of Lexington Avenue and 143rd Avenue. The monument is proposed within a drainage and utility easement, that was dedicated in conjunction with the 143rd Avenue upgrade associated with the Hidden Forest East plat. Per the attached Monument Exhibit, Public Works access for access and maintenance of the stormwater treatment outlet within the easement will not be compromised by the monument. A License Agreement will be required, which will be covered in the Development Agreement.

FEMA Letter of Map Amendments will be needed for Lots 3 thru 5 and Lots 8 thru 11 of Block 1 and Lots 1 and 2 of Block 2. The preliminary plat was granted contingent approval at the April 26th Coon Creek Watershed District (CCWD) Board of Managers meeting, per the attached. The April 5th Tradewell Soil Testing septic certification certifies that the lots will support two standard septic systems in accordance with Minnesota Rules 7080.

The September 11, 2020 Rare Plant Survey Report documented the presence of black huckleberry within the properties, which the DNR has classified as threatened. Per the attached Rare Species Avoidance Plan, no black huckleberry plants are to be disturbed. Blanding's turtles have been reported in the vicinity of the proposed project and may be encountered on site. If during construction Blanding's turtles are encountered they are to be moved by hand out of harm's way, otherwise they are to be left undisturbed.

Recommendations:

It is recommended that the Preliminary Plat of Hidden Forest East 3rd Addition, and the accompanying Registered Land Survey, be recommended for approval to the City Council.



R-A

Hidden Forest East 3rd Addition

RLS NO. 274 *Hidden Forest East Park Addition*

HIDDEN FOREST EAST 2ND ADDITION

R-1

RLS NO. 274

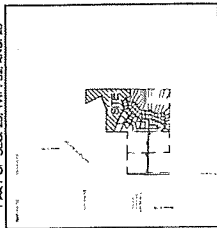
1" = 600'

TITLE SHEET

-of- HIDDEN FOREST EAST 3RD ADDITION
 -for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 789-1471

VICINITY MAP


PART OF SEC. 25, TWP. 32, RANG. 23



ANCKA COUNTY, MINNESOTA
 (NOT SCALED)

SHEET INDEX

- | | |
|---------------|--------------------------------------|
| T1 | TITLE SHEET |
| 2-3 | PRELIMINARY PLAN |
| 4-8 | GRADING PLAN |
| 9-13 | LIVABILITY PLAN |
| 14-16 | LIVABILITY CHART |
| C1.01 - C1.03 | UTILITY PLAN |
| C2.01 - C2.04 | DETAILS |
| C3.01 - C3.02 | STORMWATER POLLUTION PREVENTION PLAN |


PLOWE
 SURVEYING & ENGINEERING, INC.
 8774 LAKE DRIVE
 LINO LAKES, MN 55014
 PHONE: (612) 861-1919
 FAX: (612) 861-1921

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM ORFEL
 DATE: 08.17.13 LIC. NO. 48949

I hereby certify that this survey, plan or report was prepared by me or under my close personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Minnesota.

JOSHUA
 DATE: 08.17.2013 License No. 41379


E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel: (651) 381-8600 Fax: (651) 381-6911



NO.	DATE	BY	DESCRIPTION
1	02/11/13	ADAM ORFEL	CITY/PLANNING COMMENTS
2	02/11/13	ADAM ORFEL	CITY/PLANNING COMMENTS
3	02/11/13	ADAM ORFEL	CITY/PLANNING COMMENTS
4	02/11/13	ADAM ORFEL	CITY/PLANNING COMMENTS

SHEET 11

PRELIMINARY PLAT

~of~ HIDDEN FOREST EAST 3RD ADDITION
 ~for~ HFN PROPERTIES, LLC,
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304

PROPERTY DESCRIPTION

TRACT B AND TRACT C, SUBSTANDARD LAND
 SURVEY NO. 281, Anoka County, Minnesota
 and
 Part of the Block 20, Quarter of the Northwest
 Quarter of Section 22, Township 22N, Range
 22E, Anoka County, Minnesota.



NORTH

GRAPHIC SCALE
 1 INCH = 100 FEET

NOTES

- 1. Existing storm are on Anoka County claim.
- 2. This survey was prepared without the benefit of title work.
- 3. Additional easements, restrictions and/or encumbrances may exist which are not shown on this plat. The commissioner or his attorney's title opinion.
- 4. Total lot areas are calculated to street centerline per definition.
- 5. Wetlands delineated by Kishewee Environmental Services, Inc.

Parcel ID #'s
 25-22-22-11-0001
 25-22-22-11-0002
 25-22-22-14-0001

OWNER: KISHU FAMILY LIMITED PARTNERSHIP

I hereby certify that this survey, plan
 and plat were prepared by me or under
 my direct supervision and that I am
 a duly licensed and qualified land surveyor
 in the State of Minnesota.

[Signature]
 Date: 05/12/2021 License No. 41574

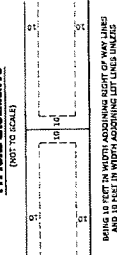
NO.	DATE	DESCRIPTION	BY
1	05/12/2021	PRELIMINARY PLAT	W. J. RUD
2	05/12/2021	FIELD NOTES	W. J. RUD
3	05/12/2021	OFFICE CALCULATIONS	W. J. RUD
4	05/12/2021	PLAT PREPARATION	W. J. RUD

W. J. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 www.wjrud.com
 Tel: (651) 361-6200 Fax: (651) 361-6701

DEVELOPMENT DATA

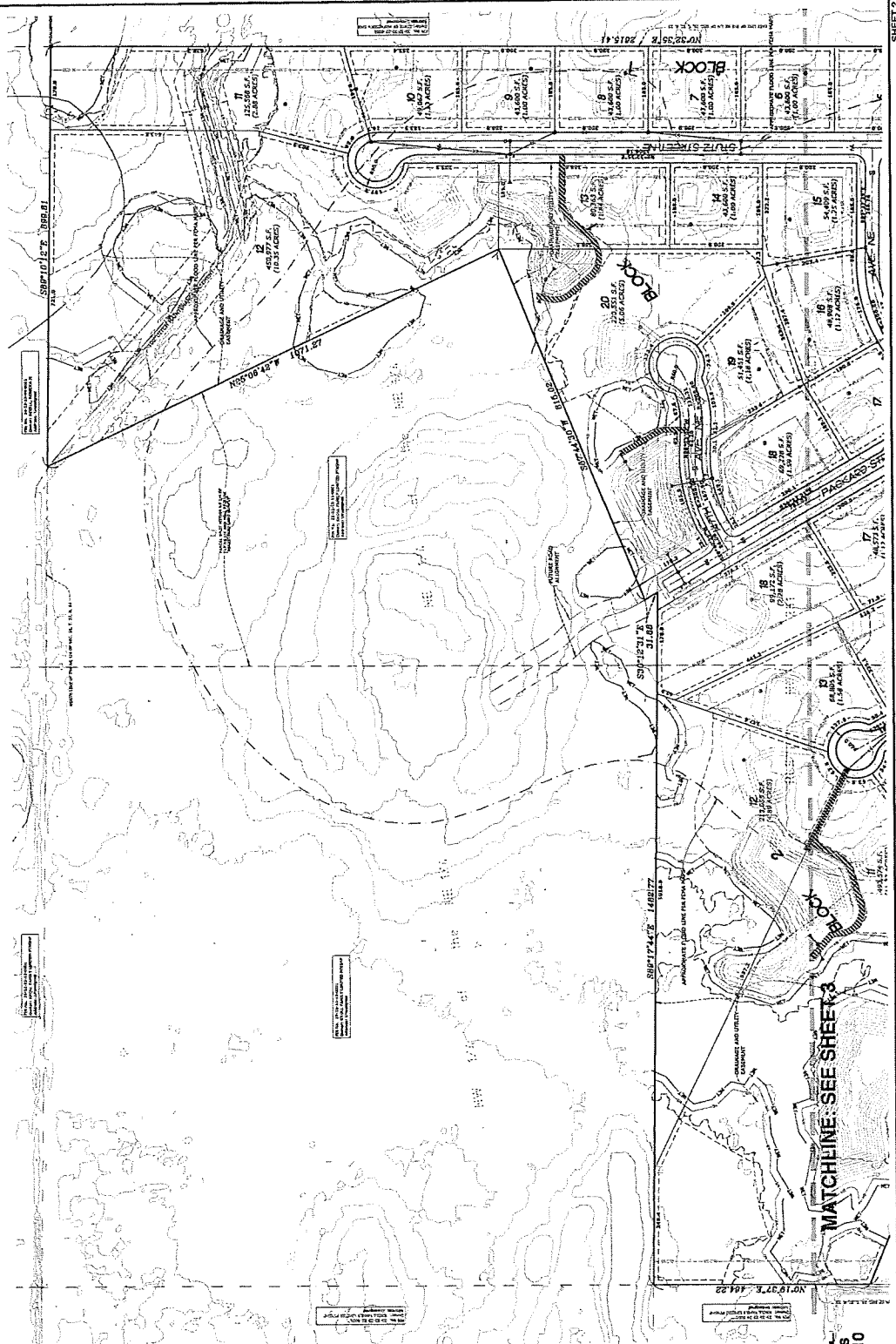
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- AVG. LOT AREA = 3.124 ACRES
- AVG. LOT FRONTAGE = 280 FEET
- MINIMUM LOT AREA = 1.00 ACRES (INCLUDING HALF OF STREET BOW)
- PROPOSED ZONING = R-1
- BUILDING SETBACKS
 FRONT = 10 FEET
 SIDE = 5 FEET
 REAR = 10 FEET
 COUNTY ROAD = 65 FEET

TYPICAL EASEMENTS



LEGEND

- 0 PROPOSED LOT BOUNDARIES
- 1 EXISTING LOT BOUNDARIES
- 2 EXISTING LOT BOUNDARIES
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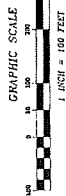
PRELIMINARY PLAT

for HIDDEN FOREST EAST 3RD ADDITION
 of HIDDEN FOREST PROPERTIES, LLC
 1740A WARD LAKE DRIVE NW
 ANDOVER, MN 55304

PROPERTY DESCRIPTION

Lot 25 and Lot 26
 of the North Quarter of the Northwest
 Quarter of Section 25, Township 33, Range
 23, Area County, Minnesota.

NORTH



NOTES

- Boundaries shown are as shown on County Plat.
- Boundaries shown are based on a survey of 2013.
- Additional easements, encroachments and/or measurements may exist other than those shown hereon. Surveyor makes no warranty as to their existence.
- Totals for areas are calculated to street centerline per ordinance.
- Website referenced by (X) is (X) Software Environmental Services, Inc.
- Parcel ID #'s
- Precinct #'s
- Owner: HIDDEN FOREST EAST PARTNERSHIP
- 1 hereby certifies that the survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor within the laws of the State of Minnesota.

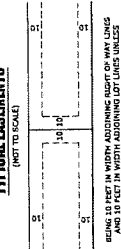
DATE: 05/27/2015 LICENSE NO. 43378
 E.C. RIDG & SONS, INC.
 6776 Lake Drive NE Suite 110
 Lino Lakes, MN 55014
 Tel: (651) 361-8200 Fax: (651) 361-8701

OWNER	DATE	ISSUED	EXPIRES	STATUS
SECRETARY OF STATE	05/27/2015	05/27/2016	05/27/2016	ACTIVE
STATE	05/27/2015	05/27/2016	05/27/2016	ACTIVE
STATE	05/27/2015	05/27/2016	05/27/2016	ACTIVE

DEVELOPMENT DATA

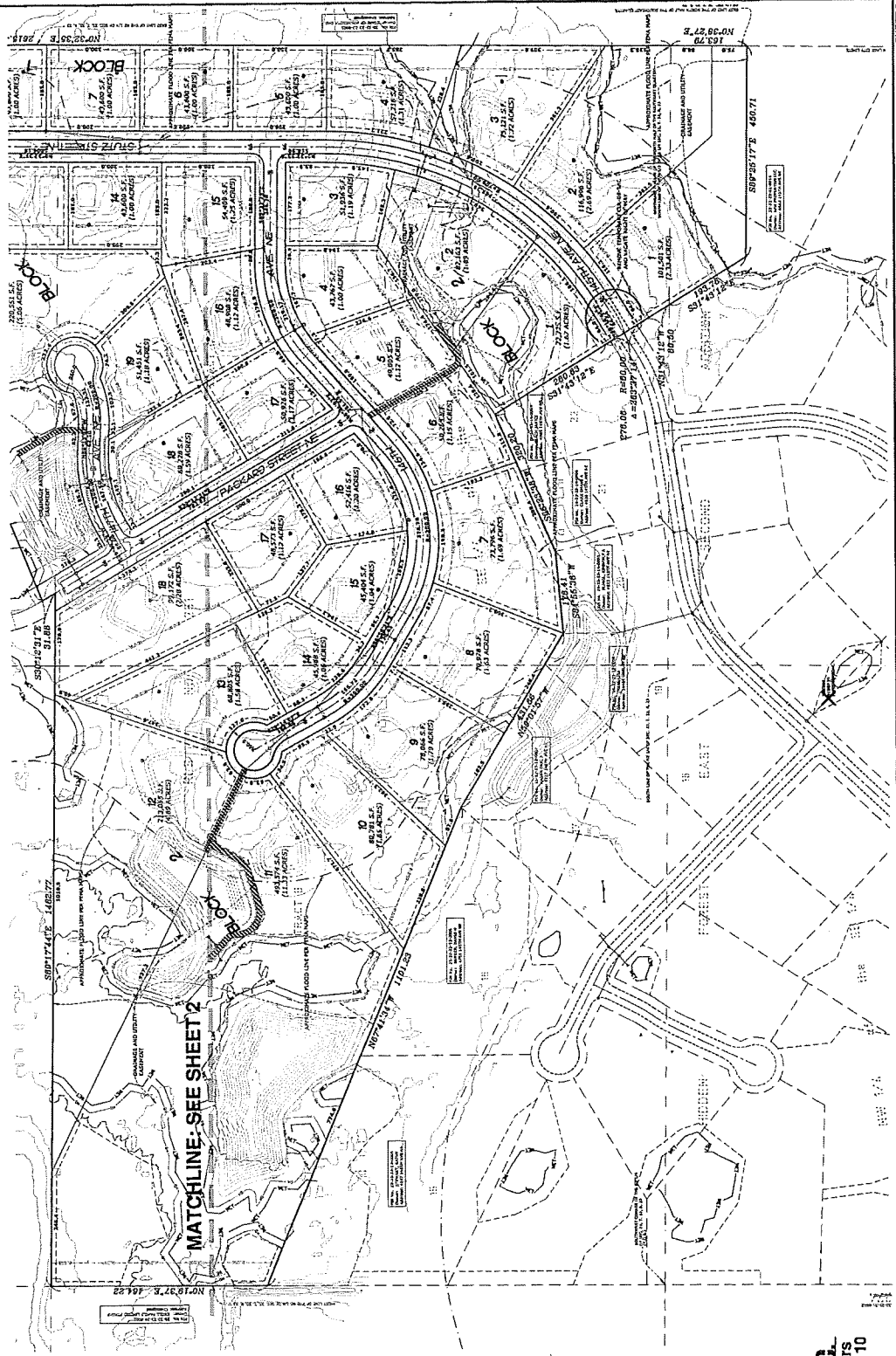
TOTAL LOT AREA = 80.83 ACRES
 38 PROPOSED SINGLE FAMILY LOTS
 AVERAGE LOT SIZE = 2.129 ACRES
 MINIMUM STREET FRONTAGE = 283 FEET
 MINIMUM LOT DEPTH = 100 ACRES (INCLUDING HALF OF STREET ROW)
 BUILDING SETBACKS
 FRONT - 20 FEET
 SIDE - 10 FEET
 REAR - 10 FEET
 CORNER - 10 FEET

TYPICAL EASEMENTS



LEGEND

- SYMBOLS SHOWN WITHIN THIS PLAT AS LABELLED
- SYMBOLS SHOWN WITHIN THIS PLAT AS LABELLED
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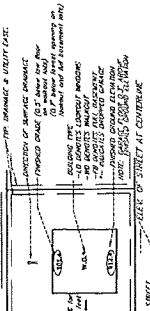


SHEET 3

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of- HIDDEN FOREST EAST 3RD ADDITION
 ~for- HFN PROPERTIES, LLC
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT

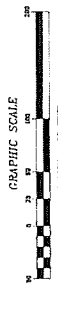


LEGEND

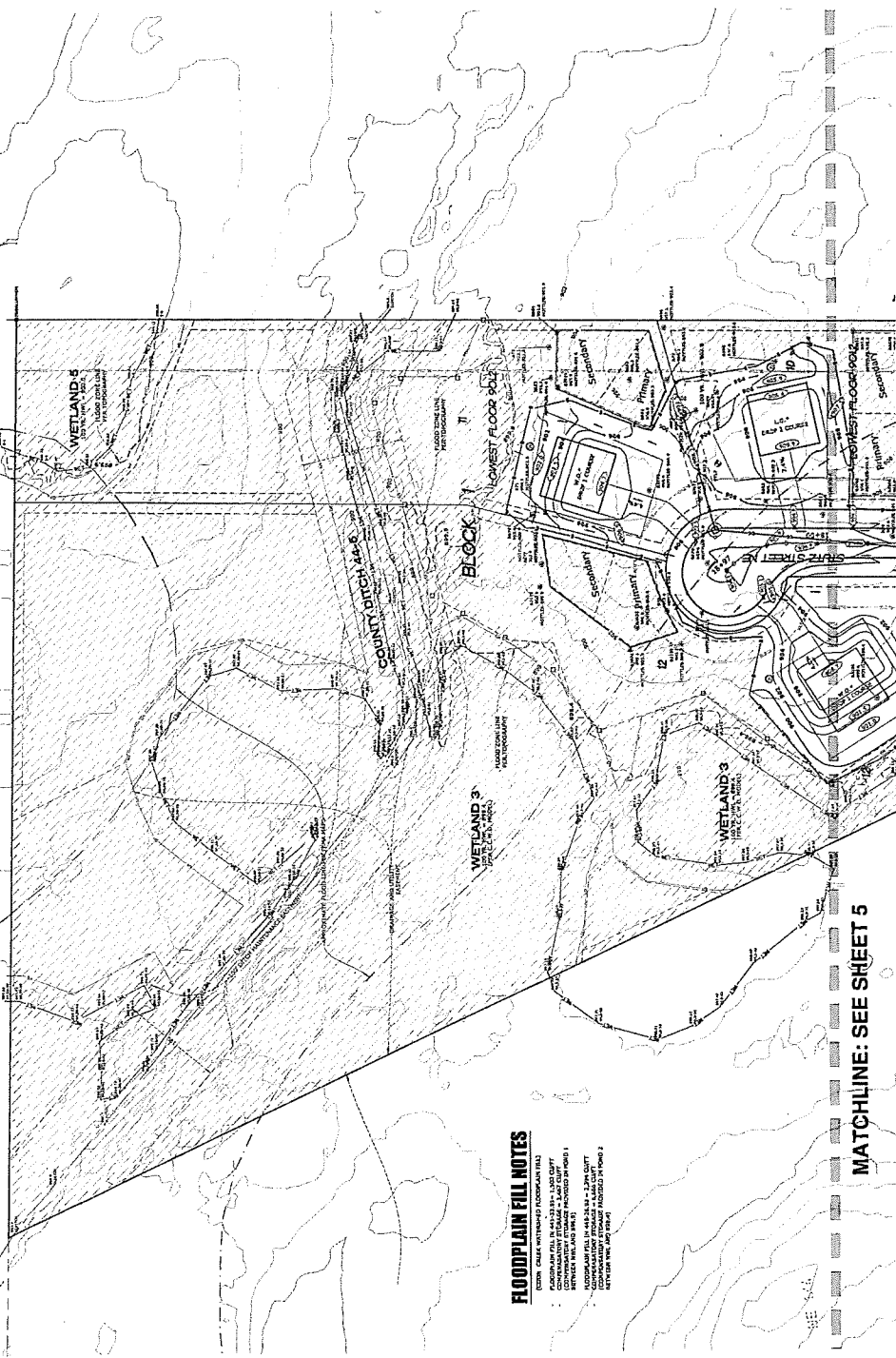
- CHANGES TO BE MADE BY THE SURVEYOR
- CHANGES TO BE MADE BY THE ENGINEER
- CHANGES TO BE MADE BY THE ARCHITECT
- CHANGES TO BE MADE BY THE LANDSCAPE ARCHITECT
- CHANGES TO BE MADE BY THE CIVIL ENGINEER
- CHANGES TO BE MADE BY THE ELECTRICAL ENGINEER
- CHANGES TO BE MADE BY THE MECHANICAL ENGINEER
- CHANGES TO BE MADE BY THE PLUMBING ENGINEER
- CHANGES TO BE MADE BY THE STRUCTURAL ENGINEER
- CHANGES TO BE MADE BY THE SURVEYOR
- CHANGES TO BE MADE BY THE ARCHITECT
- CHANGES TO BE MADE BY THE LANDSCAPE ARCHITECT
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- CHANGES TO BE MADE BY THE STRUCTURAL ENGINEER
- CHANGES TO BE MADE BY THE SURVEYOR
- CHANGES TO BE MADE BY THE ARCHITECT
- CHANGES TO BE MADE BY THE LANDSCAPE ARCHITECT
- CHANGES TO BE MADE BY THE CIVIL ENGINEER
- CHANGES TO BE MADE BY THE ELECTRICAL ENGINEER
- CHANGES TO BE MADE BY THE MECHANICAL ENGINEER
- CHANGES TO BE MADE BY THE PLUMBING ENGINEER
- CHANGES TO BE MADE BY THE STRUCTURAL ENGINEER
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- CHANGES TO BE MADE BY THE MECHANICAL ENGINEER
- CHANGES TO BE MADE BY THE PLUMBING ENGINEER
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- CHANGES TO BE MADE BY THE LANDSCAPE ARCHITECT
- CHANGES TO BE MADE BY THE CIVIL ENGINEER
- CHANGES TO BE MADE BY THE ELECTRICAL ENGINEER
- CHANGES TO BE MADE BY THE MECHANICAL ENGINEER
- CHANGES TO BE MADE BY THE PLUMBING ENGINEER
- CHANGES TO BE MADE BY THE STRUCTURAL ENGINEER

PLOWE
 ENGINEERING, INC.
 5776 LAKE DRIVE, SUITE 110
 LINO LAKES, MN 55014
 PHONE (612) 281-4810
 FAX (612) 281-4811

DATE: 06/12/2011
 DRAWN BY: JACOB L'AMOREUX
 CHECKED BY: JACOB L'AMOREUX



E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 www.egrud.com
 Tel: (612) 381-8888 Fax: (612) 381-8781



FLOODPLAIN FILL NOTES

1. FLOODPLAIN FILL SHALL BE PLACED TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.
2. FLOODPLAIN FILL SHALL BE PLACED TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.
3. FLOODPLAIN FILL SHALL BE PLACED TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.
4. FLOODPLAIN FILL SHALL BE PLACED TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.
5. FLOODPLAIN FILL SHALL BE PLACED TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.

LOT GRADING NOTES

1. LOT GRADING SHALL BE TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.
2. LOT GRADING SHALL BE TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.
3. LOT GRADING SHALL BE TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.
4. LOT GRADING SHALL BE TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.
5. LOT GRADING SHALL BE TO A MINIMUM OF 1.0 FT ABOVE THE 100-YEAR FLOOD ELEVATION.

TREE PROTECTION NOTES

1. ALL TREES TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR AT THE COMMENCEMENT OF CONSTRUCTION.
2. ALL TREES TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR AT THE COMMENCEMENT OF CONSTRUCTION.
3. ALL TREES TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR AT THE COMMENCEMENT OF CONSTRUCTION.
4. ALL TREES TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR AT THE COMMENCEMENT OF CONSTRUCTION.
5. ALL TREES TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR AT THE COMMENCEMENT OF CONSTRUCTION.

NOTES

1. EXISTING CONDITIONS SHALL BE SHOWN AS DOTTED LINES.
2. ALL PROPOSED CONDITIONS SHALL BE SHOWN AS SOLID LINES.
3. ALL PROPOSED CONDITIONS SHALL BE SHOWN AS SOLID LINES.
4. ALL PROPOSED CONDITIONS SHALL BE SHOWN AS SOLID LINES.
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9. ALL PROPOSED CONDITIONS SHALL BE SHOWN AS SOLID LINES.
10. ALL PROPOSED CONDITIONS SHALL BE SHOWN AS SOLID LINES.

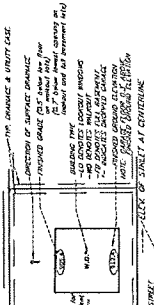
NORTH

SHEET 4

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of- HIDDEN FOREST EAST 3RD ADDITION
 ~10~ HEN PROPERTIES, LLC
 1780 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



LEGEND

- EROSION CONTROL: CONSTRUCTION SCHEDULE 2
- EROSION CONTROL: CONSTRUCTION SCHEDULE 3
- EROSION CONTROL: CONSTRUCTION SCHEDULE 4
- EROSION CONTROL: CONSTRUCTION SCHEDULE 5
- EROSION CONTROL: CONSTRUCTION SCHEDULE 6
- EROSION CONTROL: CONSTRUCTION SCHEDULE 7
- EROSION CONTROL: CONSTRUCTION SCHEDULE 8
- EROSION CONTROL: CONSTRUCTION SCHEDULE 9
- EROSION CONTROL: CONSTRUCTION SCHEDULE 10
- EROSION CONTROL: CONSTRUCTION SCHEDULE 11
- EROSION CONTROL: CONSTRUCTION SCHEDULE 12
- EROSION CONTROL: CONSTRUCTION SCHEDULE 13
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- EROSION CONTROL: CONSTRUCTION SCHEDULE 27
- EROSION CONTROL: CONSTRUCTION SCHEDULE 28
- EROSION CONTROL: CONSTRUCTION SCHEDULE 29
- EROSION CONTROL: CONSTRUCTION SCHEDULE 30

PLOWE
 PROFESSIONAL LAND SURVEYORS
 10101 W. WISCONSIN AVE. STE. 200
 ANDOVER, MN 55304
 (612) 799-1471
 www.plowe.com

DATE: 04/23/2011 LIC. NO. 43280



E.C. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55114
 Tel: (651) 361-8200 Fax: (651) 361-8701

FLOODPLAIN FILL NOTES

- 1. FLOODPLAIN FILL IS TO BE PLACED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 2. FLOODPLAIN FILL IS TO BE PLACED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 3. FLOODPLAIN FILL IS TO BE PLACED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 4. FLOODPLAIN FILL IS TO BE PLACED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 5. FLOODPLAIN FILL IS TO BE PLACED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:



NOTES

- 1. VERIFY EXISTING UTILITIES, PIPES, AND CONDUITS BEFORE ANY CONSTRUCTION BEGINS.
- 2. PROTECT ALL EXISTING UTILITIES, PIPES, AND CONDUITS FROM DAMAGE DURING CONSTRUCTION.
- 3. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- 4. PROTECT ALL EXISTING TREES AND SHRUBS FROM DAMAGE DURING CONSTRUCTION.
- 5. MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- 6. MAINTAIN SITE SAFETY AND SECURITY AT ALL TIMES.
- 7. MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
- 8. MAINTAIN RECORDS OF ALL EROSION CONTROL MEASURES.
- 9. MAINTAIN RECORDS OF ALL TREE PROTECTION MEASURES.
- 10. MAINTAIN RECORDS OF ALL FLOODPLAIN FILL ACTIVITIES.
- 11. MAINTAIN RECORDS OF ALL GRADING ACTIVITIES.
- 12. MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
- 13. MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
- 14. MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
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- 29. MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.
- 30. MAINTAIN RECORDS OF ALL CONSTRUCTION ACTIVITIES.

LOT GRADING NOTES

- 1. LOT GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 2. LOT GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 3. LOT GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 4. LOT GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 5. LOT GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

EROSION CONTROL / REVEGETATION SPECS.

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING ACTIVITIES.
- 2. REVEGETATION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF GRADING.
- 3. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 4. REVEGETATION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 5. EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
- 6. REVEGETATION SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.

TREE PROTECTION NOTES

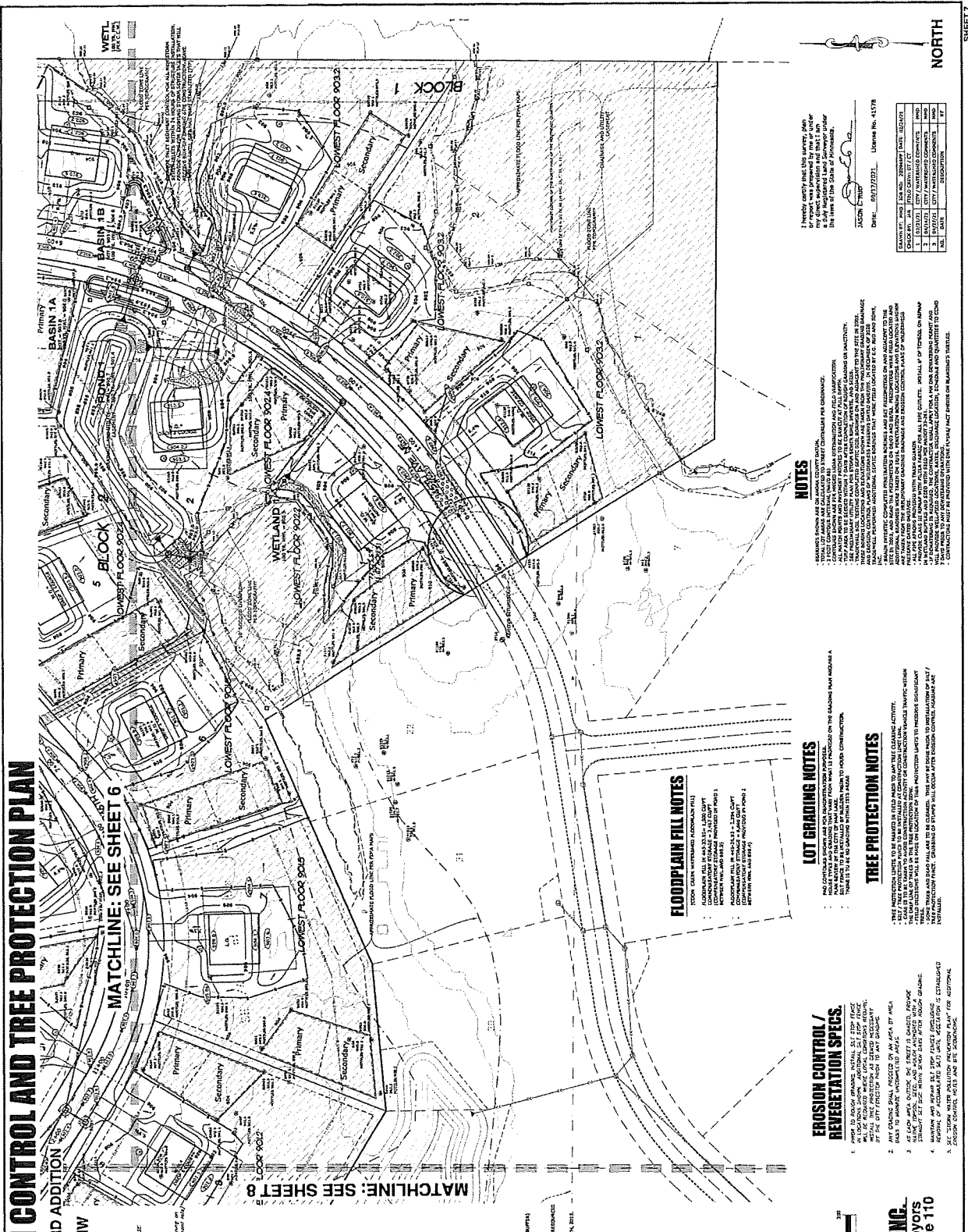
- 1. TREE PROTECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 2. TREE PROTECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 3. TREE PROTECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 4. TREE PROTECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- 5. TREE PROTECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

NORTH

SHEET 6

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

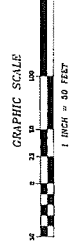
-of- HIDDEN FOREST EAST 3RD ADDITION
 -for- HEN PROPERTIES, LLC
 -17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



- LEGEND**
- █ CHUTE TO BE INSTALLED BY CONTRACTOR. SEE SPECIFICATIONS.
 - STRUCTURE TO BE INSTALLED BY CONTRACTOR. SEE SPECIFICATIONS.
 - ▨ GRADING CALCULATIONS BY PLOVE PROFESSIONAL LAND SURVEYORS, INC.
 - ▧ GRADING CALCULATIONS BY ADRIAN O'NEILL
 - ▩ GRADING CALCULATIONS BY ADRIAN O'NEILL
 - GRADING CALCULATIONS BY ADRIAN O'NEILL
 - ▬ GRADING CALCULATIONS BY ADRIAN O'NEILL
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PLOVE
 PROFESSIONAL LAND SURVEYORS, INC.
 6776 LAKE DRIVE
 LINO LAKES, MN 55014
 PHONE (612) 381-8610
 FAX (612) 381-8600

ADRIAN O'NEILL
 LICENSED PROFESSIONAL LAND SURVEYOR
 LICENSE NO. 00150136
 DATE: 05/17/2021
 LIC. NO. 43303



E.F.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel: (651) 351-8303 Fax: (651) 351-8701

NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
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LOT GRADING NOTES

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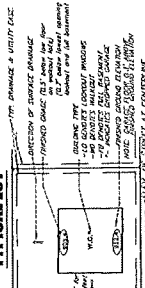
TREE PROTECTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE.
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GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

-of- HIDDEN FOREST EAST 3RD ADDITION
 -for- HEN PROPERTIES, LLC
 1760 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



LEGEND

- CONTOUR LINES BY TERRAIN OR GRADING
- PROPOSED GRADE TO 3' ABOVE FINISH GRADE
- PROPOSED GRADE TO 2' ABOVE FINISH GRADE
- PROPOSED GRADE TO 1' ABOVE FINISH GRADE
- PROPOSED GRADE TO 0' ABOVE FINISH GRADE
- PROPOSED GRADE TO 1' BELOW FINISH GRADE
- PROPOSED GRADE TO 2' BELOW FINISH GRADE
- PROPOSED GRADE TO 3' BELOW FINISH GRADE
- PROPOSED GRADE TO 4' BELOW FINISH GRADE
- PROPOSED GRADE TO 5' BELOW FINISH GRADE
- PROPOSED GRADE TO 6' BELOW FINISH GRADE
- PROPOSED GRADE TO 7' BELOW FINISH GRADE
- PROPOSED GRADE TO 8' BELOW FINISH GRADE
- PROPOSED GRADE TO 9' BELOW FINISH GRADE
- PROPOSED GRADE TO 10' BELOW FINISH GRADE
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DATE	BY	FOR	DESCRIPTION
06/17/2025	PL	PL	ISSUED FOR PERMIT
06/17/2025	PL	PL	ISSUED FOR PERMIT
06/17/2025	PL	PL	ISSUED FOR PERMIT
06/17/2025	PL	PL	ISSUED FOR PERMIT
06/17/2025	PL	PL	ISSUED FOR PERMIT

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
 Date: 06/17/2025 License No. 41578
 PL
 PL

- ### EROSION CONTROL / VEGETATION SPECS.
1. PROTECT ALL EXISTING TREES AND SHRUBS WITH 5' WIDE PROTECTION ZONES. INSTALL 2x4 SLOTTED FENCE WITH 10' HIGH WOODEN BATTERED POSTS. INSTALL 10' HIGH WOODEN BATTERED POSTS ALONG ALL EXISTING AND PROPOSED DRIVEWAYS. INSTALL 10' HIGH WOODEN BATTERED POSTS ALONG ALL EXISTING AND PROPOSED DRIVEWAYS. INSTALL 10' HIGH WOODEN BATTERED POSTS ALONG ALL EXISTING AND PROPOSED DRIVEWAYS.
 2. ALL EXISTING TREES SHALL BE PROTECTED BY A 5' WIDE PROTECTION ZONE. ALL PROPOSED TREES SHALL BE PROTECTED BY A 5' WIDE PROTECTION ZONE. ALL EXISTING TREES SHALL BE PROTECTED BY A 5' WIDE PROTECTION ZONE. ALL PROPOSED TREES SHALL BE PROTECTED BY A 5' WIDE PROTECTION ZONE.
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- ### LOT GRADING NOTES
1. ALL LOT GRADING SHALL BE TO FINISH GRADE.
 2. ALL LOT GRADING SHALL BE TO FINISH GRADE.
 3. ALL LOT GRADING SHALL BE TO FINISH GRADE.
 4. ALL LOT GRADING SHALL BE TO FINISH GRADE.
 5. ALL LOT GRADING SHALL BE TO FINISH GRADE.
- ### TREE PROTECTION NOTES
1. ALL TREE PROTECTION ZONES SHALL BE 5' WIDE.
 2. ALL TREE PROTECTION ZONES SHALL BE 5' WIDE.
 3. ALL TREE PROTECTION ZONES SHALL BE 5' WIDE.
 4. ALL TREE PROTECTION ZONES SHALL BE 5' WIDE.
 5. ALL TREE PROTECTION ZONES SHALL BE 5' WIDE.
- ### FLOODPLAIN FILL NOTES
- (FOR THE FLOODPLAIN FILL ONLY)
1. ALL FLOODPLAIN FILL SHALL BE TO FINISH GRADE.
 2. ALL FLOODPLAIN FILL SHALL BE TO FINISH GRADE.
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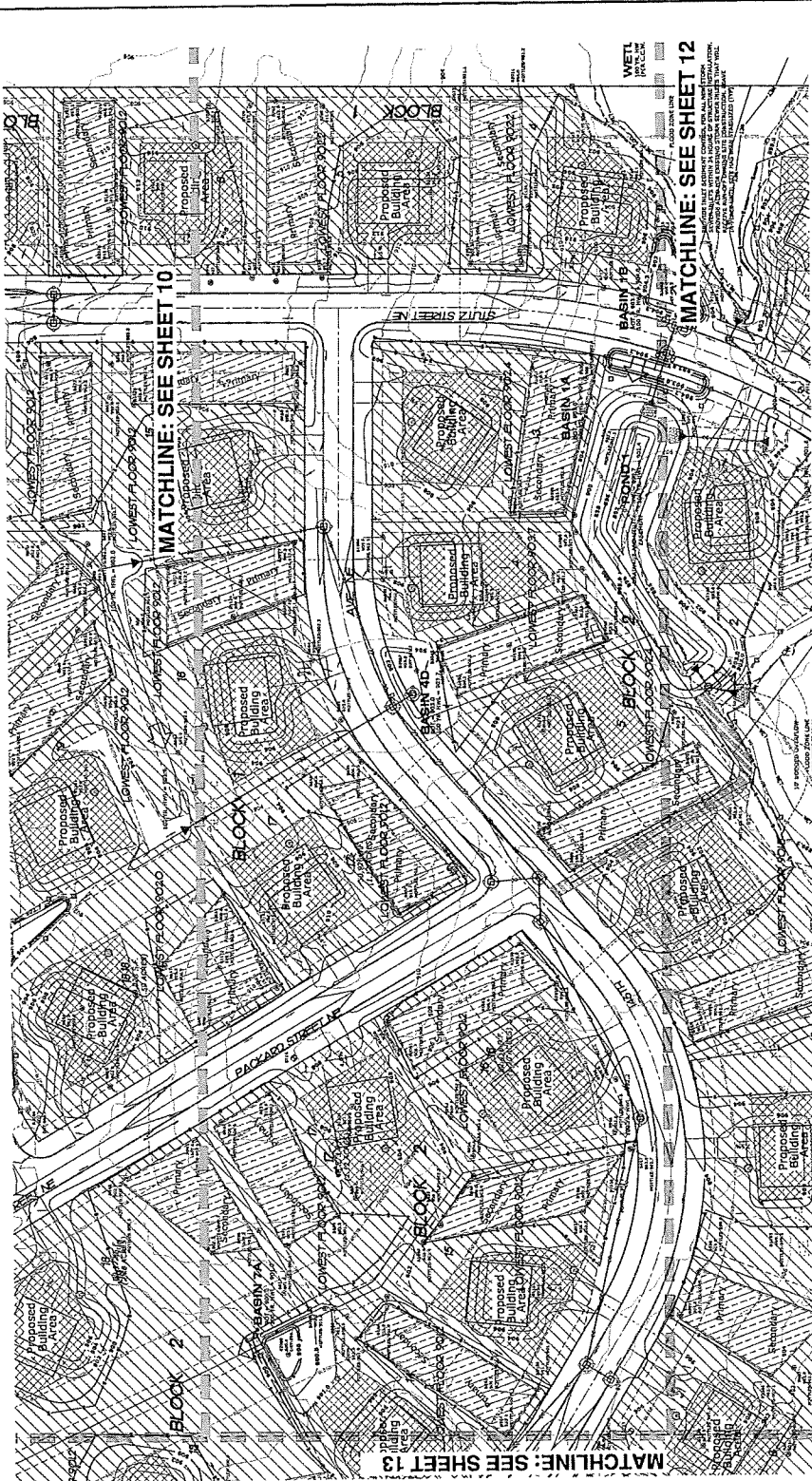
GRAPHIC SCALE
 1 INCH = 50 FEET

DATE: 06/17/2025
 U.S. NO. 43823

E.C. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE Suite 111
 Lino Lakes, MN 55114
 Tel: (651) 381-8200 Fax: (651) 381-8701
 www.egrud.com

LIVABILITY PLAN

-of- HIDDEN FOREST EAST 3RD ADDITION
 -for- HFN PROPERTIES, LLC,
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



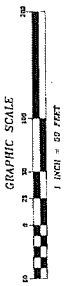
LEGEND

CONCRETE WALLS	PROPOSED BUILDING FOOTPRINTS	EXISTING DRIVEWAYS
PROPOSED DRIVEWAYS	PROPOSED SIDEWALKS	PROPOSED LANDSCAPING
PROPOSED FENCE LINE	PROPOSED UTILITY LINES	PROPOSED LIGHT FIXTURES
PROPOSED ASPHALT DRIVEWAYS	PROPOSED ASPHALT SIDEWALKS	PROPOSED ASPHALT DRIVEWAYS
PROPOSED ASPHALT SIDEWALKS	PROPOSED ASPHALT DRIVEWAYS	PROPOSED ASPHALT DRIVEWAYS
PROPOSED ASPHALT DRIVEWAYS	PROPOSED ASPHALT DRIVEWAYS	PROPOSED ASPHALT DRIVEWAYS

NOTES

- ALL DIMENSIONS ARE AS SHOWN UNLESS OTHERWISE SPECIFIED.
- EXISTING DRIVEWAYS ARE TO REMAIN UNLESS INDICATED OTHERWISE.
- EXISTING DRIVEWAYS ARE TO BE REPAIRED TO MEET MINIMUM REQUIREMENTS FOR DRIVEWAYS ON MAPSHEET.
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PLOWE ENGINEERING, INC.
 11815 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471
 www.plowe.com



E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55114
 Tel: (651) 351-4200 Fax: (651) 351-4701

NO.	DATE	DESCRIPTION
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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 E.G. Rud & Sons, Inc.
 Date: 08/17/2011 License No. 41378

NORTH

SHEET 11

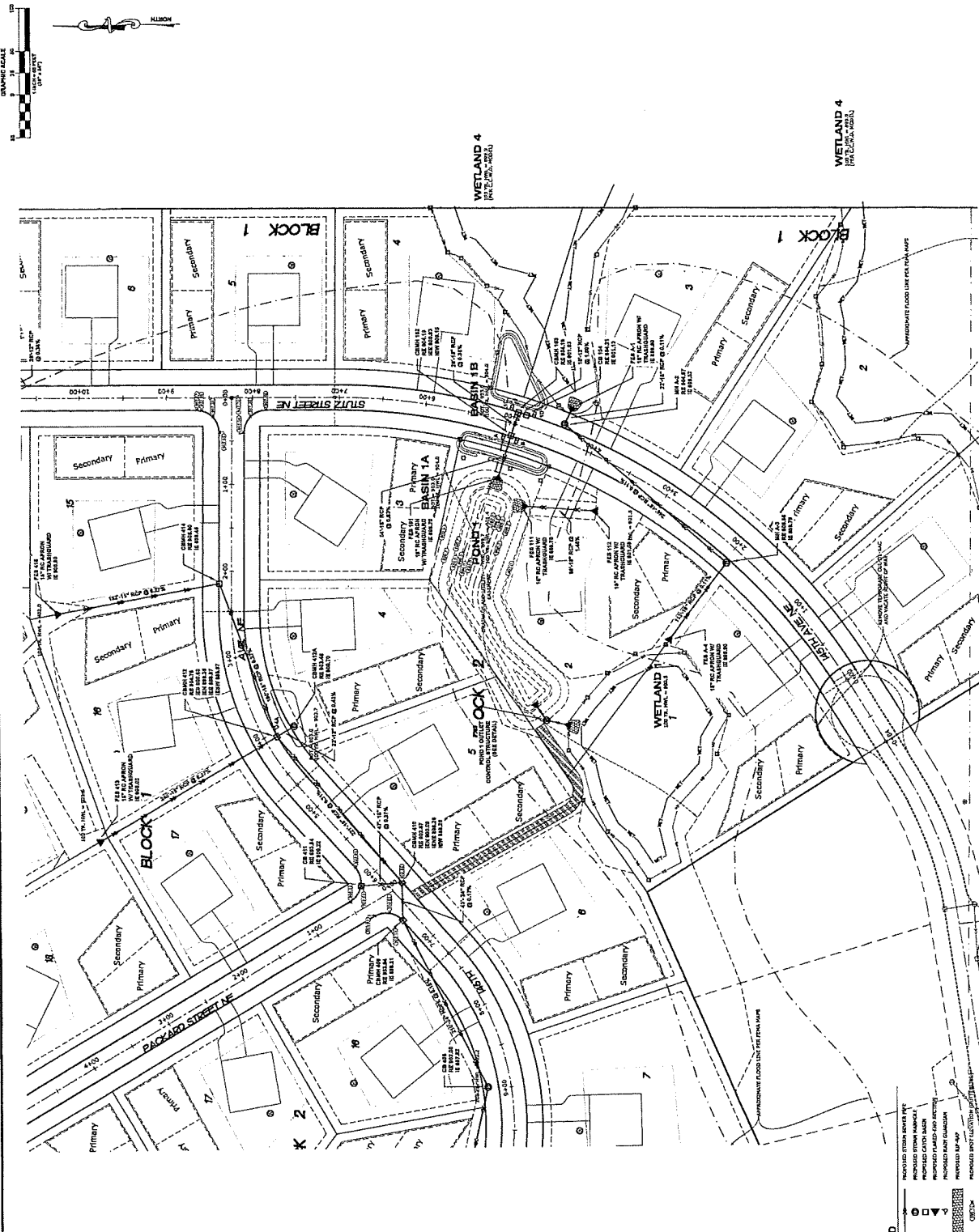
MATCHLINE: SEE SHEET 12

MATCHLINE: SEE SHEET 10

MATCHLINE: SEE SHEET 13

HIDDEN FOREST EAST 3RD ADDITION
CITY OF HAM LAKE, MINNESOTA
UTILITY PLAN - STORM SEWER

PREPARED FOR: CITY OF HAM LAKE
 PROJECT NO. 1577-1144
 DATE: 10/15/13
 DRAWN BY: J. KROGER
 CHECKED BY: J. KROGER
 APPROVED BY: J. KROGER
 TITLE: UTILITY PLAN - STORM SEWER



GENERAL NOTES

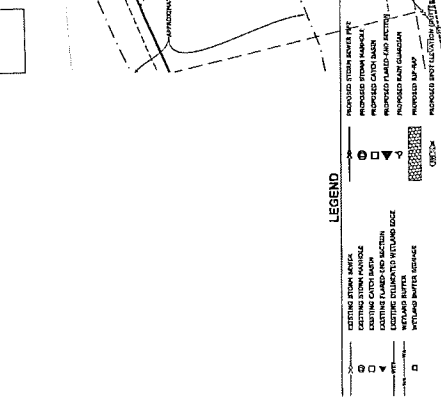
1. THE CITY ENGINEER HAS REVIEWED THE PLANS AND APPROVES THEM FOR CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF HAM LAKE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE STATE OF MINNESOTA.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE FEDERAL GOVERNMENT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ADJACENT PROPERTY OWNERS.
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20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ADJACENT PROPERTY OWNERS.

STORM SEWER NOTES

1. SEE GENERAL NOTES FOR ALL NOTES PERTAINING TO THIS PLAN.
2. THE STORM SEWER SHALL BE 18" DIA. PIPERUSTIC PIPE (P-18) WITH 18" DIA. MANHOLES.
3. THE STORM SEWER SHALL BE 12" DIA. PIPERUSTIC PIPE (P-12) WITH 12" DIA. MANHOLES.
4. THE STORM SEWER SHALL BE 8" DIA. PIPERUSTIC PIPE (P-8) WITH 8" DIA. MANHOLES.
5. THE STORM SEWER SHALL BE 6" DIA. PIPERUSTIC PIPE (P-6) WITH 6" DIA. MANHOLES.
6. THE STORM SEWER SHALL BE 4" DIA. PIPERUSTIC PIPE (P-4) WITH 4" DIA. MANHOLES.
7. THE STORM SEWER SHALL BE 3" DIA. PIPERUSTIC PIPE (P-3) WITH 3" DIA. MANHOLES.
8. THE STORM SEWER SHALL BE 2" DIA. PIPERUSTIC PIPE (P-2) WITH 2" DIA. MANHOLES.
9. THE STORM SEWER SHALL BE 1" DIA. PIPERUSTIC PIPE (P-1) WITH 1" DIA. MANHOLES.
10. THE STORM SEWER SHALL BE 0.75" DIA. PIPERUSTIC PIPE (P-0.75) WITH 0.75" DIA. MANHOLES.
11. THE STORM SEWER SHALL BE 0.5" DIA. PIPERUSTIC PIPE (P-0.5) WITH 0.5" DIA. MANHOLES.
12. THE STORM SEWER SHALL BE 0.25" DIA. PIPERUSTIC PIPE (P-0.25) WITH 0.25" DIA. MANHOLES.
13. THE STORM SEWER SHALL BE 0.125" DIA. PIPERUSTIC PIPE (P-0.125) WITH 0.125" DIA. MANHOLES.
14. THE STORM SEWER SHALL BE 0.0625" DIA. PIPERUSTIC PIPE (P-0.0625) WITH 0.0625" DIA. MANHOLES.
15. THE STORM SEWER SHALL BE 0.03125" DIA. PIPERUSTIC PIPE (P-0.03125) WITH 0.03125" DIA. MANHOLES.
16. THE STORM SEWER SHALL BE 0.015625" DIA. PIPERUSTIC PIPE (P-0.015625) WITH 0.015625" DIA. MANHOLES.
17. THE STORM SEWER SHALL BE 0.0078125" DIA. PIPERUSTIC PIPE (P-0.0078125) WITH 0.0078125" DIA. MANHOLES.
18. THE STORM SEWER SHALL BE 0.00390625" DIA. PIPERUSTIC PIPE (P-0.00390625) WITH 0.00390625" DIA. MANHOLES.
19. THE STORM SEWER SHALL BE 0.001953125" DIA. PIPERUSTIC PIPE (P-0.001953125) WITH 0.001953125" DIA. MANHOLES.
20. THE STORM SEWER SHALL BE 0.0009765625" DIA. PIPERUSTIC PIPE (P-0.0009765625) WITH 0.0009765625" DIA. MANHOLES.

CURB & BITUMINOUS NOTES

1. THE CURB SHALL BE 4" HIGH CONCRETE CURB.
2. THE BITUMINOUS SHALL BE 4" THICK ASPHALT.
3. THE CURB SHALL BE 4" HIGH CONCRETE CURB.
4. THE BITUMINOUS SHALL BE 4" THICK ASPHALT.
5. THE CURB SHALL BE 4" HIGH CONCRETE CURB.
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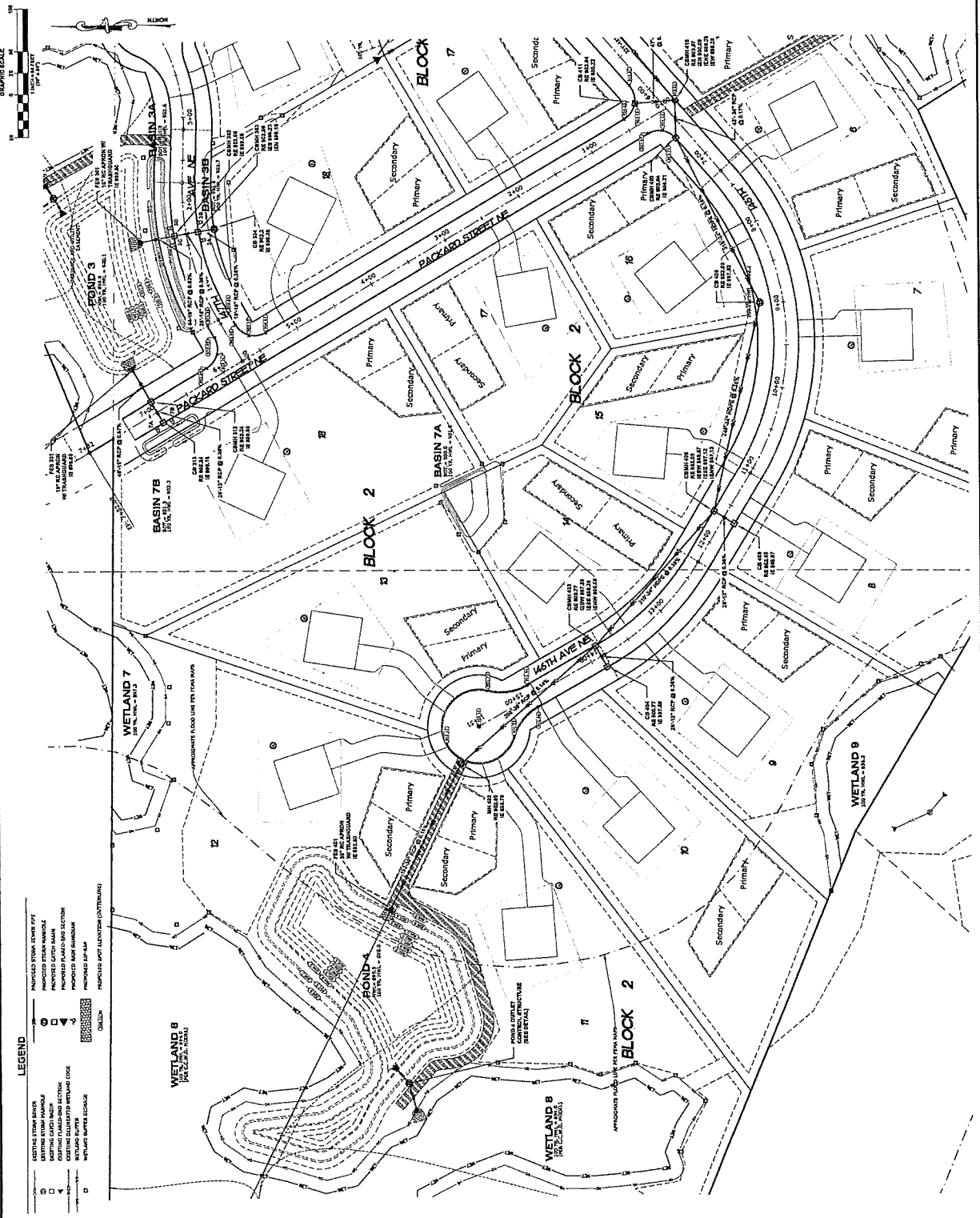
Plowe Engineering
 1100 W. WISCONSIN ST.
 SUITE 200
 WISCONSIN LAKE, MINN. 55389
 PHONE: 763-477-1111
 FAX: 763-477-1112
 WWW.PLOWE-ENG.COM

NO.	DATE	REVISION
1	11/13/2013	ISSUED FOR PERMITS
2	11/13/2013	FOR COMMENTS
3	11/13/2013	FOR COMMENTS
4	11/13/2013	FOR COMMENTS
5	11/13/2013	FOR COMMENTS
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19	11/13/2013	FOR COMMENTS
20	11/13/2013	FOR COMMENTS

DESIGNED BY: JEFF STALLERMAN
 CHECKED BY: JEFF STALLERMAN
 DATE: 11/13/2013
 PROJECT NO.: 13-0013
 SHEET NO.: 18 OF 20

HIDDEN FOREST EAST 3RD ADDITION
 CITY OF HAM LAKE, MINNESOTA
 UTILITY PLAN - STORM SEWER
 PREPARED FOR: JEFF STALLERMAN

C1.03
 SHEET



GENERAL NOTES

1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HAM LAKE SPECIFICATIONS.
3. ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER.
4. ALL UTILITIES SHALL BE DEPTH MARKED AND LOCATED PRIOR TO CONSTRUCTION.
5. ALL UTILITIES SHALL BE PROTECTED DURING CONSTRUCTION.
6. ALL UTILITIES SHALL BE REPAIRED OR REPLACED AS NECESSARY.
7. ALL UTILITIES SHALL BE TESTED AND ACCEPTED PRIOR TO FINAL GRADING.
8. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE.
10. ALL UTILITIES SHALL BE REINSTALLED TO ORIGINAL OR BETTER CONDITION.
11. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE.
12. ALL UTILITIES SHALL BE REINSTALLED TO ORIGINAL OR BETTER CONDITION.
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18. ALL UTILITIES SHALL BE REINSTALLED TO ORIGINAL OR BETTER CONDITION.
19. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE.
20. ALL UTILITIES SHALL BE REINSTALLED TO ORIGINAL OR BETTER CONDITION.

STORM SEWER NOTES

1. ALL STORM SEWER LINES SHALL BE 15" DIA. RCP UNLESS OTHERWISE SPECIFIED.
2. ALL STORM SEWER LINES SHALL BE 15' DEEP UNLESS OTHERWISE SPECIFIED.
3. ALL STORM SEWER LINES SHALL BE 15' DEEP UNLESS OTHERWISE SPECIFIED.
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CURB & BITUMINOUS NOTES

1. ALL CURB AND BITUMINOUS SHALL BE 18" THICK UNLESS OTHERWISE SPECIFIED.
2. ALL CURB AND BITUMINOUS SHALL BE 18" THICK UNLESS OTHERWISE SPECIFIED.
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20. ALL CURB AND BITUMINOUS SHALL BE 18" THICK UNLESS OTHERWISE SPECIFIED.

20/1304

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3	12/10/12	REVISED PER COMMENTS
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100	1/20/21	REVISED PER COMMENTS

HIDDEN FOREST EAST 3RD ADDITION
CITY OF HAM LAKE, MINNESOTA
REVISION FOR SET DETAILS

HL-465A2
REINFORCED CONCRETE
SECTIONAL VIEW
NOT TO SCALE
PLAN VIEW

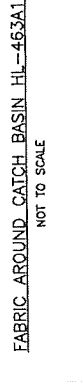
HL-465A1
REINFORCED CONCRETE
SECTIONAL VIEW
NOT TO SCALE
PLAN VIEW

CONCRETE CURB AND GUTTER HL-355A



- Note: 1. Slope needed for adequate length greater than 12'.
- 2. Concrete curb to be cast on 2" thick bed of precast concrete base.
- 3. Reinforcing steel to be shown in Plan.
- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

ROUND MANHOLE HL-465A2



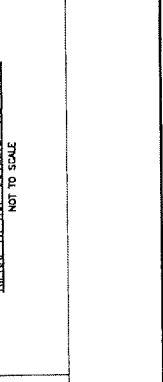
- Note: 1. Slope needed for adequate length greater than 12'.
- 2. Concrete curb to be cast on 2" thick bed of precast concrete base.
- 3. Reinforcing steel to be shown in Plan.
- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

CURB END DETAIL HL-380A



- Note: 1. Slope needed for adequate length greater than 12'.
- 2. Concrete curb to be cast on 2" thick bed of precast concrete base.
- 3. Reinforcing steel to be shown in Plan.
- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

RECTANGULAR CATCH BASIN HL-4599



- Note: 1. Slope needed for adequate length greater than 12'.
- 2. Concrete curb to be cast on 2" thick bed of precast concrete base.
- 3. Reinforcing steel to be shown in Plan.
- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

CONCRETE CURB AND GUTTER HL-355A



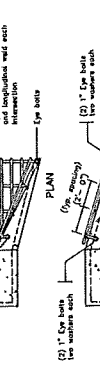
- Note: 1. Slope needed for adequate length greater than 12'.
- 2. Concrete curb to be cast on 2" thick bed of precast concrete base.
- 3. Reinforcing steel to be shown in Plan.
- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

ROUND MANHOLE HL-465A2



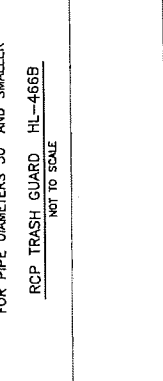
- Note: 1. Slope needed for adequate length greater than 12'.
- 2. Concrete curb to be cast on 2" thick bed of precast concrete base.
- 3. Reinforcing steel to be shown in Plan.
- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

CURB END DETAIL HL-380A



- Note: 1. Slope needed for adequate length greater than 12'.
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- 3. Reinforcing steel to be shown in Plan.
- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

RECTANGULAR CATCH BASIN HL-4599



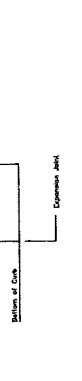
- Note: 1. Slope needed for adequate length greater than 12'.
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- 5. See Note for concrete strength.

CONCRETE CURB AND GUTTER HL-355A



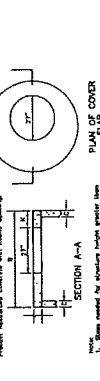
- Note: 1. Slope needed for adequate length greater than 12'.
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- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

ROUND MANHOLE HL-465A2



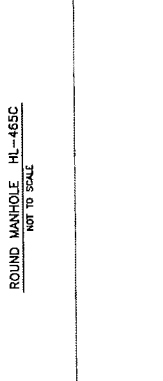
- Note: 1. Slope needed for adequate length greater than 12'.
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- 5. See Note for concrete strength.

CURB END DETAIL HL-380A



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- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

RECTANGULAR CATCH BASIN HL-4599



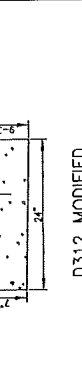
- Note: 1. Slope needed for adequate length greater than 12'.
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- 5. See Note for concrete strength.

CONCRETE CURB AND GUTTER HL-355A



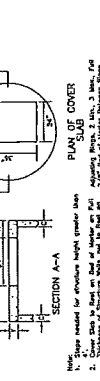
- Note: 1. Slope needed for adequate length greater than 12'.
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- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

ROUND MANHOLE HL-465A2



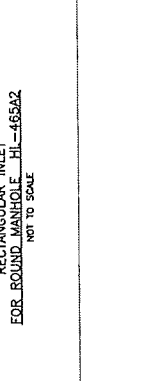
- Note: 1. Slope needed for adequate length greater than 12'.
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CURB END DETAIL HL-380A



- Note: 1. Slope needed for adequate length greater than 12'.
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RECTANGULAR CATCH BASIN HL-4599



- Note: 1. Slope needed for adequate length greater than 12'.
- 2. Concrete curb to be cast on 2" thick bed of precast concrete base.
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- 4. See Note for reinforcement details.
- 5. See Note for concrete strength.

C2.01

HL-480A1

HL-4669

HL-465A2

HL-465A1

HL-480A1



PIONEER ENGINEERING INC.
 11111 13th Avenue
 Ham Lake, MN 55432
 Phone: (763) 881-1111
 Fax: (763) 881-1112
 Website: www.pioneereng.com

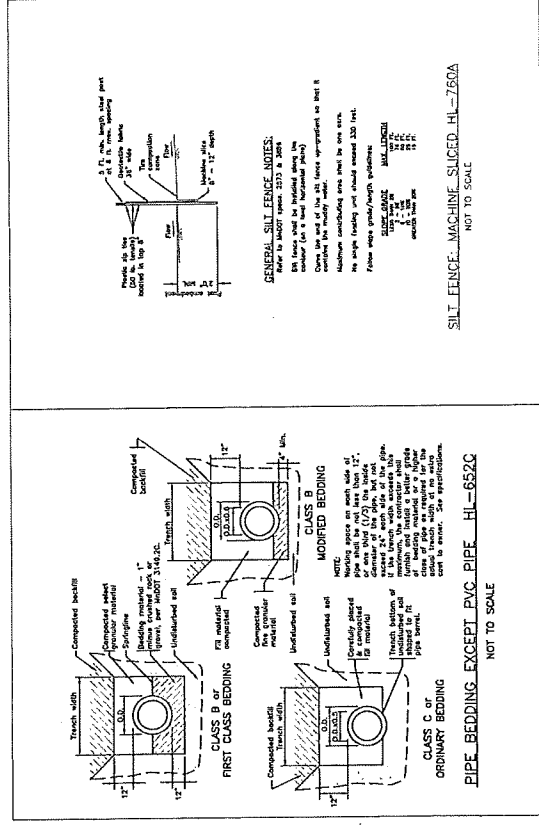
DATE: 08/14/2014
 PROJECT: HIDDEN FOREST EAST 3RD ADDITION
 DRAWING: CIVIL SITE PLAN
 SHEET: 22.02

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

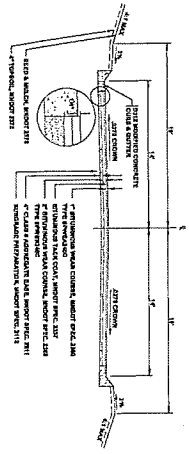
DESIGNED BY: [Signature]
 DATE: 08/14/2014
 CHECKED BY: [Signature]
 DATE: 08/14/2014
 SCALE: AS SHOWN

HIDDEN FOREST EAST 3RD ADDITION
 CITY OF HAM LAKE, MINNESOTA
 DETAILS
 PREPARED FOR: JEFF STALLONE

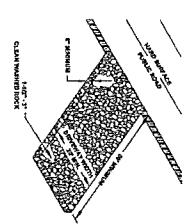
SHEET
22.02



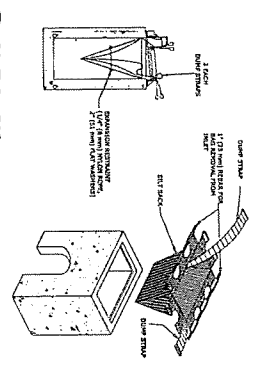
C.I. TO C. = 2.41
 C.I. TO D. = 4.43
 (C.I. MIN. = 7' BELOW G.D.)



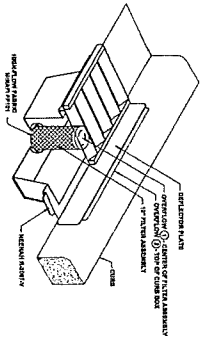
TYPICAL STREET SECTION (7-TON)
 N.T.S.



ROCK CONSTRUCTION
 ENTRANCE
 N.T.S.



SILT SACK
 N.T.S.



TYPICAL POND SECTION
 N.T.S.

WETLAND BUFFER
 NO
 MOVING
 ALLOWED
 PM CITY COUNCILMAN

DISCUSSION:
 1. EXISTING OF A WETLAND BUFFER
 2. WETLAND BUFFER SHALL BE MAINTAINED
 3. WETLAND BUFFER SHALL BE MAINTAINED
 4. WETLAND BUFFER SHALL BE MAINTAINED

CONSTRUCTION:
 1. 12" x 12" x 12" CONCRETE CURB
 2. 12" x 12" x 12" CONCRETE CURB
 3. 12" x 12" x 12" CONCRETE CURB
 4. 12" x 12" x 12" CONCRETE CURB

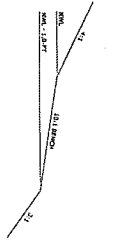
WETLAND BUFFER SIGNAGE
 N.T.S.

INFILTRATION BASIN
 NO
 MOVING
 ALLOWED
 PM CITY COUNCILMAN

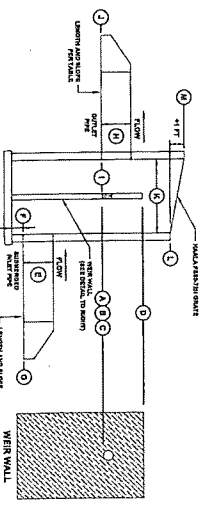
DISCUSSION:
 1. EXISTING OF AN INFILTRATION BASIN
 2. INFILTRATION BASIN SHALL BE MAINTAINED
 3. INFILTRATION BASIN SHALL BE MAINTAINED
 4. INFILTRATION BASIN SHALL BE MAINTAINED

CONSTRUCTION:
 1. 12" x 12" x 12" CONCRETE CURB
 2. 12" x 12" x 12" CONCRETE CURB
 3. 12" x 12" x 12" CONCRETE CURB
 4. 12" x 12" x 12" CONCRETE CURB

INFILTRATION BASIN SIGNAGE
 N.T.S.

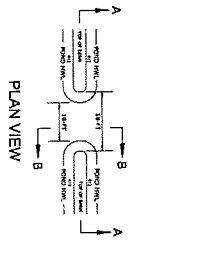


TYPICAL POND SECTION
 N.T.S.

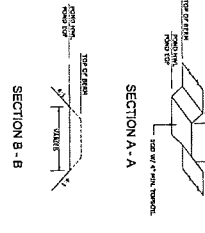


POND O.C.S. DETAIL
 N.T.S.

NO.	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL
1	CONCRETE CURB	100	LINEAR FT.	1.50	150.00
2	ROCK	500	CY	2.00	1000.00
3	GRAVEL	100	CY	1.00	100.00
4	SOIL	100	CY	1.00	100.00
5	LANDSCAPING	100	SQ. YD.	1.00	100.00
6	PAINT	100	GAL.	1.00	100.00
7	LABOR	100	HOUR	1.00	100.00
8	PERMITS	1	SET	50.00	50.00
9	INSURANCE	1	MONTH	10.00	10.00
10	TRAVEL	1	TRIP	5.00	5.00
11	UTILITY	1	CONNECTION	10.00	10.00
12	TESTING	1	TEST	10.00	10.00
13	INSPECTION	1	POINT	10.00	10.00
14	CONSTRUCTION	1	CONTRACT	10.00	10.00
15	MAINTENANCE	1	CONTRACT	10.00	10.00
16	OPERATION	1	CONTRACT	10.00	10.00
17	REPAIR	1	CONTRACT	10.00	10.00
18	REPLACEMENT	1	CONTRACT	10.00	10.00
19	REMOVAL	1	CONTRACT	10.00	10.00
20	RECONSTRUCTION	1	CONTRACT	10.00	10.00
21	REPAIR	1	CONTRACT	10.00	10.00
22	REPLACEMENT	1	CONTRACT	10.00	10.00
23	REMOVAL	1	CONTRACT	10.00	10.00
24	RECONSTRUCTION	1	CONTRACT	10.00	10.00
25	REPAIR	1	CONTRACT	10.00	10.00
26	REPLACEMENT	1	CONTRACT	10.00	10.00
27	REMOVAL	1	CONTRACT	10.00	10.00
28	RECONSTRUCTION	1	CONTRACT	10.00	10.00
29	REPAIR	1	CONTRACT	10.00	10.00
30	REPLACEMENT	1	CONTRACT	10.00	10.00



POND SODDED OVERFLOWS
 N.T.S.



SECTION A-A
 SECTION B-B
 N.T.S.

PLOWE
 ENGINEERS
 1000 W. WASHINGTON ST.
 ST. LOUIS, MO 63101
 TEL: 314.524.4444
 FAX: 314.524.4444
 WWW: WWW.PLOWE.COM

NO.	DATE	DESCRIPTION
1	01.15.11	REVISED COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

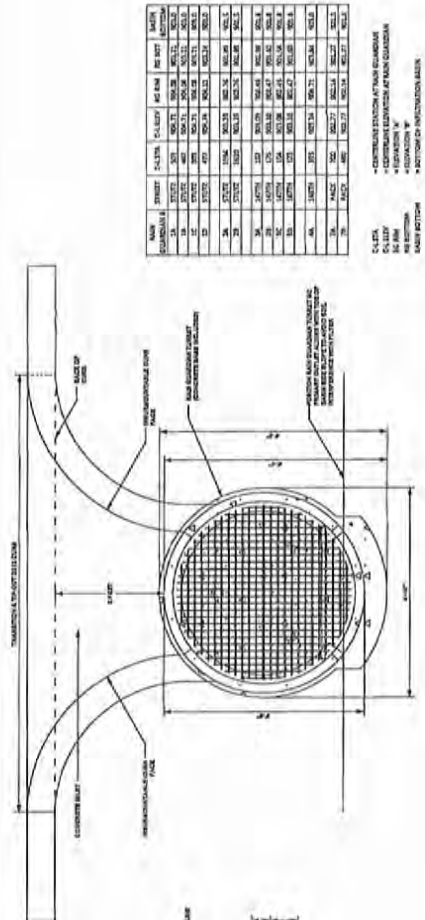
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

John Groel
 JOHN GROEL
 License No. 45463
 Date: 08.11.2011

NO.	DATE	DESCRIPTION
1	10/13/17	PRELIMINARY CONCEPTS
2	11/14/17	REVISED CONCEPTS
3	12/14/17	FINAL DESIGN
4	01/15/18	CONSTRUCTION PERMITS
5	02/15/18	CONSTRUCTION
6	03/15/18	FINAL AS-BUILT

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 10/13/17
PROJECT: [Project Name]

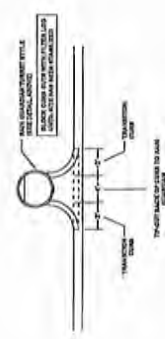
HIDDEN FOREST EAST 3RD ADDITION
CITY OF HAM LAKE, MINNESOTA
PROJECT NO. 17-001
SHEET NO. C2.04



NO.	STATION	INLET	OUTLET	INLET	OUTLET	PERCENT	REMARKS
1	1+00.00	1+00.00	1+00.00	1+00.00	1+00.00	100%	START OF INFILTRATION BASIN
2	1+00.00	1+00.00	1+00.00	1+00.00	1+00.00	100%	END OF INFILTRATION BASIN

NOTES:
1. SEE PLAN FOR INFILTRATION BASIN LOCATION.
2. INFILTRATION BASIN SHALL BE CONSTRUCTED AS SHOWN.
3. INFILTRATION BASIN SHALL BE MAINTAINED FREE OF DEBRIS.
4. INFILTRATION BASIN SHALL BE INSPECTED AND MAINTAINED AS NECESSARY.

RAIN GARDEN - TURRET STYLE
N.T.S.



CURB CUTS @ RAIN GUARDIAN
N.T.S.



D312 MODIFIED CONCRETE CURB & GUTTER
(WITH RAIN GUARDIAN ONLY)
N.T.S.

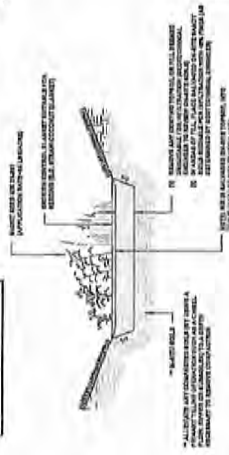
NOTES:
1. INFILTRATION BASIN SHALL BE CONSTRUCTED AS SHOWN.
2. INFILTRATION BASIN SHALL BE MAINTAINED FREE OF DEBRIS.
3. INFILTRATION BASIN SHALL BE INSPECTED AND MAINTAINED AS NECESSARY.
4. INFILTRATION BASIN SHALL BE CONSTRUCTED WITH A MINIMUM OF 18\"/>

INFILTRATION BASIN OVERFLOW DETAIL



NO.	STATION	INLET	OUTLET	INLET	OUTLET	PERCENT	REMARKS
1	1+00.00	1+00.00	1+00.00	1+00.00	1+00.00	100%	START OF INFILTRATION BASIN
2	1+00.00	1+00.00	1+00.00	1+00.00	1+00.00	100%	END OF INFILTRATION BASIN

INFILTRATION BASINS
N.T.S.





Plowe Environmental, Inc.
 11111 Highway 101, Suite 100
 Minneapolis, MN 55412
 Phone: (612) 922-1111
 Fax: (612) 922-1112
 Email: info@plowe.com

NO.	DATE	DESCRIPTION
1	11/11/11	PRELIMINARY PERMITS
2	11/11/11	PERMITS
3	11/11/11	CONSTRUCTION
4	11/11/11	COMPLETION

MINNESOTA CENTRAL TRAIL FROM PLAINFIELD STATION TO THE CITY OF HAM LAKE, MINNESOTA
 UNDER THE LYONS OF THE STATE OF MINNESOTA
 PROJECT NO. 1111111111
 SHEET NO. 303 OF 303

HIDDEN FOREST EAST 3RD ADDITION
 CITY OF HAM LAKE, MINNESOTA
 SWPPP
 PREPARED FOR: JOYR STALLERDA

C3.02
 SHEET

NPDES DEFINITIONS

NEW SOURCE SEWER DISCHARGE PERMIT: A permit issued by the Minnesota Pollution Control Agency (MPCA) to a new source of discharge of sanitary sewage into a public sewerage system. The permit is required for all new sources of discharge, regardless of the size of the discharge, and is valid for a period of five years from the date of issuance. The permit holder is responsible for obtaining and maintaining the permit, and for complying with all applicable requirements of the permit and the Clean Water Act (CWA).

EXISTING SOURCE SEWER DISCHARGE PERMIT: A permit issued by the MPCA to an existing source of discharge of sanitary sewage into a public sewerage system. The permit is required for all existing sources of discharge, regardless of the size of the discharge, and is valid for a period of five years from the date of issuance. The permit holder is responsible for obtaining and maintaining the permit, and for complying with all applicable requirements of the permit and the CWA.

SEWERAGE SYSTEM: A system of pipes and structures for the collection, conveyance, and treatment of sanitary sewage. The system may include public sewers, private sewers, and storm sewers. The system is designed to collect and convey sewage from buildings and other sources to a treatment plant or other disposal facility.

SEWERAGE TREATMENT PLANT (STP): A facility for the treatment of sanitary sewage. The STP typically consists of several stages of treatment, including primary treatment, secondary treatment, and tertiary treatment. The treated effluent is then discharged to a receiving water body or recycled for reuse.

SEWERAGE TREATMENT PLANT (STP) EFFLUENT: The treated effluent from an STP. The effluent is typically discharged to a receiving water body or recycled for reuse. The effluent must meet certain quality standards to protect the receiving water body and the environment.

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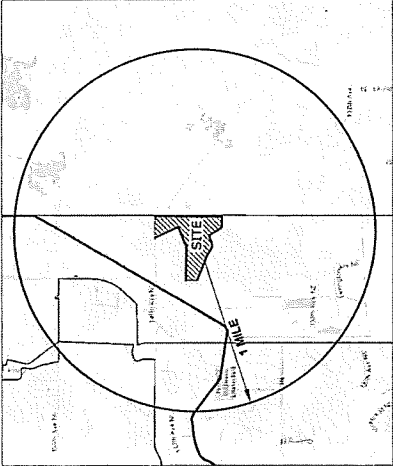
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CONTRACTOR INFORMATION:
 NAME: _____
 ADDRESS: _____
 PHONE: _____
 FAX: _____
 E-MAIL: _____

DESIGNER INFORMATION:
 NAME: _____
 ADDRESS: _____
 PHONE: _____
 FAX: _____
 E-MAIL: _____

GENERAL CONTRACTOR:
 NAME: _____
 ADDRESS: _____
 PHONE: _____
 FAX: _____
 E-MAIL: _____

ITEM	QUANTITY	UNIT	PRICE
1. PERMITS	1	PERMITS	1000.00
2. DESIGN	1	DESIGN	2000.00
3. CONSTRUCTION	1	CONSTRUCTION	5000.00
4. MAINTENANCE	1	MAINTENANCE	1000.00
5. REMEDIATION	1	REMEDIATION	1500.00
6. MONITORING	1	MONITORING	500.00
7. REPORTS	1	REPORTS	200.00
8. TOTAL	8	TOTAL	11200.00

SEWERAGE TREATMENT PLANT (STP) EFFLUENT: The treated effluent from an STP. The effluent is typically discharged to a receiving water body or recycled for reuse. The effluent must meet certain quality standards to protect the receiving water body and the environment.

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PERMITS:
 SWPPP PERMIT: _____
 STP PERMIT: _____
 OTHER PERMITS: _____

DESIGN:
 PRELIMINARY DESIGN: _____
 FINAL DESIGN: _____

CONSTRUCTION:
 START DATE: _____
 END DATE: _____

MAINTENANCE:
 START DATE: _____
 END DATE: _____

REMEDIATION:
 START DATE: _____
 END DATE: _____

MONITORING:
 START DATE: _____
 END DATE: _____

REPORTS:
 START DATE: _____
 END DATE: _____

TYPE	UNIT	PRICE
1. PERMITS	PERMITS	1000.00
2. DESIGN	DESIGN	2000.00
3. CONSTRUCTION	CONSTRUCTION	5000.00
4. MAINTENANCE	MAINTENANCE	1000.00
5. REMEDIATION	REMEDIATION	1500.00
6. MONITORING	MONITORING	500.00
7. REPORTS	REPORTS	200.00
8. TOTAL	TOTAL	11200.00

SEWERAGE TREATMENT PLANT (STP) EFFLUENT: The treated effluent from an STP. The effluent is typically discharged to a receiving water body or recycled for reuse. The effluent must meet certain quality standards to protect the receiving water body and the environment.

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IF SWPPP IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A SWPPP PERMIT FROM THE CITY OF HAM LAKE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING THE PERMIT THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF THE PERMIT TO THE CITY OF HAM LAKE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING THE PERMIT THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF THE PERMIT TO THE CITY OF HAM LAKE.

12.3 Discussion of parkland for Hidden Forest East 3rd Addition

Councilmember Kirkham, Public Works Superintendent Witkowski, Engineer Collins and Administrator Webster met with Jeff Stalberger, the developer for Hidden Forest East 3rd Addition to discuss the possibility of the City purchasing additional land from Mr. Stalberger if he negotiates the purchasing of the East 40 acres from the Knoll Family. Mr. Stalberger stated that he was able to negotiate with the Knoll Family to purchase an additional 38.673 acres of land. Mr. Stalberger is proposing to plat two residential lots on the east 400 feet of the property (11.89 acres). Parkland already dedicated includes 8.09 acres from Hidden Forest East 3rd Addition and an additional proposed 1.19 acres from the future subdivision. Parkland Dedication fees from Hidden Forest East and Hidden Forest East 2nd Additions total \$118,429.40 which will pay for purchasing the additional 26.78 acres to be used as parkland. **It was the consensus of the City Council to move forward with discussions to purchase additional land from Mr. Stalberger for a larger park with monies coming from the Park and Beach fund**

12.4 Announcements and future agenda items - None

Motion by Kirkeide, seconded by Kirkham, to adjourn the meeting at 6:16 p.m. All in favor, motion carried.

Dawnette Shimek
Deputy City Clerk



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE PARK AND TREE COMMISSION MINUTES WEDNESDAY, SEPTEMBER 19, 2018

The Ham Lake Park and Tree Commission met for its regularly scheduled meeting on Wednesday, September 19, 2018 at 6:00 p.m. at the Ham Lake City Hall, 15544 Central Avenue NE, Ham Lake, Minnesota.

MEMBERS PRESENT: Vice Chair Tim Donnay and Commissioners, Al Stauffacher, Tara Lanigan and Doug Miller

MEMBERS ABSENT: Patrick Wolfgram

OTHERS PRESENT: Public Works Superintendent, Tom Reiner and Deputy City Clerk, Jennifer Bohr

CALL TO ORDER:

Vice Chair Donnay called the meeting to order at 6:00 p.m. and the Pledge of Allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Stauffacher, seconded by Miller, to approve the minutes of the July 18, 2018 Park and Tree Commission meeting as written. All present in favor. Motion carried.

CITY COUNCIL UPDATE: None

1.0 APPEARANCES:

1.1 Jeff Stalberger, HFN Properties, LLC, consideration of Parkland Dedication for Sketch Plan of Hidden Forest East 2nd Addition (42 Single Family Residential Lots) in Section 25.

Jeff Stalberger of HFN Properties, LLC was present. Mr. Stalberger stated he developed the plat of Hidden Forest East last spring and Hidden Forest East 2nd Addition will be to the north of that plat. Vice Chair Donnay asked Mr. Stalberger if he has plans to develop additional land in this area and would those developments include a park. Superintendent Reiner stated that the Comprehensive Plan identifies an area north of the Hidden Forest East 2nd Addition as a potential future park location. Mr. Stalberger stated he prefers to offer the City money in lieu of parkland but he would be willing to work with the Knolls, current owners of the adjacent property, and the City to negotiate a purchase of land for a park, perhaps in a section to the southwest of Hidden Forest East 2nd Addition. Superintendent Reiner suggested that Mr. Stalberger purchase land in the next phase of development that could be parkland. Discussion followed regarding dedication of future parkland bordering Carlos Avery Wildlife

PARK AND TREE COMMISSION
WEDNESDAY, SEPTEMBER 19, 2018

Management Area (WMA); there was concern that hunters would utilize any parkland bordering Carlos Avery WMA as an entrance to the WMA for hunting and cause parking issues. Commissioner Miller voiced his concern with the limited amount of parkland the City has obtained in the past two years and that tonight's discussion is only speculative; there is no guarantee the City will obtain parkland in future phases of development in this area. Vice Chair Donnay asked Mr. Stalberger when he would develop the next phase in the Hidden Forest East development. Mr. Stalberger stated it could possibly be eighteen months from now. Vice Chair Donnay asked if Mr. Stalberger would be willing to plan a park in the next phase. Mr. Stalberger stated he would be willing to plan a park in the next phase. Commissioner Stauffacher stated that if money is accepted in lieu of parkland for this development a park needs to be required in the next phase. Commissioner Miller stated the maximum amount of parkland needs to be obtained in the next phase. **Motion by Donnay, seconded by Lanigan, to recommend to City Council to accept monies in lieu of parkland for the Sketch Plan of Hidden Forest East 2nd Addition (42 Single Family Residential Lots) in Section 25. Commissioners Donnay and Lanigan voted yes, Commissioners Stauffacher and Miller voted no.** Commissioner Stauffacher said he would like a stipulation included in the motion to require parkland in the next phase of the Hidden Forest East development. **Donnay moved to amend the motion by adding the following to the motion on the table: with the understanding parkland will be required in the next phase of the Hidden Forest East development. Seconded by Stauffacher. Commissioners Donnay, Lanigan and Stauffacher voted yes, Commissioner Miller voted no. Motion carried.** *(This item will be placed on the October 1, 2018 City Council Agenda.)*

2.0 PARK & TREE COMMISSION BUSINESS:

2.1 Discussion of recommending a feasibility study for construction of a 1.75 mile bike trail on the west side of Radisson Road NE from 139th Avenue NE to 153rd Avenue NE

Superintendent Reiner stated extending the pedestrian trail on the west side of Radisson Road NE was discussed at the April 4, 2018 workshop meeting and the July 18, 2018 Park and Tree Commission meeting. Superintendent Reiner stated a recommendation was made to City Council for Engineer Collins to contact Anoka County to ask if the County would allow the City to purchase and construct a trail in the county right-of-way; Engineer Collins has contacted Anoka County and they are open to the trail extension. Superintendent Reiner stated the trail would connect to the current bike lane on 149th Avenue NE, which connects to a trail going into Blaine. Superintendent Reiner stated the next step in this process would be to conduct a feasibility study. **Motion by Stauffacher, seconded by Miller, to recommend to City Council that Engineer Tom Collins conduct a feasibility study for the 1.75 mile bike trail along the west side of Radisson Road NE between 139th Lane NE and 153rd Avenue NE. All present in favor. Motion carried.** *(This item will be placed on the October 1, 2018 City Council Agenda.)*

3.0 TREE UPDATE:

3.1 Oak Wilt Tree Inspections

Superintendent Reiner stated tree inspectors have completed road side inspections for oak wilt; 159 notices were sent to residents to inform them that their oak trees have symptoms of

Tom Collins

From: Joseph Murphy <joseph.murphy@carsoncs.net>
Sent: Thursday, June 3, 2021 7:24 AM
To: Tom Collins
Subject: Hidden Forest East 3rd Addition

Hi Tom,

I have had an opportunity to research further the mandatory EAW under MN rule 4410.4300, subp. 36, in light of the suggestion that open space ponding be excluded from the calculation of acres being converted.

That rule requires a mandatory EAW for any project "resulting in the permanent conversion of 80 or more acres of agricultural, native prairie, forest, or naturally vegetated land..." The legal question is how to interpret and apply the phrase "permanent conversion" to the proposed Hidden Forest East project. The MN rules define "permanent conversion" as "a change in use of agricultural, naturally vegetated, or forest lands that impairs the ability to convert the land back to its agricultural, natural, or forest capacity in the future. It does not include changes in management practices, such as conversion to parklands, open space, or natural areas." Clearly, the proposed project will be changing natural forest/vegetation to pond. However, a very reasonable argument could be made that the pond remains an open space or natural area. The retaining ponds are a necessary part of the residential development project, but they can be distinguished from the impervious infrastructure of the remainder of the residential development and, I'm assuming, could theoretically be converted back to a more natural/vegetated space.

These provisions "permanent conversion" and "open spaces" have not been interpreted by Minnesota courts too often, and as you know, the language of the rule can be a bit unclear and open to several interpretations. But one MN Court of Appeals case from 2015 is instructive and helpful in projecting how courts may apply the language of the rule if the city decides not to require an EAW and someone brings a legal action against the city challenging that decision. In that case, a church camp was converting an 100-acre parcel to be used as a residential camp with multiple new outdoor uses and activities. The courts ultimately ruled that no EAW was required because the project only converted 15-acres from grassland/forest to camp infrastructure and despite the many activities and new uses of the land, the remainder of the project maintained the "forested, up-north character of the property."

Therefore, in my opinion, it is a reasonable interpretation of the rule to conclude that no EAW is required here as the land converted to ponding remains an "open space" if done in a way that does not impair its ability to be converted back in the future. There is, of course, no guarantee that the EQB or another environmental group may disagree with this interpretation and challenge any decision to not require an EAW.

Joseph Murphy
Carson, Clelland & Schreder
6300 Shingle Creek Parkway, Suite 305
Minneapolis, MN 55430
(763)-561-2800

4410.4300 MANDATORY EAW CATEGORIES.

Subpart 1. **Threshold test.** An EAW must be prepared for projects that meet or exceed the threshold of any of subparts 2 to 37, unless the project meets or exceeds any thresholds of part 4410.4400, in which case an EIS must be prepared.

If the proposed project is an expansion or additional stage of an existing project, the cumulative total of the proposed project and any existing stages or components of the existing project must be included when determining if a threshold is met or exceeded if construction was begun within three years before the date of application for a permit or approval from a governmental unit for the expansion or additional stage but after April 21, 1997, except that any existing stage or component that was reviewed under a previously completed EAW or EIS need not be included.

Multiple projects and multiple stages of a single project that are connected actions or phased actions must be considered in total when comparing the project or projects to the thresholds of this part and part 4410.4400.

Subp. 2. **Nuclear fuels and nuclear waste.** Items A to F designate the RGU for the type of project listed:

A. For construction or expansion of a facility for the storage of high level nuclear waste, other than an independent spent-fuel storage installation, the EQB is the RGU.

B. For construction or expansion of a facility for the storage of low level nuclear waste for one year or longer, the MDH is the RGU.

C. For expansion of a high level nuclear waste disposal site, the EQB is the RGU.

D. For expansion of a low level nuclear waste disposal site, the MDH is the RGU.

E. For expansion of an away-from-reactor facility for temporary storage of spent nuclear fuel, the EQB is the RGU.

F. For construction or expansion of an on-site pool for temporary storage of spent nuclear fuel, the EQB is the RGU.

Subp. 3. **Electric-generating facilities.** Items A to D designate the RGU for the type of project listed:

A. For construction of an electric power generating plant and associated facilities designed for or capable of operating at a capacity of 25 megawatts or more but less than 50 megawatts and for which an air permit from the PCA is required, the PCA is the RGU.

B. For construction of an electric power generating plant and associated facilities designed for and capable of operating at a capacity of 25 megawatts or more but less than 50 megawatts and for which an air permit from the PCA is not required, the local governmental unit is the RGU.

C. For construction of an electric power generating plant and associated facilities designed for and capable of operating at a capacity of 50 megawatts or more, the PUC is the RGU, and

environmental review must be conducted according to parts 7849.1000 to 7849.2100 and chapter 7850.

D. For construction of a wind energy conversion system, as defined in Minnesota Statutes, section 216F.01, designed for and capable of operating at a capacity of 25 megawatts or more, the PUC is the RGU, and environmental review must be conducted according to chapter 7854.

Subp. 4. **Petroleum refineries.** For expansion of an existing petroleum refinery that increases the refinery's capacity by 10,000 barrels per day or more, the PCA is the RGU.

Subp. 5. **Fuel conversion facilities.**

A. Subitems (1) and (2) designate the RGU for the type of project listed:

(1) For construction of a new fuel conversion facility for the conversion of coal, peat, or biomass sources to gaseous, liquid, or solid fuels if that facility has the capacity to utilize 25,000 dry tons or more per year of input, the PCA is the RGU.

(2) For construction of a new fuel conversion facility for the production of alcohol fuels that would have the capacity to produce 5,000,000 gallons or more per year of alcohol, the PCA is the RGU.

B. An EAW is required if an ethanol plant or biobutanol facility meets or exceeds thresholds of other categories of actions for which EAWs must be prepared.

Subp. 6. **Transmission lines.** For construction of a transmission line at a new location with a nominal capacity of between 70 kilovolts and 100 kilovolts with 20 or more miles of its length in Minnesota, the EQB is the RGU. For construction of a high-voltage transmission line and associated facilities, as defined in part 7850.1000, the PUC is the RGU. Environmental review must be conducted according to parts 7849.1000 to 7849.2100 and 7850.1000 to 7850.5600.

Subp. 7. **Pipelines.** Items A to D designate the RGU for the type of project listed:

A. For routing of a pipeline, greater than six inches in diameter and having more than 0.75 miles of its length in Minnesota, used for the transportation of coal, crude petroleum fuels, or oil or their derivatives, the EQB is the RGU.

B. For the construction of a pipeline for distribution of natural or synthetic gas under a license, permit, right, or franchise that has been granted by the municipality under authority of Minnesota Statutes, section 216B.36, designed to operate at pressures in excess of 275 pounds per square inch (gauge) with a length greater than:

(1) five miles if the pipeline will occupy streets, highways, and other public property;

or

(2) 0.75 miles if the pipeline will occupy private property;

the EQB or the municipality is the RGU.

C. For construction of a pipeline to transport natural or synthetic gas subject to regulation under the federal Natural Gas Act, United States Code, title 15, section 717, et. seq., designed to operate at pressures in excess of 275 pounds per square inch (gauge) with a length greater than:

(1) five miles if the pipeline will be constructed and operated within an existing right-of-way; or

(2) 0.75 miles if construction or operation will require new temporary or permanent right-of-way;

the EQB is the RGU. This item shall not apply to the extent that the application is expressly preempted by federal law, or under specific circumstances when an actual conflict exists with applicable federal law.

D. For construction of a pipeline to convey natural or synthetic gas that is not subject to regulation under the federal Natural Gas Act, United States Code, title 15, section 717, et seq.; or to a license, permit, right, or franchise that has been granted by a municipality under authority of Minnesota Statutes, section 216B.36; designed to operate at pressures in excess of 275 pounds per square inch (gauge) with a length greater than 0.75 miles, the EQB is the RGU.

Items A to D do not apply to repair or replacement of an existing pipeline within an existing right-of-way or to a pipeline located entirely within a refining, storage, or manufacturing facility.

Subp. 8. Transfer facilities. Items A to C designate the RGU for the type of project listed:

A. For construction of a new facility designed for or capable of transferring 300 tons or more of coal per hour or with an annual throughput of 500,000 tons of coal from one mode of transportation to a similar or different mode of transportation or the expansion of an existing facility by these respective amounts, the PCA is the RGU.

B. For construction of a new facility or the expansion by 50 percent or more of an existing facility for the bulk transfer of hazardous materials with the capacity of 10,000 or more gallons per transfer, if the facility is located in a shoreland area, a delineated floodplain, a state or federally designated wild and scenic rivers district, the Minnesota River Project Riverbend area, or the Mississippi headwaters area, the PCA is the RGU.

C. The PCA is the RGU for a silica sand project that:

- (1) is designed to store or is capable of storing more than 7,500 tons of silica sand; or
- (2) has an annual throughput of more than 200,000 tons of silica sand.

Subp. 9. Underground storage. Items A and B designate the RGU for the type of project listed:

A. For expansion of an underground storage facility for gases or liquids that requires a permit, pursuant to Minnesota Statutes, section 103I.681, subdivision 1, paragraph (a), the DNR is the RGU.

B. For expansion of an underground storage facility for gases or liquids, using naturally occurring rock materials, that requires a permit pursuant to Minnesota Statutes, section 103I.681, subdivision 1, paragraph (b), the DNR is the RGU.

Subp. 10. **Storage facilities.** Items A to H designate the RGU for the type of project listed:

A. For construction of a new facility designed for or capable of storing more than 7,500 tons of coal or with an annual throughput of more than 125,000 tons of coal or the expansion of an existing facility by these respective amounts, the PCA is the RGU.

B. For construction of a new major facility, as defined in part 7151.1200, that results in a designed storage capacity of 1,000,000 gallons or more of hazardous materials, the PCA is the RGU.

C. For expansion of an existing major facility, as defined in part 7151.1200, with a designed storage capacity of 1,000,000 gallons or more of hazardous materials when the expansion adds a net increase of 1,000,000 gallons or more of hazardous materials, the PCA is the RGU.

D. For expansion of an existing facility that has less than 1,000,000 gallons in total designed storage capacity of hazardous materials when the net increase in designed storage capacity results in 1,000,000 gallons or more of hazardous materials, the PCA is the RGU.

E. For construction of a new facility designed for or capable of storing on a single site 100,000 gallons or more of liquefied natural gas, as defined in Minnesota Statutes, section 299F.56, subdivision 14, or synthetic gas, as defined in Minnesota Statutes, section 216B.02, subdivision 6b, the PUC is the RGU, except as provided in item G.

F. For construction of a new facility designed for or capable of storing on a single site 100,000 gallons or more of anhydrous ammonia, the MDA is the RGU, except as provided in item G.

G. For construction of a new facility designed for or capable of storing on a single site 100,000 gallons or more of a combination of liquefied natural gas, as defined in Minnesota Statutes, section 299F.56, subdivision 14; synthetic gas, as defined in Minnesota Statutes, section 216B.02, subdivision 6b; or anhydrous ammonia, the PUC is the RGU.

H. The PCA is the RGU for a silica sand project that:

- (1) is designed to store or is capable of storing more than 7,500 tons of silica sand; or
- (2) has an annual throughput of more than 200,000 tons of silica sand.

Subp. 11. **Metallic mineral mining and processing.** Items A to C designate the RGU for the type of project listed:

A. For mineral deposit evaluation of metallic mineral deposits other than natural iron ore and taconite, the DNR is the RGU.

B. For expansion of a stockpile, tailings basin, or mine by 320 or more acres, the DNR is the RGU.

C. For expansion of a metallic mineral plant processing facility that is capable of increasing production by 25 percent per year or more, provided that increase is in excess of 1,000,000 tons per year in the case of facilities for processing natural iron ore or taconite, the DNR is the RGU.

Subp. 12. **Nonmetallic mineral mining.** Items A to D designate the RGU for the type of project listed:

A. For development of a facility for the extraction or mining of peat which will result in the excavation of 160 or more acres of land during its existence, the DNR is the RGU.

B. For development of a facility for the extraction or mining of sand, gravel, stone, or other nonmetallic minerals, other than peat, which will excavate 40 or more acres of land to a mean depth of ten feet or more during its existence, the local governmental unit is the RGU.

C. For development of a facility for the extraction or mining of sand, gravel, stone, or other nonmetallic minerals, other than peat, which will excavate 20 or more acres of forested or other naturally vegetated land in a sensitive shoreland area or 40 acres of forested or other naturally vegetated land in a nonsensitive shoreland area, the local governmental unit is the RGU.

D. For development of a silica sand project that excavates 20 or more acres of land to a mean depth of ten feet or more during the project's existence, the local governmental unit is the RGU.

Subp. 13. **Paper or pulp processing mills.** For expansion of an existing paper or pulp processing facility that will increase its production capacity by 50 percent or more, the PCA is the RGU.

Subp. 14. **Industrial, commercial, and institutional facilities.** Items A and B designate the RGU for the type of project listed, except as provided in items C and D:

A. For construction of a new or expansion of an existing warehousing or light industrial facility equal to or in excess of the following thresholds, expressed as gross floor space, the local governmental unit is the RGU:

- (1) unincorporated area, 150,000 square feet;
- (2) third or fourth class city, 300,000 square feet;
- (3) second class city, 450,000 square feet; and
- (4) first class city, 600,000 square feet.

B. For construction of a new or expansion of an existing industrial, commercial, or institutional facility, other than a warehousing or light industrial facility, equal to or in excess of the following thresholds, expressed as gross floor space, the local governmental unit is the RGU:

- (1) unincorporated area, 100,000 square feet;
- (2) third or fourth class city, 200,000 square feet;
- (3) second class city, 300,000 square feet; and

(4) first class city, 400,000 square feet.

C. This subpart applies to any industrial, commercial, or institutional project which includes multiple components, if there are mandatory categories specified in subparts 2 to 13, 16, 17, 20, 21, 23, 25, or 29, or part 4410.4400, subparts 2 to 10, 12, 13, 15, or 17, for two or more of the components, regardless of whether the project in question meets or exceeds any threshold specified in those subparts. In those cases, the entire project must be compared to the thresholds specified in items A and B to determine the need for an EAW. If the project meets or exceeds the thresholds specified in any other subpart as well as that of item A or B, the RGU must be determined as provided in part 4410.0500, subpart 1.

D. This subpart does not apply to projects for which there is a single mandatory category specified in subparts 2 to 13, 16, 17, 20, 23, 25, 29, or 34, or part 4410.4400, subparts 2 to 10, 12, 13, 17, or 22, regardless of whether the project in question meets or exceeds any threshold specified in those subparts. In those cases, the need for an EAW must be determined by comparison of the project to the threshold specified in the applicable subpart, and the RGU must be the governmental unit assigned by that subpart.

Subp. 15. **Air pollution.** Items A and B designate the RGU for the type of project listed.

A. For construction of a stationary source facility that generates 250 tons or more per year or modification of a stationary source facility that increases generation by 250 tons or more per year of any single air pollutant, other than those air pollutants described in item B, after installation of air pollution control equipment, the PCA is the RGU.

B. For construction of a stationary source facility that generates a combined 100,000 tons or more per year or modification of a stationary source facility that increases generation by a combined 100,000 tons or more per year of greenhouse gas emissions, after installation of air pollution control equipment, expressed as carbon dioxide equivalents, the PCA is the RGU. For purposes of this subpart, "greenhouse gases" include carbon dioxide, methane, nitrous oxide, hydrofluorocarbons (HFCs), perfluorocarbons (PFCs), and sulfur hexafluoride, and their combined carbon dioxide equivalents shall be computed by multiplying the mass amount of emissions for each of the six greenhouse gases in the pollutant GHGs by the gas's associated global warming potential published in Table A-1 to subpart A of Code of Federal Regulations, title 40, part 98, Global Warming Potentials, as amended, and summing the resultant value for each.

Subp. 16. **Hazardous waste.** Items A to D designate the RGU for the type of project listed:

A. For construction of a new or expansion of an existing hazardous waste disposal facility, the PCA is the RGU.

B. For construction of a new facility for hazardous waste storage or treatment that is generating or receiving 1,000 kilograms or more per month of hazardous waste or one kilogram or more per month of acute hazardous waste, the PCA is the RGU.

C. For expansion of an existing facility for hazardous waste storage or treatment that increases the facility's capacity by ten percent or more, the PCA is the RGU.

D. For construction or expansion of a facility that sells hazardous waste storage services to generators other than the owner and operator of the facility or construction of a facility at which a generator's own hazardous wastes will be stored for a time period in excess of 90 days, if the facility is located in a water-related land use management district, or in an area characterized by soluble bedrock, the PCA is the RGU.

Subp. 17. **Solid waste.** Items A to G designate the RGU for the type of project listed:

A. For construction of a mixed municipal solid waste land disposal facility for up to 100,000 cubic yards of waste fill per year, the PCA is the RGU.

B. For expansion by 25 percent or more of previously permitted capacity of a mixed municipal solid waste land disposal facility for up to 100,000 cubic yards of waste fill per year, the PCA is the RGU.

C. For construction or expansion of a mixed municipal solid waste transfer station for 300,000 or more cubic yards per year, the PCA is the RGU.

D. For construction or expansion of a mixed municipal solid waste energy recovery facility or incinerator or use of an existing facility for the combustion of mixed municipal solid waste or refuse-derived fuel, with a permitted capacity of 30 tons or more per day of input, the PCA is the RGU.

E. For construction or expansion of a mixed municipal solid waste compost facility or a refuse-derived fuel production facility with a permitted capacity of 50 tons or more per day of input, the PCA is the RGU.

F. For expansion by at least ten percent but less than 25 percent of previously permitted capacity of a mixed municipal solid waste land disposal facility for 100,000 cubic yards or more of waste fill per year, the PCA is the RGU.

G. For construction or expansion of a mixed municipal solid waste energy recovery facility ash landfill receiving ash from an incinerator that burns refuse-derived fuel or mixed municipal solid waste, the PCA is the RGU.

Subp. 18. **Wastewater systems.** Items A to F designate the RGU for the type of project listed:

A. For expansion, modification, or replacement of a municipal sewage collection system resulting in an increase in design average daily flow of any part of that system by 1,000,000 gallons per day or more if the discharge is to a wastewater treatment facility with a capacity less than 20,000,000 gallons per day, the PCA is the RGU.

B. For expansion, modification, or replacement of a municipal sewage collection system resulting in an increase in design average daily flow of any part of that system by 2,000,000 gallons per day or more if the discharge is to a wastewater treatment facility with the capacity of 20,000,000 gallons or greater, the PCA is the RGU.

C. For expansion or modification of an existing municipal or domestic wastewater treatment facility that results in an increase by 50 percent or more and by at least 200,000 gallons per day of the facility's average wet weather design flow capacity, the PCA is the RGU.

D. For construction of a new municipal or domestic wastewater treatment facility with an average wet weather design flow capacity of 200,000 gallons per day or more, the PCA is the RGU.

E. For expansion or modification of an existing industrial process wastewater treatment facility that increases the facility's design flow capacity by 50 percent or more and by at least 200,000 gallons per day or more, the PCA is the RGU.

F. For construction of a new industrial process wastewater treatment facility with a design flow capacity of 200,000 gallons per day or more, 5,000,000 gallons per month or more, or 20,000,000 gallons per year or more, the PCA is the RGU. This category does not apply to industrial process wastewater treatment facilities that discharge to a publicly owned treatment works or to a tailings basin reviewed according to subpart 11, item B.

* Subp. 19. **Residential development.** An EAW is required for residential development if the total number of units that may ultimately be developed on all contiguous land owned or under an option to purchase by the proposer, except land identified by an applicable comprehensive plan, ordinance, resolution, or agreement of a local governmental unit for a future use other than residential development, equals or exceeds a threshold of this subpart. In counting the total number of ultimate units, the RGU shall include the number of units in any plans of the proposer; for land for which the proposer has not yet prepared plans, the RGU shall use as the number of units the product of the number of acres multiplied by the maximum number of units per acre allowable under the applicable zoning ordinance or, if the maximum number of units allowable per acre is not specified in an applicable zoning ordinance, by the overall average number of units per acre indicated in the plans of the proposer for those lands for which plans exist. If the total project requires review but future phases are uncertain, the RGU may review the ultimate project sequentially in accordance with part 4410.1000, subpart 4.

If a project consists of mixed unattached and attached units, an EAW must be prepared if the sum of the quotient obtained by dividing the number of unattached units by the applicable unattached unit threshold, plus the quotient obtained by dividing the number of attached units by the applicable attached unit threshold, equals or exceeds one.

The local governmental unit is the RGU for construction of a permanent or potentially permanent residential development of:

- A. 50 or more unattached or 75 or more attached units in an unsewered unincorporated area or 100 unattached units or 150 attached units in a sewerred unincorporated area;
- B. 100 unattached units or 150 attached units in a city that does not meet the conditions of item D;
- C. 100 unattached units or 150 attached units in a city meeting the conditions of item D if the project is not consistent with the adopted comprehensive plan; or

D. 250 unattached units or 375 attached units in a city within the seven-county Twin Cities metropolitan area that has adopted a comprehensive plan under Minnesota Statutes, section 473.859, or in a city not located within the seven-county Twin Cities metropolitan area that has filed with the EQB chair a certification that it has adopted a comprehensive plan containing the following elements:

(1) a land use plan designating the existing and proposed location, intensity, and extent of use of land and water for residential, industrial, agricultural, and other public and private purposes;

(2) a transportation plan describing, designating, and scheduling the location, extent, function, and capacity of existing and proposed local public and private transportation facilities and services;

(3) a sewage collection system policy plan describing, designating, and scheduling the areas to be served by the public system, the existing and planned capacities of the public system, and the standards and conditions under which the installation of private sewage treatment systems will be permitted;

(4) a capital improvements plan for public facilities; and

(5) an implementation plan describing public programs, fiscal devices, and other actions to be undertaken to implement the comprehensive plan, and a description of official controls addressing the matters of zoning, subdivision, private sewage systems, and a schedule for the implementation of those controls. The EQB chair may specify the form to be used for making a certification under this item.

Subp. 19a. Residential development in shoreland outside of the seven-county Twin Cities metropolitan area.

A. The local governmental unit is the RGU for construction of a permanent or potentially permanent residential development located wholly or partially in shoreland outside the seven-county Twin Cities metropolitan area of a type listed in items B to E. For purposes of this subpart, "riparian unit" means a unit in a development that abuts a public water or, in the case of a development where units are not allowed to abut the public water, is located in the first tier of the development as provided under part 6120.3800, subpart 4, item A. If a project is located partially in a sensitive shoreland area and partially in nonsensitive shoreland areas, an EAW must be prepared if the sum of the quotient obtained by dividing the number of units in the sensitive shoreland area by the applicable sensitive shoreland area threshold, plus the quotient obtained by dividing the number of units in nonsensitive shoreland areas by the applicable nonsensitive shoreland area threshold, equals or exceeds one. If a project is located partially in shoreland and partially not in shoreland, an EAW must be prepared if the sum of the quotients obtained by dividing the number of units in each type of area by the applicable threshold for each area equals or exceeds one.

B. A development containing 15 or more unattached or attached units for a sensitive shoreland area or 25 or more unattached or attached units for a nonsensitive shoreland area, if any of the following conditions is present:

(1) less than 50 percent of the area in shoreland is common open space;

(2) the number of riparian units exceeds by at least 15 percent the number of riparian lots that would be allowable calculated according to the applicable lot area and width standards for riparian unsewered single lots under part 6120.3300, subparts 2a and 2b; or

(3) if any portion of the project is in an unincorporated area, the number of nonriparian units in shoreland exceeds by at least 15 percent the number of lots that would be allowable on the parcel calculated according to the applicable lot area standards for nonriparian unsewered single lots under part 6120.3300, subparts 2a and 2b.

C. A development containing 25 or more unattached or attached units for a sensitive shoreland area or 50 or more unattached or attached units for a nonsensitive shoreland area, if none of the conditions listed in item B is present.

D. A development in a sensitive shoreland area that provides permanent mooring space for at least one nonriparian unattached or attached unit.

E. A development containing at least one unattached or attached unit created by the conversion of a resort, motel, hotel, recreational vehicle park, or campground, if either of the following conditions is present:

(1) the number of nonriparian units in shoreland exceeds by at least 15 percent the number of lots that would be allowable on the parcel calculated according to the applicable lot area standards for nonriparian unsewered single lots under part 6120.3300, subparts 2a and 2b; or

(2) the number of riparian units exceeds by at least 15 percent the number of riparian lots that would be allowable calculated according to the applicable lot area and width standards for riparian unsewered single lots under part 6120.3300, subparts 2a and 2b.

F. An EAW is required for residential development if the total number of units that may ultimately be developed on all contiguous land owned or under an option to purchase by the proposer, except land identified by an applicable comprehensive plan, ordinance, resolution, or agreement of a local governmental unit for a future use other than residential development, equals or exceeds a threshold of this subpart. In counting the total number of ultimate units, the RGU shall include the number of units in any plans of the proposer. For land for which the proposer has not yet prepared plans, the RGU shall use as the number of units the number of acres multiplied by the maximum number of units per acre allowable under the applicable zoning ordinance or, if the maximum number of units allowable per acre is not specified in an applicable zoning ordinance, by the overall average number of units per acre indicated in the plan of the proposer for those lands for which plans exist.

Subp. 20. Campgrounds and RV parks. For construction of a seasonal or permanent recreational development, accessible by vehicle, consisting of 50 or more sites, or the expansion of such a facility by 50 or more sites, the local governmental unit is the RGU.

Subp. 20a. Resorts, campgrounds, and RV parks in shorelands. The local governmental unit is the RGU for construction or expansion of a resort or other seasonal or permanent recreational development located wholly or partially in shoreland, accessible by vehicle, of a type listed in item A or B:

A. construction or addition of 25 or more units or sites in a sensitive shoreland area or 50 units or sites in a nonsensitive shoreland area if at least 50 percent of the area in shoreland is common open space; or

B. construction or addition of 15 or more units or sites in a sensitive shoreland area or 25 or more units or sites in a nonsensitive shoreland area, if less than 50 percent of the area in shoreland is common open space.

If a project is located partially in a sensitive shoreland area and partially in nonsensitive shoreland areas, an EAW must be prepared if the sum of the quotient obtained by dividing the number of units in the sensitive shoreland area by the applicable sensitive shoreland area threshold, plus the quotient obtained by dividing the number of units in nonsensitive shoreland areas by the applicable nonsensitive shoreland area threshold, equals or exceeds one. If a project is located partially in shoreland and partially not in shoreland, an EAW must be prepared if the sum of the quotients obtained by dividing the number of units in each type of area by the applicable threshold for each area equals or exceeds one.

Subp. 21. **Airport projects.** Items A and B designate the RGU for the type of project listed:

A. For construction of a paved, new airport runway, the DOT, local governmental unit, or Metropolitan Airports Commission is the RGU.

B. For construction of a runway extension that would upgrade an existing airport runway to permit usage by aircraft over 12,500 pounds that are at least three decibels louder than aircraft currently using the runway, the DOT, local governmental unit, or Metropolitan Airports Commission is the RGU. The RGU is selected according to part 4410.0500, subpart 5.

Subp. 22. **Highway projects.** Items A to C designate the RGU for the type of project listed:

A. For construction of a road on a new location over one mile in length that will function as a collector roadway, the DOT or local governmental unit is the RGU.

B. For construction of additional through lanes or passing lanes on an existing road for a length of two or more miles, exclusive of auxiliary lanes, the DOT or local governmental unit is the RGU.

C. For the addition of one or more new interchanges to a completed limited access highway, the DOT or local governmental unit is the RGU.

Subp. 23. **Barge fleeting.** For construction of a new or expansion of an existing barge fleeting facility, the DOT or port authority is the RGU.

Subp. 24. **Water appropriation and impoundments.** Items A to C designate the RGU for the type of project listed:

A. For a new appropriation for commercial or industrial purposes of either surface water or ground water averaging 30,000,000 gallons per month; or a new appropriation of either ground water or surface water for irrigation of 540 acres or more in one continuous parcel from one source of water, the DNR is the RGU.

B. For a new permanent impoundment of water creating additional water surface of 160 or more acres or for an additional permanent impoundment of water creating additional water surface of 160 or more acres, the DNR is the RGU.

C. For construction of a dam with an upstream drainage area of 50 square miles or more, the DNR is the RGU.

Subp. 25. **Marinas.** For construction or expansion of a marina or harbor that results in a 20,000 or more square foot total or a 20,000 or more square foot increase of water surface area used temporarily or permanently for docks, docking, or maneuvering of watercraft, the local governmental unit is the RGU.

Subp. 26. **Stream diversion.** For a diversion, realignment, or channelization of any designated trout stream, or affecting greater than 500 feet of natural watercourse with a total drainage area of ten or more square miles unless exempted by part 4410.4600, subpart 14, item E, or 17, the DNR or local governmental unit is the RGU.

Subp. 27. **Public waters, public waters wetlands, and wetlands.** Items A and B designate the RGU for the type of project listed:

A. For projects that will change or diminish the course, current, or cross-section of one acre or more of any public water or public waters wetland except for those to be drained without a permit according to Minnesota Statutes, chapter 103G, the DNR or local governmental unit is the RGU.

B. For projects that will cause an impact, as defined in part 8420.0111, to a total of one acre or more of wetlands, regardless of type, excluding public waters wetlands, if any part of the wetland is within a shoreland area, a delineated floodplain, a state or federally designated wild and scenic rivers district, the Minnesota River Project Riverbend area, or the Mississippi headwaters area, the local governmental unit is the RGU. This item does not apply to projects exempted by part 4410.4600, subpart 14.

Subp. 28. **Forestry.** Items A and B designate the RGU for the type of project listed:

A. For harvesting timber for commercial purposes on public lands within a state park, a historical area, a wilderness area, a scientific and natural area, a wild and scenic rivers district, the Minnesota River Project Riverbend area, the Mississippi headwaters area, or a critical area that does not have an approved plan under Minnesota Statutes, section 86A.09 or 116G.07, the DNR is the RGU.

B. For a clear-cutting of 80 or more contiguous acres of forest, any part of which is located within a shoreland area and within 100 feet of the ordinary high water mark of the lake or river, the DNR is the RGU.

Subp. 29. **Animal feedlots.** The PCA is the RGU for the types of projects listed in items A and B unless the county will issue the feedlot permit, in which case the county is the RGU. However, the county is not the RGU prior to January 1, 2001.

A. For the construction of an animal feedlot facility with a capacity of 1,000 animal units or more or the expansion of an existing facility by 1,000 animal units or more if the facility is not in an area listed in item B.

B. For the construction of an animal feedlot facility of more than 500 animal units or expansion of an existing animal feedlot facility by more than 500 animal units if the facility is located wholly or partially in any of the following sensitive locations: shoreland; a delineated flood plain, except that in the flood plain of the Red River of the North the sensitive area includes only land within 1,000 feet of the ordinary high water mark; a state or federally designated wild and scenic river district; the Minnesota River Project Riverbend area; the Mississippi headwaters area; or an area within a drinking water supply management area delineated under chapter 4720 where the aquifer is identified in the wellhead protection plan as vulnerable to contamination; or within 1,000 feet of a known sinkhole, cave, resurgent spring, disappearing spring, Karst window, blind valley, or dry valley.

The provisions of part 4410.1000, subpart 4, regarding connected actions do not apply to animal feedlots. The provisions of part 4410.1000, subpart 4, regarding phased actions apply to feedlots.

With the agreement of the proposers, the RGU may prepare a single EAW to collectively review individual sites of a multisite feedlot proposal.

Subp. 30. Natural areas. For projects resulting in permanent physical encroachment on lands within a national park, a state park, a wilderness area, state lands and waters within the boundaries of the Boundary Waters Canoe Area, or a scientific and natural area when the encroachment is inconsistent with laws applicable to or the management plan prepared for the recreational unit, the DNR or local governmental unit is the RGU.

Subp. 31. Historical places. For the destruction, in whole or part, or the moving of a property that is listed on the National Register of Historic Places or State Register of Historic Places, the permitting state agency or local governmental unit is the RGU, except this does not apply to projects reviewed under section 106 of the National Historic Preservation Act of 1966, United States Code, title 54, section 306108, or the federal policy on lands, wildlife and waterfowl refuges, and historic sites pursuant to United States Code, title 49, section 303, or projects reviewed by a local heritage preservation commission certified by the State Historic Preservation Office pursuant to Code of Federal Regulations, title 36, sections 61.5 and 61.7. This subpart does not apply to a property located within a designated historic district if the property is listed as "noncontributing" in the official district designation or if the State Historic Preservation Office issues a determination that the property is noncontributing.

Subp. 32. Mixed residential and industrial-commercial projects. If a project includes both residential and industrial-commercial components, the project must have an EAW prepared if the sum of the quotient obtained by dividing the number of residential units by the applicable residential threshold of subpart 19, plus the quotient obtained by dividing the amount of industrial-commercial gross floor space by the applicable industrial-commercial threshold of subpart 14, equals or exceeds one. The local governmental unit is the RGU.

Subp. 33. **Communications towers.** For construction of a communications tower equal to or in excess of 500 feet in height, or 300 feet in height within 1,000 feet of any public water or public waters wetland or within two miles of the Mississippi, Minnesota, Red, or St. Croix rivers or Lake Superior, the local governmental unit is the RGU.

Subp. 34. **Sports or entertainment facilities.** For construction of a new sports or entertainment facility designed for or expected to accommodate a peak attendance of 5,000 or more persons, or the expansion of an existing sports or entertainment facility by this amount, the local governmental unit is the RGU.

Subp. 35. **Release of genetically engineered organisms.** For the release of a genetically engineered organism that requires a release permit from the EQB under chapter 4420, the EQB is the RGU. For all other releases of genetically engineered organisms, the RGU is the permitting state agency. This subpart does not apply to the direct medical application of genetically engineered organisms to humans or animals.

* Subp. 36. **Land use conversion, including golf courses.** Items A and B designate the RGU for the type of project listed:

A. For golf courses, residential development where the lot size is less than five acres, and other projects resulting in the permanent conversion of 80 or more acres of agricultural, native prairie, forest, or naturally vegetated land, the local governmental unit is the RGU, except that this subpart does not apply to agricultural land inside the boundary of the Metropolitan Urban Service Area established by the Metropolitan Council.

B. For projects resulting in the conversion of 640 or more acres of forest or naturally vegetated land to a different open space land use, the local governmental unit is the RGU.

Subp. 36a. **Land conversions in shoreland.**

A. For a project proposing a permanent conversion that alters 800 feet or more of the shoreline in a sensitive shoreland area or 1,320 feet or more of shoreline in a nonsensitive shoreland area, the local governmental unit is the RGU.

B. For a project proposing a permanent conversion that alters more than 50 percent of the shore impact zone if the alteration measures at least 5,000 square feet, the local governmental unit is the RGU.

C. For a project that permanently converts 20 or more acres of forested or other naturally vegetated land in a sensitive shoreland area or 40 or more acres of forested or other naturally vegetated land in a nonsensitive shoreland area, the local governmental unit is the RGU.

Subp. 37. **Recreational trails.** If a project listed in items A to F will be built on state-owned land or funded, in whole or part, by grant-in-aid funds administered by the DNR, the DNR is the RGU. For other projects, if a governmental unit is sponsoring the project, in whole or in part, that governmental unit is the RGU. If the project is not sponsored by a unit of government, the RGU is the local governmental unit. For purposes of this subpart, "existing trail" means an established corridor in current legal use.

A. Constructing a trail at least 25 miles long on forested or other naturally vegetated land for a recreational use, unless exempted by part 4410.4600, subpart 14, item D.

B. Designating at least 25 miles of an existing trail for a new motorized recreational use other than snowmobiling. When designating an existing motorized trail or existing corridor in current legal use by motor vehicles, the designation does not contribute to the 25-mile threshold under this item. When adding a new recreational use or seasonal recreational use to an existing motorized recreational trail, the addition does not contribute to the 25-mile threshold if the treadway width is not expanded as a result of the added use. In applying items A and B, if a proposed trail will contain segments of newly constructed trail and segments that will follow an existing trail but be designated for a new motorized use, an EAW must be prepared if the total length of the newly constructed and newly designated segments is at least 25 miles.

C. Paving ten or more miles of an existing unpaved trail, unless exempted by part 4410.4600, subpart 27, item B or F. Paving an unpaved trail means to create a hard surface on the trail with a material impervious to water.

D. Constructing an off-highway vehicle recreation area of 80 or more acres, or expanding an off-highway vehicle recreation area by 80 or more acres, on agricultural land or forested or other naturally vegetated land.

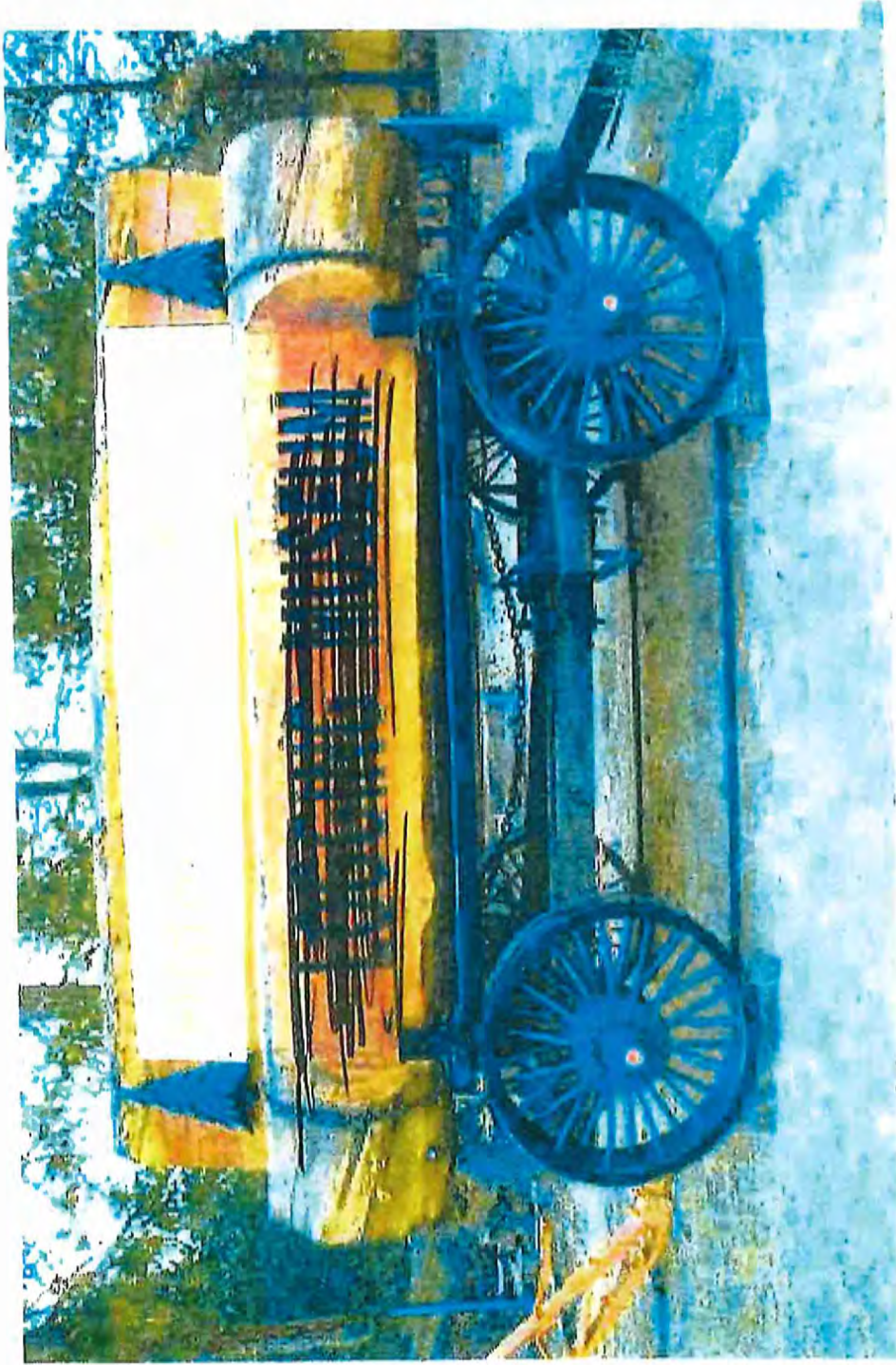
E. Constructing an off-highway vehicle recreation area of 640 or more acres, or expanding an off-highway vehicle recreation area by 640 or more acres, if the land on which the construction or expansion is carried out is not agricultural, is not forested or otherwise naturally vegetated, or has been significantly disturbed by past human activities such as mineral mining.

F. Some recreation areas for off-highway vehicles may be constructed partially on agricultural naturally vegetated land and partially on land that is not agricultural, is not forested or otherwise naturally vegetated, or has been significantly disturbed by past human activities. In that case, an EAW must be prepared if the sum of the quotients obtained by dividing the number of acres of agricultural or naturally vegetated land by 80 and the number of acres of land that is not agricultural, is not forested or otherwise naturally vegetated, or has been significantly disturbed by past human activities by 640, equals or exceeds one.

Statutory Authority: *MS s 116C.94; 116C.991; 116D.04; 116D.045; L 1998 c 401 s 54; L 2013 c 114 art 4 s 105; L 2015 1Sp4 art 4 s 121; art 5 s 33*

History: *11 SR 714; 13 SR 1437; 13 SR 2046; 17 SR 139; 21 SR 1458; 24 SR 517; 28 SR 951; 30 SR 319; 31 SR 539; 34 SR 721; 36 SR 567; 44 SR 691*

Published Electronically: *January 17, 2020*



Double sided sand blast or other
Sign on top

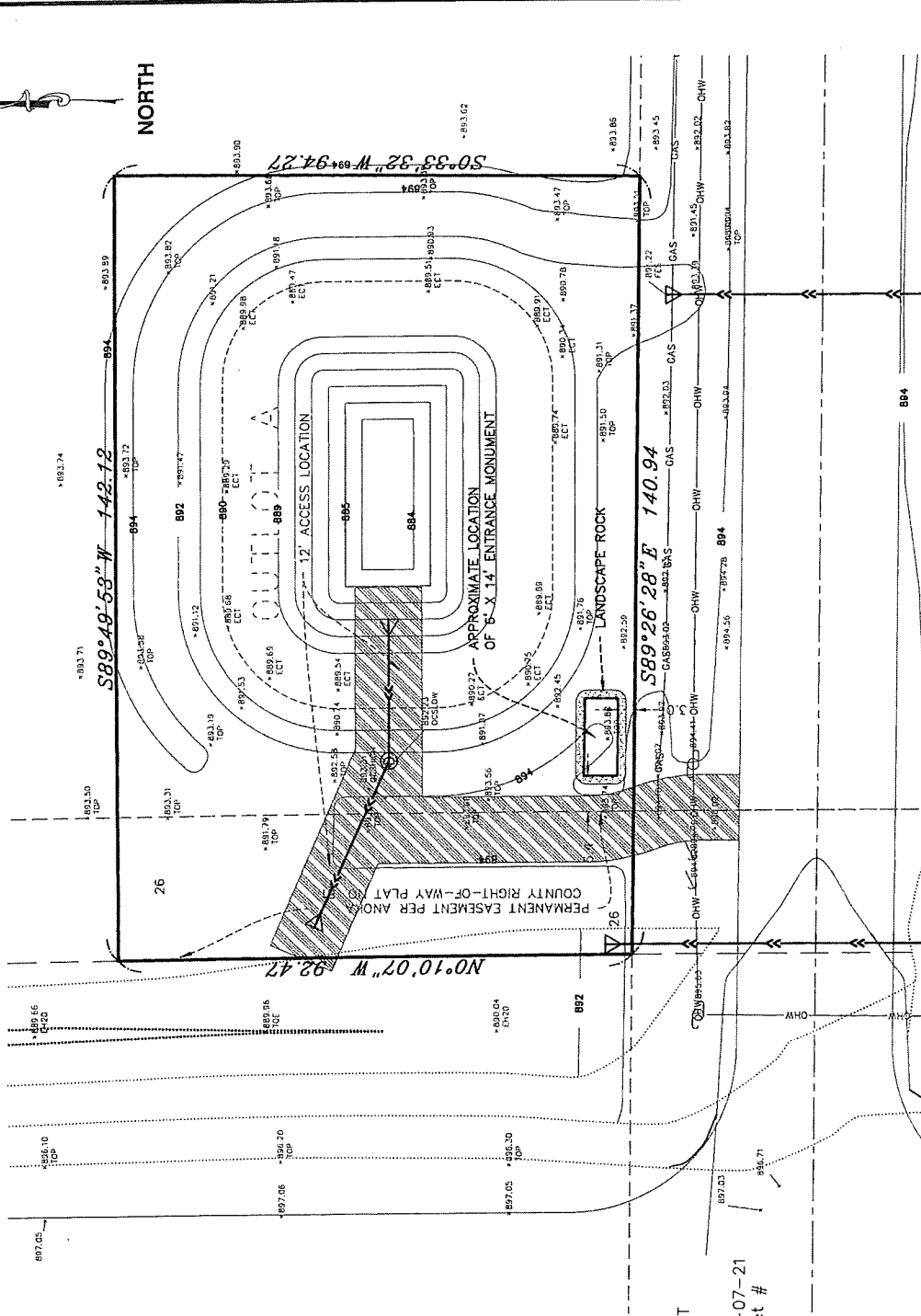
A few logs with no bark from
the development

12' to 14' in length

Proposed Monument

MONUMENT EXHIBIT

for HFN PROPERTIES, LLC.



NOTES

- Bearings shown are on Anoka County datum.
- Exhibit was prepared using HIDDEN FOREST EAST grading plan and field verification.
- E.G. Rud and Sons, Inc. visited the site on 06-07-21 to locate utilities marked by Gopher State One Ticket # 211522277.

Scale 1" = 20'	● Denotes Iron Monument	Bearing Datum: Assumed	Job No. 200949	Drawn By: MMD
I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.				
E. G. RUD & SONS, INC. PROFESSIONAL LAND SURVEYORS 6776 LAKE DRIVE NE, SUITE 110 LINO LAKES, MINNESOTA 55014 TEL: (612) 251-7200 FAX: (612) 251-6701 www.egrud.com				
Dated this 17th day of June 2021. Minnesota License No. 415278				

OUTLOT A, HIDDEN FOREST EAST, Anoka County, Minnesota.

Tom Collins

From: Mark Jones <MJones@ci.ham-lake.mn.us>
Sent: Thursday, April 15, 2021 2:49 PM
To: 'ricoh_scanner@ham-lake.com'
Cc: Tom Collins; Jennifer Bohr
Subject: Monument sign

Jeff,
Talking it over with Joe Murphy you could simply do an amendment to the prior development agreement to HFE. You would need to show where on the plot the sign location, meet all setbacks, and show how the sign would interfere with maintaining the any ponding within that area. This would also have to be approved by Tom Collins. See code notes below.

11-340 Standards in Specific Residential Districts No signs shall be permitted in any area zoned R-1, R-M, R-AH, PUD, RS-1 or RS-2 except for temporary signs that are no greater than six square feet in size, except that Neighborhood Monument Signs as defined in Article 11-350.4 of this code may be up to 40 square feet in size, as measured on the perimeter of the border of the message displayed (excluding structural components of the sign). Only one sign may be placed on a residential lot, except that if it is a corner lot with two road frontages, one sign may be permitted facing each road. Such signs may be in place for no more time than is necessary to accomplish the intended purpose of the sign. A single "monument" or other sign erected by a neighborhood association or land developer may be placed on private property at any road entrance to the neighborhood, provided that the sign is maintained by the property owner on whose parcel the sign is placed.

11-350.4 Neighborhood Monument Signs A "Neighborhood Monument Sign" is a sign that is erected by a residential subdivision developer or owner's association at the time of marketing and construction of the subdivision. Neighborhood Monument Signs shall be constructed of materials requiring little or no ongoing maintenance, such as masonry. No portion of any Neighborhood Monument Sign shall be located closer than ten feet from any road right-of-way. No Neighborhood Monument Sign shall be permitted unless, as a part of the development agreement for the subdivision, a reasonable system for ongoing maintenance of the sign is provided, at no cost or expense to the City. Further, the development agreement shall provide that if the sign is not properly maintained, the City may, upon reasonable notice to the residents of the neighborhood, come upon the property upon which the sign sits and remove the signage.

Mark Jones
City of Ham Lake



NOTICE OF PERMIT APPLICATION STATUS

Project: Hidden Forest East 3rd Addition

Date: May 28, 2021

Applicant: Jeff Stalberger
17404 Ward Lake Dr. NW
Andover, MN 55304

Permit Application#: 20-143

Purpose: 38 lot residential subdivision, associated stormwater features

Location: Packard St NE at 145th Ave NE, Ham Lake

At their meeting on April 26, 2021 the Board of Managers of the Coon Creek Watershed District **conditionally approved** the above referenced project with 4 conditions and 2 stipulations. **This is NOT a permit.**

Since your last submittal on 5/12/2021, the following 2 conditions remain which must be addressed before permit issuance (please see note below on how to address conditions).

1. Receipt of escrows.
2. Update Basin 1B EOF elevation to be consistent between HydroCAD model, Grading Plans, and details.

Please note that there are also 2 stipulations.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rule 5.1. If you have any questions, please call 763-755-0975.

Sincerely,

A handwritten signature in black ink that reads 'Erin Edison'.

Erin Edison
Water Resource Regulation Coordinator

cc: File 20-143
Ed Matthiesen, Stantec
Danielle Tourtillott, Stantec
Tom Collins, City of Ham Lake

Note: Please respond to each of these items in writing when resubmitting the revised plans to the District. Resubmittals must include two hard copies and/or an electronic version sent to permitsubmittals@cooncreekwd.org. **Please submit written responses**

below the original typed comments, using extra sheets as necessary, addressing comments from the District. If you have any questions, feel free to contact Erin Edison at (763) 755-0975. Pursuant to Coon Creek rule 7.3 deficiencies must be addressed and resubmitted within 60 days. Failure to do so shall be deemed a withdrawal of the permit application.

To: Erin Edison, Tim Kelly From: Brady Schmitz, Stantec Consulting Services Inc.
Coon Creek Watershed Copy: Ed Matthiesen, P.E., Stantec Consulting District
Services Inc.
PAN: 20-143 Date: May 20, 2021

Reference: Hidden Forest 3rd Update

Exhibits:

1. Grading Plans (16 sheets); by Plowe, dated 04/27/2021, received 05/13/2021.
2. Civil Plans (9 sheets); by Plowe, dated 04/27/2021, received 05/13/2021.
3. Stormwater Drainage Report; by Plowe, dated 05/13/2021, received 05/13/2021.

In Response to the Coon Creek Watershed District "Notice of Permit Application Status" dated April 28, 2021:

1. Receipt of escrows. **NO**
2. Update Basin 1B EOF elevation to be consistent between HydroCAD model, Grading plans, and details. **NO**

Findings: Basin 1B EOF elevation is listed as 903.8 on the Grading Plans and HydroCAD model. It is shown as 903.6 in the detail table on sheet C2.04 of the Civil Plans.

Recommendation: Approval with 2 Condition and 3 Stipulations:

Conditions:

3. Receipt of escrows.
4. Update Basin 1B EOF elevation to be consistent between HydroCAD model, Grading Plans, and details.

Stipulations:

1. Submittal of as-builts for the following stormwater management practices, including volume and proof of installation for hydrodynamic separators:

Stormwater Treatment Practices	Number
Wet Sedimentation Pond	4
Infiltration Basin	8
RainGuardians	13
Outlet Control Structure	5

2. Completion of post construction infiltration tests on Infiltration Basins 1A, 1B, 2A, 3A, 3B, 4D, 7A and 7B by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. If dewatering, either DNR dewatering permit (if required) or well-field location, rates, discharge location, schedule and quantities must be submitted to the District 7 days prior to activity for review and approval.

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

April 5th, 2021

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304
Attention: Tom Collins

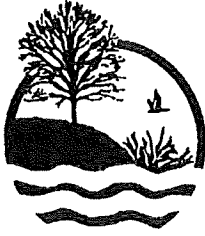
Dear Mr. Collins:

As a licensed site evaluator who conducted the soil borings in Hidden Forest East 3rd Addition for Jeff Stalberger, I found the following: Each boring has at least 12" of natural, undisturbed and unmottled soil. In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of mottling is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark Tradewell". The signature is fluid and cursive, with a large initial "M" and "T".

Mark Tradewell
MPCA #307



KJOLHAUG ENVIRONMENTAL SERVICES COMPANY

Providing Sound, Balanced, Comprehensive Natural Resource Solutions

Memorandum

Date: April 13, 2021

To: Becky Horton, MN DNR

Cc: Erin Edison, Coon Creek Watershed District
Jeff Stalberger, HFN Properties, LLC
Adam Ginkel, Plowe Engineering, Inc.

From: Melissa Barrett, Kjolhaug Environmental Services Company (KES)

Re: Rare Species Avoidance Plan
Hidden Forest East 3rd Addition, Ham Lake
KES#2020-104

The Hidden Forest East 3rd Addition project is located on 82.8 acres in Section 26, Township 32 North, Range 23 West, Ham Lake, Anoka County, Minnesota. The site is situated east of Lexington Avenue and north of 125th Avenue NE.

A plant survey conducted on the site by Midwest Natural Resources (MNR) on August 23, 2020 (**Attachment A**) identified 69 individuals of the state-threatened black huckleberry (*Gaylussacia baccata*) in the northeast corner of the site (**Figure 1**).

The proposed plan for the site is included as **Attachment B**. According to the plan, the nearest grading activity is more than 260 feet from the rare plant population (**Figure 2**).

Prior to site construction, silt fence as shown on the plans will be installed along the grading limits thereby ensuring avoidance of the subject plants.

Project approval requires DNR concurrence with the Rare Plant Survey and concurrence that additional investigation is not required.

At this time, we are requesting DNR approval of this avoidance plan and the MNR plant survey. We are also requesting that DNR provides a determination to CCWD regarding whether further investigation is required for this project.

Thank you.

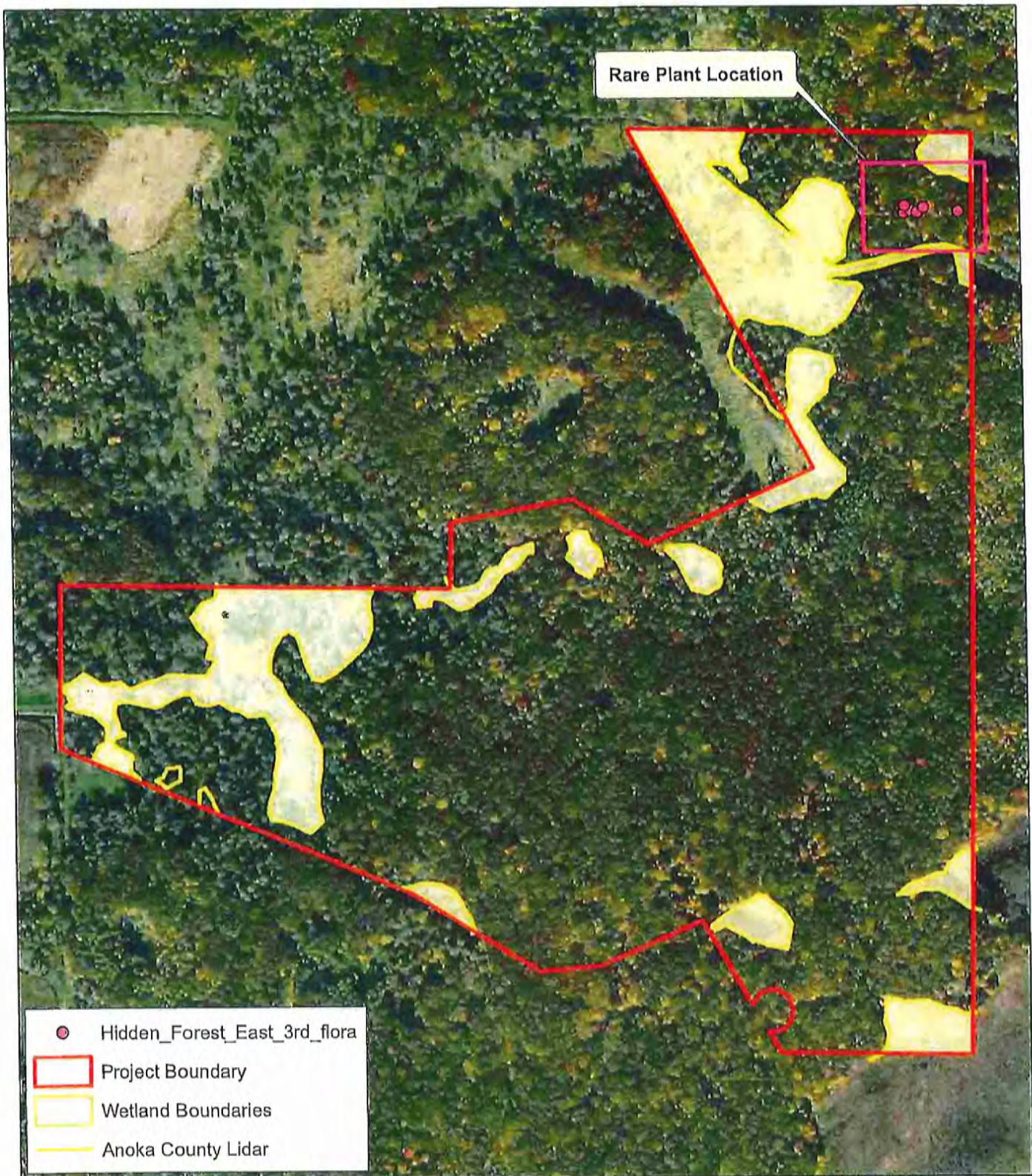




Figure 1 - Rare Plant Population Location




KJOLHAUG ENVIRONMENTAL SERVICES COMPANY

Source: MNGEO Spatial Commons

N



0 500



Feet

Hidden Forest East 3rd Addition (KES 2020-104)
Ham Lake, Minnesota

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

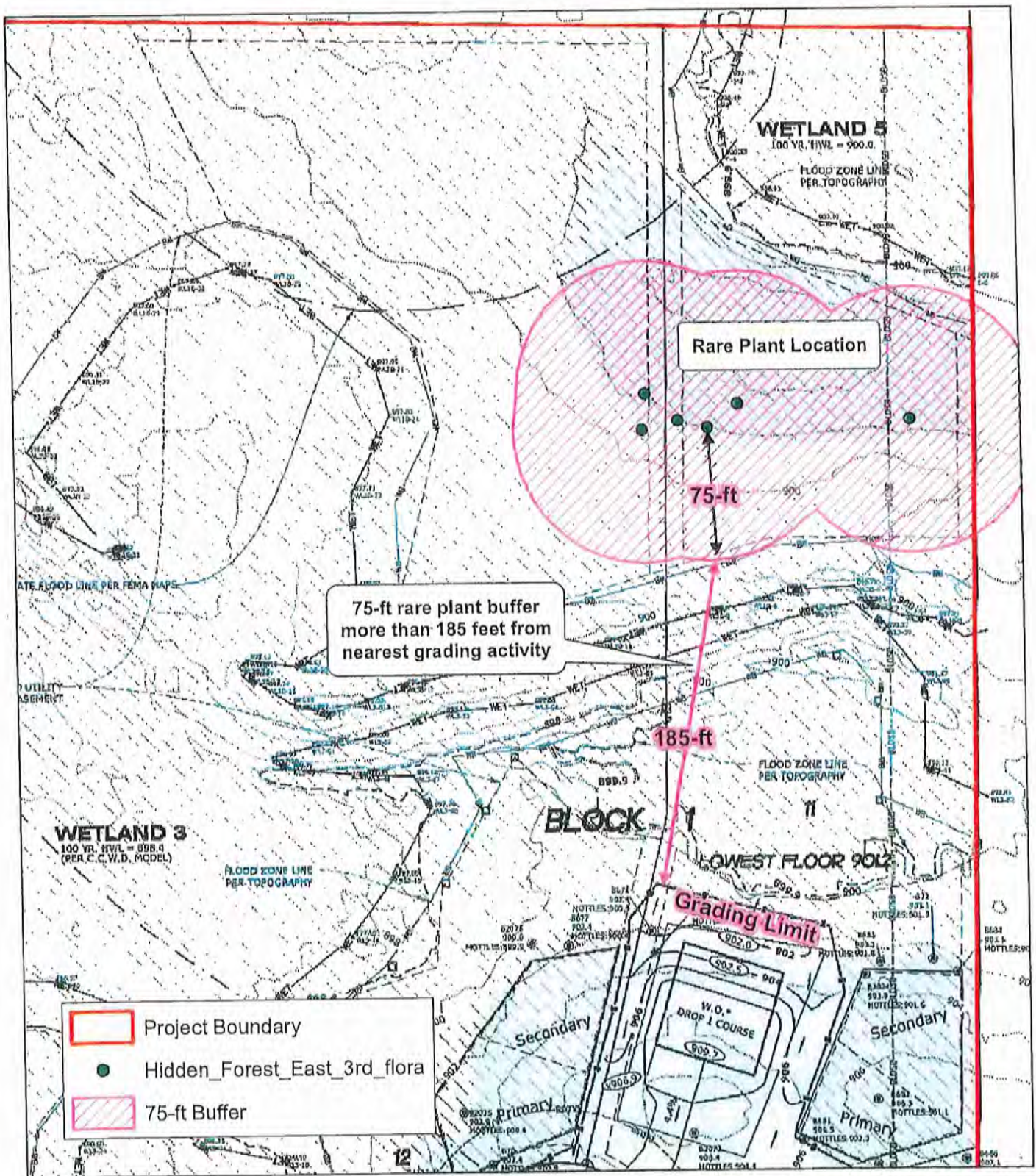




Figure 2 - Rare Plant Distance from Grading Activities




N

0 125



Feet

Hidden Forest East 3rd Addition (KES 2020-104)
Ham Lake, Minnesota



KJOLHAUG ENVIRONMENTAL SERVICES COMPANY

Source: MNGEO Spatial Commons

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

Hidden Forest East 3rd Addition, Ham Lake

Rare Species Avoidance Plan

Attachment A

RARE PLANT SURVEY REPORT

HIDDEN FOREST EAST 3RD ADDITION PROJECT

Prepared for:
Mr. Jeffrey Stalberger
HFN Properties, LLC
17404 Ward Lake Dr. NW
Andover, MN 55304



SEPTEMBER 11, 2020

Prepared by:
Midwest Natural Resources, Inc.
1032 West 7th Street, Suite 150
St. Paul, Minnesota 55102





Mr. Jeffrey Stalberger
HFN Properties, LLC
17404 Ward Lake Dr. NW
Andover, MN 55304

September 11, 2020

Mr. Stalberger,

The following document discusses the results of the recent rare plant survey conducted by Midwest Natural Resources, Inc. (MNR) for the proposed Hidden Forest East 3rd Addition residential development project. The proposed project is located east of Lever Street Northeast in Ham Lake, Minnesota (**Figure 1**).

Project Limits and Existing Background Data

The project area, which is approximately 82.5 acres, is located in Township 32 North, Range 23 West in the NENE, NWNE, SWNE, SENE, and NESE quarter-quarter sections of Section 25 (**Figure 2**). Available background data reviewed pertaining to the overall landscape included the USGS Topographic Map (**Figure 3**), LiDAR imagery (**Figure 4**), and the Anoka County Soil Survey digital data layer (**Figure 5**). The site includes four different soils series: Isanti fine sandy loam (Iw), Lino loamy fine sand (LnA), Markey muck (Ma), and Zimmerman fine sand (ZmB). Additionally, the Minnesota Department of Natural Resources (DNR) Native Plant Community (NPC) data layer was examined to determine if NPCs were mapped within the project site (**Figure 6**). This data layer identifies a large portion of the site as Southern Dry-Mesic Oak (Maple) Woodland, Oak – (Red Maple) Woodland type (FDs37a). The site is additionally identified as an Outstanding Site of Biological Significance (**Figure 7**).

Methods

Prior to conducting field surveys, MNR submitted a rare plant survey protocol to the DNR Endangered Species Coordinator (**Appendix A**). Field efforts, consisting of meander surveys, were conducted on August 23, 2020 by MNR botanists Otto Gockman, Jake Walden, and the undersigned. Follow-up surveys efforts were conducted on September 5, 2020. A general species list was collected during field efforts, as were representative site photographs. State-listed plant populations observed were spatially documented using a Trimble® Geo XT 6000 sub-meter GPS unit, capturing the extent of a given population or colony. Collected spatial data was then post-processed following survey efforts in order to provide sub-meter quality data.

Results

The majority of the project area is a Southern Dry-Mesic Oak (Maple) Woodland, Oak – (Red Maple) Woodland community type (FDs37a), matching the NPC data layer. The conservation status of this native plant community in the state is ranked as S4, meaning apparently secure, uncommon but not rare.

The canopy of this community is continuous with prominent species including white oak (*Quercus alba*), northern pin oak (*Q. ellipsoidalis*), northern red oak (*Q. rubra*), and red maple (*Acer rubrum*). The shrub layer ranges from sparse to patchy, and the ground layer is patchy to interrupted with hog peanut (*Amphicarpaea bracteata*), Pennsylvania sedge (*Carex pensylvanica*), large-leaved aster (*Eurybia macrophylla*), interrupted fern (*Claytosmunda claytoniana*¹, formerly *Osmunda claytoniana*), and bracken fern (*Pteridium aquilinum*). The survey area additionally includes a number of open wetland features throughout. These wetlands are generally degraded and dominated by reed canary grass (*Phalaris arundinacea*) along with stinging nettle (*Urtica dioica*) and arrow-leaved tearthumb (*Persicaria sagittata*).

Overall, 138 species were noted during survey efforts (**Appendix B**), including the state-threatened black huckleberry (*Gaylussacia baccata*). Approximately 69 individuals were documented in the northeast corner of the project area (**Figure 8**) growing in the fire dependent forest growing in association with *Quercus alba*, *Q. rubra*, *Acer rubrum*, *Amphicarpaea bracteata*, *Carex pensylvanica*, *Claytosmunda claytoniana*, American hazelnut (*Corylus americana*), bush honeysuckle (*Diervilla lonicera*), woodbine (*Parthenocissus vitacea*), and lowbush blueberry (*Vaccinium angustifolium*). A portion of one individual was collected for documentation purposes and collected under Special Permit No. 22798. This voucher will be submitted to the DNR in the near future and ultimately provided to the University of Minnesota Herbarium (MIN).

Representative site photos, as well as photos of the *Gaylussacia baccata*, are provided in **Appendix C**.

Conclusion

As noted, one state-threatened species, *Gaylussacia baccata*, was documented during survey efforts. This species is protected by state law, which prohibits the taking, importing, transporting, or selling of any part of a threatened or endangered species. A takings permit through the DNR will be required if impacts are unavoidable, and we can assist you in that case.

Please also note that we will be submitting this report to the DNR for concurrence and we will additionally submit our spatial data for incorporation into the Natural Heritage Information System database.

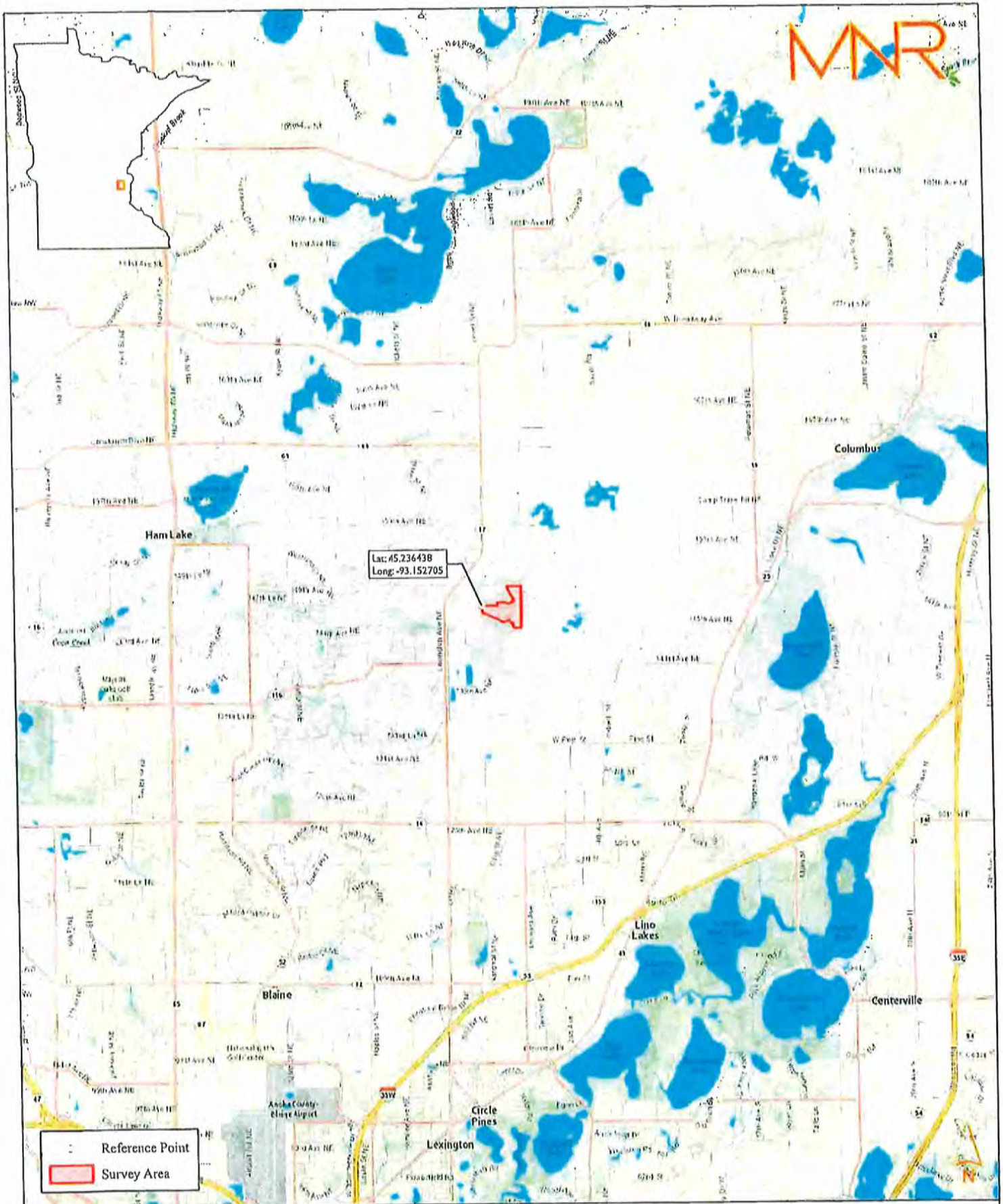
We appreciate the opportunity to assist you with your project and we welcome any questions or comments.

Respectfully submitted,



Scott A. Milburn, M.S.
Principal Botanist/President
Midwest Natural Resources, Inc.

1. *Claytosmunda claytoniana* (L.) Metzgar & Rouhan



Source: National Geographic World Map, US Census, Date: 9/11/2020



Survey Site Location
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota

Figure 1

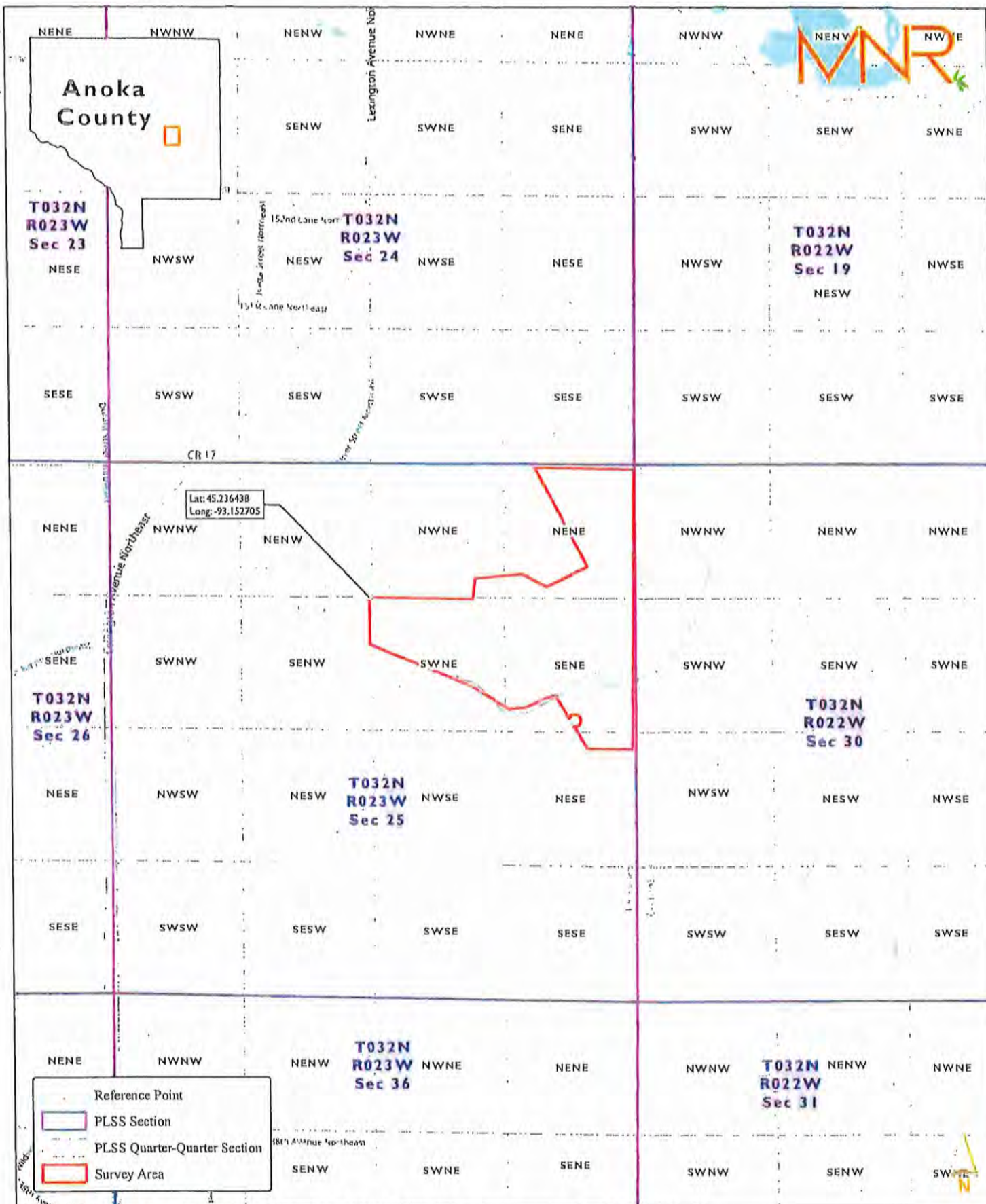


Figure 2

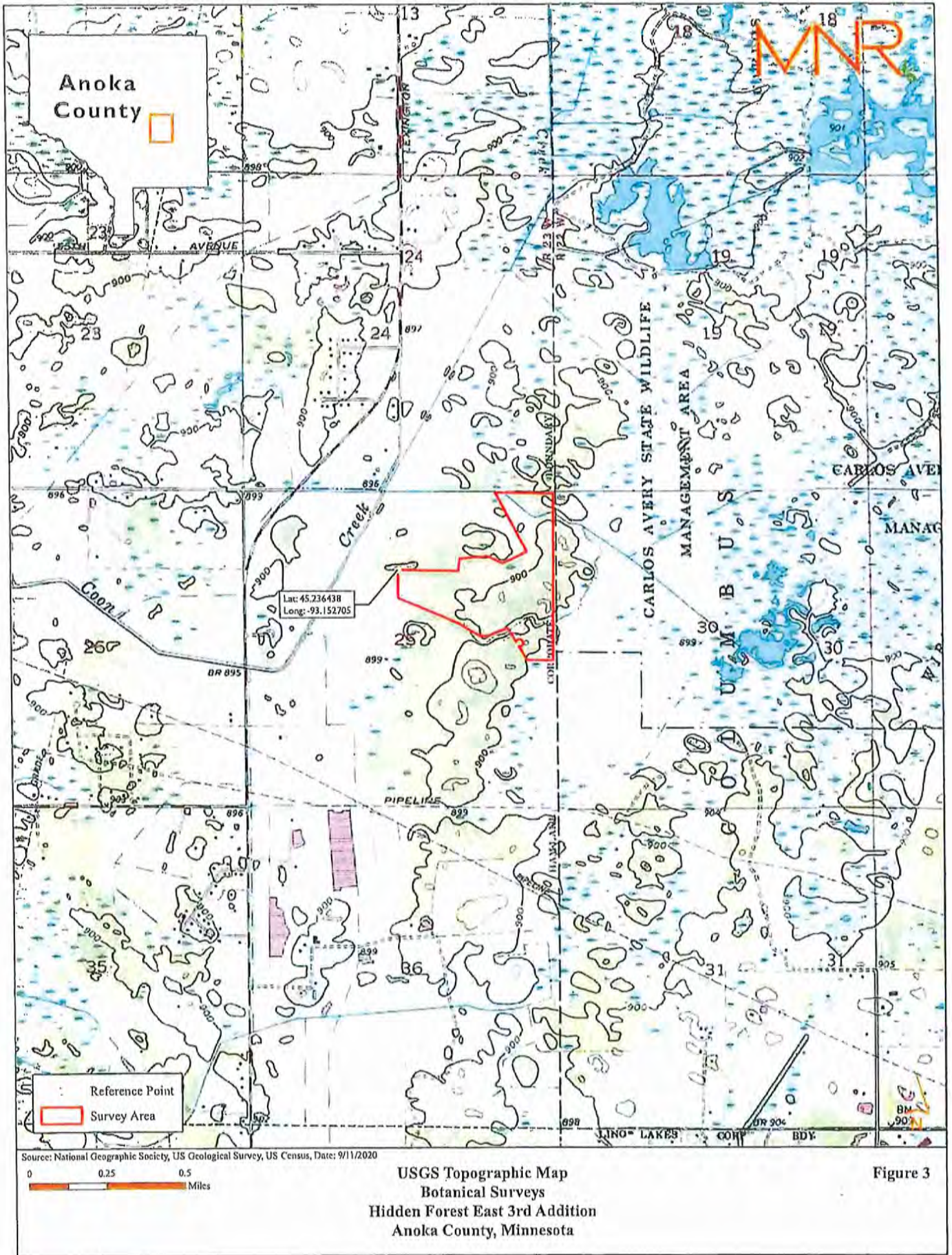
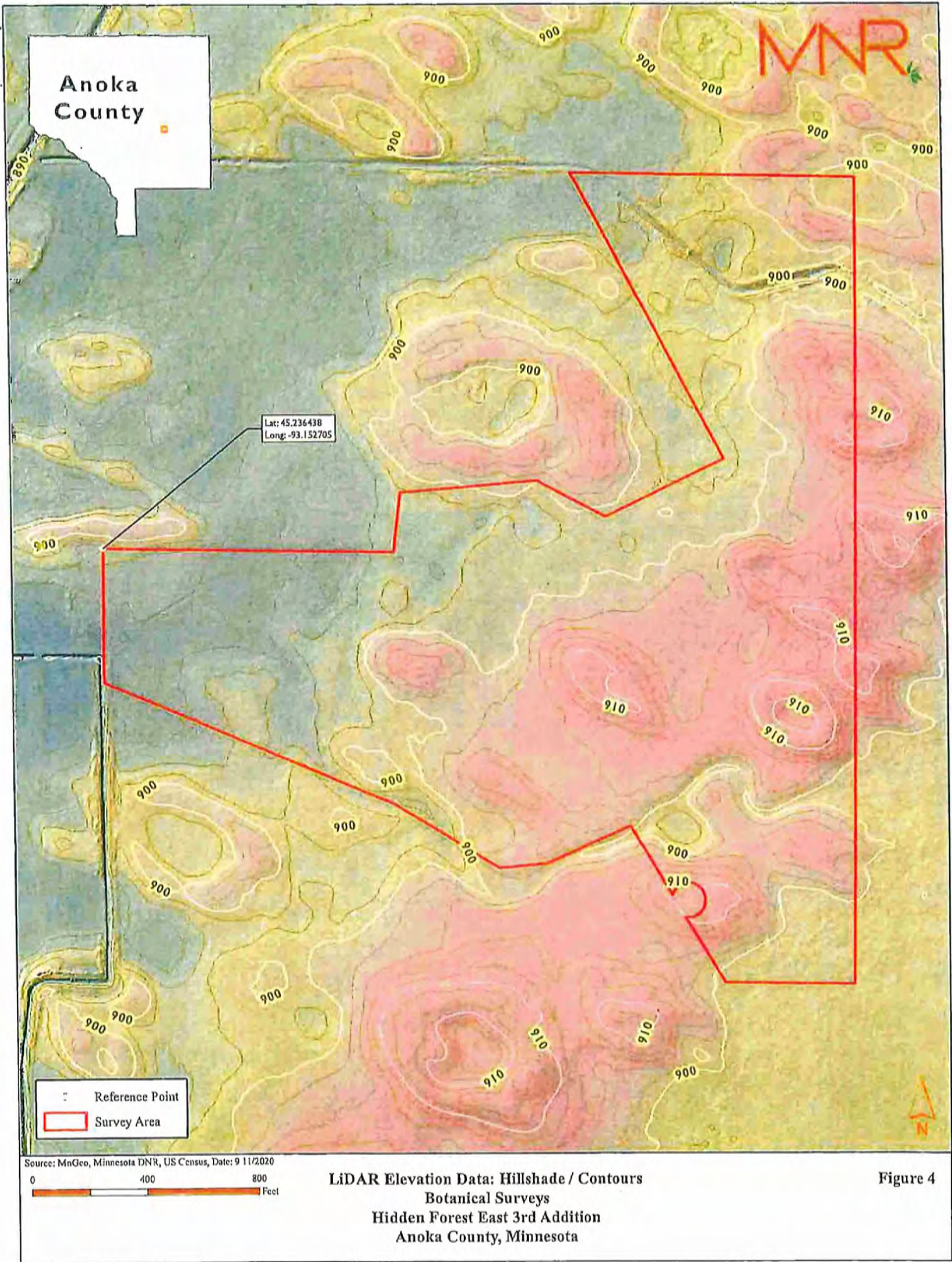
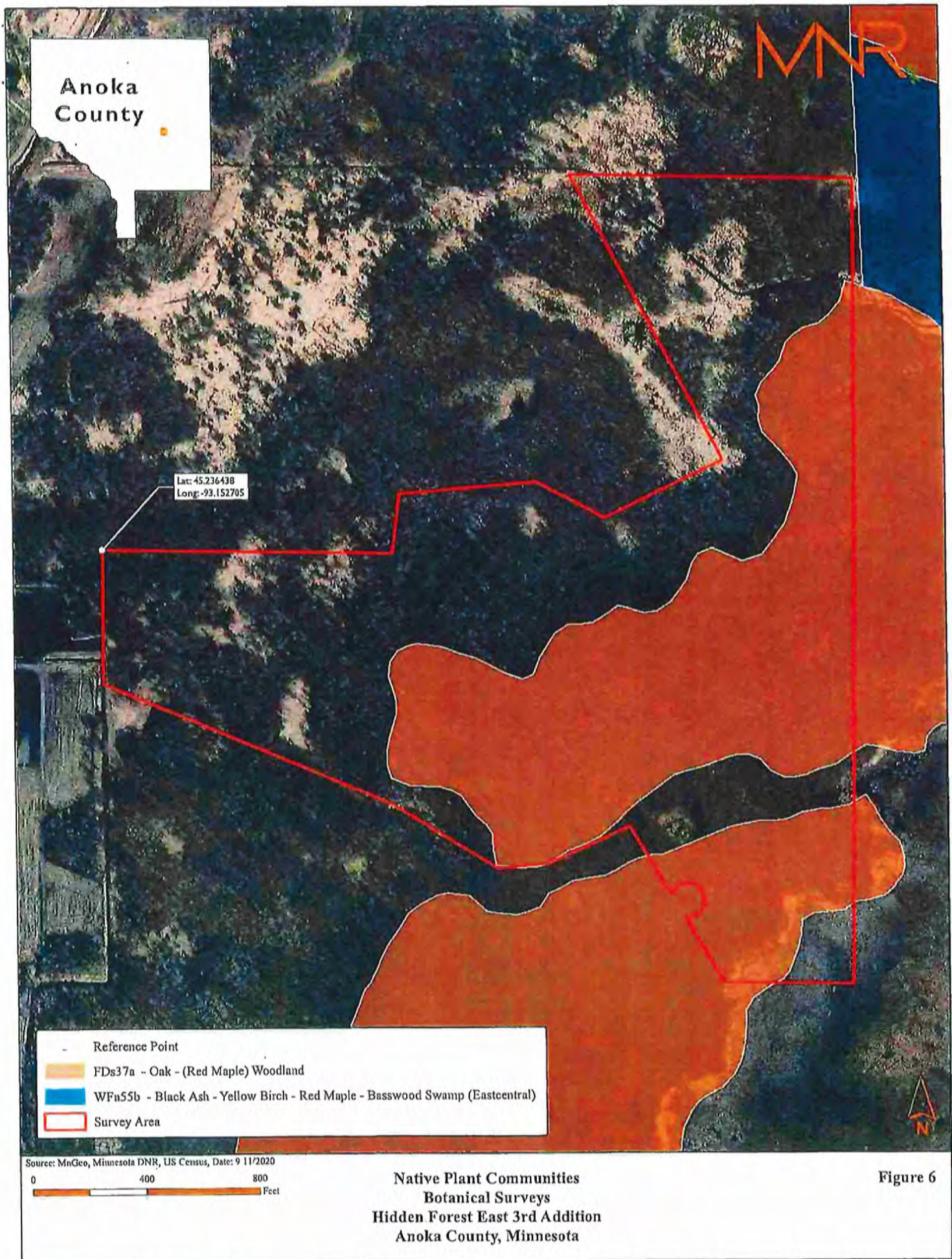


Figure 3







Anoka
County

Lat: 45.236438
Long: -93.152705

- Reference Point
- FDs37a - Oak - (Red Maple) Woodland
- WFu55b - Black Ash - Yellow Birch - Red Maple - Basswood Swamp (Eastcentral)
- Survey Area

Source: MnGeo, Minnesota DNR, US Census, Date: 9/11/2020

0 400 800 Feet

**Native Plant Communities
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota**

Figure 6

MNR

Anoka
County

Lat: 45.236438
Long: -93.152705

CARLOSAVERY
NATURAL AREA

- Reference Point
- Survey Area
- MN Biological Survey Mapped:
- Outstanding

Source: MnGeo, Minnesota DNR, US Census, Date: 9/11/2020
0 400 800 Feet

MBS Sites of Biological Significance
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota

Figure 7



MNR

Anoka
County

Lat: 45.236438
Long: -93.152705

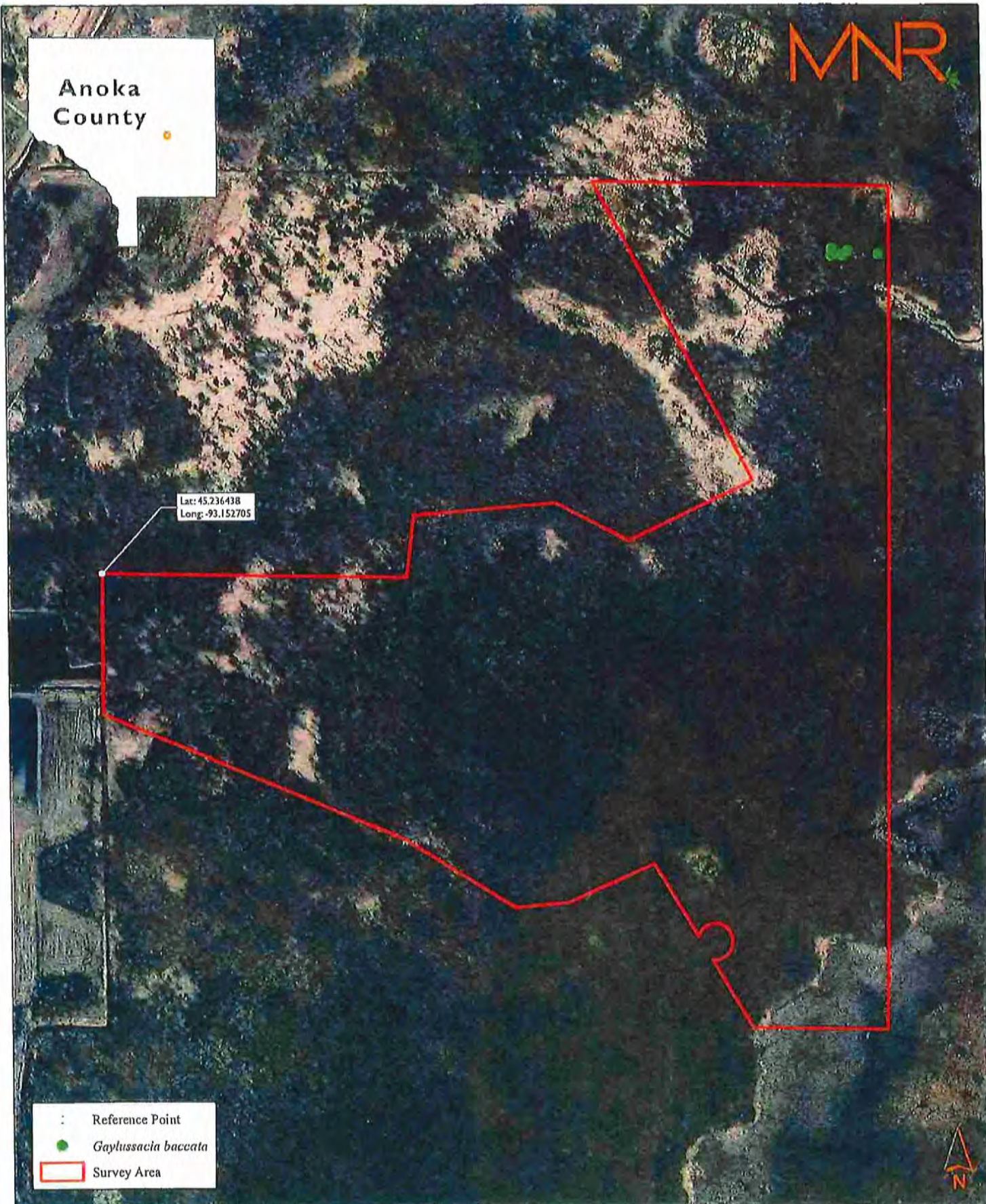
- : Reference Point
- *Gaylussacia baccata*
- ▭ Survey Area

Source: MnGeo, Minnesota DNR, US Census, Date: 9/11/2020

0 400 800 Feet

Survey Results
Botanical Surveys
Hidden Forest East 3rd Addition
Anoka County, Minnesota

Figure 8



Appendix A

Survey Protocol Correspondence



Ms. Lisa Joyal
Endangered Species Review Coordinator
Minnesota Department of Natural Resources
Ecological & Water Resources
500 Lafayette Road
St. Paul, MN 55155

August 20, 2020

Ms. Joyal,

Midwest Natural Resources, Inc. (MNR) is intending to conduct a rare plant survey within the 82.5-acre property located east of Lever Street Northeast in Ham Lake, Minnesota (**Figure 1**). This survey effort is being conducted for a proposed residential development project.

A formal request of the Natural Heritage Information System (NHIS) has not been requested at this time. However, we have been asked to conduct rare plant surveys within the project boundary. Given recent project authorization, we are looking to survey the site on this Saturday, August 22, 2020. Survey efforts will be conducted by two of our DNR approved rare plant species surveyors (Jake Walden/Scott Milburn).

Survey efforts will involve documenting all species observed during this visit. Rare species, if encountered, will be documented spatially using sub-meter GPS units (Trimble GeoXT 6000 units). Species documentation will include notes on habitat, associate species, number of individuals observed within each population documented, and representative photos. Voucher collections will be made following the DNR's collection guidance procedure.

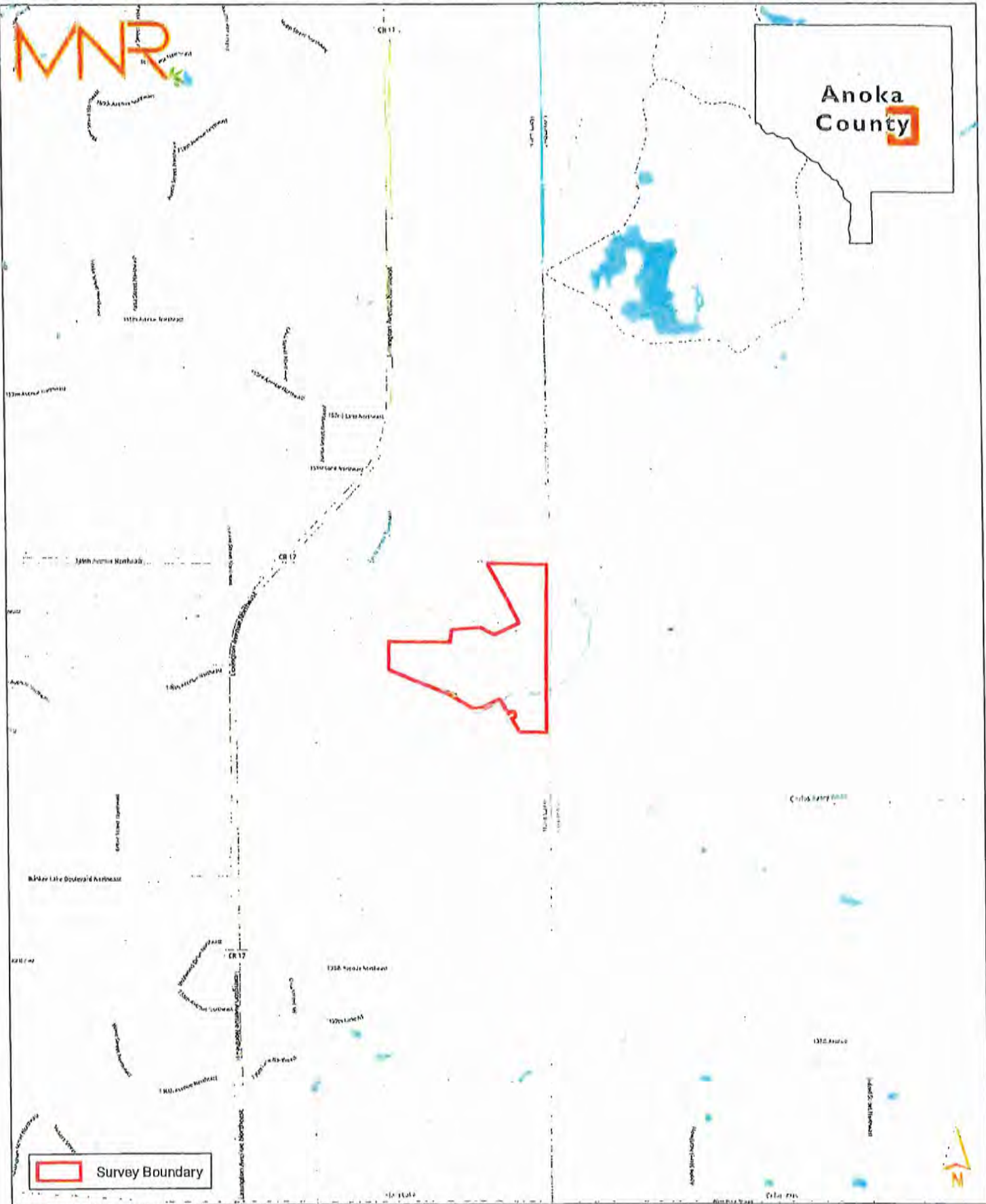
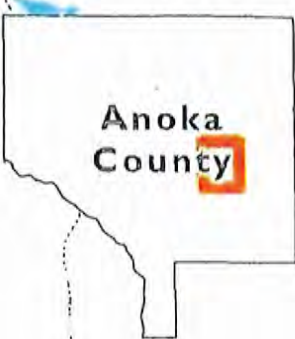
We will also evaluate the site at this time to determine the potential need for additional surveys next spring. A recommendation for further surveys will be made should we deem it to be necessary.

A summary report will be produced at the conclusion of field efforts. This document will include survey methods, survey results, report figures/graphics, and appendices (species lists and representative photos). The report along with the GIS shapefile, associated spreadsheet, and an email from Welby Smith verifying specimen identification will be submitted to the designated NHIS email address should we have positive results.

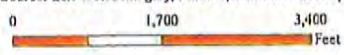
Please let us know if you have any questions.



Scott A. Milburn, M.S.
Principal Botanist/President
Midwest Natural Resources, Inc.



Source: Esri World Imagery, MnGeo, Minnesota Metropolitan Council, US Census, Date: 8/20/2020



Survey Area
Hidden Forest East
Anoka County, Minnesota

Figure 1

Appendix B

Species List

Species List

<i>Acer negundo</i>	<i>Eleocharis ovata</i>	<i>Phalaris arundinacea</i>
<i>Acer rubrum</i>	<i>Elymus hystrix</i>	<i>Phragmites australis</i>
<i>Ageratina altissima</i>	<i>Epilobium coloratum</i>	<i>Phryma leptostachya</i>
<i>Alisma subcordatum</i>	<i>Epilobium leptophyllum</i>	<i>Poa palustris</i>
<i>Amelanchier sp.</i>	<i>Equisetum fluviatile</i>	<i>Polygonatum pubescens</i>
<i>Amphicarpaea bracteata</i>	<i>Equisetum sylvaticum</i>	<i>Populus grandidentata</i>
<i>Anemone quinquefolia</i>	<i>Erechtites hieraciifolius</i>	<i>Populus tremuloides</i>
<i>Apocynum androsaemifolium</i>	<i>Erigeron strigosus</i>	<i>Prunus serotina</i>
<i>Aquilegia canadensis</i>	<i>Eurybia macrophylla</i>	<i>Pteridium aquilinum</i>
<i>Aralia nudicaulis</i>	<i>Fallopia scandens</i>	<i>Quercus alba</i>
<i>Athyrium filix-femina</i>	<i>Festuca subverticillata</i>	<i>Quercus ellipsoidalis</i>
<i>Betula papyrifera</i>	<i>Fraxinus pennsylvanica</i>	<i>Quercus rubra</i>
<i>Bidens connata</i>	<i>Galeopsis tetrahit</i>	<i>Ranunculus abortivus</i>
<i>Bidens frondosa</i>	<i>Galium boreale</i>	<i>Ranunculus sceleratus</i>
<i>Boehmeria cylindrica</i>	<i>Galium triflorum</i>	<i>Rhamnus cathartica</i>
<i>Botrychium virginianum</i>	<i>Gaylussacia baccata</i>	<i>Ribes cf. hirtellum</i>
<i>Brachyelytrum aristosum</i>	<i>Geum canadense</i>	<i>Ribes missouriense</i>
<i>Bromus pubescens</i>	<i>Glyceria borealis</i>	<i>Rubus allegheniensis</i>
<i>Calamagrostis canadensis</i>	<i>Glyceria grandis</i>	<i>Rubus cf. dissensus</i>
<i>Carex cf. projecta</i>	<i>Hackelia deflexa</i>	<i>Rubus idaeus var. strigosus</i>
<i>Carex debilis var. rudgei</i>	<i>Helianthus hirsutus</i>	<i>Rubus occidentalis</i>
<i>Carex deweyana</i>	<i>Ilex verticillata</i>	<i>Rubus pubescens</i>
<i>Carex gracillima</i>	<i>Impatiens capensis</i>	<i>Sagittaria latifolia</i>
<i>Carex intumescens</i>	<i>Iris virginica</i>	<i>Salix petiolaris</i>
<i>Carex lacustris</i>	<i>Lactuca biennis</i>	<i>Scirpus cyperinus</i>
<i>Carex pensylvanica</i>	<i>Leersia oryzoides</i>	<i>Scirpus pedicellatus</i>
<i>Carex radiata</i>	<i>Lindernia dubia</i>	<i>Scutellaria galericulata</i>
<i>Carex retrorsa</i>	<i>Liparis loeselii</i>	<i>Scutellaria lateriflora</i>
<i>Carex stricta</i>	<i>Lycopus uniflorus</i>	<i>Solidago altissima</i>
<i>Cicuta bulbifera</i>	<i>Maianthemum canadense</i>	<i>Solidago gigantea</i>
<i>Cicuta maculata</i>	<i>Matteuccia struthiopteris</i>	<i>Spiraea alba</i>
<i>Circaea lutetiana</i>	<i>Monotropa uniflora</i>	<i>Spirodela polyrrhiza</i>
<i>Cirsium arvense</i>	<i>Myosoton aquaticum</i>	<i>Stachys palustris</i>
<i>Cirsium vulgare</i>	<i>Onoclea sensibilis</i>	<i>Symphotrichum lateriflorum</i>
<i>Claytonmunda claytoniana</i>	<i>Orthilia secunda</i>	<i>Thalictrum dioicum</i>
<i>Conyza canadensis</i>	<i>Oryzopsis asperifolia</i>	<i>Thelypteris palustris</i>
<i>Cornus racemosa</i>	<i>Osmorhiza claytonii</i>	<i>Toxicodendron rydbergii</i>
<i>Cornus sericea</i>	<i>Osmunda regalis</i>	<i>Trientalis borealis</i>
<i>Corylus americana</i>	<i>Osmundastrum cinnamomeum</i>	<i>Typha x glauca</i>
<i>Corylus cornuta</i>	<i>Ostrya virginiana</i>	<i>Ulmus americana</i>
<i>Cuscuta gronovii</i>	<i>Parthenocissus vitacea</i>	<i>Urtica dioica</i>
<i>Desmodium glutinosum</i>	<i>Persicaria arifolia</i>	<i>Uvularia sessilifolia</i>
<i>Doellingeria umbellata</i>	<i>Persicaria hydropiper</i>	<i>Vaccinium angustifolium</i>
<i>Dryopteris carthusiana</i>	<i>Persicaria lapathifolia</i>	<i>Vaccinium myrtilloides</i>
<i>Dryopteris cristata</i>	<i>Persicaria minor</i>	<i>Viburnum lentago</i>
<i>Echinochloa muricata</i>	<i>Persicaria sagittata</i>	<i>Viola conspersa</i>

Appendix C

Representative Photos



Southern Dry-Mesic Oak (Maple) Woodland, oak - (Red maple) woodland subtype (FDs37a)



Southern Dry-Mesic Oak (Maple) Woodland, oak - (Red maple) woodland subtype (FDs37a)



Representative Wetland Photo



Representative Wetland Photo



Representative Wetland Photo

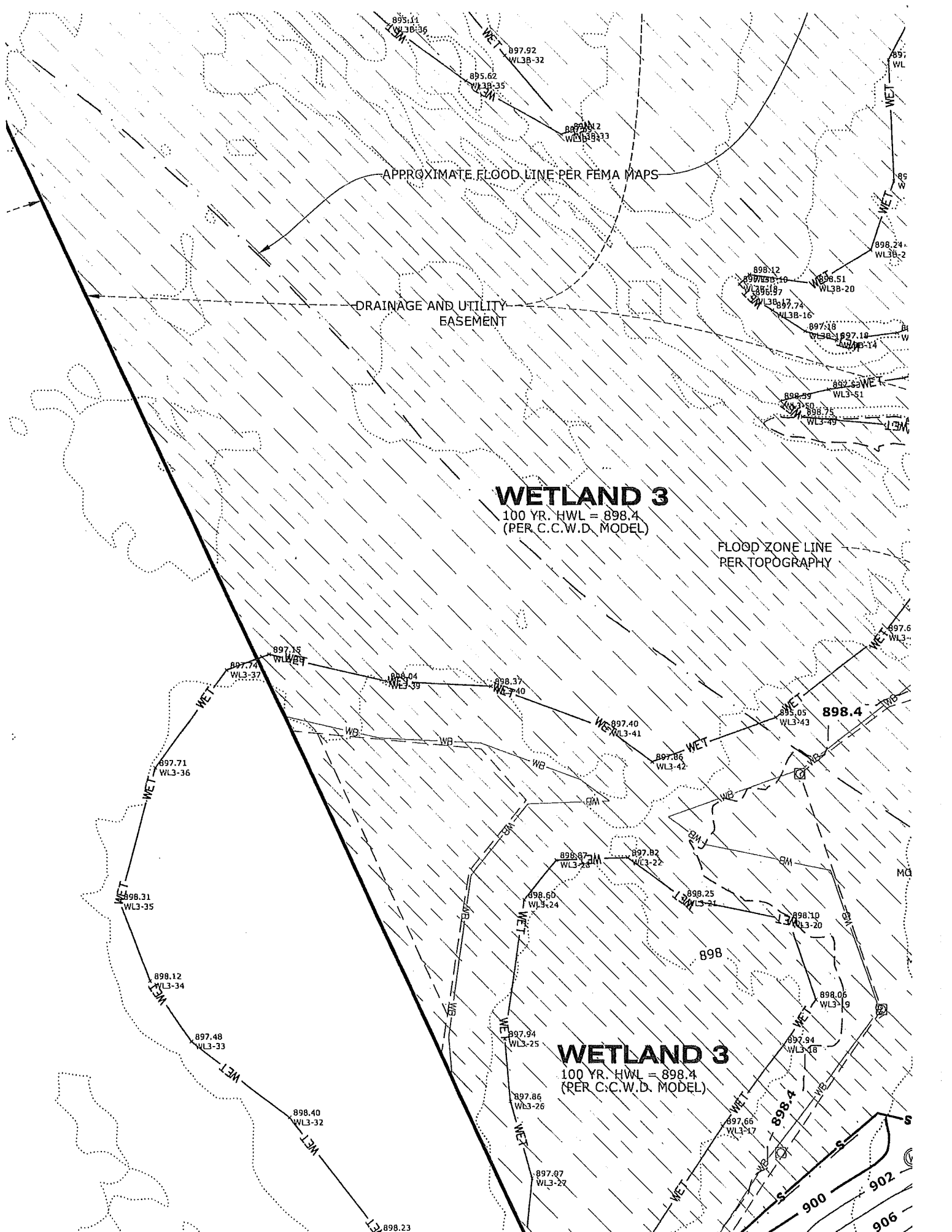


Black huckleberry (*Gaylussacia baccata*)

Hidden Forest East 3rd Addition, Ham Lake

Rare Species Avoidance Plan

Attachment B



APPROXIMATE FLOOD LINE PER FEMA MAPS

DRAINAGE AND UTILITY EASEMENT

WETLAND 3

100 YR. HWL = 898.4
(PER C.C.W.D. MODEL)

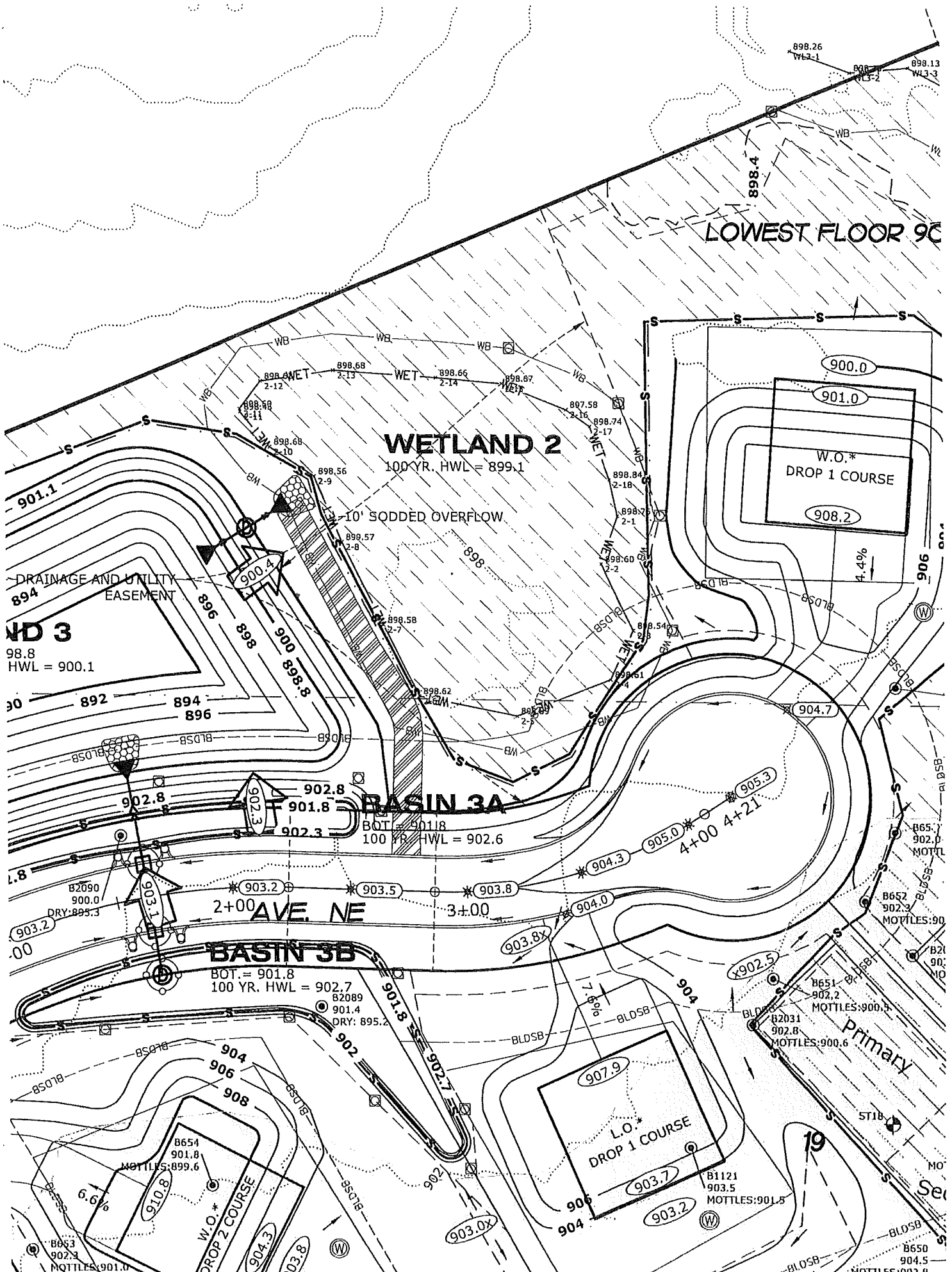
FLOOD ZONE LINE
PER TOPOGRAPHY

898.4

WETLAND 3

100 YR. HWL = 898.4
(PER C.C.W.D. MODEL)

900
902
906



LOWEST FLOOR 90

WETLAND 2

100 YR. HWL = 899.1

WETLAND 3

98.8
HWL = 900.1

BASIN 3A

BOT = 901.8
100 YR. HWL = 902.6

BASIN 3B

BOT = 901.8
100 YR. HWL = 902.7

W.O.*
DROP 1 COURSE

L.O.*
DROP 1 COURSE

W.O.*
DROP 2 COURSE

DRAINAGE AND UTILITY
EASEMENT

2+00
3+00
AVE. NE

4+00 4+21

Primary

Sec

19

898.4

898.26 WL3-1
898.13 WL3-3

898.68 WET 2-12
898.68 WET 2-13
898.66 WET 2-14
898.67 WET 2-15

898.68 WET 2-9
898.56 WET 2-8
898.57 WET 2-7

897.58 WET 2-16
898.74 WET 2-17
898.84 WET 2-18

898.77 WET 2-1
898.60 WET 2-2
898.54 WET 2-3

10' SODDED OVERFLOW

892
894
896

893.2
893.1
893.0

904
906
908

899.6
901.8
901.8

902.2
902.2
902.8

900.5
900.6
902.8

901.5
903.5
903.5

904.5
904.5
902.8

906

902.0
902.3

900.3
900.6

901.5

902.8

901.0
902.3

901.8
901.8

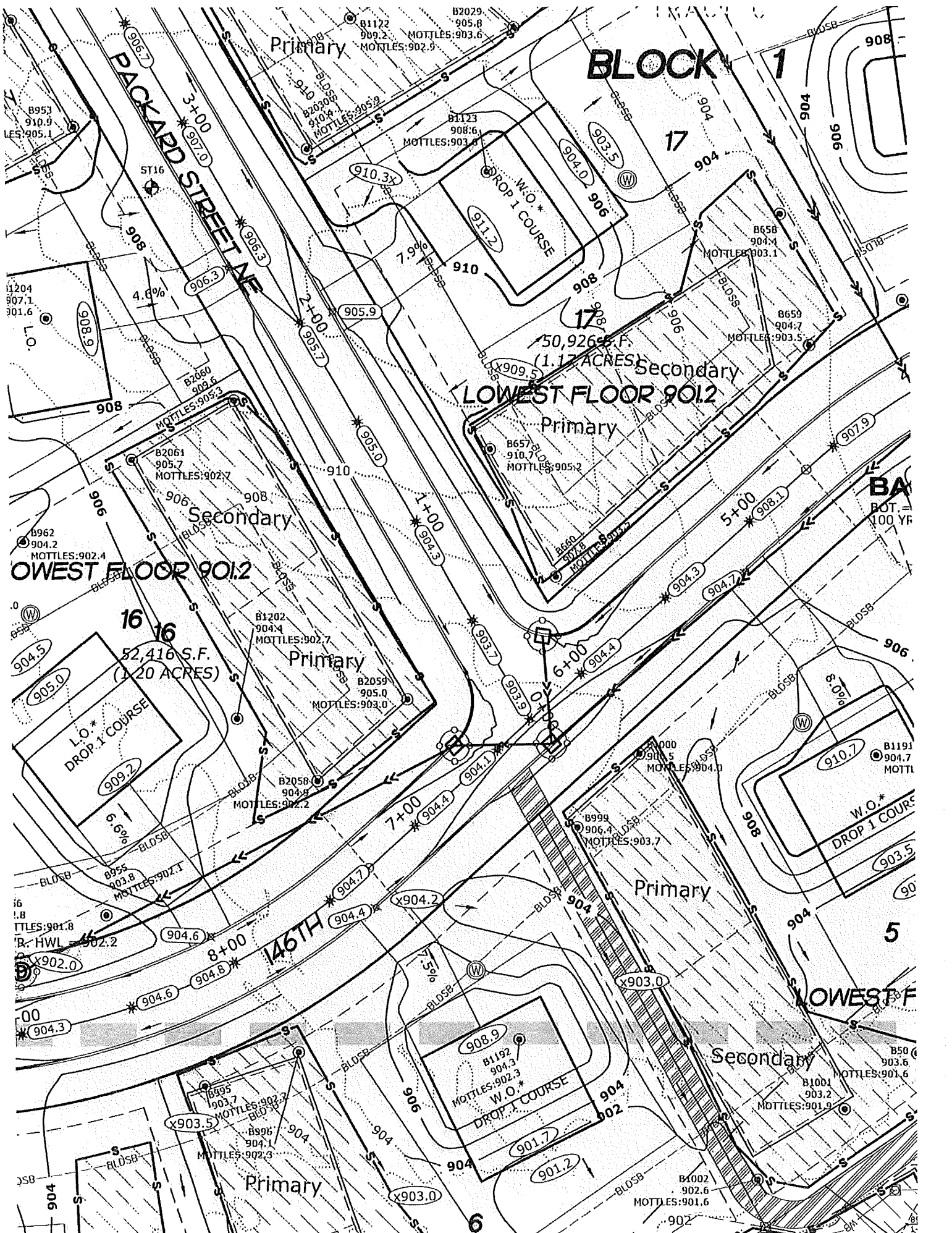
904.3
903.8

903.0x

903.2

904.5
904.5

902.8



BLOCK 1

PACKARD STREET

Primary

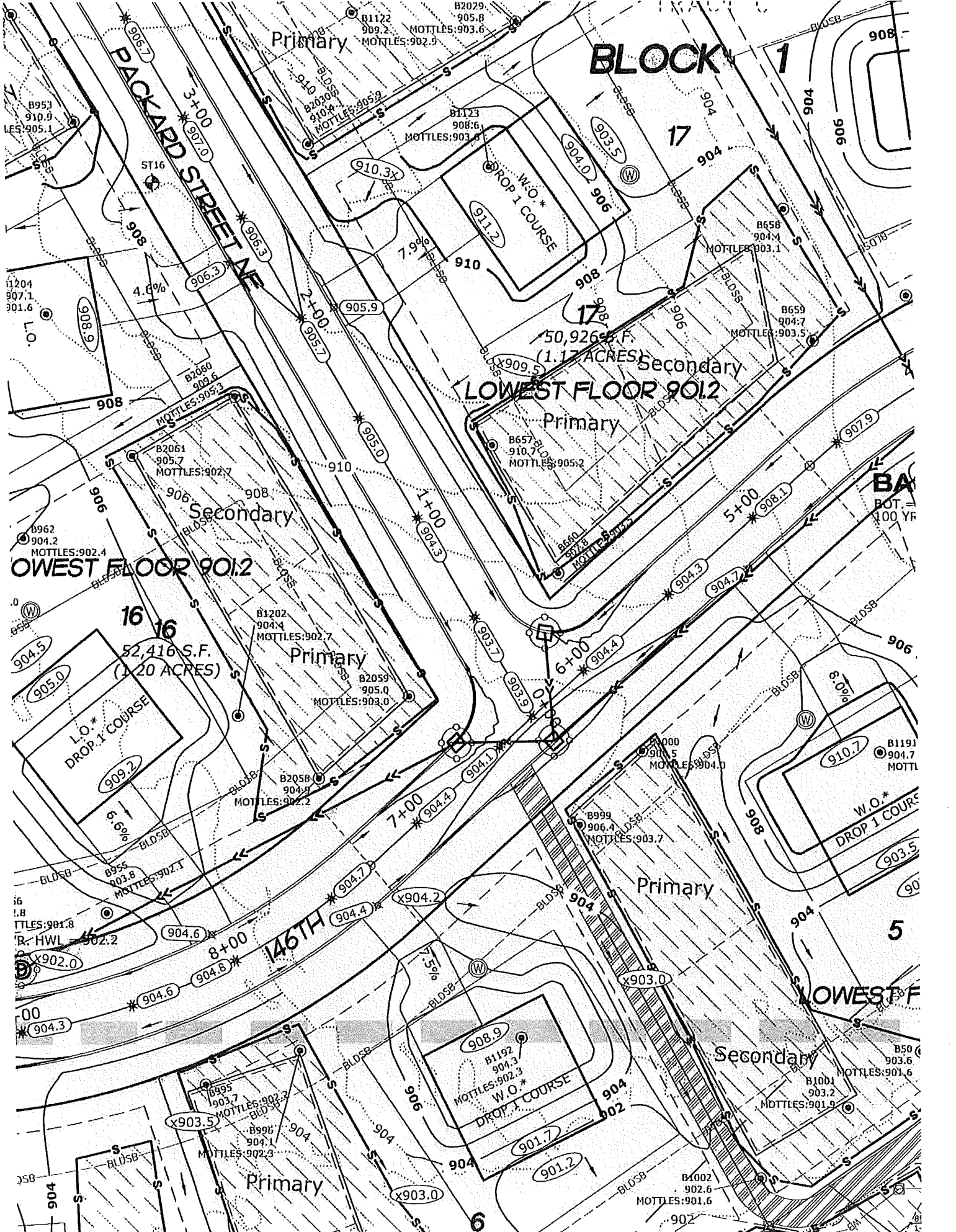
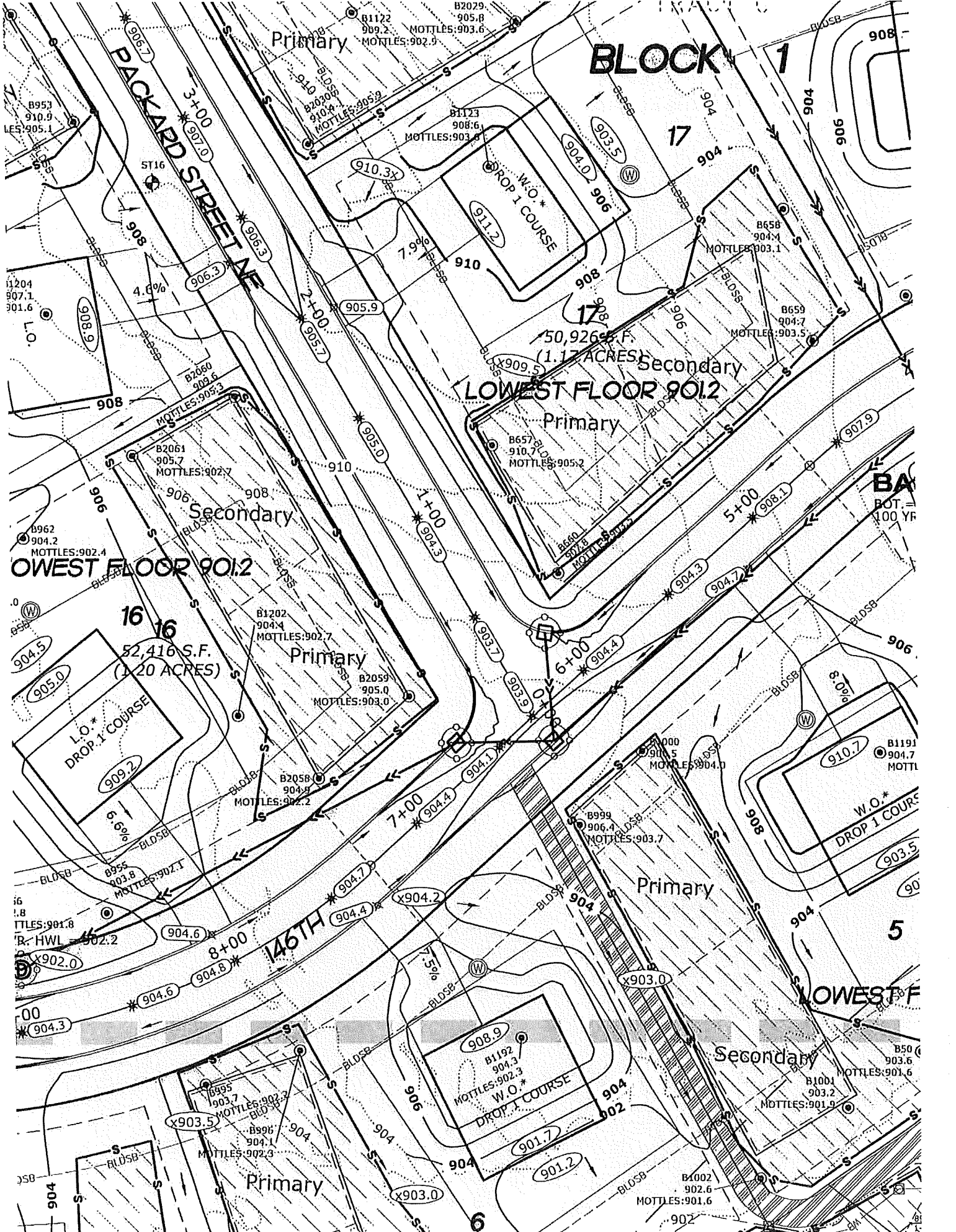
50,926 S.F. (1.17 ACRES)
LOWEST FLOOR 901.2

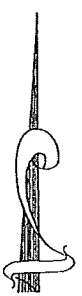
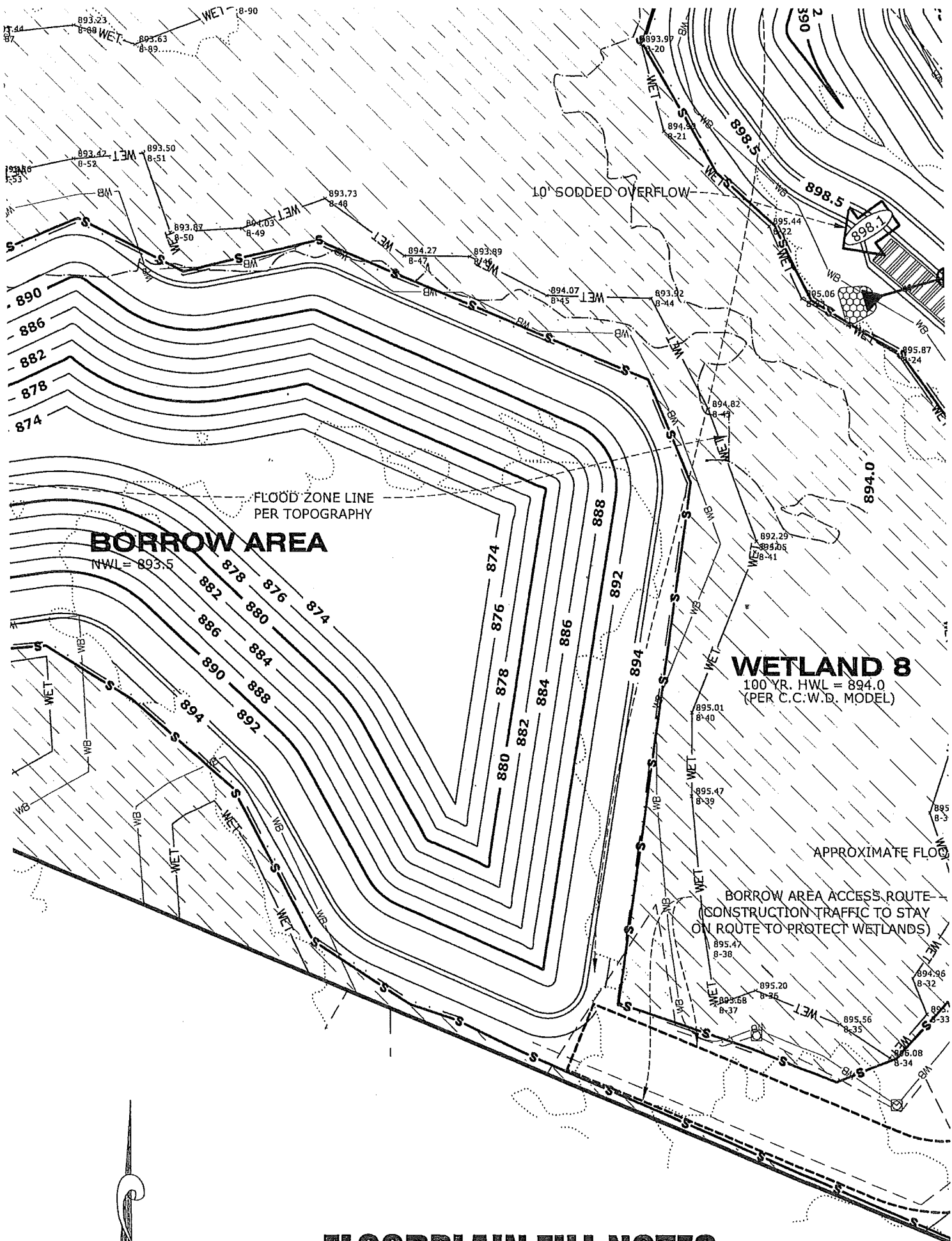
LOWEST FLOOR 902.2

52,416 S.F. (1.20 ACRES)
LOWEST FLOOR 901.2

BA
BOT = 100 YR

LOWEST FLOOR 901.2





FLOODPLAIN FILL NOTES

Don Krueger

Subject: District Chief Buchholz remembrance

We have planned an informal gathering for all Ham Lake Fire Department firefighters, current and retired, to remember retired District Chief Marvin Buchholz. Please join us if you can for an informal gathering in support of each other, and to share memories of Marvin.

Sunday, June 27th

6:00 PM

Fire Station #1

Pizza, cookies, soda and water provided

We are distributing this information to those we have contact information for. Please feel free to forward the information to other Ham Lake Fire Department retirees if you think they may not have received it.

Celebration of Life Service – no details are available as of today. Initial planning indicates something will be scheduled for the second half of July.

Don

Don Krueger
City of Ham Lake
15544 Central Ave NE
Ham Lake, MN 55304
763-235-1665



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 4/5/21

Date of Receipt 4-13-21
Receipt # 89413

Meeting Appearance Dates:

Planning Commission 4-28-2021 City Council _____

Please check request(s):

- | | |
|---|--|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input type="checkbox"/> Commercial Building Permit |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input type="checkbox"/> Preliminary Plat Approval* | <input checked="" type="checkbox"/> Home Occupation Permit (Special) |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Private Kennel License* | <input type="checkbox"/> Other |

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Bickford's BBQ, LLC

Address/Location of property: 14745 Baltimore St NE Ham Lake, MN 55304
LOT 3 BLK 2 NORTH PINES 2ND ADD TDC/W/THAT PRT OF LOT 8 SO BLK DESC AS FOL: BEG AT THE SE COR OF SO LOT 3; TH

Legal Description of property: N 0 DEG 00 MN 06 SEC E ASSMD BRG ALG THE E LINE OF SO LOT 3.480
1.5 Acres + NORTH PINES SECOND ADDITION LOT 2 BLK 2 NORTH PINES 2ND ADD (SUBJ TO EASE AS SHOWN ON PLAT)

PIN # 11.5 acres + 29-32-23-11-0009 RP Current Zoning R-1 Proposed Zoning _____
3.5 acres + 29-32-23-12-0005 RP

Notes: 2 LOTS ^{totalling} APPROX 15 acres

Applicant's Name: Don & Lisa Bickford

Business Name: Bickford's BBQ

Address 14745 Baltimore St NE

City Ham Lake State MN Zip Code 55304

Phone _____ Cell Phone 612.859.6773 (DON) Fax _____
612.867.5115 (LISA)

Email address lisab@highlightprinting.com

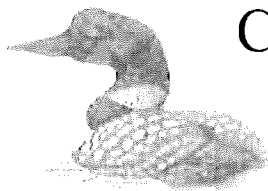
You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 4/5/21

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a Public Hearing shall be held before the Ham Lake Planning Commission on Monday, June 28, 2021 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Don and Lisa Bickford requesting a Special Home Occupation Permit to operate Bickford's BBQ, LLC, a barbeque catering business, at 14745 Baltimore Street NE, a parcel of land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

PID# 29-32-23-11-0009 and 29-32-23-12-0005

LOT 3 BLK 1 NORTH PINES 2ND ADD TOG/W THAT PRT OF LOT 8 SD BLK 1 DESC AS FOL: BEG AT THE SE COR OF SD LOT 3; TH N 0 DEG 00 MIN 06 SEC E ASSMD BRG ALG THE E LINE OF SD LOT 3, 480 FT; TH S 61 DEG 01 MIN 58 SEC E 270 FT; TH S 22 DEG 34 MIN 55 SEC E 157.58 FT; TH S 35 DEG 31 M IN 34 SEC E 287 FT + OR - TO THE C/L OF COON CREEK; TH SWLY ALG SD C/L TO INTER WITH A LINE THAT BEARS S 74 DEG 17 MIN 12 SEC E FROM THE POB; TH NWLY ALG SD LINE TO THE POB; SUBJ TO EASE OF REC

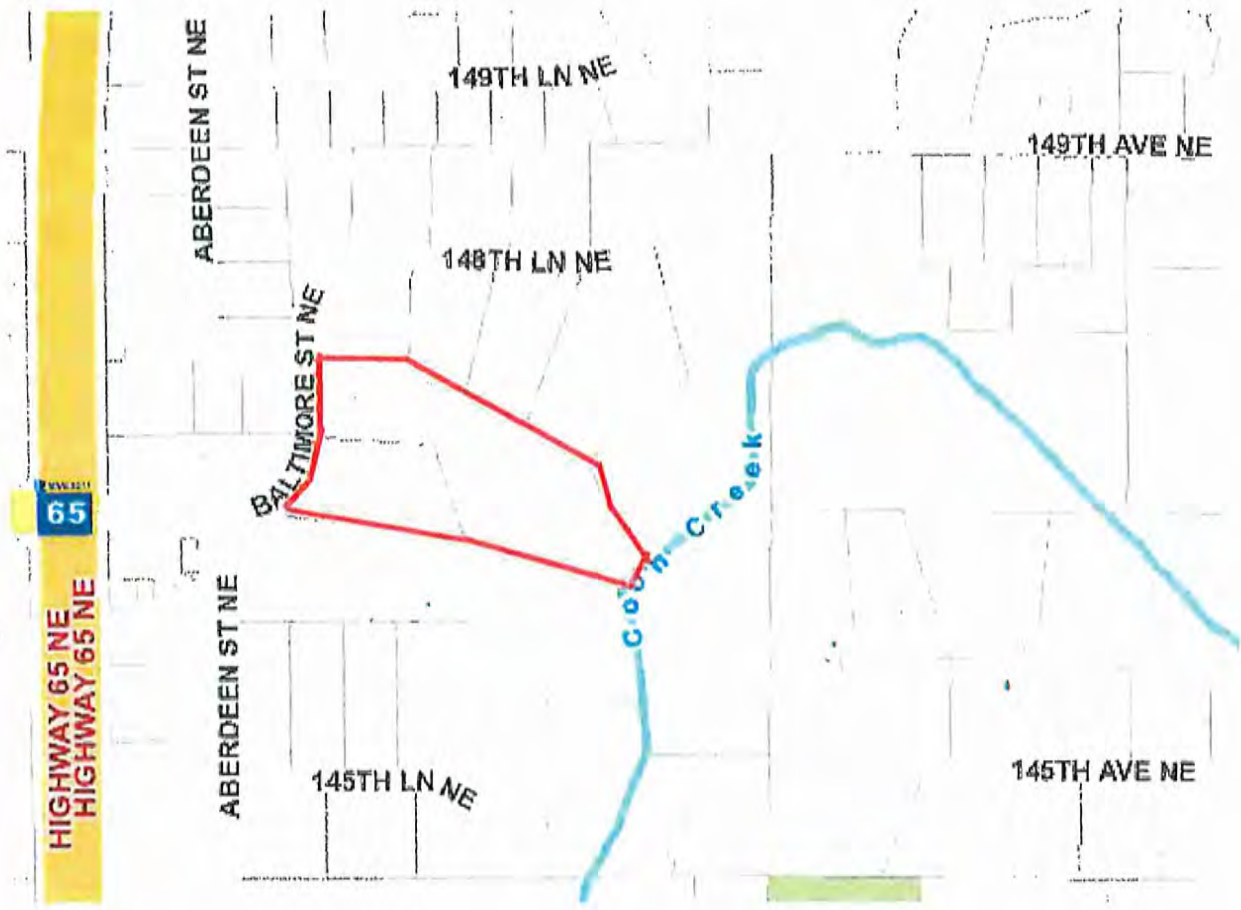
AND

NORTH PINES SECOND ADDITION LOT 2 BLK 1 NORTH PINES 2ND ADD(SUBJ TO EASE AS SHOWN ON PLAT)

At such hearing both written and oral comments will be heard.

DATED: June 18, 2021

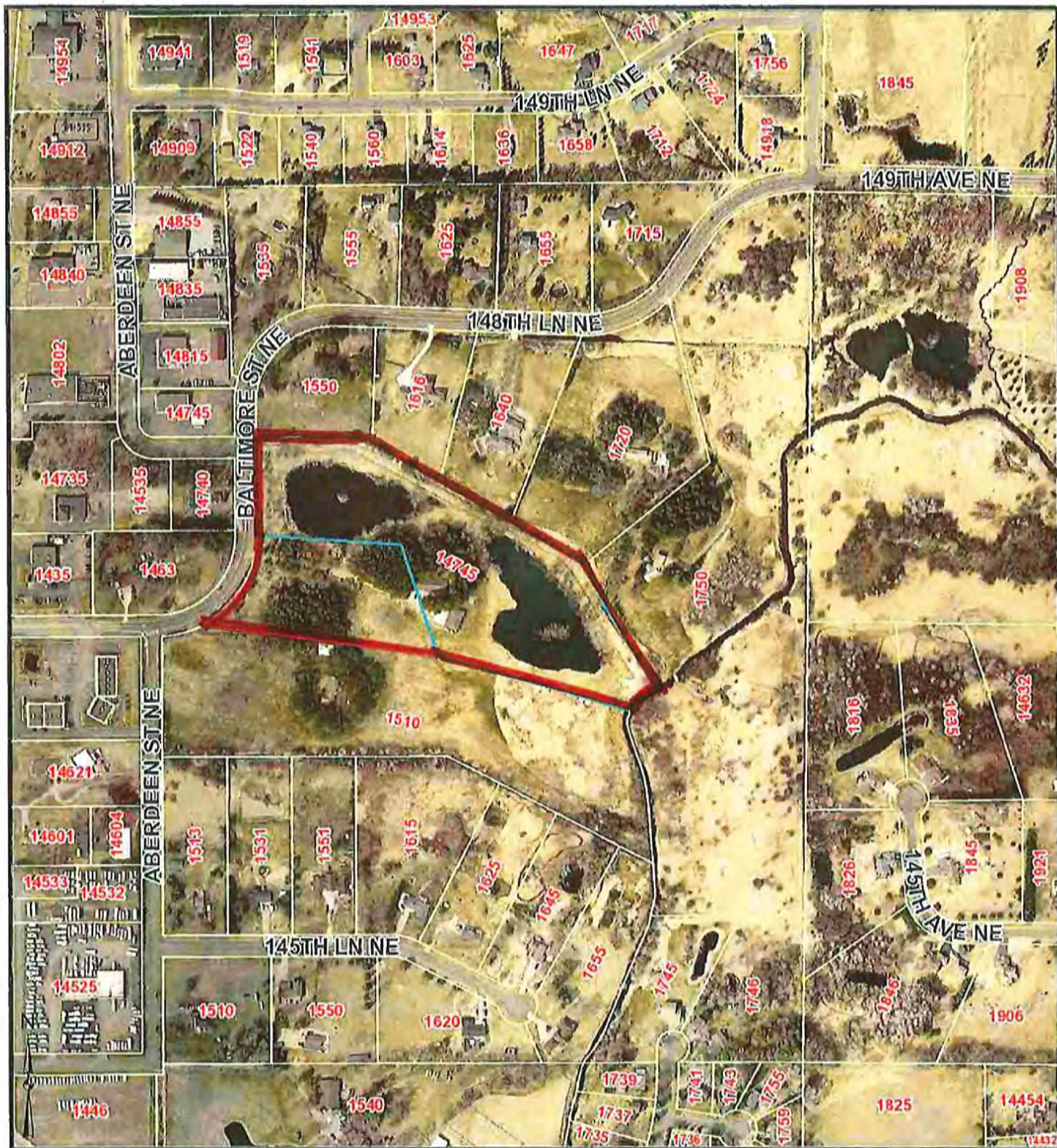
Jennifer Bohr
Building & Zoning Clerk
City of Ham Lake



14745 Baltimore Street NE



Anoka County Parcel Viewer



Parcel Information: Approx. Acres: 10.4
 29-32-23-11-0009 Commissioner: JULIE BRAASTAD
 14745 BALTIMORE ST NE
 HAM LAKE
 MN 55304
 Plat: NORTH PINES SECOND ADDITION

Owner Information:



Meeting Date: 06/28/2021

CITY OF HAM LAKE
STAFF REPORT

To: Planning Commission

From: Mark Jones, Zoning & Building Official

**Subject: Special Home Occupation Permit for Bickford's BBQ, LLC at 14745
Baltimore St NE**

Introduction:

Lisa and Don Bickford are applying for a Special Home Occupation Permit to run a BBQ catering business at their residence located at 14745 Baltimore Street NE. To meet Anoka County Environmental Health Department requirements, the catering business needs to be operated from a commercial kitchen, with commercial grade equipment. The Bickfords intend to operate this business within 700 square feet of an existing accessory building located on their property that they intend to remodel. Food preparation will be done within the commercial kitchen and any smoking process will be done outside under an approved shelter. Under Article 9-350.3 Special Home Occupation Permits, a party desiring to conduct a Home Occupation in a Garage or Accessory Building, under conditions meeting the remaining requirements of Article 9-350, may apply for a Special Home Occupation Permit.

Recommendation: I recommend approval of a Special Home Occupation Permit for Don and Lisa Bickford subject to meeting all city, state and county requirements prior to offering any catering services to the public, no obvious outward indicia of the activities being carried on under the Special Home Occupation Permit, no customer traffic, no noise generated which is audible to nearby properties, no odor, no outside storage which is visible from nearby properties or public ways and all trash to be disposed of as to not attract rats, mice, or vermin. Any conditions that might be placed on the delivery of catering items and the vehicle(s) used to deliver them can be discussed during the Planning Commission meeting.

Jennifer Bohr

From: Lisa Bickford <lisab@highlightprinting.com>
Sent: Wednesday, June 16, 2021 11:40 AM
To: Jennifer Bohr
Cc: Don Bickford
Subject: BICKFORD'S BBQ - SPECIAL HOME OCCUPATION PERMIT FOR BBQ BUSINESS - 6.16.21

Caution: This email originated outside our organization; please use caution.

Summary of Request:

Approval for a Special Home Occupation Permit to operate our small BBQ catering business: "BICKFORD'S BBQ".

About us:

- Don & Lisa Bickford. Residents of Ham Lake since 2007
- Printing company owners since 1996.
- Championship-level BBQ competitors since 2006.

Vision:

- A small, part-time, seasonal, BBQ catering "side-gig", operated out of our detached structure, with no intention to grow beyond what Don and Lisa can handle.
- No employees.
- Hours of operation: between the hours of 9-6, and no more than 20 hours per week, primarily from June-August, with some occasional activity in April, May, September, and October, and almost no activity from November thru March.
- Continue to donate BBQ to Veterans and other non-profits, along with the paid catering gigs.

The space:

- The detached structure, along with our house, are both situated on almost 15 acres, located 1 block off of Hwy 65 and 147th. (One lot is about 3.5 acres, the other is about 11.5 acres – house and detached structure are both on the 11.5 acre lot.)
- The existing structure is well built, including concrete floors, newer roof and siding, and a large concrete pad in front.
- Work area will meet all city, county, and state requirements for a commercial kitchen, including water source, septic holding tank, venting, grease trap, floor drains, etc.
- Work area will have its own entrance (in the same place the door is now) and be certified with Anoka County as a commercial kitchen.

Remodel:

- Remodel approximately 700 square feet to the INSIDE of the existing structure.
- Entire remodel will be completed by licensed contractors, plumbers, and electricians, and permitted and inspected as required by the city of Ham Lake, Anoka County, and the State of MN
- All Ham Lake requirements will be met:
 - Proper septic and well
 - Proper grease trap and drains
 - Proper venting
 - Etc.
- All Anoka County requirements for a commercial kitchen will be met:
 - Smooth, durable, easily cleaned walls, ceiling, and floors
 - Stainless counters, tables, shelving, etc.

- Commercial grade oven, freezers, refrigerators, blast chiller, etc.
- Triple sink, hand-wash sink, mop sink
- Appropriately positioned floor drains
- Etc.

Not disruptive to neighbors:

Sight-line:

- Structure entrance faces Baltimore Street NE, is about 200 yards from the end of the driveway, and is not visible from the road due to dense evergreen/woods
- Closest neighbor (1510 147th Ave NE, Marjorie Erickson) is 387' from the entrance door to the structure. Their home is also in dense evergreens, with additional full grown pine and other dense tree plantings that further disrupt the view between the 2 properties.
- All other neighbors are 500' – 1680' from the structure with no site-line to the structure because of treed screens and/or 200'+ berm that is abutted to, and extended beyond, the north side of our house.
- From the outside, there will be no visible difference from what it looks like now.
 - We have 1 smoker that will continue to be stored indoors when not in use, no other equipment will be outside.
- Catering deliveries will be made in our personal vehicle, between 9 and 6, in containers that keep the food at a safe temp (verbal OK from Anoka county 4.9.21).
- Food and supplies will be brought to the business in our personal vehicle, during working hours, in containers that keep the food at a safe temp (verbal OK from Anoka county 4.9.21).
- Occasional UPS deliveries for various supplies, no more than once per month.
- No food truck.
- No signage.
- No customer traffic.
- No large truck deliveries.
- No outside storage.

BBQ/smoking smell:

- Neighbors are almost 400' to almost 1700' away.
- On Saturday, April 10th, I was able to visit and connect with about half of the surrounding neighbors, all indicated that they had never smelled BBQ smells from our property and were not concerned if they happened to in the future.
- BBQ/smoking will generally be infrequent, no more than a few times per month, for no more that 6 hours at a time, and will be done between 9am and 5pm.

Vibration/Noise:

- Equipment consists of smoker, ovens, refrigerators, freezers, etc. Except for the smoker that is outside when in use, everything else is inside, has been running for years, and doesn't create vibration. I verified this with the neighbors.

Waste:

- Outdoor waste receptacle will consist of 1 residential garbage bin to reside where it is now
- Garbage is bagged before putting in outdoor receptacle.
- Weekly garbage removal service.

Rodents, flies, etc.:

- Garbage is securely bagged and tied before being put in exterior receptacle.
- There will be a cement block placed on top of the outdoor garbage receptacle at all times to make sure critters can't get it.
- There is no sign of mice/rodents in the business area presently, but mousetrap/bait-stations are in place and we will call an exterminator if it becomes necessary.
- Note: while smells, rodents, insects, etc. wouldn't bother neighbors because of the distance, they are intolerable to us and will be handled immediately.

Water/Septic/Floor Drains:

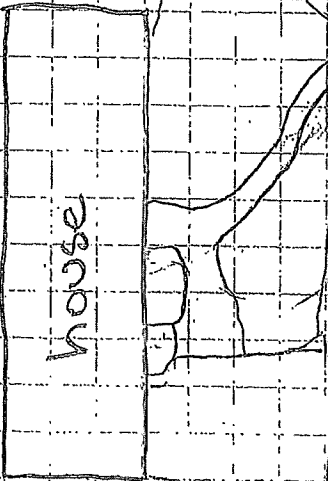
- We don't require much with regards to septic/water because all cooking is done in single-use aluminum pans.
- Septic: holding tank situated to north/west of the structure – it will be inspected to make sure it complies with MN Rule 7080. We have provided the City of Ham Lake with a Sewage Tank Compliance Certification Form.
- Well:
 - We will meet all state, county, and city requirements with regards to sealing and inspecting the shallow well that is presently in the structure (it was there when we bought the property).
 - We will bore a connection from our house well to the BBQ structure – see DOH letter dated 6.3.21.
- Some floor-drains are in place, but we are prepared to move and/or add grease traps and tell-tail drain(s) as required.

Add'l Information:

- As required by Anoka County, we will update our Food Safe Certification and get CFPM (Certified Food Protection Manager) certification prior to opening.
- Anoka County requires a dishwashing machine OR a triple sink, not both. We plan to have a triple sink.
- Exterior views, preliminary plans to the interior space, and Anoka County requirements are included with our packet of info. We will follow-up with final plans after Anoka County provides guidance with regards to "Food and Lodging" Licensing requirements. When plans are finalized we will provide a set to Anoka County and The City of Ham Lake for approval.
- On-going conversations with Mark Jones from The City of Ham Lake about venting, grease traps, and other considerations will be resolved before remodel begins.
- On-going conversations with Anoka County regarding mop sink, finishing materials, manufacturer specification sheets on all equipment, and other considerations will be resolved before remodel begins.

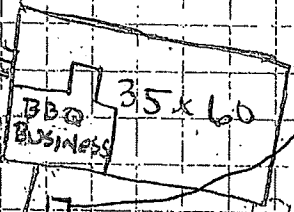
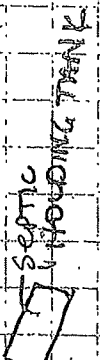
Thank you,
Don and Lisa Bickford

HELL OF TREES
SCREEN

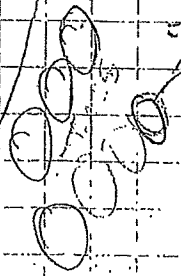


septic for
house

septic
PIN



CONCRETE
PAD

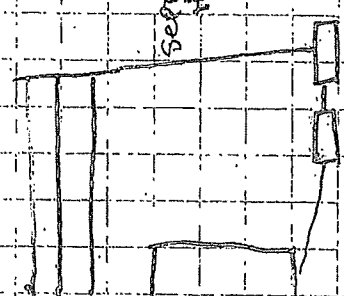


EVERGREEN

"BUSHY" TREES

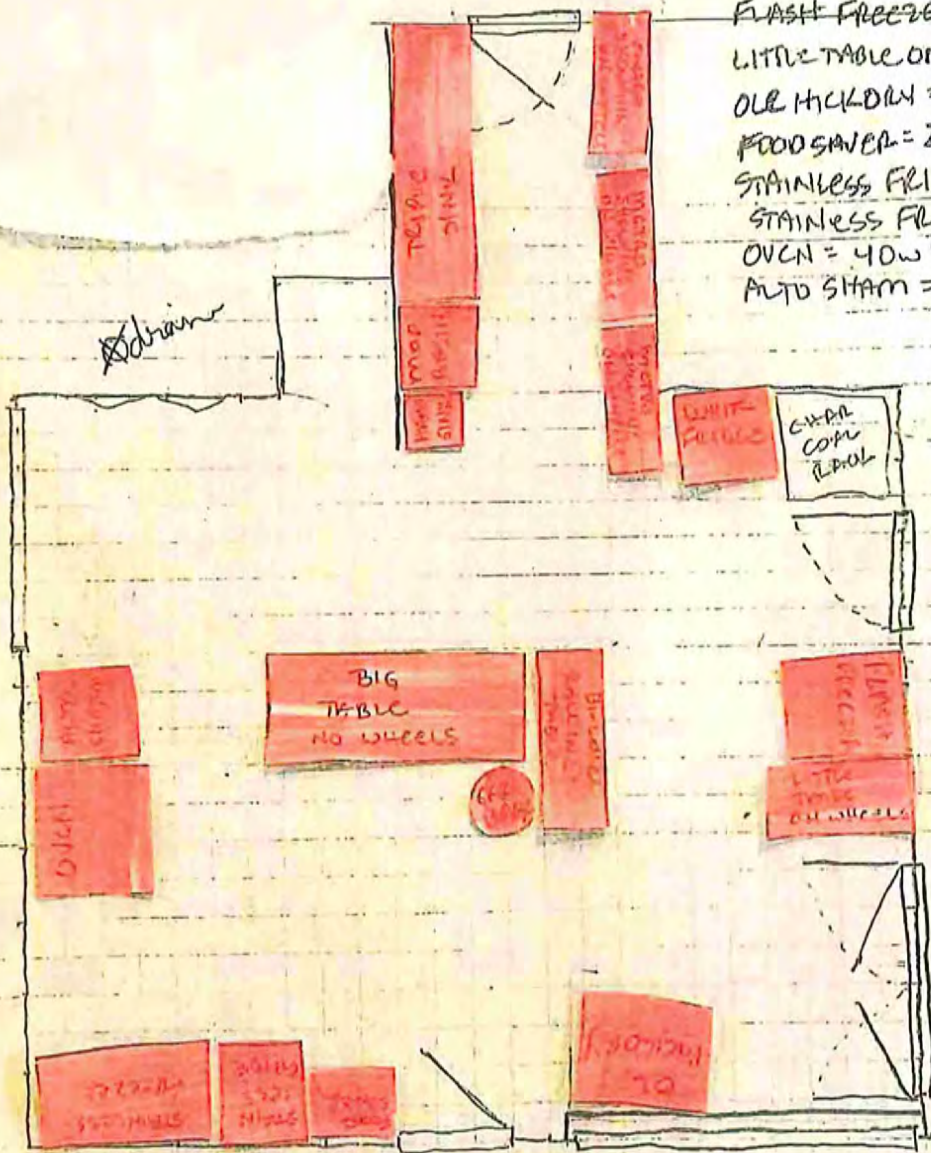
Smoker, cast-iron

septic
PIN



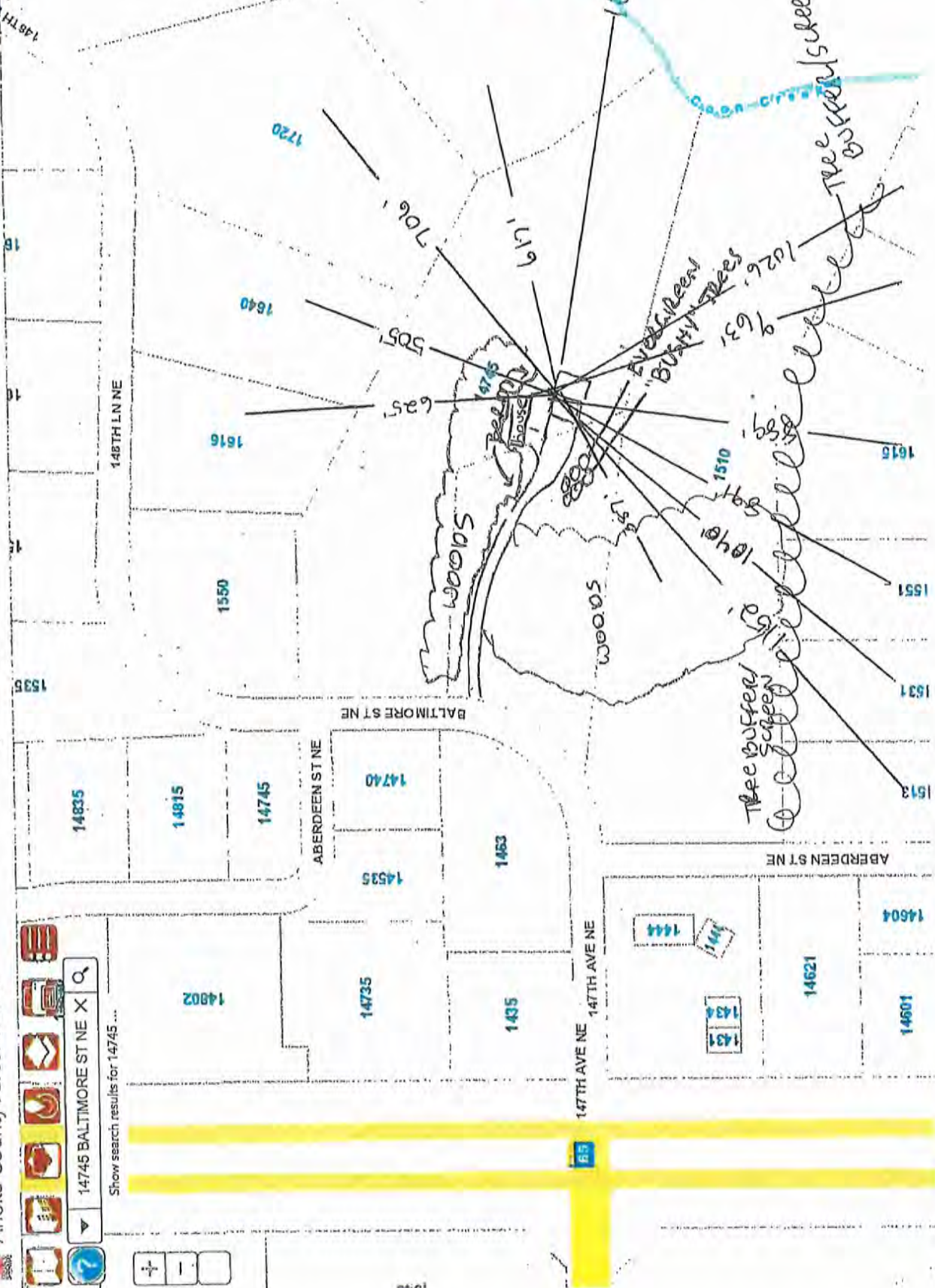
Proposed/Prum Remodel INSIDE STRUCTURE

- METRO SHELVING = 18x47
- TRIPLE SINK = 37 1/2 x 25"
- MOP BASIN = 26x26
- HANDSINK = 18x18?
- WHITE FRIDGE = 32w x 29d
- FLASH FREEZER = 33w x ~~40~~⁴⁰d
- LITTLE TABLE ON WHEELS = 24x48
- OLD HICKORY = 42w x 35 1/2 d
- FOODSAVER = 28w x 23 1/2 d
- STAINLESS FRIDGE = 26w x 33d
- STAINLESS FREEZER = 54w x 30d
- OVEN = 40w x 38 1/2 d
- AUTO SITAM = 30w x 32d



14745 BALTIMORE ST NE X

Show search results for 14745 ...



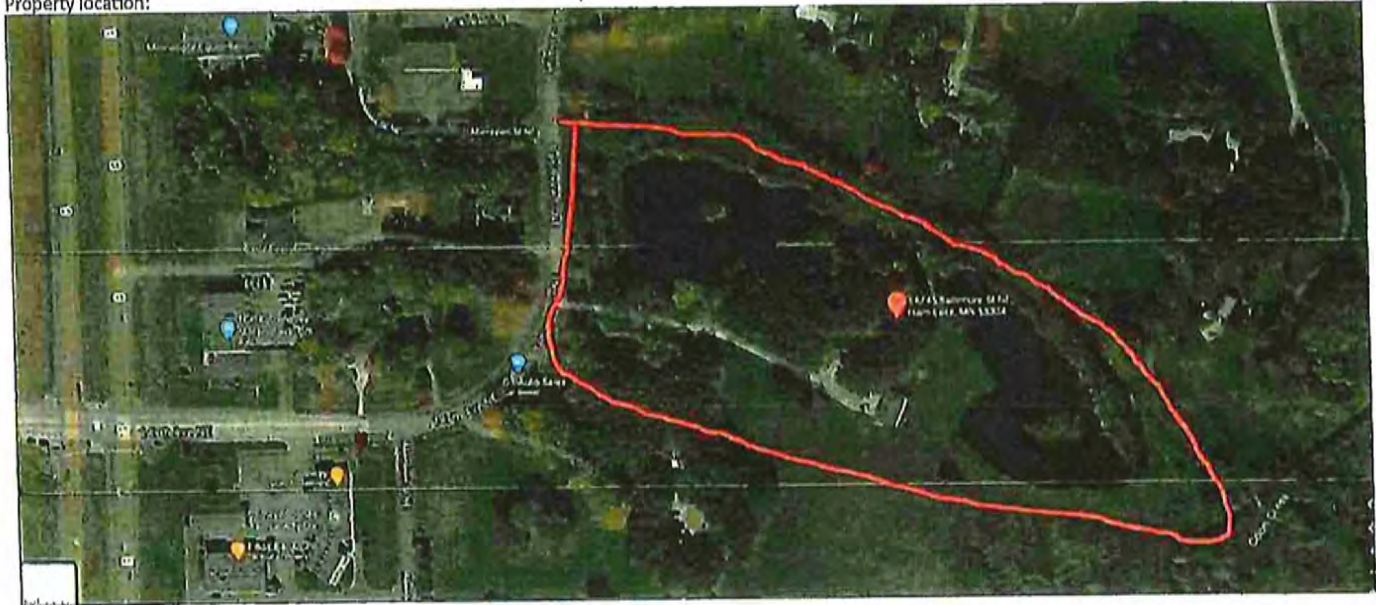
BICKFORD'S BBQ

Lisa Bickford <lisab@highlightprinting.com>

Mon 4/5/2021 6:54 AM

To: Lisa Bickford <lisab@highlightprinting.com>

Property location:

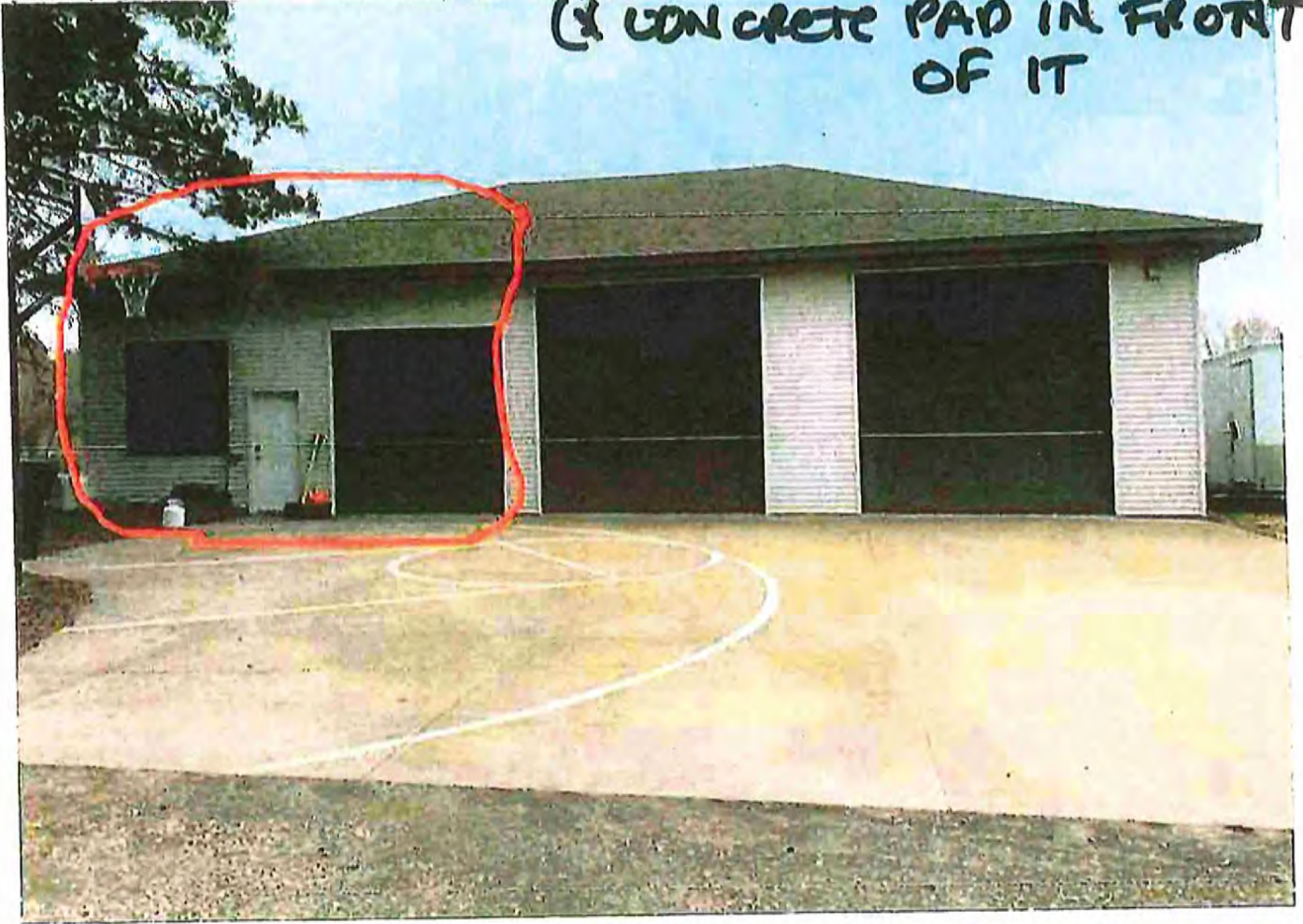


Business location on property:



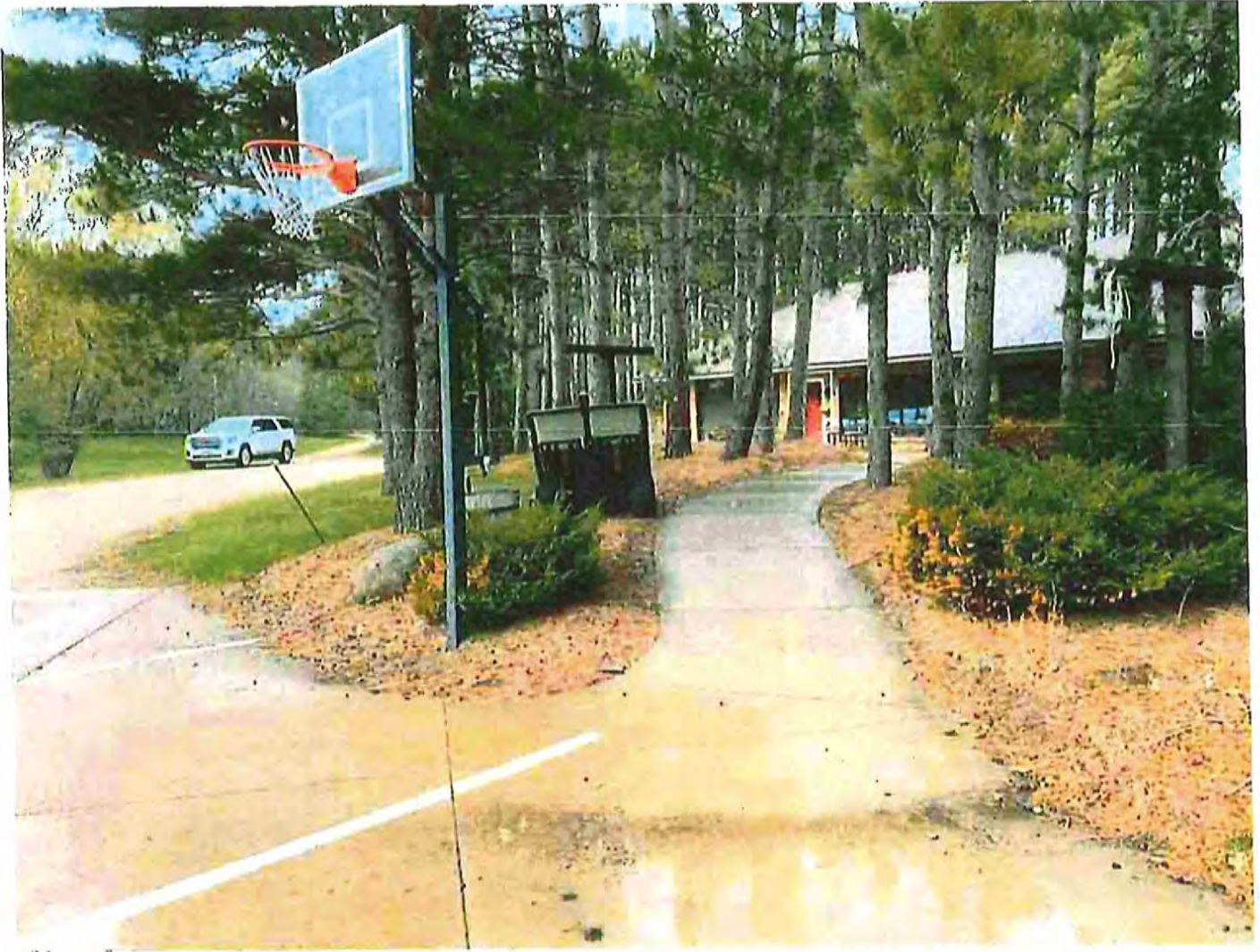
Portion of building that will house business, and concrete pad in front of it:

**PORTION OF BUILDING THAT WILL HOUSE BUSINESS
(X CONCRETE PAD IN FRONT
OF IT**





LOOKING NORTH



LOOKING ~~EAST~~
WEST



LOOKING SOUTHWEST



LOOKING SOUTH

9-350 Home Occupation Permits

A *Home Occupation* is a for-profit enterprise carried on in a residential dwelling, under circumstances in which there is no outward indication of the existence of the enterprise visible or otherwise detectable from outside the premises, and which otherwise meets the criteria specified below. A *Home Occupation* permit may be issued by the City Council after review and recommendation by the *Planning Commission*, and subject to any conditions imposed by the City Council. A *Home Occupation* permit may be revoked by the City Council, after affording due process of law to the applicant, if the conditions of issuance or any other ordinance feature are violated.

9-350.1 Criteria The following criteria must be observed for any usage to qualify for a Home Occupation Permit.

- a) **Incidental Usage** The usage must be clearly incidental and subservient to the usage of the premises as a dwelling, and may not occupy a significant portion of the dwelling unit living space;
- b) **Indoors** All activities must be carried on indoors. No outside storage, except the parking of motor vehicles, shall be permitted;
- c) **Parking** No on-street parking shall be generated, and no more than a total of four passenger motor vehicles may be parked at the premises in conjunction with the occupation, including employee and customer parking. All parking shall be on paved surfaces;
- d) **Employees** No more than one employee who does not live at the residence shall be permitted;
- e) **Traffic** The activity may not generate any traffic in excess of that normally generated by a residential dwelling unit;
- f) **Nuisance and Compliance** The usage shall not generate any nuisance, and the landowner shall at all times be compliant with all other municipal codes, and the regulations of all other jurisdictions;

9-350.2 Annual Review All *Home Occupation* permits shall be reviewed annually by the City Staff, and shall automatically be renewed unless complaints have been received, in which case the permit shall be re-submitted to the *Planning Commission* for review and recommendation to the City Council.

9-350.3 Special Home Occupation Permits A party desiring to conduct a Home Occupation in a Garage or Accessory Building under conditions meeting the remaining requirements of Article 9-350 may apply for a Special Home Occupation Permit under the following procedure:

- a) The applicant shall submit a site plan drawn to scale showing the locations and dimensions of all buildings and driveways on the

premises, and identifying the location where the Home Occupation activity will take place.

b) The applicant shall submit a narrative in sufficient detail to describe all aspects of the activity to be conducted and the locations of all such activity.


c) The Planning Commission shall conduct a Public Hearing on the proposed application, with mailed notice to all resident whose property lines come within 750 feet of the property lines of the applicant's lot, and published notice at least ten days prior to the hearing.

d) Following the Public Hearing, the Planning Commission shall make recommendations to the City Council, including such conditions as are deemed appropriate.

Notwithstanding any provision in Article 9-350.1 (a) to the contrary, a Special Home Occupation shall be mainly confined to the Garage or Accessory Building. A Special Home Occupation Permit shall be subject to the same provisions for revocation as Home Occupation Permits. In addition, notwithstanding any provision in Article 9-350.1 to the contrary, a Special Home Occupation may include uses that are normally not found in residential dwellings, as long as there are no obvious outward indicia of the activities being carried on under the Special Home Occupation Permit, no noise generated which is audible to nearby properties, no odor or vibration generated that is detectable to nearby properties, no outside storage which is visible from nearby properties or public ways and no customer traffic.

Special Home Occupations may involve up to one commercial delivery/pickup by outside delivery service van (such as UPS or Federal Express) or postal vehicle per day. Deliveries of goods produced at the site may be limited in scope and frequency by the approval process, including specifying the type of delivery vehicles that can be used, and including prohibition on commercial logos being displayed on delivery vehicles.

Memorandum

Date: June 30, 2021
To: Mayor and Councilmembers
From: David A. Krugler, Senior Engineer 
Subject: Soderville Drive Reconstruction

Introduction:

The Soderville Drive Reconstruction Project was accepted at the May 16, 2020 City Council meeting, which commenced the one-year warranty period that the project is free from all defects due to faulty workmanship or defective materials. Acceptance was conditioned on the 2119 Soderville Drive concrete driveway being corrected to the satisfaction of the owner. An addendum to the Construction Agreement was executed to extend the timeframe to correct the driveways on February 19, 2021 that extended the warranty period for the driveways to May 31, 2021. There was a second Addendum to the Construction Agreement executed to extend the timeframe to correct the driveway on June 3, 2021 that extends the warranty period for the driveways to September 30, 2021.

Discussion:

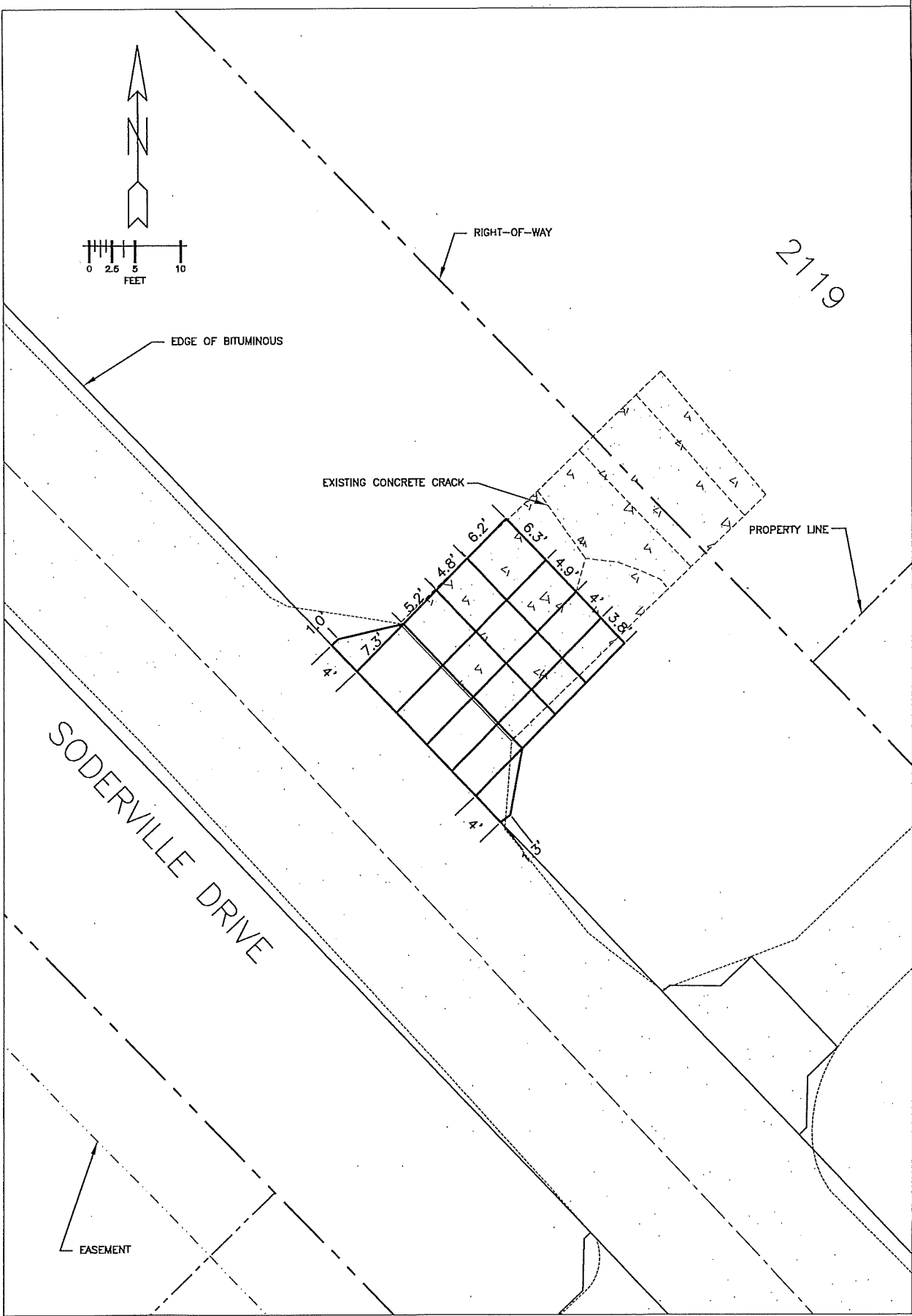
The 2119 Soderville Drive concrete driveway has not been corrected as a requirement of the warrantee extension. The Contractor, North Valley, was notified on 8/28/20, 11/12/20, 12/1/20, 1/4/21, 1/12/21, 1/22/21, 1/27/21, 5/6/21, 5/19/21 and 5/24/21 of the correction needed. The homeowner, Steve Northrop, is not satisfied with the workmanship and aesthetics of the driveway. The Sub-Contractor, Creative Curb, has been aware the homeowner is dissatisfied with the driveway. Creative Curb's professional opinion is that the driveway is structurally sound and all industry standards have been followed.

In an effort to blend the existing driveway, Creative Curb aligned the main contraction joint with an existing crack that was not located within the center of the driveway. Gordy Bruhn, the Concrete Field/CPR Specialist from MnDOT, was contacted for his professional opinion. MnDOT indicated that "aligning new joints off existing cracks is standard procedure" but also indicated there is an alternate procedure to stop the cracks by installing ½" joint filler to produce a separation layer between the existing and newly placed concrete and will usually stop re-emergent cracks. The current approximately 19' driveway does not have any contraction joints along the center of the driveway, it is unclear why Creative Curb included the additional concrete joint aligned with the existing crack or why they added an additional two contraction joints.

Attached are a picture of the existing conditions (Sheet 2) as well as the measurements of each of the concrete panels that were replaced as a result of this road construction project (Sheet 1). The main issue with aesthetics is that each panel is a different size ranging from 3.8' to 6.3' in width and 4.9' to 7.3' in length which is inconsistent with typical driveway replacements. An example of a more aesthetic driveway approximately 17' wide at 13450 Staples Street where no additional contraction joints were added is also attached (Sheet 4).

Recommendation:

It is recommended that North Valley coordinate the replacement of the concrete driveway or otherwise satisfy the home owner.



Description
NORTHROP DRIVEWAY EXHIBIT

Drawn
CSA

Date
6/30/21

Project No.
1709

Sheet No.
1

Project
2119 SODERVILLE DRIVE

13635 Johnson Street
Henn Loke, MN 55304
Voice: 763.862.8000
Fax: 763.862.8042



RFC
Engineering, Inc.
Consulting Engineers



2119 SODERVILLE DRIVE

SHEET 2



2119 SODERVILLE DRIVE-PRE-CONSTRUCTION



13450 STAPLES STREET