

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

CITY OF HAM LAKE

CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA WEDNESDAY, JULY 5, 2023

- 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance**
- 2.0 PUBLIC COMMENT**
- 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS – None**
- 4.0 CONSENT AGENDA**

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of June 20, 2023, Budget Meeting minutes of June 20, 2023 and Workshop Meeting minutes of June 20, 2023
- 4.2 Approval of claims
- 4.3 Approval of an Ordinance rezoning Hentges Addition
- 4.4 Approval of the 2024 North Metro Telecommunications Commission Budget (NMTV)
- 4.5 Approval of purchasing two new Single Axel Plow Trucks for the Public Works Department
- 4.6 Approval of rescinding Resolution No. 23-23 and adoption of a Resolution scheduling a public hearing to vacate a portion of the drainage and utility easement located on Lot 12, Block 1, Timber Woods in Section 35
- 4.7 Approval of a Resolution for the American Rescue Plan Act (ARPA) Funding for Creek Valley Street Reconstruction Project
- 4.8 Approval of a Resolution accepting a \$2,500 donation from the Ham Lake Chamber of Commerce

5.0 PLANNING COMMISSION RECOMMENDATIONS

- 5.1 Richard and Diane Sylvester requesting Preliminary and Final Plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Toby's Trails (3 single family residential lots) located in Section 15 (*this is considered the First Reading of a Rezoning Ordinance*)
- 5.2 Jeff Stalberger, HFN Properties, LLC, requesting Preliminary Plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Hidden Forest East Fourth Addition (22 Single Family Residential lots and 3 outlots) in Sections 24 and 25 (*this is considered the First Reading of a Rezoning Ordinance*)
- 5.3 Mitch Stone, Stone Construction, requesting Commercial Site Plan approval to construct a 12,992 square foot addition to Jam Hops at 1460 133rd Lane NE

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

7.0 APPEARANCES – None

8.0 CITY ATTORNEY

9.0 CITY ENGINEER

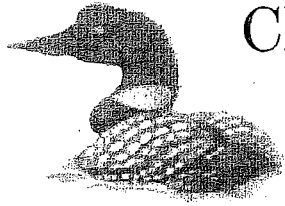
10.0 CITY ADMINISTRATOR

11.0 COUNCIL BUSINESS

11.1 Committee Reports

11.2 Announcements and future agenda items

CLOSED MEETING - Pursuant to Minn. Stat. §13D.05, Subd. 3(c)(3) to discuss the purchase of real property identified as PIN #17-32-23-24-0014 (during a recess of the regularly scheduled City Council meeting)



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CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES TUESDAY, JUNE 20, 2023

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Tuesday, June 20, 2023 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Jim Doyle, Gary Kirkeide, Al Parranto and Jesse Wilken

MEMBERS ABSENT: None

OTHERS PRESENT: City Attorney, Mark Berglund; City Engineer, Tom Collins; City Administrator, Denise Webster; Deputy City Clerk, Dawnette Shimek; Building Official, Mark Jones; and Finance Director, Andrea Murff.

1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Mayor Kirkham called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

Mayor Kirkham stated that he was going to move items on the agenda out of order and start with the presentation of the audit.

3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

3.1 Andrew Grice, BerganKDV – Presentation of the 2022 Audit

Andrew Grice was before the City Council to present the 2022 Annual Financial Audit and Single Audit Findings. Mr. Grice stated the Independent Auditor's Report gave the City a clean unmodified opinion for the audit. Mr. Grice noted there is a deficiency in internal control with lack of segregation of the accounting duties, which is common with a small staff and recommends segregation or independent review be implemented whenever practical and cost effective. Mr. Grice summarized the financial analysis for the General Fund Performance. Revenues increased \$810,536, this being due to the increase in the tax levy for 2022 and American Rescue Plan Act Funding. All other revenues sources remained consistent when compared to the prior year. Expenditures increased by \$746,638. General Government saw the biggest increase due to the American Rescue Plan Act expenditures. Public Safety increased due to step increase in wages and the addition of an investigator on the Anoka County Sheriff Contract. The remaining functions remained fairly consistent to prior years. Overall, 2022 total revenues exceeded total expenditures for the City causing an increase of \$406,468 to the General Fund balance. Mr. Grice stated the City now has a Fund Balance Ratio of 58.0%, which is within the Fund Balance Policy of 35-50%. Mr. Grice also presented an analysis of the City's historical total tax capacity amounts, tax levy amounts and tax rate for the years 2018 – 2022. Mr. Grice explained that the tax capacity for the City continues to increase faster than relative flat tax levy amount; which helps explain why the tax rate for the City has decreased year over year. The tax rate for 2022 was 20.65%. The Council thanked Mr. Grice for his presentation. The Council also thanked Finance Director Murff and staff.

2.0 PUBLIC COMMENT

Sue and Jerry Dahl, 1933 164th Lane NE, stated that they live in Meadow Park, north of Constance Boulevard NE. Ms. Dahl stated that they are not happy with how the road project was handled. Ms. Dahl stated that the roads in their development were scheduled for reconstruction. Ms. Dahl stated that the trees on the boulevards were cleared, which ruined their front yards and now, they are not getting the road improvement. Mayor Kirkham stated that it is unfortunate that the City had to reduce the project to 70% overlay and 30% reconstruction due to cost restrictions. Ms. Dahl stated that they have to have a landscaper come in to repair the damage. Mr. Dahl stated that the letter from the Engineer stated that the stumps were also to be ground down and that has not been done. Engineer Collins stated that a contractor was hired to remove the trees from the boulevard and the contractor for the street improvement was supposed to do the grubbing. Engineer Collins stated that CenterPoint also worked in the area and their work has not been accepted yet. The Council directed Public Works Superintendent Witkowski and Engineer Collins to go out to the project and determine what needs to be completed. This discussion will be placed on a future Road Committee meeting agenda.

3.2 6:01 P.M. – Public Hearing – For citizens to have an opportunity to give written or oral input to reduce or eliminate pollutants from storm water runoff as part of the National Pollutant Discharge Elimination Systems (NPDES)

Mayor Kirkham opened the public hearing at 6:16 p.m. and asked for public comment and with there being none, Mayor Kirkham closed the public hearing at 6:16 p.m.

3.3 6:01 P.M. – Public Hearing - to consider the vacation of a portion of the drainage and utility easements located on Lots 1, 2, 3 and 4, Block 3, Creekside Farms and adoption of Resolution No. 23-27

Mayor Kirkham opened the public hearing at 6:16 p.m. and asked for public comment and with there being none, Mayor Kirkham closed the public hearing at 6:16 p.m.

Motion by Kirkham, seconded by Doyle, to adopt Resolution No. 23-27 approving the vacation of a portion of the drainage and utility easements located on Lots 1, 2, 3 and 4, Block 3, Creekside Farms. All in favor, motion carried.

4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

4.1 Approval of minutes of June 5, 2023

4.2 Approval of claims in the amount of \$274,418.68

4.3 Approval of a lot line adjustment for the Minnesota Housing Finance Agency located at 4536 Crosstown Boulevard NE in Section 12

4.4 Approval of replacing ballfields 1-4 fencing at Lion's Park

Motion by Wilken, seconded by Parranto, to approve the June 20, 2023 consent agenda as written. All in favor motion carried.

5.0 PLANNING COMMISSION RECOMMENDATIONS

- 5.1 Kevin Hentges, Hentges Turf Farm, Inc., requesting Preliminary and Final Plat approval for the Hentges Addition, a Minor Plat (2 lots) in Sections 15 and 22 and rezoning of Lot 2, Block 1, Hentges Addition, from Rural Single Family Residential (R-A) to Single Family Residential (R-1)
This is considered the First Reading of a Rezoning Ordinance

Motion by Kirkham, seconded by Wilken, to concur with the Planning Commission and approve the request of Kevin Hentges, Hentges Turf Farm, Inc., requesting Preliminary and Final Plat approval for the Hentges Addition a Minor Plat (2 lots) in Sections 15 and 22 and rezoning of Lot 2, Block 1, Hentges Addition, from Rural Single Family Residential (R-A) to Single Family Residential (R-1) subject to designating the south side of the dwelling unit as the front yard, accepting an address change to meet Article 11-820 of City Code, removing the accessory building that encroaches into the westerly 10-foot wide drainage and utility easement of Lot 2, bringing the septic system into compliance within ninety days of recording of the final plat which includes abandoning the existing septic system, including tanks, for the dwelling unit and constructing a new septic system on Lot 2 for the dwelling unit, sealing the existing well, removing the Lot 1 driveway encroachment from Lot 2 and creating a new driveway access for Lot 1 north of Lot 2, paving the easterly 30-feet of the new driveway for Lot 2, paying a \$200 drainage fund contribution and a \$2,500 parkland dedication fee for each lot, meeting the requirements of the City Engineer and Building Official and meeting all City, County, and State requirements All in favor, motion carried.

6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

7.0 APPEARANCES – None

8.0 CITY ATTORNEY – None

9.0 CITY ENGINEER – None

10.0 CITY ADMINISTRATOR – None

11.0 COUNCIL BUSINESS

11.1 Committee Reports

Councilmember Kirkeide stated that staff met with the owner of Jam Hops and Stone Construction to discuss the addition to Jam Hops and whether the new septic system is adequate. Councilmember Kirkeide stated that everything should work out and Jam Hops will be able to expand.

11.2 Discussion of amending Article 6 – Parking and Traffic of the City Code

Following discussion by the City Council regarding parking of trailers overnight on City Streets, the City Council directed Attorney Berglund to draft an ordinance that would not disallow parking on City streets, but rather address safety factors for parking trailers on City streets.

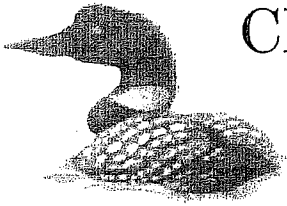
Building Official Jones stated that during construction, contractors are parking on both sides of the streets and this limits visibility and is dangerous when meeting another vehicle. Building Official Jones asked the City Council if this could be addressed. Building Official Jones also asked the City Council if they would

consider allowing secondary driveways that do not access an accessory building or garage, but to be used for parking. Council Parranto suggested that the Council look at allowing parking pads for RV's.

11.3 Announcements and future agenda items – None

Motion by Kirkeide, seconded by Parranto, to adjourn the meeting at 6:34 p.m. All in favor, motion carried.

Dawnette Shimek, Deputy City Clerk



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CITY OF HAM LAKE CITY COUNCIL BUDGET WORKSHOP MINUTES TUESDAY, JUNE 20, 2023

The Ham Lake City Council met for a budget workshop meeting on Tuesday, June 20, 2023 at 5:00 p.m. in the Conference Room at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Jim Doyle, Gary Kirkeide, Al Parranto and Jesse Wilken

MEMBERS ABSENT: None

OTHERS PRESENT: Finance Director, Andrea Murff; City Administrator, Denise Webster; Fire Chief, Mike Raczkowski; City Engineer, Tom Collins; Public Works Superintendent, John Witkowski; and Deputy City Clerk, Dawnette Shimek

1.0 Call to Order

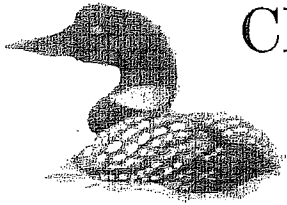
Mayor Kirkham called the meeting to order at 5:00 p.m.

2.0 Discussion of the Proposed 2024 Budget and CIP Review

Finance Director Murff proposed an 11.49 percent increase to the 2024 budget for planned transfers from the Capital Improvement Plan, Fire Station #3 staffing and utilities, and Public Works new supervisor and an additional maintenance worker. Mayor Kirkham stated he would like to see the budget down to a 3 to 4 percent levy increase by cutting the Public Works Equipment transfer by \$150,000. Finance Director Murff explained the reason for the additional Public Works Maintenance Worker and it was decided that the position would be removed from the budget. Finance Director Murff asked about the Revolving Street Fund and if that transfer could be reduced as well. It was decided that this could be reduced due to a new five-year plan for street reconstruction and overlays. Mayor Kirkham stated that he would like to go back to only increasing the budget 3 to 4 percent or at the same rate as which the tax capacity was growing going forward.

Motion by Kirkeide, seconded by Doyle, to adjourn the meeting at 5:52 p.m. All in favor, motion carried.

Andrea Murff, Finance Director



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CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY WORKSHOP MEETING MINUTES JUNE 20, 2023

The Ham Lake City Council and Economic Development Authority met on Tuesday, June 20, 2023 immediately following the regularly scheduled City Council Meeting in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Jim Doyle, Al Parranto, Gary Kirkeide and Jesse Wilken

MEMBERS ABSENT: None

OTHERS PRESENT: City Attorney, Mark Berglund; City Engineer, Tom Collins; City Administrator, Denise Webster; Deputy City Clerk, Dawnette Shimek; Finance Director, Andrea Murff; and Building Official, Mark Jones

1.0 Call to Order

Mayor Kirkham called the meeting to order at 6:35 p.m.

2.0 Discussion of the Sunrise Watershed Management Organization (SRWMO)

Attorney Berglund stated that the Sunrise Watershed Management Organization operates under a Joint Power Agreement (JPA) to provide rules and procedures for the operation of the SRWMO. The SRWMO serves Linwood Township, the City of Columbus, the City of East Bethel and the City of Ham Lake. Attorney Berglund stated that there have recently been meetings with the watersheds, BWSR (Minnesota Board of Water and Soil Resources) Attorneys. Recently Linwood Township and the City of Columbus have both withdrawn from the JPA. Attorney Berglund stated that the JPA reads that when two of the member parties withdraw, the JPA dissolves. Now the board needs to give notice to the Anoka County Attorney's Office and BWSR (Minnesota Board of Water and Soil Resources). Attorney Berglund stated that possible scenarios are that it be run by the county; create a new JPA, or convert to Coon Creek Watershed District if they would assume the water in Ham Lake. The City cannot run its own watershed district. Troy Wolens and Jeff Entsminger, Ham Lake's representative for the Sunrise River Water Management Organization were present. Attorney Berglund asked the City Council which way they would like to move forward. Attorney Berglund asked the City Council if they would like to explore whether the Coon Creek Watershed District is willing to take Ham Lake on. **It was the consensus of the City Council to wait to see if action is taken to dissolve the Sunrise Watershed Management Organization JPA.**

3.0 Discussion of allowing Use Car Sales in CD-1 Zoning with a Conditional Use Permit

Councilmember Kirkeide asked if it the City could legally allow a used motor vehicle sales lot in CD-1 zoning (Commercial Development Tier 1) if the minimal inventory required to acquire a State issued Motor Vehicle Sales License of five vehicles are kept inside a building with a Conditional Use Permit. Attorney Berglund stated that currently existing used motor vehicle sales lots in CD-1 zoning are grandfathered in and additional lots are not allowed.

Councilmember Kirkeide stated he has received a specific request from a new building property owner to allow a used motor vehicle sales lot in CD-1 zoning with the used car inventory to be kept indoors. Councilmember Kirkeide asked Attorney Berglund if this could be done with a Conditional Use Permit. Attorney Berglund stated allowing this use would not set a good precedence.

Councilmember Kirkeide asked the Councilmembers their opinion on this matter. Mayor Kirkham and Councilmember Doyle stated they would not be in favor of allowing it. Councilmember Parranto stated that used motor vehicle sales lots were taken out of CD-1 zoning for a reason and doesn't want to go backwards. Councilmember Wilken stated he believes in personal property rights. Attorney Berglund stated that the City Council needs consistency in the enforcement of the City Code and unfortunately some people you need to say no to.

It was the consensus of the City Council to continue to not allow used motor vehicle sales lots in CD-1 (Commercial Tier 1) zoning.

Motion by Kirkeide, seconded by Parranto, to adjourn the workshop meeting at 7:41 p.m. All in favor, motion carried.

Dawnette Shimek, Deputy City Clerk

**CITY OF HAM LAKE
CLAIMS SUBMITTED TO COUNCIL**

July 5, 2023

CITY OF HAM LAKE

EFTS, CHECKS, AND BANK DRAFTS		06/21/23 - 07/05/23	
EFT	# 1878 - 1887		\$ 30,038.26
REFUND CHECKS	# 65156 - 65165		\$ 15,950.00
CHECKS	# 65166 - 65197		\$ 111,692.13
BANK DRAFTS	DFT0002561 -DFT0002565		\$ 27,500.64
TOTAL EFTS, CHECKS, AND BANK DRAFTS			<u>\$ 185,181.03</u>
PAYROLL CHECKS			
06/30/23	Direct Deposits		\$ 48,890.18
TOTAL PAYROLL CHECKS			<u>\$ 48,890.18</u>
TOTAL OF ALL PAYMENTS			<u><u>\$ 234,071.21</u></u>
VOID CHECKS			
CHECKS	65196		\$ -
ZERO EFT	1886		\$ -
BANK DRAFTS			\$ -

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 5TH DAY OF JULY 2023

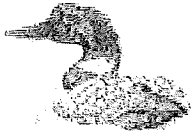
MAYOR

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER

COUNCILMEMBER



Packet: ARPKT00807 - 06-21-23 TRUST REFUNDS

Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00340	TJ HANSON	6/21/2023	65156	150.00
00375	KATELYN PIKE	6/21/2023	65157	150.00
00398	KATIE PAULSON	6/21/2023	65158	150.00
Total Refund Amount:				450.00

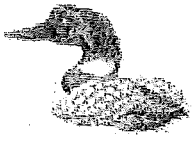
Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	450.00
Revenue Totals:	450.00

General Ledger Distribution

Posting Date: 06/21/2023

Account Number	Account Name	Posting Amount	IFT
Fund: 890 - TRUST FUND			
890-10101	Cash-claim on pooled cash	-450.00	Yes
890-11501	Misc receivables	450.00	
	890 Total:	0.00	
Fund: 999 - POOLED CASH			
999-10100	Pooled Cash	-450.00	
999-20702	Due to other funds	450.00	Yes
	999 Total:	0.00	
	Distribution Total:	0.00	



Packet: ARPKT00814 - 06/28/23 TRUST REFUNDS

Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00058	PARENT BUILDERS	6/28/2023	65159	5,100.00
00065	PARENT BUILDERS	6/28/2023	65160	2,500.00
00186	BRAD MALM	6/28/2023	65161	150.00
00320	MATTHEW HOMES	6/28/2023	65162	2,500.00
00344	ADAM WERLINGER	6/28/2023	65163	2,500.00
00362	JOANN SCHULZE	6/28/2023	65164	150.00
00366	RIVER WEST HOMES INC	6/28/2023	65165	2,600.00
Total Refund Amount:				15,500.00

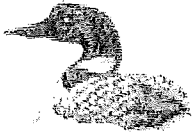
Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	15,500.00
Revenue Totals:	15,500.00

General Ledger Distribution

Posting Date: 06/28/2023

Account Number	Account Name	Posting Amount	IFT
Fund: 890 - TRUST FUND			
890-10101	Cash-claim on pooled cash	-15,500.00	Yes
890-11501	Misc receivables	15,500.00	
	890 Total:	0.00	
Fund: 999 - POOLED CASH			
999-10100	Pooled Cash	-15,500.00	
999-20702	Due to other funds	15,500.00	Yes
	999 Total:	0.00	
	Distribution Total:	0.00	



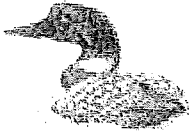
Payment Dates 6/21/2023 - 7/5/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1878	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	86.96
1878	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1878	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	58.26
1879	BRODIN PRESS	JULY HAM LAKER	Editing	211-41704-3125	900.00
1880	CMT JANITORIAL SERVICES	CITY HALL CLEANING	Cleaning service	100-41702-3430	612.00
1880	CMT JANITORIAL SERVICES	SHERIFF'S OFFICE CLEANING	Cleaning service	100-41702-3430	153.00
1880	CMT JANITORIAL SERVICES	FIRE #2 CLEANING	Cleaning service	100-42202-3430	151.00
1880	CMT JANITORIAL SERVICES	FIRE #1 CLEANING	Cleaning service	100-42202-3430	161.00
1880	CMT JANITORIAL SERVICES	PW CLEANING	Cleaning service	100-43104-3430	148.00
1880	CMT JANITORIAL SERVICES	SR CENTER CLEANING	Cleaning service	100-44202-3430	300.00
1881	DELTA DENTAL PLAN OF MINN	JULY COBRA - DK	COBRA receivable	100-11502	51.04
1881	DELTA DENTAL PLAN OF MINN	JULY DENTAL	Dental Insurance	100-21711	905.49
1882	FIRE EQUIPMENT SPECIALTIES	COATS, PANTS, SUSPENDERS	Clothing & personal protectiv	100-42201-2210	19,059.95
1883	MOBILE HEALTH SERVICES LLC	SCBA USER EXAMS - AS, HW	Personnel testing & recruitme	100-42201-3150	375.00
1883	MOBILE HEALTH SERVICES LLC	SCBA USER EXAMS, FIT TESTS,	Personnel testing & recruitme	100-42201-3150	5,060.00
1884	O'REILLY AUTOMOTIVE STORE	G1 - SHUT OFF VALVE	Equipment parts & supplies	100-42201-2320	6.99
1884	O'REILLY AUTOMOTIVE STORE	#46 PARTS CLEANER	Equipment parts & supplies	100-44101-2320	39.99
1884	O'REILLY AUTOMOTIVE STORE	SBAA'S ATV OIL	Equipment parts & supplies	100-44101-2320	8.99
1884	O'REILLY AUTOMOTIVE STORE	SBAA'2 ATV OIL	Equipment parts & supplies	100-44101-2320	8.99
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-41101-3135	-335.54
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-41102-3135	-169.13
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-41601-3135	-71.60
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-42401-3135	-1.65
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-43101-3135	1.66
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-43101-3135	-301.95
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-43102-3135	9.07
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-43103-3135	-1.26
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-43201-3135	-266.21
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	100-43501-3135	-150.62
1885	RFC ENGINEERING, INC.	RFC REBILL	Engineering	230-43201-3135	-4.99
1885	RFC ENGINEERING, INC.	CROSSTOWN BUSINESS PARK	Capital assets	262-46101-5110	1,494.70
1885	RFC ENGINEERING, INC.	FIRE #3 RFC REBILL	Capital assets	420-42201-5110	1,654.25
1885	RFC ENGINEERING, INC.	CROSSTOWN SHOPPING CENT	Engineering	431-43301-3135	-223.64
1885	RFC ENGINEERING, INC.	CREEK VALLEY 2023-10 RFC R	Engineering	431-43301-3135	-14.97
1885	RFC ENGINEERING, INC.	CREEK VALLEY RFC REBILL	Engineering	431-43301-3135	-8.30
1885	RFC ENGINEERING, INC.	2023 REHAB RFC REBILL	Engineering	431-43301-3135	48.14
1885	RFC ENGINEERING, INC.	181ST, CONCORD - HWY 65 RF	Engineering	431-43301-3135	21.27
1885	RFC ENGINEERING, INC.	TWIN BIRCH ACRES RFC REBIL	Engineering	431-43301-3135	9.19
1885	RFC ENGINEERING, INC.	GROUP MSA RFC REBILL	Engineering	431-43301-3135	-412.87
1885	RFC ENGINEERING, INC.	MEADOW PARK 2022-265 RFC	Engineering	431-43301-3135	-4.17
1885	RFC ENGINEERING, INC.	CSAH 58 OVERLAY RFC REBILL	Engineering	431-43301-3135	-2.09
1885	RFC ENGINEERING, INC.	MEADOW PARK RFC REBILL	Engineering	431-43301-3135	-2.10
1885	RFC ENGINEERING, INC.	CREEK VALLEY 2022-249 RFC	Engineering	431-43301-3135	-2.92
1885	RFC ENGINEERING, INC.	BUNKER, JEFFERSON - HWY 6	Engineering	431-43301-3135	-2.47
1885	RFC ENGINEERING, INC.	FLEET STAR RFC REBILL	Engineering	890-90001-3135	-177.16
1885	RFC ENGINEERING, INC.	JAM HOPS RFC REBILL	Engineering	890-90001-3135	-74.87
1885	RFC ENGINEERING, INC.	HENTGES RFC REBILL	Engineering	890-90001-3135	-89.41
1885	RFC ENGINEERING, INC.	FLAMINGO REZONE RFC REBIL	Engineering	890-90001-3135	-32.39
1885	RFC ENGINEERING, INC.	TOBY'S TRAILS RFC REBILL	Engineering	890-90001-3135	-17.56
1885	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 4TH RF	Engineering	890-90001-3135	-99.81
1887	WRUCK SEWER & PORTABLE	GRANT PARK	Rentals-other	100-44101-3390	50.00
1887	WRUCK SEWER & PORTABLE	LARSON'S HERITAGE OAKS TOI	Rentals-other	100-44101-3390	50.00
1887	WRUCK SEWER & PORTABLE	CONSTANCE ESTATES PARK TO	Rentals-other	100-44101-3390	50.00
1887	WRUCK SEWER & PORTABLE	SBAA TWIN BIRCH PARK TOILE	Rentals-other	100-44101-3390	25.00

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1887	WRUCK SEWER & PORTABLE	SBAA HAM LAKE BALL FIELD T	Rentals-other	100-44101-3390	39.50
1887	WRUCK SEWER & PORTABLE	HAM LAKE BALL FIELD TOILET	Rentals-other	100-44101-3390	39.50
1887	WRUCK SEWER & PORTABLE	SBAA PINGER'S PARK TOILET R	Rentals-other	100-44101-3390	25.00
1887	WRUCK SEWER & PORTABLE	PINGER'S PARK TOILET RENTA	Rentals-other	100-44101-3390	25.00
1887	WRUCK SEWER & PORTABLE	SBAA PATRICIA'S WILDERNESS	Rentals-other	100-44101-3390	25.00
1887	WRUCK SEWER & PORTABLE	PATRICIA'S WILDERNESS TOILE	Rentals-other	100-44101-3390	25.00
1887	WRUCK SEWER & PORTABLE	BLUEGRASS ESTATES TOILET R	Rentals-other	100-44101-3390	50.00
1887	WRUCK SEWER & PORTABLE	TWIN BIRCH PARK TOILET REN	Rentals-other	100-44101-3390	25.00
1887	WRUCK SEWER & PORTABLE	LION'S PARK PLAYGROUND TO	Rentals-other	100-44101-3390	79.00
1887	WRUCK SEWER & PORTABLE	WISEN'S PARK TOILET RENTAL	Rentals-other	100-44101-3390	25.00
1887	WRUCK SEWER & PORTABLE	HAM LAKE BOAT LANDING TO	Rentals-other	100-44101-3390	79.00
1887	WRUCK SEWER & PORTABLE	TENNIS COURT TOILET RENTA	Rentals-other	100-44101-3390	108.00
1887	WRUCK SEWER & PORTABLE	LION'S PARK TOILET RENTALS	Rentals-other	100-44101-3390	158.00
1887	WRUCK SEWER & PORTABLE	SBAA LION'S PARK TOILET REN	Rentals-other	100-44101-3390	158.00
1887	WRUCK SEWER & PORTABLE	SODERVILLE PARK TOILET REN	Rentals-other	100-44101-3390	54.00
1887	WRUCK SEWER & PORTABLE	SBAA WISEN'S PARK TOILET R	Rentals-other	100-44101-3390	25.00
1887	WRUCK SEWER & PORTABLE	SBAA SODERVILLE PARK TOILE	Rentals-other	100-44101-3390	54.00
65166	ADAM'S PEST CONTROL, INC	PEST CONTROL	Building repair & maintenanc	100-41702-3420	219.00
65167	ALL SEASONS RENTAL	BOBCAT BREAKER ATTACHME	Equipment rentals	100-43101-3320	320.63
65168	ALLIED BLACKTOP CO.	202 SEAL COATING	Blacktop maintenance	100-43101-3410	79,674.11
65169	AMERICAN LEGAL PUBLISHIN	CODIFICATION OF ORDINANC	Covid 19	100-41701-4153	1,120.00
65170	ANCOM COMMUNICATIONS I	BATTERIES	Phones/radios/pagers	100-42201-3210	108.85
65171	ANOKA COUNTY TREASURY D	JUNE BROADBAND	Internet & website	100-41301-3220	37.50
65171	ANOKA COUNTY TREASURY D	JUNE BROADBAND FIRE #2	Internet & website	100-41301-3220	75.00
65172	COMCAST BUSINESS	JULY FIRE #1 ADD'L CABLE BO	Other professional services	100-42201-3190	11.23
65173	COMPENSATION CONSULTAN	2ND QTR FLEX ADMINISTRATI	Other professional services	100-41701-3190	75.00
65174	COMPUTERSHARE TRUST CO	GO CAP IMP PLAN INTEREST	Interest	370-47101-6120	9,487.50
65175	CONNEXUS ENERGY	MAY HAM LAKE WELL	Electricity	100-44101-3610	211.30
65176	DEARBORN LIFE INS CO	JULY VOL LIFE	Life Insurance	100-21714	195.30
65176	DEARBORN LIFE INS CO	JULY LIFE	Life Insurance	100-21714	54.40
65177	DEHN OIL CO	302.3 GAL GASOLINE	Fuel	100-43101-2230	897.29
65177	DEHN OIL CO	401.1 GAL DIESEL	Fuel	100-43101-2230	1,115.82
65178	DIAMOND DOCTOR INC	BALLFIELD EDGING- HAM LAK	Other repair & maintenance s	100-44101-3490	1,212.50
65178	DIAMOND DOCTOR INC	BALLFIELD EDGING - LION'S P	Other repair & maintenance s	100-44101-3490	1,862.50
65179	EMBEDDED SYSTEMS INC	JUL - DEC SIREN MAINTENAN	Equipment repair & maintena	100-42302-3440	3,777.54
65180	GARY CARLSON EQUIPMENT	DITCHWITCH RENTAL - CROSS	Equipment rentals	431-43301-3320	1,639.00
65181	GIS WORKSHOP LLC	ROWEMAP SUPPORT 7/23 - 1	Prepaid expense	100-15501	63.00
65181	GIS WORKSHOP LLC	SIMPLESIGNS SUPPORT 1/24 -	Prepaid expense	100-15501	187.00
65181	GIS WORKSHOP LLC	ROWEMAP SUPPORT 1/24 - 6	Computer & software support	100-43401-3120	62.00
65181	GIS WORKSHOP LLC	SIMPLESIGNS SUPPORT 7/23 -	Computer & software support	100-43401-3120	187.00
65182	HAM LAKE HARDWARE INC	FURNACE FILTER - HAM LAKE	Building repair & maintenanc	100-44102-2310	5.99
65182	HAM LAKE HARDWARE INC	FUSE - LION'S PARK FOUNTAI	Operating supplies	100-44101-2290	20.65
65183	KINGS III EMERGENCY COMM	JULY ELEVATOR PHONE	Phones/radios/pagers	100-41701-3210	39.17
65184	LEPAGE & SONS INC	6/13 YARDWASTE	Waste management & recycli	231-43601-3630	492.06
65185	MENARDS-BLAINE	CONCRETE	Street repair & maintenance s	100-43101-2330	184.80
65186	MINNESOTA EQUIPMENT	#46 ROPE	Equipment parts & supplies	100-44101-2320	6.00
65187	NCPERS GROUP LIFE INSURAN	JULY LIFE	Life Insurance	100-21714	96.00
65188	PRINT CENTRAL	BUSINESS CARDS - MJ & TD	Office supplies	100-42401-2110	94.00
65189	RIVARD COMPANIES	MULCH	Operating supplies	100-44101-2290	199.50
65189	RIVARD COMPANIES	MULCH	Operating supplies	100-44101-2290	199.50
65190	SIEGFRIED FAMILY TOOLS INC	WIRE CUTTER, TIRE INFLATOR,	Small tools	100-43101-2410	424.20
65190	SIEGFRIED FAMILY TOOLS INC	MAGNET	Small tools	100-43101-2410	14.95
65191	SITEONE LANDSCAPE SUPPLY	INSECTICIDE	Operating supplies	100-44101-2290	106.10
65192	SPECIALTY SOLUTIONS LLC	TWIN BIRCH ACRES	Street supplies	431-43301-2330	200.24
65193	TURFWERKS	#65 FILTER	Equipment parts & supplies	100-44101-2320	77.08
65194	UNLIMITED SUPPLIES INC	MISC PARTS	Operating supplies	100-43101-2290	41.99
65195	US BANK CORPORATE PAYME	GOOD CUST REBATE	Refunds & reimbursements	100-37601	-384.22
65195	US BANK CORPORATE PAYME	IOS-binder books, index tabs-	Office supplies	100-41201-2110	70.46
65195	US BANK CORPORATE PAYME	MCFOA-- Denise MCFOA Me	Dues & subscriptions	100-41201-3920	50.00
65195	US BANK CORPORATE PAYME	ZOOM-- Zoom - June-DW	Dues & subscriptions	100-41201-3920	13.70

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
65195	US BANK CORPORATE PAYME	MCFOA-- Dawnette MCFOA M	Dues & subscriptions	100-41301-3920	50.00
65195	US BANK CORPORATE PAYME	AMAZON-- GFOA Membershi	Dues & subscriptions	100-41401-3920	190.00
65195	US BANK CORPORATE PAYME	IOS-document holder-NW	Office supplies	100-41701-2110	40.51
65195	US BANK CORPORATE PAYME	IOS-document stand-NW	Office supplies	100-41701-2110	-32.52
65195	US BANK CORPORATE PAYME	IOS-staples-NW	Office supplies	100-41701-2110	2.92
65195	US BANK CORPORATE PAYME	IOS-document holder-NW	Office supplies	100-41701-2110	32.52
65195	US BANK CORPORATE PAYME	IOS-copier paper-NW	Office supplies	100-41701-2110	143.94
65195	US BANK CORPORATE PAYME	AMAZON-printer stand-NW	Operating supplies	100-41701-2290	39.98
65195	US BANK CORPORATE PAYME	IOS-paper towels-NW	Operating supplies	100-41701-2290	84.61
65195	US BANK CORPORATE PAYME	IOS-kleenex-NW	Operating supplies	100-41701-2290	11.10
65195	US BANK CORPORATE PAYME	IOS-paper towels-NW	Operating supplies	100-41701-2290	10.11
65195	US BANK CORPORATE PAYME	AMAZON-kitchen towels-NW	Operating supplies	100-41701-2290	6.99
65195	US BANK CORPORATE PAYME	IOS-toilet paper-NW	Operating supplies	100-41701-2290	64.88
65195	US BANK CORPORATE PAYME	PANTHEON-website-NW	Software licenses & upgrades	100-41701-2510	300.00
65195	US BANK CORPORATE PAYME	AMAZON-amazon prime-NW	Dues & subscriptions	100-41701-3920	179.00
65195	US BANK CORPORATE PAYME	AMAZON-C batteries-NW	Operating supplies	100-42201-2290	27.57
65195	US BANK CORPORATE PAYME	ELEC GENERATORS-Portable g	Operating supplies	100-42201-2290	949.00
65195	US BANK CORPORATE PAYME	NVFC-Membership dues-MR	Dues & subscriptions	100-42201-3920	21.00
65195	US BANK CORPORATE PAYME	AMAZON-padlocks for sirens-	Office supplies	100-42301-2110	165.76
65195	US BANK CORPORATE PAYME	AMAZON-name plate for Mari	Office supplies	100-42401-2110	10.48
65195	US BANK CORPORATE PAYME	AMAZON-phone ear tips-NW	Operating supplies	100-42401-2290	13.99
65195	US BANK CORPORATE PAYME	BP-Small engine fuel-JW	Fuel	100-43101-2230	136.42
65195	US BANK CORPORATE PAYME	AMAZON-air cleaner-NW	Operating supplies	100-43101-2290	13.49
65195	US BANK CORPORATE PAYME	FIRST AID MARKET-(2) AEDs-	Controllable assets	100-44101-5120	3,990.00
65195	US BANK CORPORATE PAYME	IOS-paper towels-NW	Operating supplies	100-44201-2290	74.50
65197	VERIZON WIRELESS	MR	Phones/radios/pagers	100-42201-3210	41.11
65197	VERIZON WIRELESS	TD, MJ & 2 LAPTOPS	Phones/radios/pagers	100-42401-3210	162.24
65197	VERIZON WIRELESS	JK, JW, JC, CS, EH, & 2 LAPTOP	Phones/radios/pagers	100-43101-3210	293.58
65197	VERIZON WIRELESS	DH, AC, MS	Phones/radios/pagers	100-44101-3210	123.31
DFT0002561	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	1,955.00
DFT0002561	EMPOWER	Roth IRA	Deferred compensation	100-21704	50.00
DFT0002562	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	5,455.84
DFT0002562	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,906.88
DFT0002562	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	7,529.38
DFT0002563	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,474.14
DFT0002564	PERA	Retirement-Coordinated	PERA	100-21703	6,764.22
DFT0002564	PERA	Retirement-Elected Officials	PERA	100-21703	81.68
DFT0002564	PERA	Retirement-Police & Fire	PERA	100-21703	1,243.22
DFT0002565	US POSTMASTER	SR CENTER POSTAGE	Postage Liability	100-20204	40.28

Grand Total: 169,231.03



City of Ham Lake, MN

EFT Payroll Check Register Report Summary

Pay Period: 6/11/2023-6/24/2023

Packet: PYPKT01488 - PPE 06/24/23 PAID 06/30/23
Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	71	48,890.18
Total	71	48,890.18

ORDINANCE NO. 23-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Hentges Addition).

PID# 15-32-23-44-0003

SE1/4 OF SE1/4 SEC 15 32 23 EX THAT PRT DESC AS FOL: COM AT SE COR OF SD 1/4,1/4 TH N ALG E LINE THEREOF 60 FT TO POB, TH W PRL/W S LINE OF SD 1/4,1/4, 400 FT, TH N PRL/W SD E LINE 350 FT, TH E PRL /W SD S LINE 400 FT +OR- TO SD E LINE TH SLY ALG SD E LINE 350 FT +OR- TO POB; ALSO EX RD; SUBJ TO EASE OF REC

AND

PID# 22-32-23-11-0004

NE1/4 OF NE1/4 SEC 22 32 23 EX THAT PRT DESC AS FOL: COM AT SE COR OF SD 1/4,1/4 TH W ALG S LINE OF SD 1/4, 1/4, 680 FT TO POB, TH N AT RT ANG 396 FT, TH W AT RT ANG 600 FT, TH S AT RT ANG 396 FT TO S D S LINE, TH E ALG SD S LINE 600 FT TO POB ALSO EX RD; SUBJ TO EASE OF REC

Presented to the Ham Lake City Council on June 20, 2023 and adopted by a unanimous vote this 5th day of July, 2023.

Brian Kirkham, Mayor

Denise Webster, City Clerk

Meeting Date: July 5, 2023

CITY OF HAM LAKE

STAFF REPORT

To: Mayor and Councilmembers

From: Denise Webster, City Administrator

Subject: 2024 North Metro Telecommunications Commission Budget (NMTV)

Introduction/Discussion: Attached is a copy of the NMTV 2024 proposed budget which has been approved by the Operations Committee and the Commission.

Recommendation: I recommend approval of the 2024 North Metro Telecommunications Budget as presented.



June 22, 2023

TO: NMTC OPERATIONS COMMITTEE

**RE: APPROVAL OF 2024 NORTH METRO TELECOMMUNICATIONS
COMMISSION BUDGET**

Enclosed, please find for the council's review and approval the 2024 North Metro Telecommunications Commission Budget and support materials.

The Commission's operating budget for 2024 is proposed at \$1,420,610. This number represents a \$27,692 increase over expected expenditures for 2023. The increase includes a 3% COLA increase for staff, step increases, benefits increase, building maintenance costs, an accounting service, and insurance costs.

Budgeted capital costs for 2023 are \$570,884. This number represents a \$57,451 decrease from the 2023 budget. Capital expenditures include video equipment for North Metro TV, office equipment, a security system update, \$230,266 for the final HD Bond payment, and \$150,000 to be returned to cities for capital expenditures.

In total, the 2024 budget is \$29,759 lower than the 2023 budget.

Recommendation: That the Member Cities approve the 2024 Commission Budget as recommended by the Telecommunications Commission and the Operations Committee.

The Joint Powers Agreement states, "submitted budgets shall be deemed approved by a Member City unless, prior to October 15 preceding the effective date of the proposed budget, the Member City gives notice in writing to the Commission that it is withdrawing from the Commission."

I want to thank the Commission directors, staff, and the Operations Committee for their efforts in preparing these budgets. If you have any questions about either budget please consult with your Commission director or City Administrator.

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I look forward to working with all parties, throughout the remainder of 2023, toward reaching the full potential of North Metro TV and to increase both the quality and quantity of community programming and services in 2024.

Sincerely,

A handwritten signature in black ink, appearing to read "Dale Stoesz", with a long horizontal flourish extending to the right.

Dale Stoesz
Chair, North Metro Telecommunications Commission

Enc.

2024 North Metro Telecommunications Commission Budget Talking Points

Overall Organizational Goals

- Welcome a new Executive Director.
- Support legislation that will update the community television funding model to better reflect current entertainment delivery trends.
- Develop educational services for internet service/devices/software usage.
- Apply for grants to fund broadband educational services.
- Grow commercial productions.
- Improve and expand closed captioning on certain platforms.
- Continue to be responsive to cities communications needs.
- Maintain accessibility of all channels through live streaming, OTT channels, and video on demand services, 24-hours-a-day, on any device.
- Provide program playback, video transport, channel management services, video equipment maintenance and consulting services, internet streaming services for city channels, VOD libraries for meetings, meeting management software licenses and bookmarking services, program production and event coverage services, home-media transfer services, and public access to television production for our cities, schools and general public.

Estimated Fund Balance/Revenues/Expenses

- The beginning fund balances for 2024 are estimates based on previous allocations, planned spending for 2023, and estimated income.
- Estimated revenues include: Franchise fees, including the actual first quarter franchise fee payment, with anticipated reductions across quarters two through four. PEG fees based on estimated number of subscribers, throughout 2024, multiplied by the PEG fee, or by a percentage in a new franchise document. Other income includes dub fees, home movie transfers, drone, streaming and production services. Interest income is estimated based on the first quarter interest earnings of this year.
- Estimated expenditures include the operating expenses and capital expenses including the bond payment, production and office equipment, and the fee payment to the cities.
- The year end fund balances include:
 - The **Operating reserve** which is traditionally set at 25% of the operating budget, also includes additional allocations for possible 2024 budgetary support.
 - **Accrued vacation, sick and comp** time. The total value of owed vacation, sick, and comp time to employees.

- The **capital equipment fund** is intended for emergency replacement of unplanned equipment failures.
- The **vehicle replacement fund** is to cover the cost of a new fleet vehicle.
- The **building repair fund** is to cover major costs related to the building such as windows, roof, furnace, parking lot, AC replacement and painting, carpet replacement etc.
- The **franchise renewal fund** is a reserve fund for the NMTC's franchise renewal process. Franchise renewal can be very expensive, with the informal negotiation process historically costing around \$200,000 across the renewal period. Moving to a formal negotiation process is more expensive. These costs could include needs assessments, consulting, and legal fees. While there has been no recent action on franchise renewal, it could begin again at any time.

Budget

- The recommended operating budget for the organization totals \$1,420,610. This number is a \$27,692 increase over last year's operating budget. Increases were made to the personnel and administrative costs line items. The Operating budget could be \$80 less than last year, depending on the step level of the new Executive Director.
- Budgeted capital purchases for 2024 are set at \$570,884. Budgeted capital items include a server and router for master control, tripod and lens for the production truck, cameras, tripods, equipment contracts, closed captioning contracts, closed captioning charges and microphones, The capital budget also includes routine computer/software upgrades, and software licenses, the final HD Bond payment of \$230,266 and \$150,000 in capital equipment support for cities.
- The overall 2024 capital budget is \$57,451 lower than the 2023 capital budget.
- The overall 2024 budget is \$29,759 lower than the 2023 budget. If an Executive Director is hired at the minimum step the overall budget would be \$58,521 lower than the 2023 budget.

Closing Points

- North Metro TV provides a variety of valuable services to our member cities in a very cost effective manner. These services include:
 - Program playback and channel management.
 - Closed captioning.
 - Internet streaming of city meetings.
 - Bookmarking city meetings.
 - Live streaming of city channels and community channels.
 - Provide city channels on Roku and AppleTV via NMTV app.
 - Video equipment repair, maintenance and consulting.
 - Drone services.
 - Video production services.
 - Meeting coverage and troubleshooting.

- The general public also benefits from the services of North Metro TV. These services include:
 - Educational opportunities.
 - Access to professional video production tools.
 - Home Movie transfer services.
 - Varied and informative programming about their community, including high school sports, local news, and city meetings.
- A new Executive Director will be hired to lead North Metro TV into the future.
- Franchise renewal may move forward, and will have an impact on future budgets and goals.
- Recent state and federal legislation could have an impact on future income sources.

North Metro Telecommunications Commission 2024 Budget Line-Item Supporting Information

Personnel

- The personnel line-item reflects the recommended market based step increases, along with a 3% COLA. The Executive Director position is budgeted at the maximum step level to afford flexibility during the hiring process. If an Executive Director is hired at the minimum step level that would reduce the personnel line item by \$24,978.
- Part-time staff includes sports and meeting coverage personnel. Employees in the part-time group are utilized when needed for a sports shoot or to cover a city meeting and generally do not work enough to qualify for PERA. Neither category is eligible for health benefits. Payroll taxes apply.

Benefits

- The NMTC employee benefits package has been budgeted at \$1,300.00 per person/per month for 2024. This is \$45 more, per person/per month than was budgeted for 2023. The Member City benefits package average for 2024 is \$1,399.80.
- All indications are that the NMTC's contribution to PERA will remain at 7.5% in 2024.
- If a new Executive Director is hired at the minimum step level it would reduce the budgeted payroll taxes by \$3,784.

Administrative Expenses

- Budgeted administrative expenses are \$11,500 more than 2023. The audit, conference, and special meeting line-items were increased. The additions will allow for anticipated audit cost increases, attendance at NATOA and MACTA conferences for a new Executive Director and staff, attendance at NATOA sponsored webinars, and lots of meetings. Money has also been budgeted under the Consultants line item for the new accounting service.

Production Expenses

- Budgeted production expenses are \$4,000 less than in 2023. The need for DVDs, Blu-rays and disc cases has been greatly reduced, partially as a result of electronic file transfers.

Office Expenses

- Office expenses are budgeted at \$18,800 more than the 2023 level.
- The building maintenance line-item was increased by \$15,000, to better reflect actual costs over the past two years, and with recognition that there will likely be

unexpected problems with an aging building. Building maintenance includes the furnace/AC maintenance contract, lawn care, snow removal, carpet and window cleaning, fire inspection, and landscaping and building mechanical services.

- Building utilities include sewer, water, gas, and electric.
- Insurance includes all property, liability, crime, volunteer, vehicle, drone, and monument sign coverage. This amount was increased by \$3,500. The Commission policy cost was increased fairly significantly in 2023, due to insurance costs in general.
- Office supply line-item includes all office supplies, and maintenance contracts on printers and copiers.
- The Telephone/Internet/Web Hosting line-item remains at \$42,000. This line item covers bandwidth which is required to transport signals from city hall. NMTV continues to pay a fee to house video-on-demand and streaming content on a remote server. This allows for unlimited simultaneous viewing, without a reduction in speed, or an inordinate amount of bandwidth for that purpose. The line-item also covers the wireless live transmission of sporting events and other field productions. The website maintenance contract, web hosting, telephone costs, license fees for our Roku and AppleTV apps, and the annual phone software upgrade are also included.
- Postage covers the cost of mailing dubs and equipment for contract maintenance, and other postage for the NMTC.
- Property tax is for the recycling assessment.
- Building cleaning, trash, recycling, and hazardous material disposal/recycling was increased \$500 to better reflect recent actual costs.

Capital Expenditures

- The 2024 capital budget currently includes \$145,502 for production equipment, \$38,116 for office systems and software fees, \$7,000 for a security system upgrade, \$230,226 for the final HD bond payment, and \$150,000 for city capital expenses.
- The production equipment budget includes annual system contracts, including closed captioning, a master control server and router, a tripod and lens for the production truck, and a variety of cameras, lights, microphones, and tripods for field production.
- Office equipment includes three computer/editing system upgrades and monthly software licenses for office and editing computers.
- Fees back to Cities are included as a capital cost. Once the franchise is renewed with Comcast, PEG fees could be restricted to capital costs. In such a case, any PEG fees used for operating costs would result in lower franchise fees. As such, PEG fees will be returned to cities for equipment upgrades and reserves.

Summary

- The recommended 2024 Operating budget is \$27,692 higher than the 2023 budget, if an Executive Director is hired at the maximum step. If an Executive Director is hired at the minimum step, the 2024 Operating budget would be \$80 less than the 2023 budget.
- Capital equipment expenditures are budgeted at \$145,502, which is \$2,592 higher than the 2023 budget.

- The 2024 HD bond payment is budgeted at \$230,266. This will be the final HD bond payment.
- It is recommended that fees returned to cities be included in capital expenditures in order to maximize fee payments in the future. This budget includes \$150,000 in fees for city capital expenditures and capital reserves.
- The overall 2023 budget, with an Executive Director hired at the maximum step is \$29,759 lower than the 2023 budget.
- If an Executive Director is hired at the minimum step level the overall 2024 budget will be \$58,521 lower than the 2023 budget.

North Metro Telecommunications Commission
2024 FINANCIAL SUMMARY
Estimated Fund Balances/Revenues/Expenditures.

BEGINNING FUND BALANCES

Operating Reserve	\$472,593
Accrued Vac, Sick, Comp	\$120,000
Capital Equip. Fund	\$304,155
Vehicle Replacement Fund	\$45,000
Bldg Repair Reserve	\$200,000
Franchise Renewal Fund	\$200,000
Bond Reserve	\$0
TOTAL:	\$1,341,748

ESTIMATED REVENUES

Franchise Fees	\$1,150,000
PEG Fees	\$565,000
Other Income	\$35,000
Interest Income	\$50,000
Income From Reserve Funds	\$191,494
TOTAL:	\$1,991,494

ESTIMATED EXPENDITURES

Operating Expenses	\$1,420,610
Capital Expenses: Equipment/Bldg	\$190,618
Capital Expenses: Bond Payment	\$230,266
Capital Expenses: PEG Fees to Cities	\$150,000
TOTAL:	\$1,991,494

YEAR END FUND BALANCES

		Increase(Decrease)
Operating Reserve	\$355,153	-\$117,440
Accrued Vac, Sick, Comp	\$120,000	\$0
Capital Equip. Fund	\$230,101	-\$74,054
Vehicle Replacement Fund	\$45,000	\$0
Bldg Repair Reserve	\$200,000	\$0
Franchise Renewal Fund	\$200,000	\$0
Bond Reserve	\$0	\$0
TOTAL:	\$1,150,254	-\$191,494

2024
North Metro Telecommunications Commission Budget

	2022 ACTUAL	2023 BUDGET		2024 BUDGET	NOTES
		Budget	April Act.		
PERSONNEL					
Executive Director (1) FT	97,490	111,552	31,200	124,890	NA
IT Engineer/ Administrative Asst.	72,925	33,544	23,334	0	NA
Video Engineer (1) FT	69,419	79,800	23,334	82,194	Matt Waldron
Sports Director (1) FT	65,562	71,513	20,979	75,720	Kenton Kipp
News Director (1) FT	65,562	71,513	20,979	74,432	Danika Peterson
Programming Coord. (1) FT	59,904	64,176	19,168	66,102	Michele Silvester
Ed./Special Projects Coord. (1) FT	59,904	64,176	19,168	66,102	T.J. Tronson
Municipal Producer (1) FT	52,624	55,803	16,838	59,320	Trevor Scholl
Sports Producer (1) FT	43,283	51,153	15,270	55,083	Ted Leroux
News Producer (1) FT	44,015	46,503	13,852	48,451	Eric Nelson
Studio Manager (1) FT	59,904	63,565	19,168	67,662	Eric Houston
Freelancers/Sports	83,463	79,582	27,053	81,970	Freelancers Sports
Freelancers/Meetings	15,966	18,373	425	18,925	Freelancers/City Meetings
Contingency	0	0	0	0	
PERSONNEL TOTAL:	790,021	811,253	250,768	820,851	3% COLA increase 6 staff w/ step increase
BENEFITS					
FICA	58,677	50,298	18,746	50,893	6.2% of gross wages
Medicare		11,763		11,902	1.45% of gross wages
PERA	53,822	60,844	17,118	61,564	7.50% of FT gross wages
Benefits Package	166,983	165,660	74,145	156,000	Health/Dental/STD, LTD, ADD
Workers Compensation	0	2,000	0	2,000	
Electronic Filing Charges	1,626	2,000	499	2,000	
BENEFITS TOTAL:	281,108	292,565	110,508	284,359	
					*Benefits package \$1,300 per employee/per month \$45 increase over 2023 \$1,399.80 = 2024 City average

2024
North Metro Telecommunications Commission Budget

	2022 ACTUAL	2023		2024	NOTES
		Budget	April Act.		
CAPITAL EXPENDITURES					
Video Equipment	227,535	142,910	128,264	145,502	Master Control router, tripod, lens, cameras, mics
Computer/Office Equipment/Sftwre	24,667	28,000	6,232	38,116	office systems, software
Vehicles	0	0	25,000	0	
Building Expenditures	0	28,000	0	7,000	Security System Upgrade
Bond Payment	228,530	229,425	229,425	230,266	HD Bond Payment
City Capital Expenditures	225,000	200,000	200,000	150,000	Equipment/Equipment Reserves
CAPITAL EXP. TOTAL:	705,732	628,335	588,921	570,884	
GRAND TOTAL:	1,830,155	2,021,253	1,056,153	1,991,494	

North Metro TV 2024 Equipment Budget

Master Control Service & Subscriptions

ID No.	Model No.	Make	Description	Qty	Cost	Total
2024-1	CBL-PLATINUM-4	Tightrope	4 I/O Platinum Support through Tightrope. Loaner, Night Support, Upgrade Assistance	1	4000	4000
2024-2	CBL-PLATINUM-ADDL	Tightrope	Tightrope Additional I/O Annual Software Maintenance Contract for Large Systems	8	500	4000
2024-3	CBL-REFLECT-BND	Tightrope	Cablecast Reflect Live Stream Server Subscription -	4	2400	9600
2024-4	CBL-CAPTIONING-500	Tightrope	500 Hour Block of Captioning	1	3700	3700
2024-5	CBL-CABLECAST-REN	Tightrope	Subscription Fee to maintain 1 Cablecast OTT channel	2	250	500
2024-6	CBL-ENCO-SUPPORT	Tightrope	Annual Support Contract for ENCO enCaption server & software	1	5995	5995
2024-7	M-PREM-SUPP-1	Haivision	Premium Maintenance & Support 1-Year -Renew in November-	1	4100	4100
2024-8	Ross Equipment Support	Ross	Ross Service Contract Quote 30330 - Studio Xpression, Studio Carbointes, Blackstorm, Truck Cart	1	22000	22000
						53895

Master Control Equipment

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-10	CBL-LIVE350	Tightrope	Live Streaming Video Server (Ch 14 & 15 Upgrade) (Moved To 2025 Budget)	0	4000	0
2024-11	ROSS-ROUTER	Ross	Ross Imagine Router Upgrade	1	30000	30000
						30000

Control Room/Studio A

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-20						0
						0

Control Room/Studio B

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-30						0
						0

Production Truck

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-40	VINTEN-250	Vinten	Vinten Tripod, Legs & Pan Head	1	16000	16000
2024-41	ZA22x7.6BRM-M6	Fujinon	22x ENG Lens	1	21000	21000
2024-42	F-M1SDI-TX/RX	Thor	SDI to HDSDI over Fiber Mini Extender	2	429	858
2024-43	M2Ra	Lectrosonics	Digital IEM/IFB Receiver (A1B1: 470-614 MHz)	1	1499	1499
						39357

Sports Department

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-46				1		0
						0

Public Access

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-50	MM100PRO	Wolverine	Wolverine 8mm and Super 8mm Digitizer	1	500	500
2024-51	ZV427FX4	Funai	Funai Combination VCR and DVD Recorder	1	800	800
2024-52			Assorted parts and supplies for home movie transfer service	1	450	450
						1750

News Department

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-60			Camera Lights	1	200	200
2024-61		GoPro	Go Pro	1	500	500
2024-61		Bluetooth	Cellphone Bluetooth Mic	1	300	300
						1000

Special Events

ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-70	DJI	X7	DJI X7 Camera & Zenmouse	1	8000	8000
2024-71	24MM Lens w NDI	DJI	24MM Lens with NDI Filter	1	1500	1500
						9500

Municipal Services						
ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-00			Various Small Equipment Replacements		1000	1000
						1000

Tech Shop Equipment						
ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-100			Cable Reels, Cable Ends, Small Tools, etc.....			0
						5000

Various Small Items						
ID No.	Model No.	Make	Description	Qty	Unit Price	Total
2024-120	-	-	Small Item Budget			0
						4000

Grand Total						145502.00
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North Metro TV 2024 Computer Budget

ID No.	Model No.	Make	Description	Qty	Cost	Total
2024-201	Mac Pro	Apple	Editing Suite Computer	1	16000	16000
2024-202		PC	Danika Office Computer	1	3200	3200
2024-203		PC	Eric Nelson Office Computer	1	3200	3200
2024-204		PC	Computer Replacement Parts	1	1000	1000
						23400

[Mac Pro Editing Computer.jpg](#)
[News Team PC Build.pdf](#)
[News Team PC Build.pdf](#)

North Metro TV 2024 Software Budget

ID No.	Model No.	Make	Description	Qty	Cost	Total
2024-301	Adobe Suites	Adobe	Adobe Photoshop, Premiere, After Effects....etc (\$900/Month)	12	900	10800
2024-302	Office Products	Microsoft	Microsoft Office	1	1000	1000
2024-303	Gmail Accounts	Gmail	Google Gmail & Workspace Business Accounts (Monthly at \$168)	1	2016	2016
2024-304	Mac Drive	MacDrive	MacDrive Account for 4 Yearly Licenses	4	50	200
2024-305	RealVNC Pro	RealVNC	Remote VNC Connection to office computers (Yearly Subscription)	1	700	700
						14716

Date: July 5, 2023



CITY OF HAM LAKE

STAFF REPORT

To: Mayor and Councilmembers

From: John Witkowski, Public Works Superintendent

Item/Title/Subject: Purchasing two Snow Plow Trucks

Introduction/Discussion:

I met with the Public Works Liaison's Councilmember Kirkeide and Councilmember Doyle to discuss the purchasing of two new Single Axle Snow Plow Trucks. As a part of the 2023 Capital Improvement Plan (CIP) we have budgeted for the two new 2024 Mack Single Axle Plow Trucks. The trucks will be purchased under State Contract pricing and are expected to arrive the beginning of 2025. The cost of the chassis will be \$151,081.85 from Nuss Trucking and Equipment and \$173,588.00 from Towmaster Truck Equipment for the plow equipment. Total cost of each truck will be \$324,669.85. One of the trucks will be replacing #89 which we will be sold at auction and the other truck will replace #54 which will be held as an alternate for when another plow truck is in need of repair.

Recommendation:

We are recommending purchasing two 2024 Single Axle Mack plow trucks under State Contract pricing with the monies coming from the Capital Improvement Plan (CIP) and selling truck #89 at auction.



TOWMASTER, 61381 US HWY 12, LITCHFIELD, MN 55355
 PH: 320-693-7900 FX: 320-693-7921 TF: 800-462-4517
 TOWMASTERTRUCK.COM

Reference No.
 QT 76944

**** QUOTATION ****

Ship To: HAM LAKE, CITY OF 15544 CENTRAL AVE NE HAM LAKE MN 55304 USA	Cust: 2916 MN 55304	Phone: USA	Bill To: HAM LAKE, CITY OF 15544 CENTRAL AVE NE HAM LAKE MN 55304	Phone: MN 55304
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ATTN: JOHN WITKOWSKI 763-434-9555

PO#	Salesman	Terms	Created	Last Revised	Appx Comp
	JOSH PAULSON	NET 30 DAYS	1/10/23	6/01/23	1/15/22

Serial No. [REDACTED]

Order Comments: STATE OF MN CONTRACT #222949

Build Instructions F.O.B. LITCHFIELD, MN -OR- CUSTOMERS W/FUEL CHARGES ONLY

Other Instructions VALID THRU 09/31/23

Qty	Part No.	Description	Price Ea.	Net Amt.
1	9900118	- Body 10'6" EDGE-RS/SCIS-46-36-36 - - 46" 7 ga Stainless Front, 36" 7 ga Stainless radius sides (No Pockets), 36" 7 ga St ainless Tailgate w/Hardox-450 Face, 1/4" Hardox-450 Floor, 8" I-Beam Longsills, Air-trip ready linkage, Underside Black	\$23,429.00	\$23,429.00
1	9901701	- Installation of Dump Body to hoist	\$2,262.00	\$2,262.00
1	9900145	- Body acc'y TMTE Air trip kit, w/solenoid valve,	\$399.00	\$399.00
1	9901702	- Installation of air operated tailgate latch kit, with solenoid valve in hydraulic valve enclosure.	\$425.00	\$425.00
1	9900147	- Body acc Box Vibrator - Cougar model DC3200	\$796.00	\$796.00
1	9901703	- Installation of Box Vibrator, with solenoid located in hydraulic valve enclosure.	\$496.00	\$496.00
1	9900156	- Cabshield, 1/2 type Stationary Free-Standing style,w/plain STAINLESS STEEL canopy, Hot-Dipped Galvanized tubing construction support stand, Slotted Center Viewing Window, (2) shovel holders, & reservoir mounts, Installed.	\$4,551.00	\$4,551.00
1	9900207	- Ladder Flip-A-Way Access ladder (STAINLESS STEEL) Including Grab Handle above, and Interior Step, ea, Installed **NOTE: LOCATED AT LH FRONT AREA OF SIDE PANEL.	\$827.00	\$827.00
1	9900211	- Body acc'y Dual "split" sander manifolds in rear corner posts	\$534.00	\$534.00

--- Continued ---

Accepted by _____

Date _____

Price:

Total Discounts:

Net Cost:

Freight

Total:



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ATTN: JOHN WITKOWSKI 763-434-9555

PO#	Salesman	Terms	Created	Last Revised	Appx Comp
	JOSH PAULSON	NET 30 DAYS	1/10/23	6/01/23	1/15/22

Serial No.	Description	Price	Appx Comp
1 9900214	- Body acc'y Tailgate LEVER TOP PIN release (Single Axle bodies only)	\$852.00	\$852.00
1 9904963	- Light Warning TMTE1SSM-3 PKG: 1/2 A 1/2 B, (2) SS 23H 3-light LED Micro-Edge, 2) 5M-400 Super-LED, (2) Side TIR3 LED, (2	\$5,111.00	\$5,111.00
2 9902519	- Light WHELEN MICRO PIONEER spot light, Installed **NOTE: MOUNTED ON FRONT AREA OF CABSHIELD FACING FORWARD, FOR AXUILLARY LIGHTING, AND WIRED TO OEM ACC'Y SWITCH IN DASH OF CAB.	\$820.00	\$1,640.00
1 9905778	- Light, Mirror Mounted ABL 3800 LED HEAD LAMP PLOW LIGHTS W/ICE MELTING TECHNOLOGY Installed	\$1,506.00	\$1,506.00
1 9900266	- Fender set Minimizer MIN2260, for Single Axle, black Poly, Installed	\$1,195.00	\$1,195.00
1 1965280	- Minimizer FKMAC2B Floor Mat Set for MACK SGL & TDM	\$249.00	\$249.00
1 9900970	- Tire Chains ON-SPOT for 1 Axle Installed	\$4,112.00	\$4,112.00
1 9904691	- INSTALLATION of (Initial) Single camera system **NOTE: MOUNTED ON RH STROBE TUBE FOR WING VIEWING USAGE	\$426.00	\$426.00
2 9904692	- Camera System option, NORTECH 9100-2HC 120 degree night vision CCD weather-proof HEATED camera, only GEN 5 6100	\$182.00	\$364.00
2 9904693	- Camera System option, NORTECH 9100-4 Harness, 65' Waterproof GEN 5 6100	\$118.00	\$236.00
1 9904694	- INSTALLATION of Extra Camera, & Harness GEN 5 6100 MOUNTED ON LH REAR CORNER POST QUED TO REVERSE SIGNAL FOR REVERSE	\$213.00	\$213.00

--- Continued ---

Price:

Total Discounts:

Net Cost:

Freight

Total:

Accepted by

Date



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ATTN: JOHN WITKOWSKI 763-434-9555

PO#	Salesman	Terms	Created	Last Revised	Appx Comp
	JOSH PAULSON	NET 30 DAYS	1/10/23	6/01/23	1/15/22

Serial No. [REDACTED]

Qty	Part No.	Description	Price Ea.	Net Amt.
		VIEWING		
1	1941405	- Camera Guard, SS, Bolt-On	\$43.00	\$43.00
1	9905502	- PreCise ARC Sensor Mount #1126929, only GEN 5 6100	\$60.00	\$60.00
1	9905835	- PreCise ARC Sensor #1117640, only, for Wireless GEN 5 CONTROLLER Applications (LESS MTG BRKT), installed	\$734.00	\$734.00
1	9900958	- Pre-Wet Towmaster/Varitech LDS-TMR-110-EGF Body Side Mt Sys for Elliptical body (2) 55 ga 1 tanks, mtg hardware, plumbing, Electric Gravity Feed valve	\$1,809.00	\$1,809.00
1	9902483	- Installation of TMR pre-wet system (New Towmaster Body)	\$1,275.00	\$1,275.00
1	9901834	- Hoist OSP/Towmaster 720DH, Double Acting, W/Solid block rear hinge point, & OSHA approved saftey props	\$5,526.00	\$5,526.00
1	9901712	- Installation of SCISSORS TYPE double acting hoist	\$2,373.00	\$2,373.00
1	9902924	- Scraper FALLS IB-10A 1" MB, w/single lift cylinder W/12" bolt-on extension (11' total), LESS CUTTING EDGES	\$9,449.00	\$9,449.00
2	9903277	- VBL PolarFlex 4' Underchassis Complete System (includes bolts & nuts)	\$1,154.00	\$2,308.00
1	9903276	- VBL PolarFlex 3' Underchassis Complete System (includes bolts & nuts)	\$865.00	\$865.00
1	9901705	- Installation of underbody fixed angle scraper w/single lift cylinder	\$3,546.00	\$3,546.00
1	9904232	- Scraper FORCE Electric pressure transmitter to read on LCD screen, installed	\$429.00	\$429.00

--- Continued ---

Price:

Total Discounts:

Net Cost:

Freight

Total:

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Date



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ATTN: JOHN WITKOWSKI 763-434-9555

PO#	Salesman	Terms	Created	Last Revised	Appx Comp
	JOSH PAULSON	NET 30 DAYS	1/10/23	6/01/23	1/15/22

Serial No.	Description	Price	Appx Comp
1 9900351	Scraper FORCE reverse/Auto-Lift system, ADD-A-FOLD valve, installed	\$523.00	\$523.00
1 9902941	Wing Falls RHSDL9A-HYDPB Primed LESS CUTTING EDGES	\$13,631.00	\$13,631.00
1 9900388	Installation Falls SDL Series Wing - w/Bulkhead Couplers	\$6,173.00	\$6,173.00
1 9901431	Wing Falls RL (REAR LIFT) up charge SDL WING	\$597.00	\$597.00
1 9904688	Wing Falls POST-LESS Toe Lift in lieu of Std Front post/slide system		
3 9902871	VBL 3/4" x 6" - 3' w/25 ^{UL} Tungsten Carbide Insert, Std Punch, Flat Blade **NOTE: FOR WING APPLICATION	\$242.00	\$726.00
1 9900480	Wing Falls Red - Paint Moldboard	\$430.00	\$430.00
1 9900567	Plow Hitch Falls 46XB2/STD/STD/SA/SPR-RET/HITCH	\$3,064.00	\$3,064.00
1 9900589	Installation Falls Plow Hitch - 40 Series 3Line/STDBLKHD	\$2,432.00	\$2,432.00
1 9900619	Plow Push Unit Falls 20/26/40/46 Series Std	\$1,124.00	\$1,124.00
3 9902827	VBL PolarFlex 4' Front Mount Complete System (includes bolts & nuts) **NOTE: FRONT PLOW APPLICATION	\$1,081.00	\$3,243.00
1 9900637	Plow Falls High Visibility Marker Set	\$142.00	\$142.00
1 9900639	Plow Falls Rubber Belt Deflector Kit - Installed	\$471.00	\$471.00
--- Continued ---			

Price:

Total Discounts:

Net Cost:

Freight

Total:

Accepted by

Date



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 PH: 320-693-7900 FX: 320-693-7921 TF: 800-462-4517
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ATTN: JOHN WITKOWSKI 763-434-9555

PO#	Salesman	Terms	Created	Last Revised	Appx Comp
	JOSH PAULSON	NET 30 DAYS	1/10/23	6/01/23	1/15/22

Serial No.	Description	Price	Appx Comp
1 9903057	- Plow Falls PR1243/SPR-TRP/NOSHU/PRI-E1/10GA LESS CUTTING EDGES	\$9,078.00	\$9,078.00
1 9900682	- Plow Falls Red Paint, Rev Plow, w/installation	\$570.00	\$570.00
1 9900805	- Sander Falls 1ASD9SS-4P-1D-1S, 9" x 4" Auger, Stainless Steel Unit, LH (or RH) Discharge, Berm Chute, Single Poly Spinner Ass'y, Complete	\$6,799.00	\$6,799.00
1 9901718	- Sander Install & dual manifold RH & LH rear	\$1,361.00	\$1,361.00
1 9900814	- Sander Falls Stainless Steel (optional) salt shield	\$195.00	\$195.00
1 9901348	- Sander TMTE Exterior Bolt-On Sander/Tailgate Spill Plates, Stainless Steel, Mill Finish	\$1,057.00	\$1,057.00
1 9900851	- Valve System, Force Add-A-Fold MCV-ISO Valve 9 Functions, INSTALLED HOIST, PLOW LIFT, PLOW STEER, WING TOE, WING HEEL, WING PUSH-BAR, SCRAPER, AUGER, SPINNER	\$16,586.00	\$16,586.00
1 9902497	- Control System Force ULTRA-4-6100 Commander control, Installed	\$14,720.00	\$14,720.00
1 9900874	- Filter Force IN-TANK mounted filter installed	\$459.00	\$459.00
1 9900882	- Reservoir TMTE Cabshield mt (stainless steel) w/intank filter provision, installed	\$4,641.00	\$4,641.00
1 9900888	- Pump Force FASD45L LS (6 ci) installed	\$6,015.00	\$6,015.00
1 9900871	- Switch TMTE BODY UP Installed (electric controls only)	\$258.00	\$258.00

--- Continued ---

Price:

Total Discounts:

Net Cost:

Freight

Total:

Accepted by

Date



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ATTN: JOHN WITKOWSKI 763-434-9555

PO#	Salesman	Terms	Created	Last Revised	Appx Comp
	JOSH PAULSON	NET 30 DAYS	1/10/23	6/01/23	1/15/22
Serial No.					
1 9900884	- Sensor Force Low oil indicator system, SLIM-LINE AND CABSHIELD MOUNTED w/light mounted in cab, installed			\$317.00	\$317.00
1 9905014	- Hydraulic Valve Hose Guard installed			\$389.00	\$389.00
1 9901112	- ICC BUMPER			\$232.00	\$232.00
1 9901113	- INSTALLATION OF ICC BUMPER **NOTE: MUST BE BOLT-ON ATTACHMENT TO TRUCK FRAME FOR EASE OF REMOVAL IF NECESSARY FOR PAVING (SEE 2021 BUILD FOR REFERENCE)			\$315.00	\$315.00
1	WARRANTY - TOWMASTER EXCLUSIVE WARRANTY: 5 yr Steel/Stainless Steel Body Structure; 5 yr Whelen LED Light Systems; 3 yr Palfinger Hoists; 4 yr SwapLoader Hoists; 1 year Swenson Spreaders, 2 yr Hyd, FALLS Snow Equip, Tele Hoists, and all other items.				

Price: \$173,588.00

Total Discounts:

Net Cost: \$173,588.00

Freight

Total: \$173,588.00

Accepted by _____

Date _____

Exhibit D: Price Schedule

Price quote for: **SINGLE AXLE CAB & CHASSIS**

Vendor Name: **Nuss Truck and Equipment**
 Contact Person: **Dan Chipman**
 Street Address: **2195 WEST COUNTY ROAD C2**
 P.O. Box:
 City, State, Zip: **ROSEVILLE, MN 55113**
 Phone #: **612-297-6496**
 Toll Free #: **800-704-0935**
 Fax #: **651-635-0928**
 Email Address: dchipman@nussgrp.com

Version of Excel used:

2013

Spec #	Information Requested	Answer
1.0	Make & Model	2024 MACK GRANITE 42BR SA
	C.A. & W.B. dimension	92" CA, 180" Wheelbase
	Front Axle Location (Set Forward, Set Back)	Set Back
	Frame, Steel PSI	120,000 PSI
	Frame, Section Modulus	17.7 SM
	Frame, Resistance to Bending Moment	2,120,000 RBM
	Frame overhang length	62"
	Type of fasteners used on frame members	Huck
	Front bumper description	Swept Back Steel
	Front Axle Type & Size	Mack FXL12, 12,000 lbs.
	Front Spring length	55"
	Front brake size	16.5" x 5" Bendix ES165-05D
	Front Brake chamber size	24"
	U Joint Make, Model & Type (1/2 round, etc.)	Meritor 17 MXL Extended Life
	Rear Axle Type & Size	Mack RA23R

Rear brake size	16.5" x 7" Bendix ES165-07D
Rear brake chamber size	30/30
Parking Brake Type & Model #	Haldex/Anchorlok
Front Tire Make & Size	11R22.5 14 Ply Bridgestone R283A
Front Rim Size & Rating	22.5 x 8.25 7,800 lbs
Rear tire make & size	11R22.5 14 PLY Bridgestone M726EL
Rear rim size & rating	22.5 X 8.25 7,800 LBS
Air compressor type & size	Meritor/Wabco 18.7 CFM
Air dryer info	Meritor 1200
Engine type, HP & torque	Mack MP7-325M - 325HP @ 1400 - 1900 RPM 1260/LB/FT Max Torque
Type of engine fan drive	Behr Fan & Electronic Modulating Fan Drive
Exhaust description	Diesel Particulate Filter Cleartech one DPF/SCR RH side under cab
Starter motor Make & Model	Delco 39MT-MXT
Right side steering assist (Auxiliary gear, hydraulic ram or none)	None
Transmission Make & Model, # of Speeds	Eaton Fuller FRO-14210C
Clutch size and # of plates	15.5" Two Plate
Battery CCA, # of batteries, CCA of each battery	Three Mack 650/1950 CCA
Fuel tank size, shape and material	66 Gallon LH Aluminum 22" Dia Sleeved D-Shape
Alternator Type & Size	Delco 12V 130A (24SI Brush Type)
Radiator Sq in & Material	Aluminum Core
Type and number of horns	One Mack Rectangle Air

Cab ride (type of mounting)	Air Ride Cab
Cab size door to door, floor to ceiling	78", 62"
Distance of cab floor to ground	47"
Description of seats supplied with base cab & chassis	Bostrum Talladaga 915 Mid-Back Air Driver Seat, Fixed Mack Mid-Back Passenger Seat
Windshield washer nozzle location	Mounted on Wiper Arm
Interior package (Low, Med or Premium)	Low
Does unit include cruise control	Yes
How is dome light activated	Door & Cab Switch
Steering wheel adjustment (tilt, telescoping, etc.)	Tilt & Telescoping
Cab grab handle locations	RH & LH Behind Door
Storage pocket description	Two Storage Compartment & Net Retainers with Center Mounting for CB Provisions
Cab Gauges, List	Air Pressure, Voltmeter, Engine Coolant Temperature, Engine Oil Pressure, Speedometer, and Tachometer, Exhaust Pyrometer, and Tranwmission Oil Temperature
Dimmer switch location	Turn Signal
Paint description	Mack White
Cab & chassis warranty (time & mileage)	One Year or 100,000 Miles
Engine warranty (time & mileage)	Two Years or 250,000 miles
Transmission warranty (time & mileage)	Mack - Five Years or 500,000 Miles
Rear end warranty (time & mileage)	Mack - Five Years or 500,000 Miles
Delivery of chassis starting point	Roseville, MN 55113
Estimated weight on front axle of base unit	6108

Estimated weight on rear axle of base unit

6816

Single Axle Cab & Chassis

Exhibit D: Price Schedule

VENDOR NAME NUSS TRUCK & EQUIPMENT**MAKE AND MODEL** 2024 MACK GRANITE 42BR SA

This section for use

WB 187"

CA 99" (Towmaster to

Grand Total \$ 151,081.85

AF 63"

Rear 4.30

Cab RED (9448284)

Wheel White

Notes City of Ham Lake, Updated 6.20.23

Code	Spec #	Description	Qty	2024 Price	Subtotal
	1.0	Price for base unit:	1	\$ 105,396.41	\$ 105,396.41

2.0 FRAME OPTIONS

AOXF3X 2.1 Front frame extension 1 \$ 1,187.00 \$ 1,187.00

MC 2.16 2.820,000 23.5 1 \$ 521.00 \$ 521.00

3.0 FRONT

240AA3 3.6 20,000 front axle and 1 \$ 2,147.00 \$ 2,147.00

UDXA1X 3.13 Front brake dust 1 \$ 18.00 \$ 18.00

245AB0 3.14 Dual front auxiliary 1 \$ 569.00 \$ 569.00

MC 3.23 HD taperlead (3 leaf 1 \$ 65.00 \$ 65.00

U0AB8X 3.26 Meritor front slack 1 \$ 58.00 \$ 58.00

MC 3.29 Meritor front brakes 1 \$ 131.00 \$ 131.00

4.0 4.0 SINGLE REAR

UEXA1X 4.25 Rear brake dust 1 \$ 18.00 \$ 18.00

252AB1 4.27 Meritor RS-30-185 1 \$ 1,812.00 \$ 1,812.00

254AB4 4.32 Driver controlled 1 \$ 484.00 \$ 484.00

260AB2 4.37 30,000 lbs Mack 1 \$ 515.00 \$ 515.00

195AA9 4.46 Meritor 175 MXL 1 \$ 32.00 \$ 32.00

U1AB8X 4.54 Meritor automatic rear 1 \$ 231.00 \$ 231.00

253AA4 4.55 Meritor 16.5" x 7" rear 1 \$ 58.00 \$ 58.00

5.0 INTENTIONALLY**6.0 TIRES/RIMS**

MC 6.1 Nylon wafers or wheel 1 \$ 44.00 \$ 44.00

900AC0 6.7 10,000 lb. 22.5 9" 1 \$ 407.00 \$ 407.00

901BG1 6.45 11R22.5 G Michelin 1 \$ 946.00 \$ 946.00

7.0 BRAKE SYSTEM

UWXE3X 7.4 Auto drain valves on 1 \$ 31.00 \$ 31.00

300AA3 7.23 Haldex "Gold Seal" 1 \$ 1.00 \$ 1.00

141OF1 7.36 Air reservoir in frame, 1 \$ 48.00 \$ 48.00

8.0 ENGINE/EXHAUST**(List Make & Model,**

1000W0 8.4 Mack MP7-425M 1 \$ 1,508.00 \$ 1,508.00

MC 8.15 Clear Back of Cab - 1 \$ 114.00 \$ 114.00

130AD7 8.19 No Muffler, Single 1 \$ 318.00 \$ 318.00

Q0AC1X 8.30 Single, Bright finish 1 \$ 65.00 \$ 65.00

223AA3 8.96 Bright Finish Fuel 1 \$ 32.00 \$ 32.00

	9.0	ENGINE RELATED					
1VAADX	9.7	Donaldson Single	1	\$ 323.00	\$ 323.00		
HWXD1X	9.12	Coolant spin on	1	\$ 47.00	\$ 47.00		
183AA2	9.13	Front engine powered	1	\$ 103.00	\$ 103.00		
124AB3	9.17	Radiator hose	1	\$ 240.00	\$ 240.00		
5NXA1X	9.20	Engine block heater	1	\$ 65.00	\$ 65.00		
119AA6	9.27	Extended life anti-	1	\$ 20.00	\$ 20.00		
SSOILP	9.50	Stainless steel oil pan	1	\$ 1,950.00	\$ 1,950.00		
NDXA1X	9.54	Electric preheater	1	\$ 53.00	\$ 53.00		
	10	TRANSMISSION					
		(After the first six					
7RXAEX	10.5	Synthetic (TranSynd)	1	\$ 301.00	\$ 301.00		
136AS6	10.15	Allison 4500-RDS 6	1	\$ 14,772.00	\$ 14,772.00		
139019	10.56	Stainless steel	1	\$ 175.00	\$ 175.00		
	11	ELECTRICAL					
318AA3	11.5	Battery disconnect	1	\$ 111.00	\$ 111.00		
NJXA3X	11.15	Switch for snowplow	1	\$ 80.00	\$ 80.00		
136SPD	11.18	Vehicle speed sensor	1	\$ 20.00	\$ 20.00		
393AC4	11.19	Stacked Battery Box	1	\$ 48.00	\$ 48.00		
L5XF1X	11.23	Polished aluminum	1	\$ 52.00	\$ 52.00		
MOXAAX	11.27	Battery shock pad	1	\$ 4.00	\$ 4.00		
EAXAUX	11.34	Eight switches - front	1	\$ 237.00	\$ 237.00		
5RXA6X	11.36	Ecco back-up alarm	1	\$ 74.00	\$ 74.00		
NEXD2X	11.44	LED type tail lights	1	\$ 199.00	\$ 199.00		
	12	CAB EXTERIOR					
152AA4	12.5	Heated mirrors per	1	\$ 104.00	\$ 104.00		
26XA1X	12.17	Butterfly option on	1	\$ 413.00	\$ 413.00		
148AA5	12.23	Arctic winter wiper	1	\$ 19.00	\$ 19.00		
JQXABX	12.24	Optional windshield	1	\$ 26.00	\$ 26.00		
145AA5	12.42	Heated windshield	1	\$ 425.00	\$ 425.00		
WSXAAX	12.43	One piece windshield	1	\$ 83.00	\$ 83.00		
OEAA1X	12.45	Bright finish hood	1	\$ 16.00	\$ 16.00		
400AA6	12.46	Bright finish bars with	1	\$ 240.00	\$ 240.00		
312AB5	12.49	Led type marker &	1	\$ 75.00	\$ 75.00		
153AA3	12.51	Heated convex	1	\$ 34.00	\$ 34.00		
15H0NH	12.57	10" round bright finish	1	\$ 234.00	\$ 234.00		
	13	CAB INTERIOR					
	13.1	Medium grade			\$ -		
004AA5	13.5	Slate Gray Color with	1	\$ 292.00	\$ 292.00		
	13.6	Premium grade			\$ -		
146AA3	13.13	Power window/both	1	\$ 325.00	\$ 325.00		
1960V6	13.34	Air-Sears Atlas 80 hi-	1	\$ 374.00	\$ 374.00	Vinyl Covering	
1970E7	13.40	Mack fixed hi-back	1	\$ 44.00	\$ 44.00	Vinyl Covering	
5870D7	13.58	Diagonal grab handle	1	\$ 35.00	\$ 35.00		
MC	13.63	5lb fire extinguisher	1	\$ 66.00	\$ 66.00		
MC	13.64	Reflector kit parallel to	1	\$ 27.00	\$ 27.00		
	14	MN/DOT OPTIONS:					
M510Z1	14.80	Engine Plan 2 60	1	\$ 2,826.00	\$ 2,826.00		
M53083	14.14	Engine after-treatment	1	\$ 912.00	\$ 912.00		
	15	TRAILER TOW					
WHXQ2X	15.1	Trailer tow package	1	\$ 317.00	\$ 317.00		
WHXG6X	15.2	Trailer package		\$ 417.00	\$ -		
321031	15.3	Single 7 pin SAE type,	1	\$ 117.00	\$ 117.00		

WGXA1X	15.5	Hand control valve for	1	\$ 47.00	\$ 47.00		
	16	MANUALS /					
	16.4	Premium Tech Tool	1	\$ 4,000.00	\$ 4,000.00		
	20	Next Model Year					
		Enter the following		2025			
	20.1	Percentage Upcharge	1	3.00%	\$ 3,161.89		
	20.2	Percentage Upcharge	1	3.00%	\$ 1,238.55		
				Total Cost:	\$ 151,081.85		

Meeting Date: July 5, 2023



***CITY OF HAM LAKE
STAFF REPORT***

To: Mayor and Councilmembers

From: Dawnette Shimek, Deputy City Clerk

Item/Title/Subject: Vacation of a portion of the Drainage and Utility Easements as dedicated on Lot 12, Block 1, Timber Woods

THIS PUBLIC HEARING WAS SCHEDULED AND HELD ON JUNE 5, 2023. DUE TO AN ERROR IN THE LEGAL DESCRIPTION THE APPROVAL PROCESS MUST BE REPEATED WITH THE UPDATED LEGAL DESCRIPTION.

Introduction/Discussion:

The easement as described has no public purpose. Engineer Collins has reviewed the legal description and has no issue with this vacation.

Recommendation:

I recommend approval of a Resolution scheduling a Public Hearing for July 17, 2023 to vacate a portion of the drainage and utility easements on Lot 12, Block 1, Timber Wood

RESOLUTION NO. 23-xx

WHEREAS, the Ham Lake City Council, on its own motion, wishes to consider the vacation of the following described land in the City of Ham Lake, pursuant to Minnesota Statutes Chapter 412.851:

EASEMENT VACATION LEGAL DESCRIPTION

That portion of the drainage and utility easement as dedicated on Lot 12, Block 1, TIMBER WOODS, Anoka County, Minnesota, described as follows:

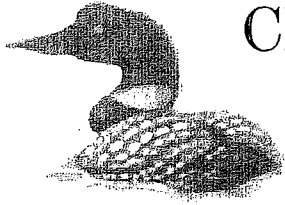
Commencing at the southeast corner of said Lot 12, Block 1; thence on an assumed bearing of North 01 degree 01 minute 10 seconds West, along the east line of said Lot 12, Block 1 a distance of 38.55 feet; thence North 57 degrees 20 minutes 19 seconds West a distance of 12.02 feet to the west line of the east 10 feet of said Lot 12, Block 1 and the point of beginning of the easement to be vacated; thence North 57 degrees 20 minutes 19 seconds West a distance of 268.19 feet to the east line of the west 10 feet of said Lot 12, Block 1; thence South 17 degrees 10 minutes 57 seconds East along said east line a distance of 37.22 feet; thence South 57 degrees 20 minutes 19 seconds East a distance of 255.74 feet to said west line of the east 10 feet of said Lot 12, Block 1; thence North 01 degree 01 minute 10 seconds West along said west line a distance of 28.84 feet to the point of beginning.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, that the City Clerk is directed to post in a conspicuous place in the City Hall between the dates of July 6, 2023 and July 17, 2023 and to cause publication of a NOTICE OF PUBLIC HEARING, a copy of which is attached to this Resolution, for a public hearing to be held on July 17, 2023, with publication to occur in the Star Tribune on July 7, 2023.

Adopted by the City Council of the City of Ham Lake this 5th day of July 2023.

Brian Kirkham, Mayor

Denise Webster, City Clerk



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax: (763) 434-9599

NOTICE OF PUBLIC HEARING VACATION OF PUBLIC LAND

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held before the Ham Lake City Council on July 17, 2023 at 6:01 p.m. in the City Council Chambers, City Hall, 15544 Central Avenue N.E. Ham Lake, Minnesota 55304, to hear comments and questions concerning the proposed vacation of the following described land within the City of Ham Lake, Minnesota:

EASEMENT VACATION LEGAL DESCRIPTION

That portion of the drainage and utility easement as dedicated on Lot 12, Block 1, TIMBER WOODS, Anoka County, Minnesota, described as follows:

Commencing at the southeast corner of said Lot 12, Block 1; thence on an assumed bearing of North 01 degree 01 minute 10 seconds West, along the east line of said Lot 12, Block 1 a distance of 38.55 feet; thence North 57 degrees 20 minutes 19 seconds West a distance of 12.02 feet to the west line of the east 10 feet of said Lot 12, Block 1 and the point of beginning of the easement to be vacated; thence North 57 degrees 20 minutes 19 seconds West a distance of 268.19 feet to the east line of the west 10 feet of said Lot 12, Block 1; thence South 17 degrees 10 minutes 57 seconds East along said east line a distance of 37.22 feet; thence South 57 degrees 20 minutes 19 seconds East a distance of 255.74 feet to said west line of the east 10 feet of said Lot 12, Block 1; thence North 01 degree 01 minute 10 seconds West along said west line a distance of 28.84 feet to the point of beginning.

Said hearing is conducted pursuant to Minnesota Statutes Chapter 412.851.

Dated: July 6, 2023

Dawnette Shimek, Deputy City Clerk

Posted at City Hall between the dates of July 6, 2023 and July 17, 2023.

Published in the Star Tribune on July 7, 2023

20

Tim
Lang ↓

CROOKS ANDREW L
PIN: 35-32-23-21-0012
3635 140TH AVE NE
HAM LAKE, MN 55304

CHASTANET, HENRI G
PIN: 35-32-23-24-0018
13800 SHENANDOAH ST NE
HAM LAKE, MN 55304

MATTSON, JAIMIE A
PIN: 35-32-23-21-0005
3748 BUNKER LAKE BLVD NE
HAM LAKE, MN 55304

GABRIELSON DARYL G & CAROL
PIN: 35-32-23-12-0003
3840 BUNKER LAKE BLVD NE
HAM LAKE, MN 55304

LEMKE JAYMIE L
PIN: 35-32-23-24-0004
13817 SHENANDOAH ST NE
HAM LAKE, MN 55304

TUFTE JAMIE L & DAHL TUFTE AMY
PIN: 35-32-23-24-0011
13855 SHENANDOAH ST NE
HAM LAKE, MN 55304

BAYLESS MARK E
PIN: 35-32-23-21-0021
3642 140TH AVE NE
HAM LAKE, MN 55304

HEDRINGTON, KATIE J
PIN: 35-32-23-21-0010
3658 BUNKER LAKE BLVD
HAM LAKE, MN 55304

RIOLA ANNE M & PETER W
PIN: 35-32-23-13-0005
13814 VICKERS ST NE
HAM LAKE, MN 55304

LARSON BRIAN R
PIN: 35-32-23-12-0007
7338 148TH LN NW
RAMSEY, MN 55303

WYLIE TRUSTEE, TERI A
PIN: 35-32-23-24-0003
13833 SHENANDOAH ST NE
HAM LAKE, MN 55304

BILLS DEWITT LEE & JUDITH A
PIN: 35-32-23-21-0004
3716 BUNKER LAKE BLVD NE
HAM LAKE, MN 55304

LANG TRUSTEE, PAULA K
PIN: 35-32-23-21-0027
3705 139TH AVE NE
HAM LAKE, MN 55304

BARNES, DANIEL J
PIN: 35-32-23-13-0006
13819 VICKERS ST NE
HAM LAKE, MN 55304

HYLAND, TINA
PIN: 35-32-23-12-0001
3816 BUNKER LAKE BLVD NE
HAM LAKE, MN 55304

LANG TRUSTEE, PAULA K
PIN: 35-32-23-24-0009
3705 139TH AVE NE
HAM LAKE, MN 55304

LANG TRUSTEE, TIMOTHY S
PIN: 35-32-23-24-0010
3705 139TH AVE NE
HAM LAKE, MN 55304

MYRMEL TRUSTEE JEFFREY A
PIN: 35-32-23-21-0025
3640 140TH AVE NE
HAM LAKE, MN 55304

VITEK CHRISTOPHER G
PIN: 35-32-23-21-0009
3644 BUNKER LAKE BLVD
HAM LAKE, MN 55304

STENGER, KERRY
PIN: 35-32-23-21-0018
3635 139TH AVE NE
HAM LAKE, MN 55304



CITY OF HAM LAKE

REQUEST FOR AN APPEARANCE BEFORE THE CITY COUNCIL

15544 Central Avenue NE
Ham Lake, MN 55304
Phone (763) 434-9555
Fax (763) 434-9599

Date of application 4-18-23
Date of City Council appearance _____
60-day review deadline _____

RA# 95764

APPLICANT'S
NAME Tim Lang

STREET
ADDRESS 3705 159th Avenue NE

CITY, STATE
ZIP Ham Lake MN 55304

PHONE (daytime) 763-567-3166

NATURE OF REQUEST

Requesting Vacation of An Existing Easement

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

[Signature]
Signature of applicant

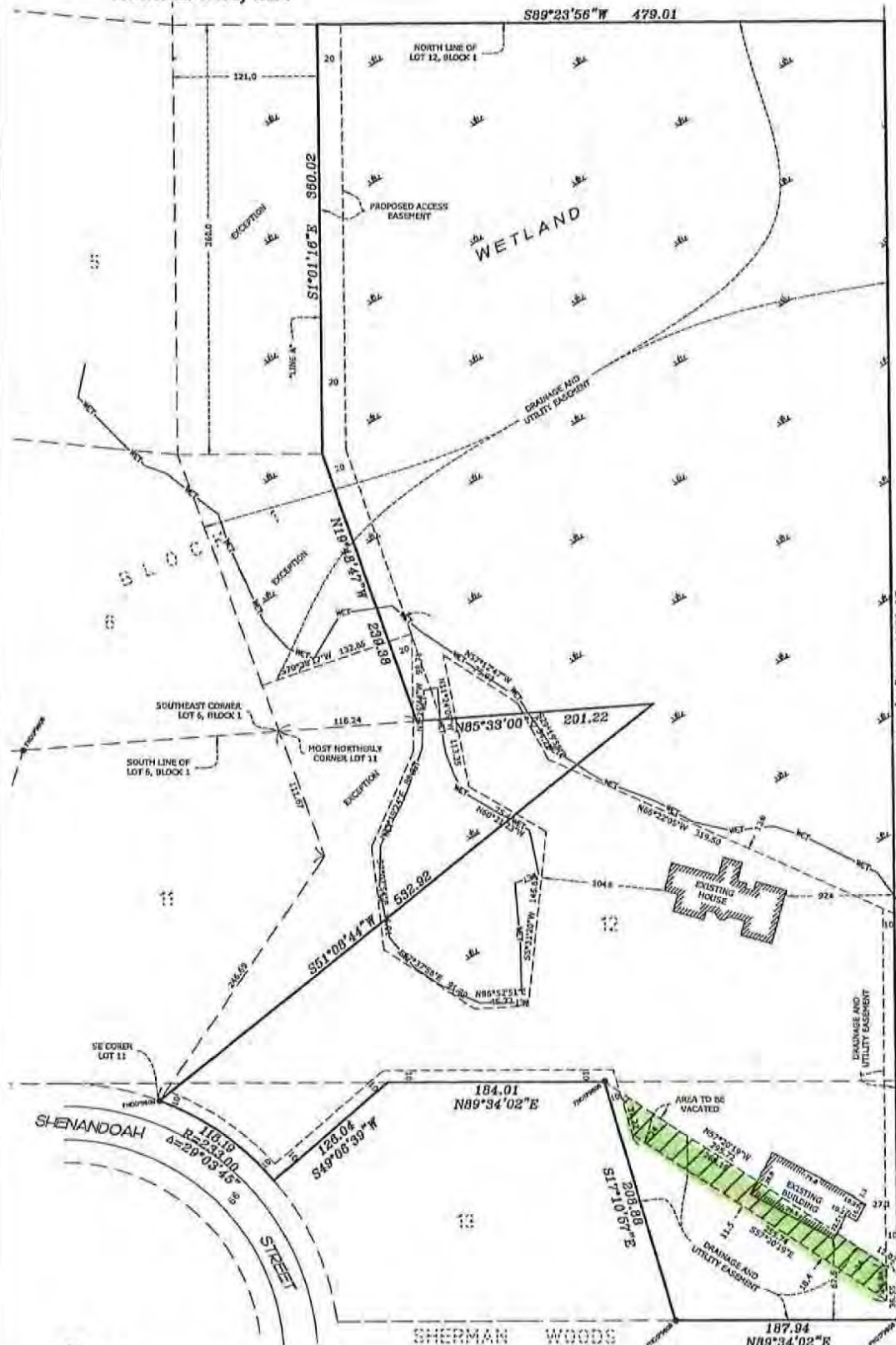
4/18/23
Date

Please attach any relevant information including maps, diagrams, and/or a descriptive narrative.

This form must be submitted to the City staff by 4:00 p.m. on the Monday prior to the Council meeting at which you will be appearing.

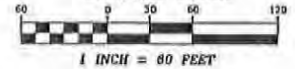
SKETCH AND DESCRIPTION / EASEMENT VACATION

~for~ TIM AND PAULA LANG
 ~of~ 3705 139TH AVE NE
 HAM LAKE, MN



NORTH

GRAPHIC SCALE



EXISTING LEGAL DESCRIPTION

Lot 12, Block 1, TIMBER WOODS, Anoka County, Minnesota EXCEPT the West 121.00 feet of the North 360.00 feet thereof, ALSO EXCEPT that part of said lot described as follows: Beginning at the most northerly corner of said Lot 11, thence North 85 degrees 33 minutes 00 seconds East, assumed bearing, along the easterly extension of the northerly line of said Lot 11, a distance of 317.46 feet; thence South 51 degrees 08 minutes 44 seconds West, a distance of 532.92 feet, to the Southeast corner of said Lot 11; thence North 33 degrees 48 minutes 41 seconds East, along the easterly line of said Lot 11, a distance of 246.69 feet; thence North 20 degrees 18 minutes 53 seconds West, along said easterly line, a distance of 111.67 feet to the point of beginning, all in TIMBER WOODS, according to the recorded plat thereof, ALSO EXCEPT that part of said Lot 12 described as follows: Beginning at the southeast corner of said Lot 6; thence North 85 degrees 33 minutes 00 seconds East, assumed bearing, along the easterly extension of the southeasterly line of said Lot 6, a distance of 116.24 feet; thence North 19 degrees 48 minutes 47 seconds West, a distance of 239.38 feet to the southeast corner of the West 121.00 feet of the North 360.00 feet of said Lot 12; thence South 89 degrees 23 minutes 55 seconds West, parallel with the north line of said Lot 12, a distance of 121.00 feet to the northeast corner of said Lot 6; thence South 20 degrees 18 minutes 53 seconds East a distance of 248.41 feet to the point of beginning, all in TIMBER WOODS, according to the recorded plat thereof.


SURVEY NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 04/14/23.
- Bearings shown are on plat datum.

EASEMENT VACATION LEGAL DESCRIPTION

That portion of the drainage and utility easement as dedicated on Lot 12, Block 1, TIMBER WOODS, and on Lot 1, Block 1, SHERMAN WOODS, Anoka County, Minnesota, described as follows:

Commencing at the southeast corner of said Lot 12, Block 1; thence on an assumed bearing of North 01 degree 01 minute 10 seconds West, along the east line of said Lot 12, Block 1, a distance of 38.55 feet; thence North 57 degrees 20 minutes 19 seconds West a distance of 12.02 feet to the west line of the east 10 feet of said Lot 12, Block 1 and the point of beginning of the easement to be vacated; thence North 57 degrees 20 minutes 19 seconds West a distance of 268.19 feet to the east line of the west 10 feet of said Lot 12, Block 1; thence South 17 degrees 10 minutes 57 seconds East along said east line a distance of 37.22 feet; thence South 57 degrees 20 minutes 19 seconds East a distance of 255.74 feet to said west line of the east 10 feet of said Lot 12, Block 1; thence North 01 degree 01 minute 10 seconds West along said west line a distance of 28.84 feet to the point of beginning.

 DENOTES AREA TO BE VACATED (6,287.24 S.F.)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 4/17/2023 License No. 41578

DRAWN BY: RAF	JOB NO: 220567ED	DATE: 06-23-22
CHECKED BY: JER	FIELD CREW: JH/M	
1	05-17-23	ADDED FIELD INFO.
2		
3		
NO.	DATE	DESCRIPTION
BY		

E.G. RUD & SONS, INC.
 EST. 1977
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701
 www.egrud.com



CITY OF HAM LAKE

MEMO

To: Mayor and Councilmembers
Denise Webster, City Administrator

From: Andrea Murff, Finance/HR Director

Subject: Approval of the American Rescue Plan Act Funding for Creek Valley Street Reconstruction Project Payment #1

Introduction/Discussion:

In March of 2021, the U.S. Congress adopted the American Rescue Plan Act (ARPA). The State of Minnesota received approximately \$377 million to allocate out to its jurisdictions with a population below 50,000. In July 2021, the City requested their \$1.776 million allotment and then was notified in December of 2021 an additional \$58,156.72 of unused funds would be distributed bringing the total amount of ARPA funds to approximately \$1.834 million. The funds can be used for costs after March 3, 2021 and must be obligated to an item by December 31, 2024 and distributed by December 31, 2026.

During the March 21, 2022 Council meeting, a resolution was passed determining the City would be using the Revenue Replacement option to expend the funds. The Revenue Replacement option has a standard allowance of \$10M or less to be used for what the City deems necessary.

As of June 28, 2023 there was approximately \$91,568 of unallocated ARPA funds for use. There currently has been \$596,057 expended from the ARPA funds with \$1.1M earmarked for the Revolving Street Fund and another \$46,459 earmarked for approved Public Works Department Expenditures and the Recodification Project for City Code.

Finance has received the first pay application from Douglas-Kerr for the Creek Valley Street Reconstruction Project and is requesting to use \$702,111.75 of the earmarked \$1.1M for the Revolving Street Fund. This leave \$397,888.25 for future pay applications for street projects.

The amount of unallocated ARPA funds would remain the same.

Recommendation:

Approval of the Resolution to allocate \$702,111.75 of ARPA funding to Douglas-Kerr for the Creek Valley Street Reconstruction Project.

RESOLUTION NO. 23-XX

CITY OF HAM LAKE

RESOLUTION APPROVING AMERICAN RESCUE PLAN ACT FUNDS FOR CREEK VALLEY STREET RECONSTRUCTION PROJECT PAYMENT #1

WHEREAS, the City of Ham Lake slated to receive a total of \$1.834M in American Rescue Plan Act (ARPA) Funding,

WHEREAS, on March 21, 2022, City Council approved to use the Revenue Replacement option for expending the funds and procedures for approving expenditures,

NOW, THEREFORE, BE IT RESOLVED that the City of Ham Lake allocates \$702,111.75 for the Creek Valley Street Reconstruction Project payment #1.

Adopted by the City Council of the City of Ham Lake this 5th day of July, 2023.

Brian Kirkham, Mayor

Denise Webster, City Clerk

RESOLUTION NO. 23-XX
RESOLUTION APPROVING CONTRIBUTIONS

WHEREAS, the City of Ham Lake is generally authorized to accept contributions of real and personal property pursuant to Minnesota Statutes Sections 412.21 and 465.03 for the benefit of its citizens, and

WHEREAS, the following persons and entities have offered to contribute the cash sums set forth below to the City:

<u>Name of Donor</u>	<u>Amount</u>
Ham Lake Chamber of Commerce <i>(AED's for Lion's Park and Ham Lake Park)</i>	\$2,500.00

WHEREAS, all such sums have been contributed to assist the City in the establishment and operation of programs within the City's corporate limits either alone or in cooperation with others, as allowed by law; and

WHEREAS, the City Council hereby finds that it is appropriate to accept the contributions offered.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, Minnesota, as follows:

1. The contributions described above are hereby accepted by the City of Ham Lake and shall be used to establish and operate programs within the City's corporate limits either alone or in cooperation with others, as allowed by law.
2. That the City Clerk is hereby directed to issue receipts to each donor acknowledging the City's receipt of the donor's contribution.

Adopted by the City Council of the City of Ham Lake this 5th day of July, 2023.

Brian Kirkham, Mayor

Denise Webster, City Clerk

LG555 Government Approval or Acknowledgment for Use of Gambling Funds

Keep this completed form attached to the LG100C in your organization's records. You do not need to submit this form to the Gambling Control Board or the Department of Revenue.

ORGANIZATION AND EXPENDITURE INFORMATION (attach additional sheets if necessary)

Organization Name: <u>Ham Lake chamber of Commerce</u>	License Number: <u>02948</u>
--	------------------------------

Address: <u>15544 Central Ave. NE</u>	City/State/Zip: <u>Ham Lake, MN 55304</u>
---------------------------------------	---

1. Amount of proposed lawful purpose expenditure: \$ 2500.00
2. Check one expenditure category:
- A. **Contribution to a unit of government**—United States, state of Minnesota, or any of its subdivisions, agencies, or instrumentalities.
 - B. **Wildlife management project or activity** that benefits the public at large, with approval by the Minnesota Department of Natural Resources (DNR).
 - C. **Grooming and maintaining snowmobile or all-terrain vehicle trails** established under Minnesota Statutes, Sections 84.83 and 84.927, including purchase or lease of equipment, with approval by the DNR. All trails must be open to public use.
 - D. **Supplies and materials for safety training and educational programs** coordinated by the DNR, including the Enforcement Division.
 - E. **Citizen monitoring of surface water quality testing** for public waters by individuals or nongovernmental organizations, with Minnesota Pollution Control Agency (MPCA) guidance on monitoring procedures, quality assurance protocols, and data management, providing that data is submitted to the MPCA.

3. Describe the proposed expenditure, including vendors:

Money used for AED's for city park

- **NO FINANCIAL OR OTHER BENEFIT:** I affirm that the contribution or expenditure does not result in any monetary, economic, financial, or material benefit to our organization, in compliance with Minn. Rule 7861.0320, subp. 17, para. C.
- **FOR DNR-RELATED PROJECTS:** I affirm that when lawful gambling funds are used for grooming and maintaining snowmobile or all-terrain vehicle trails or for any wildlife management project for which reimbursement is received from a unit of government, the reimbursement funds must be deposited in our lawful gambling account and recorded on form LG100C.
- **FOR SURFACE WATER QUALITY TESTING:** I affirm that the MPCA has been consulted in developing the monitoring plan and that the data collected will be submitted to the MPCA. Send form for signature to: Manager, Water Monitoring Section, Minnesota Pollution Control Agency, 520 Lafayette Road North, St. Paul, MN 55155. Website: www.pca.state.mn.us

<u>see below</u> Chief Executive Officer's Signature	<u>6-21-23</u> Date
Print Name	Daytime Phone

GOVERNMENT APPROVAL/ACKNOWLEDGMENT

Contribution amount: \$ _____ . Government use of contribution (check one):

- Wildlife**—DNR approves the wildlife management project or activity.
- Trails**—DNR approves the grooming/maintaining of snowmobile and/or all-terrain vehicle trails.
- Safety training**—DNR approves the supplies/materials for DNR safety training and educational programs.
- Water quality testing**—MPCA approves the surface water quality testing project.
- Donation to other unit of government** (city, county, state, federal, or any of their subdivisions) provided the funds will not be used for a pension or retirement fund.

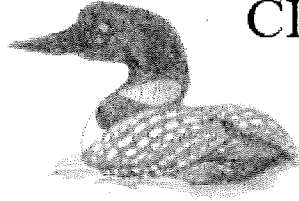
Unit of Government: <u>City of Ham Lake</u>	Phone: <u>763-434-9555</u>
---	----------------------------

Address: <u>15544 Central Ave NE</u>	City/State/Zip: <u>Ham Lake MN 55304</u>
--------------------------------------	--

By signature below, the representative of the unit of government acknowledges and approves the contribution amount for the use as listed above.

<u>Timothy B. Sofre</u> Signature	<u>Nicole Wheeler</u> Signature	<u>6-21-23</u> Date
<u>Timothy B. Sofre</u> Print Name	<u>Nicole Wheeler</u> Title	<u>Admin Assistant</u> Title

Questions? Contact the Minnesota Gambling Control Board at 651-539-1900. This form will be made available in alternative format (i.e. large print, braille) upon request. The information requested on this form will become public information, when requested by the Board, and will be used to determine your compliance with Minnesota statutes and rules governing lawful gambling activities.



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, JUNE 26, 2023

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: June 12, 2023

PUBLIC HEARINGS:

6:01 p.m. Richard and Diane Sylvester requesting Preliminary and Final Plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Toby's Trails (3 single family residential lots) located in Section 15.

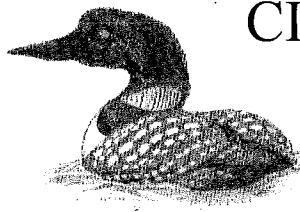
6:01 p.m. Jeff Stalberger, HFN Properties, LLC, requesting Preliminary Plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Hidden Forest East Fourth Addition (22 Single Family Residential lots and 3 out lots) in sections 24 and 25.

NEW BUSINESS:

1. Mitch Stone, Stone Construction, requesting Commercial Site Plan approval to construct a 12,992 square foot addition to Jam Hops at 1460 133rd Lane NE.

COMMISSION BUSINESS:

1. City Council Update



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, JUNE 26, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, June 26, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Dave Ringler, Jeff Entsminger, Jonathan Fisher and Erin Dixon

MEMBERS ABSENT: Commissioners Kyle Lejonvarn and Scott Heaton

OTHERS PRESENT: City Engineer Tom Collins, Building and Zoning Official Mark Jones and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Fisher, seconded by Dixon, to approve the minutes of the June 12, 2023 Planning Commission meeting as written. All present in favor, motion carried.

Chair Pogalz stated the Commission would review New Business prior to holding the public hearings.

NEW BUSINESS:

Mitch Stone, Stone Construction, requesting Commercial Site Plan approval to construct a 12,992 square foot addition to Jam Hops at 1460 133rd Lane NE

Mr. Paul Stone and Mr. Mitch Stone were present. Mr. Mitch Stone spoke on behalf of Stone Construction. Mr. Stone stated Jam Hops has operated in Ham Lake for over 26 years. Mr. Stone stated Jam Hops offers various classes and programs to kids and adults such as gymnastics, Ninja, recreational dance classes, competitive dance classes, competitive boys' and girls' gymnastics teams and an academic preschool. Mr. Stone stated Jam Hops opened their current location in 2017 and have steadily grown their business; some classes have had wait lists for two years. Mr. Stone stated the project is a 12,992 square foot addition to the existing building, which will primarily be gym space, as well as a parking lot expansion. Commissioner Entsminger asked if the septic design issues have been resolved. Mr. Stone stated they are still working with the Building Official on that. Chair Pogalz asked Engineer Collins to comment on the project.

Engineer Collins stated the current screening, consisting of pine trees, were planted along the east side of the parcel and on the south side of 133rd Lane NE where the property abuts residential zoning when the Jam Hops building was constructed. Engineer Collins stated the stormwater treatment basin that was constructed with the building has adequate capacity for the proposed expansion. Engineer Collins stated Building Official Jones is working with the Building Official from the City of Wyoming on review of the septic design. Engineer Collins stated the State Fire Marshall's office will determine if the reserve water tank and pump capacity of the existing fire suppression system are sufficient for the new addition. Chair Pogalz asked if the screening that is currently in place will remain. Engineer Collins stated it would. Building Official Jones stated the current screening is insufficient and needs to be improved to meet the requirements of Article 11-1853.A. Commissioner Dixon completed the inspection; a copy which is on file. Commissioner Dixon stated the trees on the north side of the property have large gaps between them and no trees are currently in place on the east side of the property. Commissioner Dixon stated Building Official Jones has stated some residents to the north of Jam Hops have complained about headlights shining into their houses when vehicles are departing from Jam Hops in the evening. Chair Pogalz asked Commissioner Dixon if screening was discussed with the applicant. Commissioner Dixon stated she did discuss screening requirements with Mr. Mitch Stone. Mr. Mitch Stone and Mr. Paul Stone asked Building Official Jones to clarify what is needed for screening. Building Official Jones stated coniferous trees should be planted staggered in two rows so that they become intermingled as they grow; the trees that get planted must be conifers that are at least five feet high. Building Official Jones stated the applicant could also put up a fence on the east and north sides of the property; the fence height must be at least six feet high. Building Official Jones stated the screening plan will not hold up the issuance of a building permit but a screening plan must be provided. Chair Pogalz asked Building Official Jones if anything needed to be stated in the motion tonight about the septic design. Building Official Jones stated the motion should include that no building permit will be issued until the septic design has been approved by the City of Wyoming Building Official. **Motion by Dixon, seconded by Pogalz, to recommend approval for Stone Construction to build a 12,992 square foot addition to the existing Jam Hops building located at 1460 133rd Lane NE subject to providing a screening plan that meets the approval of the Building Official, submitting a septic design that can accommodate the occupancy load as required by Minnesota Subsurface Sewage Treatment System Program (SSTS) rules (no building permit will be issued until the septic design has been approved by the City of Wyoming Building Official), meeting the requirements of the City Engineer and the Building Official and meeting all City, County and State requirements. All present in favor, motion carried. This application will be placed on the City Council's Wednesday, July 5, 2023 agenda.**

PUBLIC HEARING:

Richard and Diane Sylvester requesting Preliminary and Final Plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Toby's Trails (3 single family residential lots) located in Section 15

Richard and Diane Sylvester were present. Mrs. Sylvester stated they are creating this subdivision to provide their daughters with lots to build houses on. Chair Pogalz asked

Engineer Collins to comment. Engineer Collins stated the property is currently zoned Residential Single Family (R-1) and Rural Residential Single Family (R-A); the entire plat will be rezoned to R-1. Engineer Collins stated this is a minor plat; it does not require the existing driveway for Lot 1 to be paved nor does the driveway have to outlet onto an improved road. Engineer Collins stated per Article 10-430E.2 of the City Code, the existing Lot 1 gravel driveway will have to be paved prior to approval of any future building permits. Engineer Collins stated future subdivision of Lot 1 is anticipated that could create up to four more lots; any future subdivision will require the upgrade of Naples Street NE from Constance Boulevard NE to the southeast plat border. Engineer Collins stated the existing septic system on Lot 1 requires a compliance inspection per Article 11-450.4.c. Engineer Collins stated easements along Constance Boulevard NE are larger than the standard ten-foot easement due to wetland buffers; an encroachment agreement is required for Lots 2 and 3. Engineer Collins stated a development agreement is not required as the plat will be utilizing existing infrastructure; a \$200 drainage fee and \$2500 parkland dedication fee will need to be paid for each lot. Engineer Collins stated the thoroughfare plan shows East Lake Netta Drive NE extending to the south of Constance Boulevard NE; the applicants have provided 33' of right-of-way in the northwest corner of the plat. Commissioner Entsminger completed the inspection; a copy which is on file. Commissioner Entsminger stated "it's land". Commissioner Entsminger spoke with the applicants about Engineer Collins memo; the applicants understand the requirements of the plat.

Chair Pogalz opened the public hearing at 6:18 p.m. and asked for public comment.

Kathy Johnson, 16130 Naples Street NE. Mrs. Johnson stated she would like information on the East Lake Netta Drive NE road extension to the south and southwest. Engineer Collins stated the City sees future development potential for the property directly west of the Sylvester's property. Engineer Collins stated Anoka County has specific intersection spacing guidelines and will want a future extension of East Lake Netta Drive NE to be aligned with the existing road to the north; the road will extend directly south of Constance Boulevard NE and will turn to the west. Mrs. Johnson asked if this was being pursued because the City doesn't want to improve Naples Street NE for Mr. Glen Haag. Engineer Collins stated the dedication of the right-of-way by the Sylvester's will end in a small cul-de-sac on the property directly west of the Sylvester property for anticipated future development. Engineer Collins provided additional explanation on the thoroughfare plan to Mrs. Johnson and stated any future development that would occur on the Haag property would be accessed via Naples Street NE.

Chair Pogalz closed the public hearing at 6:21 p.m.

Motion by Entsminger, seconded by Fisher, to recommend approval of the request of Richard and Diane Sylvester for Preliminary and Final Plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Toby's Trails (3 single family residential lots) located in Section 15 subject to removal/relocation of portions of the existing gravel driveway that encroaches into the ten-foot drainage and utility easement, having a compliance inspection performed on the existing septic system on Lot 1, signing an

encroachment agreement for Lot 2 and Lot 3 driveways encroaching into the drainage and utility easement adjacent to Constance Boulevard NE, paving the existing gravel driveway of Lot 1 before any future building permits are issued on that parcel, upgrading Naples Street NE from Constance Boulevard NE to the southeast plat border if the property is subdivided again in the future, meeting the requirements of the City Engineer, and meeting all City, State and County requirements. All present in favor, motion carried. *This application will be placed on the City Council's Wednesday, July 5, 2023 agenda.*

Jeff Stalberger, HFN Properties, LLC, requesting Preliminary Plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Hidden Forest East Fourth Addition (22 Single Family Residential lots and 3 out-lots) in Sections 24 and 25

Mr. Jeff Stalberger, Sr. Mr. Jeff Stalberger, Jr. and Mr. Ryan Stalberger were present. Mr. Stalberger Sr. spoke on behalf of the project. Mr. Stalberger stated this plat will have 22 residential lots. Mr. Stalberger stated some cul-de-sacs have been pulled back from the temporary dead ends to minimize the impact to the wetlands and to avoid impacting septic areas or driveways of parcels near those areas. Mr. Stalberger stated there are three out-lots (A, B, C). Mr. Stalberger stated those out-lots were created with future development in mind; the northern most out-lot will be deeded to the property owner to the northeast so the land owner has a connection to future development and the other two out-lots will be deeded back to the Knoll family. Mr. Stalberger stated out-lot A from the Hidden Forest East Third Addition is included in the Hidden Forest East Fourth Addition; parkland was dedicated with the third addition so the three lots in the fourth addition, that are within former out-lot A of the third addition, will not be required to pay a parkland dedication fee; all other lots within the fourth addition will be required to pay a parkland dedication fee. Chair Pogalz asked Engineer Collins to comment on the plat. Engineer Collins stated parkland dedication fees will need to be paid. Engineer Collins stated the developer is considering another phase for this development in the future which would be adjacent to Lexington Avenue NE; the City will determine if additional parkland will be needed at that time. Engineer Collins stated an encroachment agreement will be needed for Lot 10, Block 1, due to a septic line crossing a drainage and utility easement and a FEMA Letter of Map Amendment will be required for Lots 1, 2, 3, 5, 6, 7 of Block 1. and Lot 2 and Lot 3 Block 3. Engineer Collins stated a rare species survey required by the DNR Natural Heritage Review found the presence of threatened black huckleberry plants; a takings permit will need to be obtained from the DNR to remove the black huckleberry plants. Engineer Collins stated the Coon Creek Watershed District (CCWD) has approved the project; the developer must provide proof of the NPDES/MPCA Construction Stormwater permit, submit verification of the Wetland Bank Credit Withdrawal and submit the DNR Takings Permit prior to obtaining the CCWD permit. Engineer Collins stated a temporary cul-de-sac right-of-way on Stutz Street NE is proposed to be vacated in the yard of Lot 1, Block 2; the vacation process must be completed and recorded before the plat is recorded. Commissioner Fisher completed the inspection; a copy which is on file. Commissioner Fisher stated the land the development will be on will compliment the existing developments well. Chair Pogalz asked what future phase will connect with Lexington Avenue NE as some residents in the existing developments have expressed concern about having only one street for ingress/egress.

Mr. Stalberger stated he hopes the next phase will include ingress/egress to Lexington Avenue NE.

Chair Pogalz opened the public hearing at 6:32 p.m. and asked for public comment; with there being none, he closed the public hearing at 6:32 p.m.

Motion by Fisher, seconded by Entsminger, to recommend approval of the request Jeff Stalberger, HFN Properties, LLC, for Preliminary Plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Hidden Forest East 4th Addition (22 Single Family Residential lots and 3 out-lots) in Sections 24 and 25 subject to meeting the requirements of the City Engineer as noted in his June 22, 2023 memo, and meeting all City, State and County requirements. All present in favor, motion carried. *This application will be placed on the City Council's Wednesday, July 5, 2023 agenda.*

COMMISSION BUSINESS:

City Council Update

Chair Pogalz stated the City Council concurred with the recommendation to approve the Preliminary and Final Plat of the Hentges Addition. Commissioner Fisher will attend the July 5, 2023 City Council meeting.

ADJOURNMENT:

Motion by Dixson, seconded by Fisher, to adjourn the Planning Commission meeting at 6:36 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 2/28

Date of Receipt 2/21/23
Receipt # _____

Meeting Appearance Dates:

Planning Commission 6/26-23

City Council 7/5/23

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Site
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Toby's Trails

Address/Location of property: 16220 Naples St Ham Lake Mn

Legal Description of property: SE 1/4 of NE 1/4 of Sec 15 Township 32 Range 23

PIN # 1532-2314-0004 Current Zoning R1+R1 Proposed Zoning R1

Notes: 3 lot development

Applicant's Name: Dick Sylvester & Diane Sylvester

Business Name: _____

Address 16220 Naples St. NE

City Ham Lake

State MN

Zip Code 55304

Phone 763.242.8866

Cell Phone 763.229.1247

Fax _____

Email address Dick.Sylvester@hotmail.com Diane.Sylvester@hotmail.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 2/15/2023

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 6/26/23
City Council _____

PROPERTY TAXES CURRENT YES NO

ORDINANCE NO. 23-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Toby's Trails).

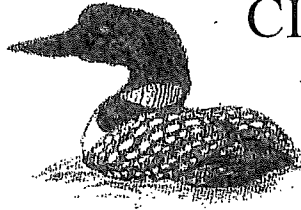
PID# 15-32-23-14-0004

SE1/4 OF NE1/4 SEC 15 32 23 EX E 657.04 FT OF S 663 FT OF SD 1/4,1/4,
ALSO EX E 373 FT OF N 320 FT OF S 983 FT OF SD 1/4,1/4, (ALL DIST
AS MEAS ALG & PRL/W S & E LINES THEREOF); ALSO EX RD; SUBJ
TO E ASE OF REC

**Presented to the Ham Lake City Council on July 5, 2023 and adopted by a unanimous vote
this ____ day of _____, 2023.**

Brian Kirkham, Mayor

Denise Webster, City Clerk



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, June 26, 2023 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Richard and Diane Sylvester requesting preliminary plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) the development of Toby's Trails, a minor plat (3 residential lots), in Section 15 a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

PID# 15-32-23-14-0004

SE1/4 OF NE1/4 SEC 15 32 23 EX E 657.04 FT OF S 663 FT OF SD 1/4,1/4, ALSO EX E 373 FT OF N 320 FT OF S 983 FT OF SD 1/4,1/4, (ALL DIST AS MEAS ALG & PRLW S & E LINES THEREOF); ALSO EX RD; SUBJ TO E ASE OF REC

At such hearing both written and oral comments will be heard.

DATED: June 16, 2023

Jennifer Bohr
Building and Zoning Clerk
City of Ham Lake

Memorandum

Date: June 22, 2023
To: Planning Commissioners
From: Tom Collins, City Engineer *TPC*
Subject: Toby's Trails Minor Plat

Introduction:

The Preliminary and Final Plat for Toby's Trails subdivides the 25.78-acre 16220 Naples Street / 15-32-23-14-0004 parcel into three lots. The existing house and accessory building are located on proposed Lot 1. The parcel is currently split zoned, with Rural Single Family Residential (R-A) over the southerly portion and Single Family Residential (R-1) over the northerly portion. The entire parcel would be zoned R-1 following final plat approval. A 700-scale zoning map, 400 scale half-section map and a 400 scale aerial photo are attached.

Discussion:

The Final Plat, Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan and Livability Plan and Chart received May 5th, the Utility Plan & Details and SWPPP received May 26th and the Stormwater Drainage Report received June 15th address the prior review comments. The proposed subdivision falls under the Minor Plat portion of City Code Section 10-101, which does not require that the existing driveway access a paved road.

The existing house and accessory building are to remain on Lot 1. The existing 3,200 square foot accessory building is under the 9-370.1 maximum allowed for a 10+ acre lot of 5,000 square feet. A compliance inspection will be required for the existing septic system per 11-450.4c of City Code. Per 10-430E.2 of City Code, the existing Lot 1 gravel driveway will have to be paved prior to consideration of any future building permits. That portion of the existing Lot 1 gravel driveway that encroaches into the 10-foot drainage and utility easement will need to be removed/relocated.

The drainage and utility easement over the northerly portion of Lot 2 and Lot 3 extends beyond the standard 10-foot drainage and utility easement to contain the 15-foot setback from the wetland and the stormwater infiltration basin. An Encroachment Agreement will be required for the Lot 2 and Lot 3 driveways encroaching into the drainage and utility easement adjacent to Constance Boulevard.

Per the attached 600-scale Thoroughfare Map, it is anticipated that there will be a future road extension of East Lake Netta Drive to the south of Constance Boulevard. The Final Plat includes 33-feet of right-of-way dedication, tapering to the southwest, in the northwest portion of Lot 1.

Because the minor plat is utilizing the existing infrastructure, and no construction is required other than individual lot development, a Development Agreement will not be required. The developer will need to pay a \$200 drainage fund contribution along with a \$2,500 parkland dedication fee for

each of the three lots. It is anticipated that there will be a future subdivision to create up to four new lots, similar to what was approved at the July 18, 2022 City Council meeting (attached), which would require the upgrade of Naples Street from Constance Boulevard to the southeast plat border.

The Soil Boring Test Report confirms that there is adequate area for a primary and secondary septic system for all three lots. The attached April 10th Tradewell septic certification certifies that the lots will support two standard septic systems in accordance with Minnesota Rules 7080.

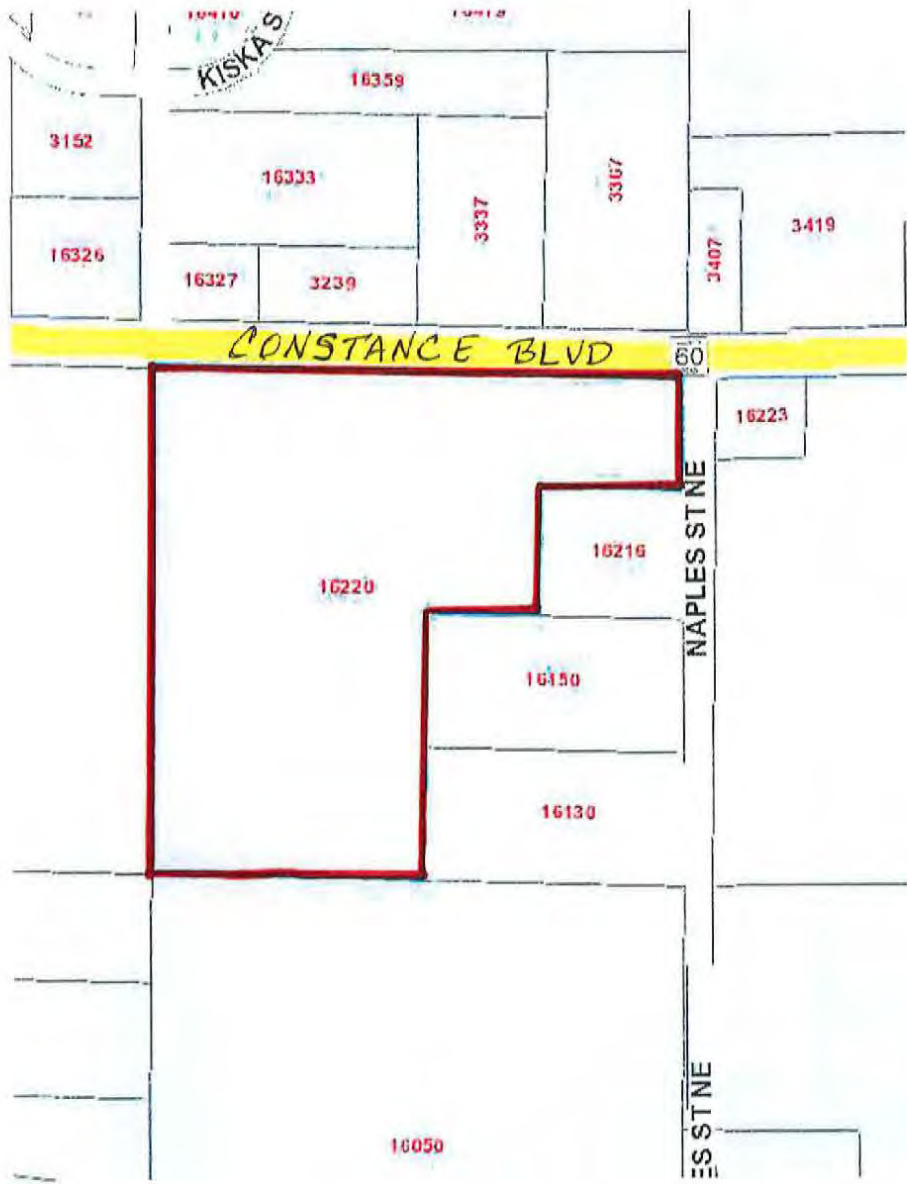
The Coon Creek Watershed District (CCWD) staff is recommending conditional approval at their June 26th Board of Directors meeting, per the attached June 12th email. The CCWD permit will be issued once the \$3,300 escrow is paid.

The attached April 17th Minnesota DNR Natural Heritage review for potential impacts to state-listed species and other rare features found that Blanding's turtles have been reported in the vicinity of the proposed project and may be encountered on site. If Blanding's turtles are encountered during construction the contractor is to move them by hand out of harm's way. Otherwise, the turtles are to be left undisturbed.

Per the attached March 21st Anoka County Transportation Division review letter, the driveways for Lot 2 and Lot 3 are approved; right of access should be dedicated to Anoka County except for the two proposed driveway access points. The right of access is the right of ingress and egress from abutting land to a public street. Per the attached March 22nd email, the County is not demanding right of access over Lot 1 because of the anticipated future development. The Final Plat only dedicates right of access to the County over Lot 2 and Lot 3, which excludes a 50-foot wide opening for each driveway.

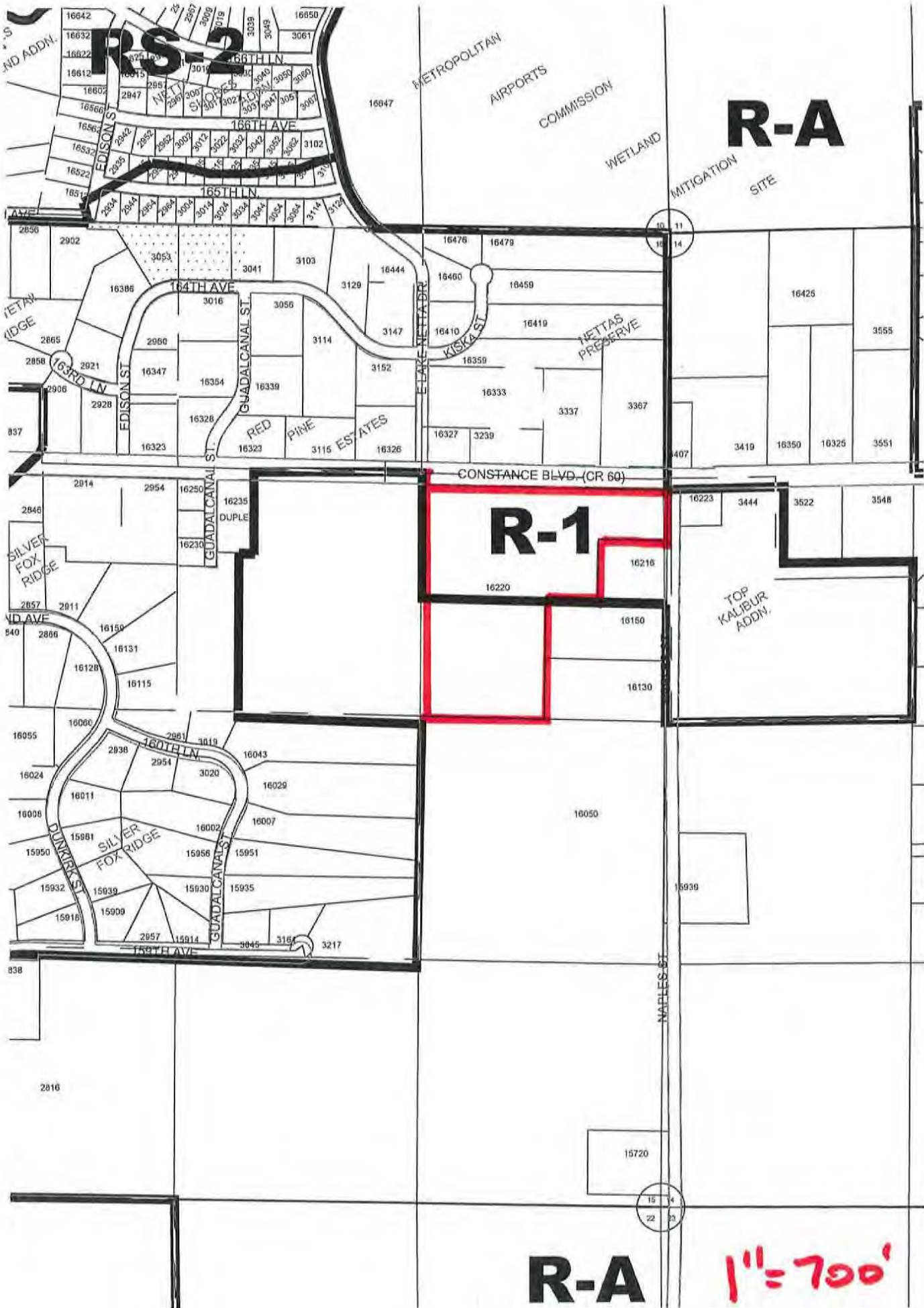
Recommendations:

It is recommended that the Preliminary Plat and Final Plat for Toby's Trails be recommended for approval. Approval is contingent on removal of that portion of the existing gravel driveway that encroaches into the 10-foot drainage and utility easement.



16220 Naples Street NE



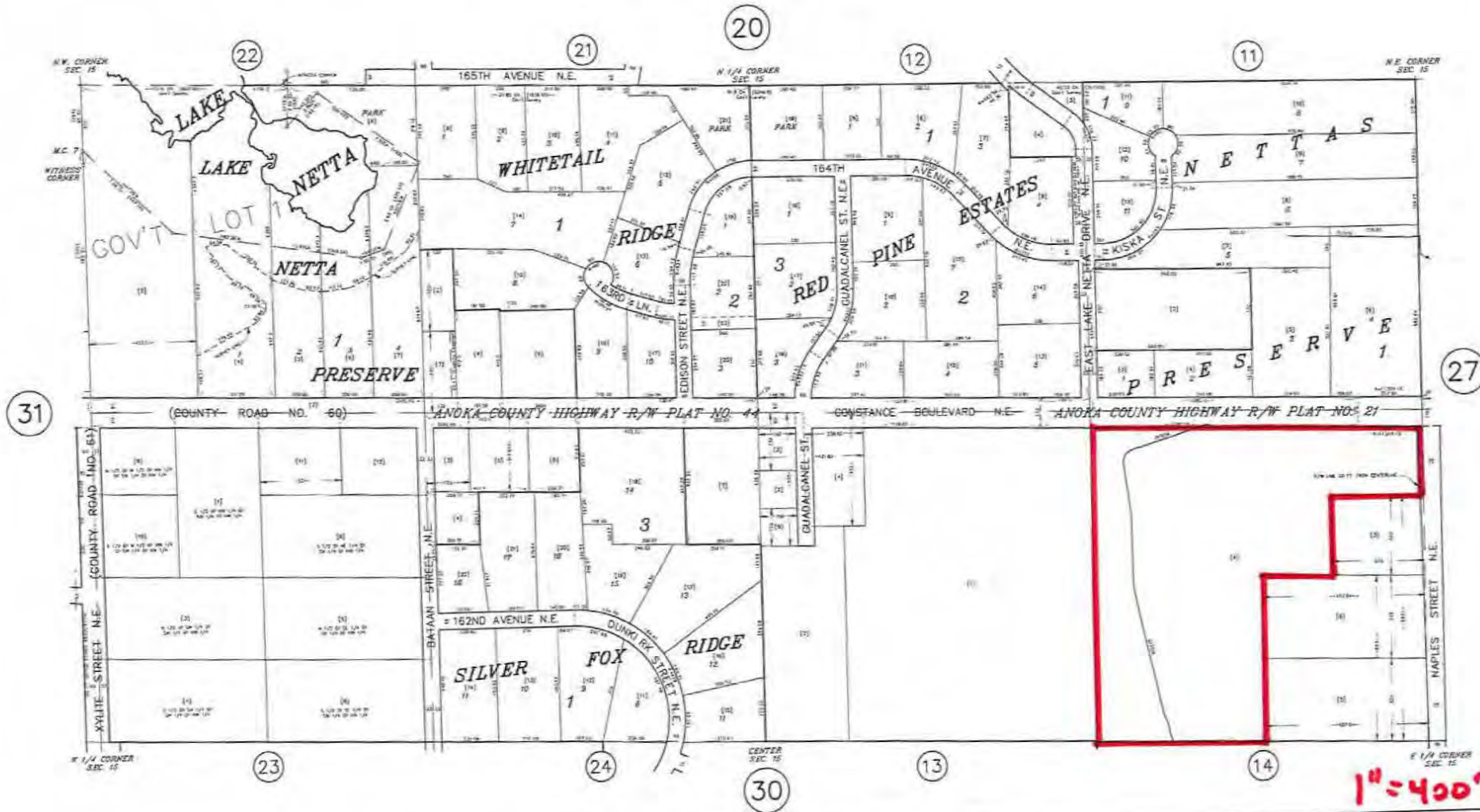


R-A

1" = 700'

N 1/2 SECTION 15, T. 32, R. 23

CITY OF HAM LAKE



1" = 400'

QUARTER QUARTER INDEX

21	21	12	11
23	24	12	14
22	31	42	41
23	34	42	44

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

System Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS (I)
EXAMPLE OF RIN NUMBER: 12-32-23-34-091

THIS IS A COMPILED RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

ANOKA COUNTY SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200



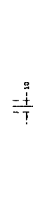


1"=400'

City of Ham Lake
County of Anoka
Sec. 15, T32, R23

TOBYS TRAILS

DIMENSIONS AND UTILITY LOCATIONS ARE SHOWN THIS PLAN TO SCALE.



THIS PLAN IS A PRELIMINARY PLAN OF A SUBDIVISION OF LAND AND IS NOT TO BE USED FOR ANY PURPOSES UNLESS OTHERWISE SHOWN.

NORTH LINE OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

WEST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

EAST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

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SOUTH LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

WEST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

EAST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

SOUTH LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

WEST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

EAST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

SOUTH LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

WEST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

EAST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

SOUTH LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

WEST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

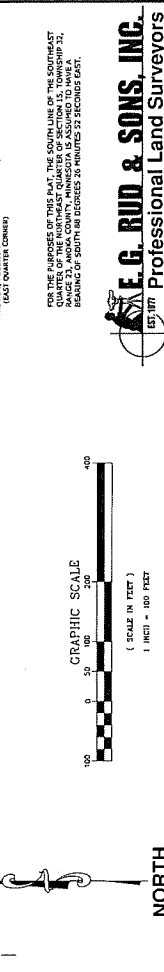
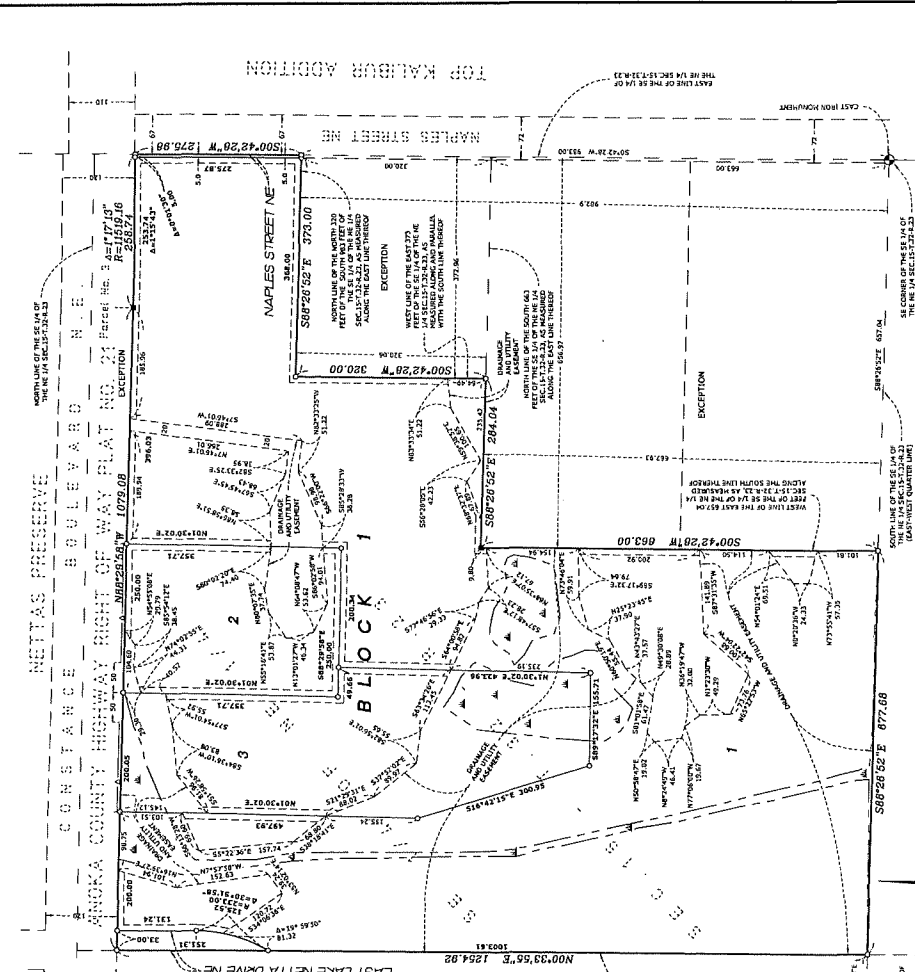
EAST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

SOUTH LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

WEST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

EAST LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23

SOUTH LINE OF THE SE 1/4 OF THE SE 1/4 OF THE NE 1/4 SEC. 15, T32, R23



FOR THE PURPOSES OF THIS PLAN, THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 32, RANGE 23, RANGE 23 NORTH 90 DEGREES 30 MINUTES 32 SECONDS EAST.

E. G. RUD & SONS, INC.
Professional Land Surveyors

WILLIAM M. HARRIS, JR. (REGISTERED SURVEYOR) AND DAVID K. SYLVESTER, JR. (REGISTERED SURVEYOR) ARE THE SURVEYORS FOR THIS PLAN. THE SURVEY WAS COMPLETED ON MAY 4, 2018. UNDER AGREEMENT DATED MAY 4, 2018, DAVID K. SYLVESTER, JR. IS THE SURVEYOR OF RECORD FOR THIS PLAN. THE SURVEY WAS COMPLETED ON MAY 4, 2018. UNDER AGREEMENT DATED MAY 4, 2018, DAVID K. SYLVESTER, JR. IS THE SURVEYOR OF RECORD FOR THIS PLAN.

The Southeast Quarter of the Northeast Quarter of Section 15, Township 32, Range 23, Anoka County, Minnesota.

EXCEPT THE EAST 653.04 FEET OF THE SOUTH 320 FEET OF SAID QUARTER QUARTER, AS MEASURED ALONG AND PARALLEL WITH THE SOUTH AND EAST LINES OF SAID QUARTER QUARTER.

AND EXCEPT THE EAST 370 FEET OF THE NORTH 320 FEET OF SAID QUARTER QUARTER, AS MEASURED ALONG AND PARALLEL WITH THE SOUTH AND EAST LINES OF SAID QUARTER QUARTER.

AND EXCEPT PARCEL NO. 3, ANOKA COUNTY HIGHWAY RIGHT-OF-WAY, THIS PLAN, ACCORDING TO THE MAP OR PLAN THEREON ON THE AND OF RECORD IN THE OFFICE OF THE ANOKA COUNTY REGISTER, ANOKA COUNTY, MINNESOTA.

WHERE SHOWN THIS PLAN TO BE THE PUBLIC OR PUBLIC USE OF THE PUBLIC, WAYS AND OTHER EASEMENTS AS SHOWN ON THIS PLAN. ALSO DESIGNATING TO THE CITY OF ANOKA THE TOP OF ACCESS GRADATION BELOWHILL AS SHOWN ON THIS PLAN.

IN WITNESS WHEREOF, I, DAVID K. SYLVESTER, JR., AS SURVEYOR, HAVE SET MY HAND AND SEAL OF OFFICE AT ANOKA, MINNESOTA, THIS 4TH DAY OF MAY, 2018. DAVID K. SYLVESTER, JR., SURVEYOR.

IN WITNESS WHEREOF, I, WILLIAM M. HARRIS, JR., AS SURVEYOR, HAVE SET MY HAND AND SEAL OF OFFICE AT ANOKA, MINNESOTA, THIS 4TH DAY OF MAY, 2018. WILLIAM M. HARRIS, JR., SURVEYOR.

DAVID K. SYLVESTER, JR. (Signature)

WILLIAM M. HARRIS, JR. (Signature)

STATE OF MINNESOTA

COUNTY OF ANOKA

DAVID K. SYLVESTER, JR. (Signature)

WILLIAM M. HARRIS, JR. (Signature)

STATE OF MINNESOTA

COUNTY OF ANOKA

DAVID K. SYLVESTER, JR. (Signature)

WILLIAM M. HARRIS, JR. (Signature)

STATE OF MINNESOTA

COUNTY OF ANOKA

DAVID K. SYLVESTER, JR. (Signature)

WILLIAM M. HARRIS, JR. (Signature)

STATE OF MINNESOTA

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DAVID K. SYLVESTER, JR. (Signature)

WILLIAM M. HARRIS, JR. (Signature)

STATE OF MINNESOTA

COUNTY OF ANOKA

DAVID K. SYLVESTER, JR. (Signature)

WILLIAM M. HARRIS, JR. (Signature)

STATE OF MINNESOTA

COUNTY OF ANOKA

DAVID K. SYLVESTER, JR. (Signature)

WILLIAM M. HARRIS, JR. (Signature)

STATE OF MINNESOTA

COUNTY OF ANOKA

DAVID K. SYLVESTER, JR. (Signature)

WILLIAM M. HARRIS, JR. (Signature)

STATE OF MINNESOTA

COUNTY OF ANOKA

PRELIMINARY COPY

LEGEND

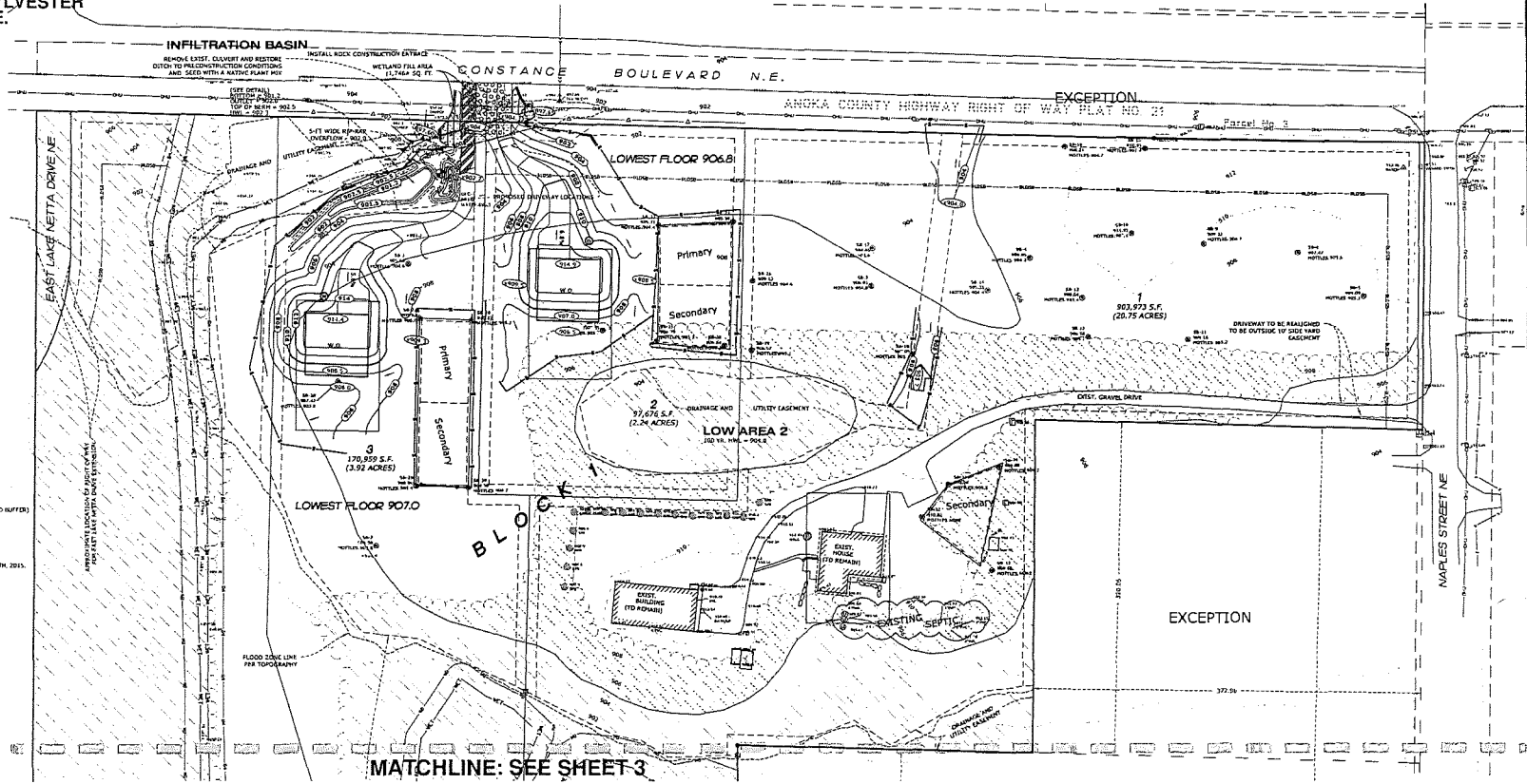
- DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE SET, MARKED RLS NO. 41578
- DENOTES FOUND 1/2 INCH IRON PIPE, CAP NOT LEGIBLE
- ◐ DENOTES ANOKA COUNTY SECTION MONUMENT, AS NOTED
- ◑ DENOTES ANOKA COUNTY HIGHWAY MONUMENT
- ◒ DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY
- ◓ DENOTES MET LAND AS DELINEATED BY ACCORDION ENVIRONMENTAL IN SEPTEMBER OF 2021

STATE OF MINNESOTA
COUNTY OF ANOKA
This instrument was acknowledged before me this _____ day of _____, 20____, by Jason E. Rud.
I, _____, County, Minnesota
My Commission Expires: _____

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA
This plan of TOBYS TRAILS was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this _____ day of _____, 20____, and said plan is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.
CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA
By _____ Mayor
By _____ Clerk
COUNTY SURVEYOR
I hereby certify that in accordance with Minnesota Statutes, Section 505.031, Subd. 11, this plan has been reviewed and approved.
This _____ day of _____, 20____.
David K. Sylvester
Anoka County Surveyor
COUNTY AUDITOR/TREASURER
I hereby certify that this plan of TOBYS TRAILS was filed in the office of the County recorder/register of titles for public record on this _____ day of _____, 20____, at _____, _____, and was duly recorded in Document Number _____ of _____ County.
County Recorder/Register of Titles
By _____ Deputy

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ TOBY'S TRAILS
 ~for~ RICHARD AND DIANE SYLVESTER
 16220 NAPLES STREET N.E.
 HAM LAKE, MN 55304
 (763) 229-1247



LEGEND

- DENOTES SOIL BORING BY AUGUST GEOTECHNICAL SERVICES
- DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- DENOTES EMBANKMENT OVERFLOW ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WETLAND
- DENOTES EXISTING 3 FOOT CONTOUR
- DENOTES PROPOSED 3 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY JACOBSON ENVIRONMENTAL, P.L.L.C.
- DENOTES GASPIVET LINE
- DENOTES SEWER LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SALT / TREE PROTECTION FENCE
- DENOTES 3/4\"

FLOODPLAIN FILL NOTES

- 1. FLOODPLAIN FILL TO BE PLACED IN WETLAND AREAS
- 2. FLOODPLAIN FILL TO BE PLACED IN WETLAND AREAS
- 3. FLOODPLAIN FILL TO BE PLACED IN WETLAND AREAS

EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO ROUGH GRADING, INSTALL SALT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SALT STOP FENCE SHALL BE INSTALLED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DETAIL NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROTECT ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
3. AS EACH AREA OUTSIDE THE SHELTER IS GRADED, PROPOSED SALT STOP FENCE, SALT AND READY APPLICATOR WITH A STRAIGHT SET DISC IN TANK SHALL BE INSTALLED AFTER ROUGH GRADING.
4. MAINTAIN AND REPAIR SALT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SALT LIMITS, WIRE FENCE IS ESTABLISHED).
5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SCHEDULING.

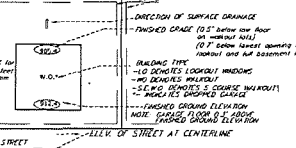
LOT GRADING NOTES

- 1. PAID CONTOURS SHOWN ARE FOR CONSTRUCTION PURPOSES.
- 2. SLOPE PROTECTION FENCES TO BE INSTALLED AT CONSTRUCTION LEVEL LINE.
- 3. SLOPE PROTECTION FENCES TO BE INSTALLED AT CONSTRUCTION LEVEL LINE.
- 4. SLOPE PROTECTION FENCES TO BE INSTALLED AT CONSTRUCTION LEVEL LINE.

TREE PROTECTION NOTES

- 1. TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE GRADING ACTIVITY.
- 2. SLOPE PROTECTION FENCES TO BE INSTALLED AT CONSTRUCTION LEVEL LINE.
- 3. SLOPE PROTECTION FENCES TO BE INSTALLED AT CONSTRUCTION LEVEL LINE.
- 4. SLOPE PROTECTION FENCES TO BE INSTALLED AT CONSTRUCTION LEVEL LINE.

TYPICAL LOT



NOTES

- 1. BEARINGS SHOWN ARE ON ANJKA COUNTY DATUM.
- 2. TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 3. CONTOUR SHOWN ARE PER FINISHED LEAN DISTRIBUTION AND FILL VERIFICATION.
- 4. ALL PATCH POINTS AND BARRIERS PATCHES TO BE SANITIZED AT FINAL SOFT.
- 5. ALL AREAS TO BE SECURED WITHIN 7 DAYS FOR PROTECTION OF ROUGH GRADING OR INACTIVITY.
- 6. SEE UTILITY PLAN FOR STORM SEWER, SIPS, INVERTS, AND SIZES.
- 7. PROVIDE GLASS TO RUMUP WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6\"

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

JASON E. RUD
 Date: 05/02/2023 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	05/02/23	CITY OF WATERSHED COMMISSION	MMB
2	05/02/23	WATERSHED COMMISSION	MMB
3			

LOADING CALCULATIONS AND STORM SEWER DESIGN BY FLOW ENGINEERING, INC.

FLOW ENGINEERING, INC.
 8778 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014

PHONE: (855) 381-8210
 FAX: (651) 361-8701

DATE: 05/03/2023 LIC. NO. 43963

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 961-8200 Fax (651) 361-8701

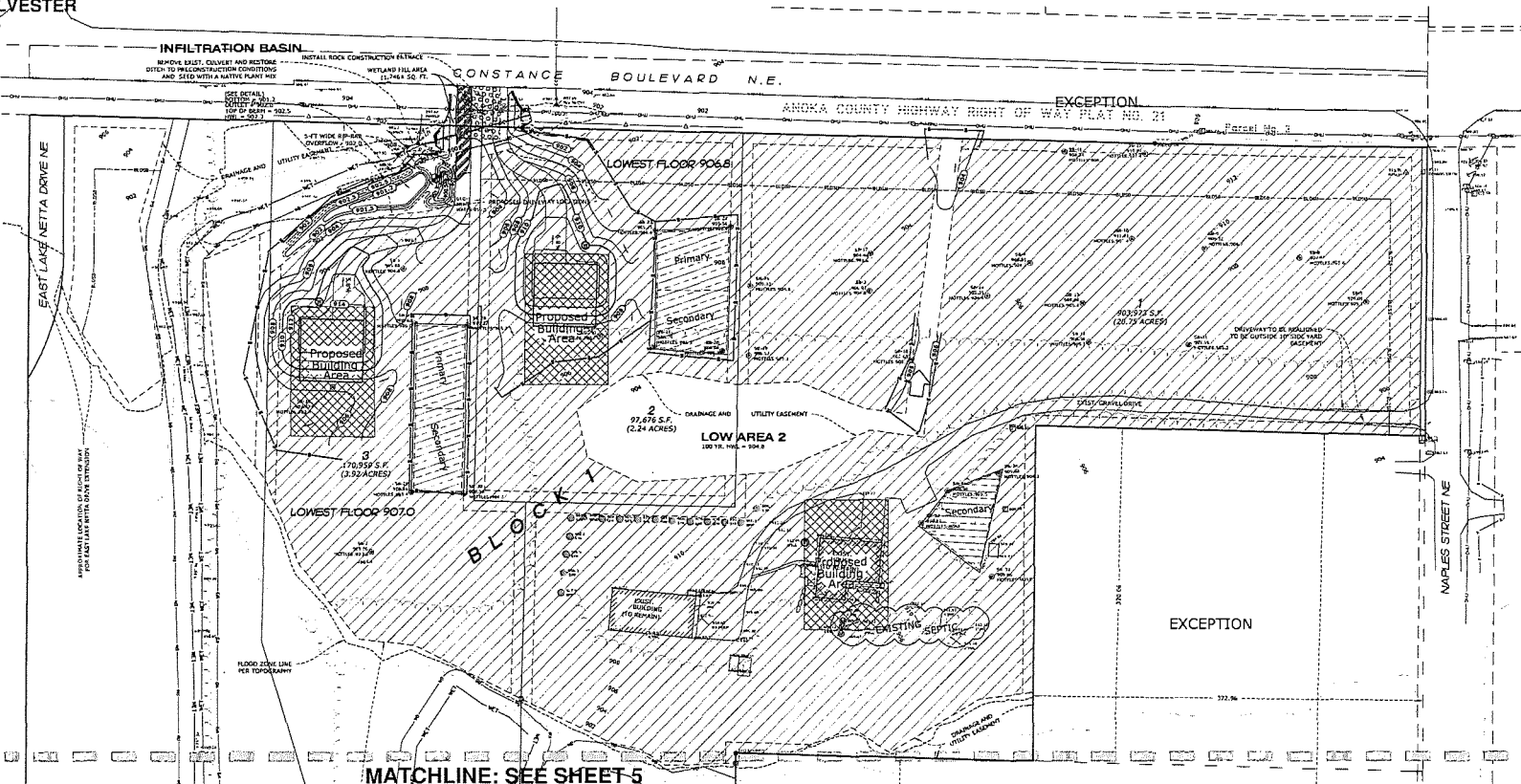


LIVABILITY PLAN

~of~ TOBY'S TRAILS
 ~for~ RICHARD AND DIANE SYLVESTER
 16220 NAPLES STREET N.E.
 HAM LAKE, MN 55304
 (763) 229-1247

LEGEND

- ⊙ DILUTES SOIL BORING BY TRADITIONAL SOIL TESTING
- ▲ DENOTES EXISTING SPOT ELEVATION
- △ DENOTES WETLAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELIMITED BY JACKSON COUNTY/STATE LINE
- DENOTES EASEMENT LINE
- DENOTES SEPTIC LINE
- DENOTES PROPOSED SEPTIC SYSTEM
- DENOTES PROPOSED DAILY FLOOD PROTECTION FENCE
- DENOTES DIRECTION OF DRAINAGE
- ⊙ DENOTES PROPOSED WELLS LOCATION
- ⊙ DENOTES WETLAND VEGETATIVE BUFFER SIGN
- ⊙ DENOTES WETLAND VEGETATIVE BUFFER SIGN
- ⊙ DENOTES PROPOSED BUILDING PAD AREA
- ⊙ DENOTES PROPOSED YARD AREA
- ⊙ DENOTES PROPOSED SEPTIC AREA
- ⊙ DENOTES 12' POND ACCESS
- ⊙ DENOTES WETLAND FILL AREA



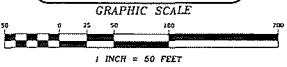
MATCHLINE: SEE SHEET 5

POUNDING CALCULATIONS AND STORM SEWER DESIGN BY FLOW ENGINEERING, INC.

FLOW ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (651) 281-8210
 FAX: (651) 281-8701

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Gunkel
 ADAM GUNKEL
 DATE: 05/03/2023 LIC. NO. 43963



NOTES

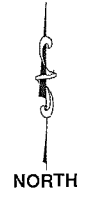
- BOUNDARIES SHOWN ARE ON ANOKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE, PER DISHMAN.
- 2 FOOT CONTOUR INTERVAL SHOWN AS
- CONTOURS SHOWN ARE PER HICLOSUS LINE DISTRIBUTION AND FIELD VERIFICATION
- ALL MATCH POINTS AND PAVEMENT FINISHES TO BE SAVED AT FULL DEPTH
- TURF AREA TO BE SECTED WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY
- SEE UTILITY PLAN FOR OTHER SEWER, GAS, JUNKETS, AND SIZES
- ALL FIVE AREAS PROVIDED WITH TRASH GUARDS
- PROVIDE CLASS III RIBBAY WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON RIBBAY
- OR WETLAND BUFFERS AND STEEP WITH SEE PER HIC AUGUST 33-761.
- IF DRAINAGE IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MIN DRAINAGE PERMIT AND WILL PROVIDE WELL PUMP LOCATIONS, RATE, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO OWNER 3 DAYS PRIOR TO ANY DRAINAGE OPERATIONS
- CONTRACTORS MUST BE PROVIDED WITH DAILY FACILITY SHEETS ON BOUNDARIES THIRTEEN.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 Date: 05/03/2023 License No. 41578

DRAWN BY:	MHD	JOB NO.:	112808P	DATE:	05/15/23
CHECK BY:	SEE FILED ONLY SHEET				
1	05/15/23	CITY / WATERLOO COMMENTS	MHD		
2	05/09/23	WATERLOO COMMENTS	MHD		
3					
NO.	DATE	DESCRIPTION	BY		

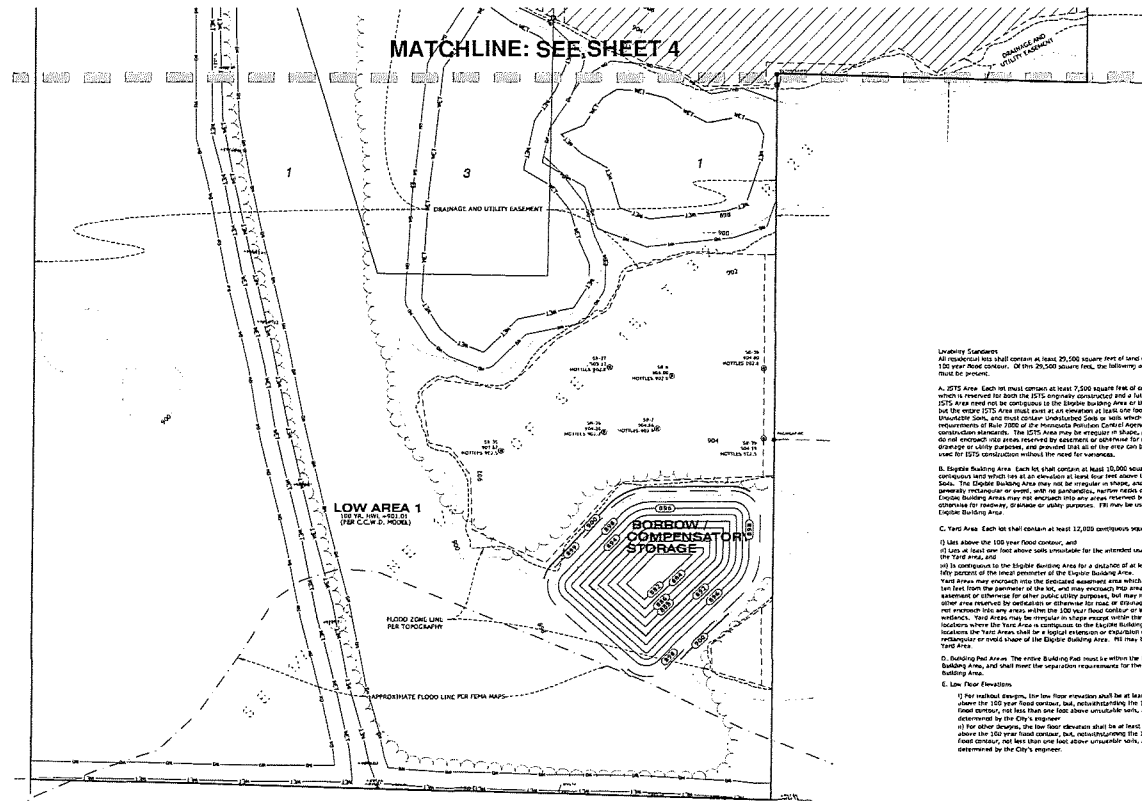
E.G. RUD & SONS, INC.
 EST. 1977
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



LIVABILITY PLAN AND CHART

~of~ TOBY'S TRAILS
 ~for~ RICHARD AND DIANE SYLVESTER
 16220 NAPLES STREET N.E.
 HAM LAKE, MN 55304
 (763) 229-1247

- LEGEND**
- DENOTES SOIL TESTING BY TAYLORWELL SOIL TESTING
 - ▲ DENOTES EXISTING SPOT ELEVATION
 - △ DENOTES WET LAND
 - DENOTES EXISTING 2 FOOT CENTERLINE
 - DENOTES PROPOSED 2 FOOT CENTERLINE
 - DENOTES WETLAND DELINEATED BY JACKSON ENVIRONMENTAL P.L.L.C.
 - DENOTES EASEMENT LINE
 - DENOTES SETBACK LINE
 - DENOTES PROPOSED STORM SEWER
 - DENOTES PROPOSED SALT / TREE PROTECTION FENCE
 - DENOTES DIRECTION OF DRAINAGE
 - DENOTES PROPOSED WELL LOCATION
 - DENOTES WETLAND VEGETATIVE BUFFER
 - DENOTES WETLAND VEGETATIVE BUFFER SIGN
 - DENOTES PROPOSED BUILDING PAD AREA
 - DENOTES PROPOSED YARD AREA
 - DENOTES PROPOSED SEPTIC AREA
 - DENOTES 1/2 POND ACCESS



- Livability Standards**
- All residential lots shall contain at least 29,500 square feet of land which has above the 100 year flood contour. Of this 29,500 square feet, the following additional requirements must be provided:
- A. STS Area.** Each lot must contain at least 7,500 square feet of contiguous area which is reserved for both the STS engineer designated area and a buffer STS. The STS Area need not be contiguous to the Engle Building Area or the Yard Area. The STS Area must meet all of the following minimum requirements:
 - (i) The STS Area must be at least one foot above the Engle Building Area, and must contain Unimproved Soils as soils which meet the minimum of 100:1000 of Permeable Porosity. Contiguous STS areas which do not exceed 100 year areas may be proposed in blocks, provided they do not encroach into areas reserved for future use.
 - (ii) The STS Area may be proposed in blocks, provided they do not encroach into areas reserved for future use.
 - (iii) The STS Area may be proposed in blocks, provided they do not encroach into areas reserved for future use.
 - B. Engle Building Area.** Each lot shall contain at least 10,000 square feet of contiguous land which lies at an elevation at least four feet above the 100 year flood contour. The Engle Building Area may not be irregular in shape, and should be generally rectangular or annular, with no protrusions, notches, steps or peninsulas. Engle Building Areas may not encroach into any areas reserved by easement or otherwise for floodways, drainage or water purposes. STS may be used to create Engle Building Area.
 - C. Yard Area.** Each lot shall contain at least 12,000 contiguous square feet which:
 - (i) lies above the 100 year flood contour, and
 - (ii) is at least one foot above soils unsuitable for the intended usage of the yard area, and
 - (iii) is contiguous to the Engle Building Area for a distance of at least fifty percent of the total perimeter of the Engle Building Area.
 Yard Areas may encroach into the Engle Building Area which has an outside of lot from the perimeter of the lot, and may encroach into areas reserved by easement or otherwise for other public utility purposes, but may not encroach into any other area reserved by easement or otherwise for flood, drainage purposes, or may not encroach into any area within the 100 year flood contour or into designated wetlands. Yard Areas may be irregular in shape except under thirty feet of the locations where the Yard Area is contiguous to the Engle Building Area, at which locations the Yard Area must be a digital extension or projection of the generally rectangular or annular shape of the Engle Building Area. It may be used to create Yard Area.
 - D. Building Pad Area.** The entire Building Pad must be within the Engle Building Area, and shall meet the regulation requirements for the Engle Building Area.
 - E. Low Flood Protection.**
 - (i) For finished designs, the low flood elevation shall be at least one foot above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.
 - (ii) For other designs, the low flood elevation shall be at least one foot above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.

FOUNDING CALCULATIONS AND STORM WATER DESIGN BY PLOWE ENGINEERING, INC.

1. I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM GUYER
 DATE: 05/03/2023 LIC. NO. 43863

Lot	Block	Total Lot Area (sq. ft.)	Yard Area (sq. ft.)	Septic Area (sq. ft.)	Building Pad Area (sq. ft.)	Proposed Building Pad Above Unimproved (sq. ft.)	Garage Floor Elevation (ft.)	Proposed Low Floor Elevation (ft.)	Proposed Low Ceiling Elevation (ft.)	Lowest Floor Elevation (ft.)	Low Floor Determining Factor	Design #	Opening Elevation (ft.)	Molded Elevation (ft.)	Drubbing Type	Covered	
1	1	903,923	278,853	2,081	10,000	NA	NA	NA	NA	NA	NA	NA	3	900.01	904.8	NA	NA
													4	905.83	904.2		
													5	902.87	902.8		
													6	908.00	902.0		
													7	902.80	902.8		
													8	907.47	902.8		
													9	903.32	906.7		
													10	917.18	907.4		
													11	909.18	905.2		
													12	908.28	905.1		
													13	908.26	904.7		
													14	903.25	904.4		
													15	910.30	907.4		
													16	909.26	904.7		
													17	904.40	903.0		
													18	902.83	905.1		
													19	908.27	905.1		
													20	903.10	904.8		
													21	902.88	905.5		
													22	910.81	NONE		
													23	903.81	NONE		
													24	902.04	904.3		
													25	903.67	905.5		
													26	903.67	905.5		
													27	903.11	902.8		
													28	904.83	902.8		
													29	904.18	902.8		
2	1	97,876	56,897	8,346	10,000	4,858	915.2	907.5	907.5	906.0	PER LOW AREA 2		1	906.04	905.3	VFD	NO
													2	908.01	905.3		
													3	910.28	906.0		
													4	907.51	905.7		
													5	905.11	904.4		
													6	907.42	903.8		
													7	906.00	905.4		
													8	908.50	904.7		
													9	901.50	898.0		
3	1	116,928	60,757	8,117	10,000	4,845	914.7	907.0	907.0	907.0	PER		1	900.80	904.6	VFD	NO
													2	908.01	905.3		
													3	910.28	906.0		
													4	907.51	905.7		
													5	905.11	904.4		
													6	907.42	903.8		
													7	906.00	905.4		
													8	908.50	904.7		
													9	901.50	898.0		

NOTES

- 1. READINGS SHOWN ARE ON ANOKA COUNTY DATUM.
- 2. TOTAL LOT AREA ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 3. 2 FOOT CENTERLINE INTERVAL (HARD COPY).
- 4. CONTIGUOUS SHORES ARE PER MINNESOTA CONSTITUTION AND FIELD INSPECTION.
- 5. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAVED AT FULL DEPTH.
- 6. TIPS AREA TO BE MAINTAINED WITH 7 DAYS OF COMPLETION TO PREVENT GRABBING OR INACTIVITY.
- 7. SEE UTILITY PLAN FOR STORM SEWER LINES, INVERTS, AND SIZES.
- 8. ALL PIPE SIZES PROVIDED WITH TRUCK SIZES.
- 9. PREPARE CLASS II BURNER WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALLED 6" OF TOPSOIL ON BURNER IN WETLAND BUFFERS AND SIZES WITH 10% MINIMUM DISCHARGE.
- 10. IF DRAINAGE IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MINOR DRAINAGE PERMIT AND WILL PROVIDE VULNERABLE LOCATIONS, SIZES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CHOW DAVIS PRIOR TO ANY DRAINAGE OPERATIONS.
- 11. CONTRACTOR MUST BE PROVIDED WITH OUR UTILITY FACT SHEETS ON BURNINGS TURTLES.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
 JASON E. RUD
 DATE: 05/03/2023 License No. 41578

Drawn By: JHR	Job No. 23000PP	Date: 05/13/23	
Checked By: JHR	Field Date: 5/2/23		
1. J. GUYER	CITY WATERWORKS COMMENTS	#NO	
2. J. GUYER	CITY WATERWORKS COMMENTS	#NO	
3. J. GUYER	CITY WATERWORKS COMMENTS	#NO	
NO	DATE	DESCRIPTION	BY

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

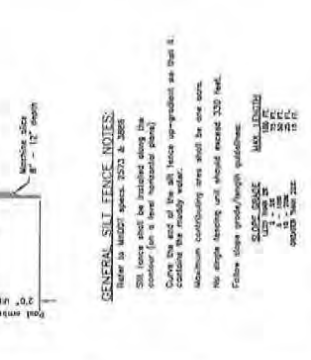
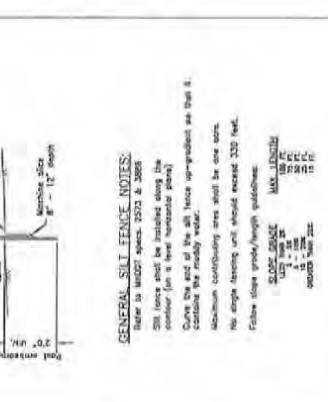


GENERAL NOTES

- THE LOCATION OF UTILITIES SHOWN ON THIS PLAN IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION IS TO BE ACCURATE FOR ALL UTILITIES. THE CONTRACTOR IS TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AS NECESSARY TO AVOID DAMAGE TO EXISTING UTILITIES.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR UTILITIES.
- THE LOCATION OF UTILITIES SHALL BE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR UTILITIES.
- INSTALLATION SHALL BE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE AGENCIES PRIOR TO CONSTRUCTION.
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MISCELLANEOUS NOTES

- SEE PLAN AND SECTION FOR DETAILS.
- SEE SITE PHOTOGRAPHY PROVIDED BY OWNER.



GENERAL SILT FENCE NOTES:


- USE 100% POLYPROPYLENE SILT FENCE.
- SILT FENCE SHALL BE INSTALLED ALONG THE PERIMETER OF THE CONSTRUCTION SITE.
- INSTALL SILT FENCE PRIOR TO ANY EARTHWORK.
- MAINTAIN SILT FENCE IN GOOD CONDITION THROUGHOUT CONSTRUCTION.
- REPAIR OR REPLACE DAMAGED SILT FENCE IMMEDIATELY.
- REMOVE SILT FENCE AFTER CONSTRUCTION IS COMPLETE.

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	100% POLYPROPYLENE SILT FENCE	1000	LINEAL FEET	1.50	1500.00
2	CONCRETE BASE	100	SQ. YD.	10.00	1000.00
3	RIP-RAP	100	CY	15.00	1500.00
4	GEOTEXTILE	100	SQ. YD.	5.00	500.00
5	LABOR	100	HOUR	20.00	2000.00
6	EQUIPMENT	100	HOUR	10.00	1000.00
7	PERMITS	1	SET	500.00	500.00
8	INSURANCE	1	MONTH	1000.00	1000.00
9	TOTAL				10000.00

of four structures allowed on a given lot: a *dwelling unit*; a *garage (attached or detached with a maximum size of 3000 square feet)*; an *Accessory Building (freestanding)*; and a *yard shed (under 200 square feet)*. If a *garage* was originally attached to a *dwelling unit*, and has since been converted to become living space in the *dwelling unit*, then that portion so used shall no longer be deemed a *garage*.

Up to two *Accessory Buildings* and a single *yard shed* may be constructed on a Residential Land Use lot which is more than (1) acre and less than ten (10) acres in the R-1, R-A and PUD zoning districts, under the conditions outlined below. One *Accessory Building* may be located in and meet the "Front Yard Setback" size and location requirements, and one *Accessory Building* may be located in and meet the "Side or Rear Yard" size and location requirements outlined below; or, two *Accessory buildings* may be located within the Side or Rear Yard, and subject to the sizes shown in the table under Article 9-370.1, Size Limitations. It is the intention of this code that for Residential Land Uses in the R-1 and PUD districts, for lots which are more than one (1) acre and less than ten (10) acres, there shall be a maximum of five structures allowed on a given lot: a *dwelling unit*; a *garage (attached or detached with a maximum size of 3000 square feet)*; two *Accessory Buildings (freestanding)*; and a *yard shed (under 200 square feet)*.

Provided, that for lots in the R-1, R-A, and PUD districts which are 10 acres or more in size, deviation from these standards may be permitted in the discretion of the City Council on a case-by-case basis.

 **9-370.1 Size Limitations** An *Accessory Building* shall be no more than one story in height, and the following size limitations shall apply to *Accessory Buildings*:

Lot size	Maximum Accessory Building Size*	
	Front Yard Setback**	Side or Rear Yard Setback***
One acre or less	676 sq. ft.	1000 sq. ft.
1+ acre to 2.5 acres****	720 sq. ft.	1500 sq. ft.
2.5+ acres to 5 acres	800 sq. ft.	2400 sq. ft. <u>unless approved by City Council</u>
5+ acres to 10 acres	1200 sq. ft.	3000 sq. ft. <u>unless approved by City Council</u>
<u>10+ acres</u>	5000 sq. ft. unless approved by City Council	

* Sizes shown are the maximum allowable square feet at foundation level.

** The "Front Yard Setback" is the area between the front of the dwelling unit (primary residential structure) and the street right of way. For all lot sizes, *Accessory Buildings* constructed in this area must also be constructed with the building materials outlined below and be architecturally compatible with the dwelling unit

*** The "Side or Rear Yard Setback" is the area that lies away from the road right of way and behind the front yard setback.

**** For lots greater than one acre and up to 2.5 acres, the size limits shown may be combined to allow one *Accessory Building* in the Side or Rear Yard Setback up to 2250 square feet, and with no additional *Accessory Building* existing or allowed in the Front Yard Setback.

9-370.2 Building Materials For lots which are 5 acres or less in size, the outside surface materials of all *Accessory Buildings* shall, as closely as practical, match the color, texture and style of the like surfaces on the dwelling unit. For lots which are more than 5 acres in size, all *Accessory Buildings* in the Front Yard Setback shall match the dwelling unit as outlined above. Pole-type construction shall be permitted only on lots exceeding 5 acres and only in the Side or Rear Yard Setback.

9-370.3 Height Restriction For lots which are less than 5 acres in size, the maximum height of an *Accessory Building* shall be equal to the height of the *dwelling unit*, or 25 feet, whichever is less.

9-370.4 Setbacks and Building Codes The locations and building standards for *Accessory Buildings* and *yard sheds* shall be as found in setback standards and the building code for other structures, except that the rear yard setback for *Accessory Buildings* shall be ten feet.

9-370.5 Submittal Requirements In addition to building plans, The *Zoning Officer* may require the submission of a scaled site plan, rendering or pictorial representations, and other data deemed necessary by the *Zoning Officer*.

9-370.6 Usage *Accessory Buildings* and *yard sheds* shall be used only for purposes related to the residential use of the parcel, and shall not be used for the conducting of any business or the storage of any business-related property, such as business equipment, business inventory or business supplies, unless approved by the City Council per Article 9-350.3.

9-370.7 Farm Buildings A *Farm Building* is a structure located on land zoned R-A, which is not a *dwelling unit*. No *Farm Building*

All sewage generated in the City shall be treated either in a Minnesota Pollution Control Agency–permitted facility, or in an SSTS that meets the requirements of this code.

No person shall install, alter, repair or operate an SSTS except in compliance with this code. No person shall cover any portion of any SSTS which is being constructed, altered or repaired unless in compliance with written inspection policies as developed and maintained from time to time by the City's Building Official. No activity which constitutes construction, alteration or repair of an SSTS or Holding Tank shall commence unless the plans for the activity have been first approved by the City's building official, and without a permit having been issued by the City's building official for the activity. Any structural activity, such as remodeling, which will add effluent to an SSTS, shall be considered activity which constitutes construction, alteration or repair of an SSTS. For the purposes of this Code, a person responsible for violations hereof shall include the contractor performing any activity, and shall also include the owner(s) of the parcel upon which the activity is being performed. New SSTS construction that is not compliant with this code, or other work on a system that is not compliant with this code shall be brought into compliance within seven days after written notification from the Building Official, unless a different deadline is specified in the notice.

11-450.3 Use of Non-Standard Systems

Non-Standard Systems shall be used only when the use of a Standard System is infeasible, and when used, shall be constructed in accord with all applicable rules and regulations.

11-450.4 Required SSTS Compliance Inspections

An SSTS compliance inspection (meaning an inspection by a person or entity licensed by the Minnesota Pollution Control Agency to determine compliance with minimum construction standards) shall be required in the following circumstances:

- a) For a new or replacement SSTS;
- b) When altering an existing structure to add a bedroom;
- * c) When a parcel having an Existing System undergoes development, subdivision by platting or lot split.

If an SSTS is found to be noncompliant with minimum construction codes, notice thereof shall be sent by regular US Mail to the property owner.

11-450.5 Inspections and Pumping Required

A. Inspections

Every SSTS shall be inspected at least one time in every three years, provided, that in order to spread the time for review of inspection reports

detailed in the City's then current Local Surface Water Management Plan shall be observed.

A. Trees During construction of roads, other infrastructure, and lot grading, Contractor will mark all trees identified in the Tree Preservation Plan that will not be affected by construction activity. Identification shall be done in a manner that will clearly identify each tree, through delineation of gross lot areas or a perimeter around individual trees with visible tape or temporary fencing that extends either outside of the drip line of all trees within the protected area, or that extends for the entire "critical root zone" of each tree within the protected area, whichever distance is greatest. The critical root zone is that area that lies within a radius obtained when the tree diameter at a height 4.5 feet above ground level is measured in inches, and one foot of lineal distance from the trunk is provided for each inch of diameter. No spikes, nails or other objects shall be driven into the bark or trunk of any tree in the process of delineating the protected area. During construction activity involving the pouring of concrete, care shall be taken to avoid spillage of excess concrete or cement that could affect the health of trees.

B. Erosion and Sediment Control All stormwater runoff shall be contained in desiltation ponds prior to discharge into any watershed. Proper erosion control measures shall be taken to insure that stormwater runoff does not carry silt material onto public roads or adjoining properties during or after construction.

C. Drainage Each plat shall have a positive drainage discharge into a local watershed, in a manner which is designed according to accepted engineering principals using a 100-year storm event as the guideline for runoff control.

D. Ponding Each pond constructed for siltation or stormwater containment shall include signage prohibiting trespassing within the drainage easement area. No such pond shall be represented to lot purchasers as being available to the adjoining landowner for recreational purposes or landscaping.

E. Driveways

1) New Dwellings or Structures

Driveways on all lots containing or proposed for new residential dwellings or new structures shall be limited to 30 feet in width on City streets and 24 feet on cul-de-sacs (see Article 11-730), and shall be paved with either concrete or bituminous surfacing, in accord with standards or specifications to be established by the City Engineer. The paving requirements may be reduced by the

City's Building Official, after conferring with the City's engineer, to a length of 30 feet from the paved portion of the abutting public street if there is a showing of a special circumstance, such as inordinately long driveway length, which makes literal compliance with this provision unfair or unreasonable.



2) Existing Dwellings or Structures

For any remodeling or other project that requires a building permit, a condition of issuance of the building permit shall be the paving of any existing unpaved or inadequately paved driveway serving garages or accessory buildings on the parcel. If the parcel contains an existing driveway having adequate pavement, and the property owner agrees to abandon any other unpaved driveways and take access solely from the paved driveway, then no additional paving shall be required. Notwithstanding the foregoing, the Building Official, after conferring with the City's engineer, may shorten the paving requirement to a length of 30 feet from the paved portion of the abutting public street if there is a showing of a special circumstance, such as inordinately long driveway length, which makes literal compliance with this provision unfair or unreasonable. The Building Official may also eliminate paving needs under the following circumstances:

- a) Because of particular topographic conditions, the existence of the driveway poses no immediate threat of erosion that could affect the public road, and poses no immediate threat of siltation flowing onto the public road; or
- b) The driveway is not intended to be used more often than once monthly, and topographic and vegetative conditions are present that are likely to inhibit or preclude erosion or siltation from developing if the limited usage is observed; and
- c) The property owner consents in writing to a license, in recordable form, as follows:

Driveway License Agreement

Agreement, made this ___ day of _____, _____,
between the City of Ham Lake, Minnesota ("City") and
_____("Owner");

Recitals



Future Thoroughfare

1" = 600'

CONCEPT PLAN *Approved 7/18/22*

-of- TOBY'S TRAILS
-for- RICHARD AND DIANE SYLVESTER

VICINITY MAP

PART OF SEC. 5, TWP. 32, RNG. 23



ANOKA COUNTY, MINNESOTA
(NO SCALE)

PROPERTY DESCRIPTION

The Southeast Quarter of the Northwest Quarter of Section 15, Township 32, Range 23, Anoka County, Minnesota.

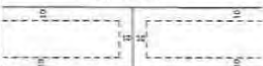
EXCEPT:
The East 537.04 feet of the South 662 feet of said Quarter Quarter.

AND EXCEPT:
The East 372 feet of the North 220 feet of the South 982 feet of said Quarter Quarter.

AND EXCEPT:
Traverse No. 3, Anoka County (Highway Right-of-Way) Plat No. 21, according to the plat thereof as the aid of record in the office of the Anoka County Recorder, Anoka County, Minnesota.

TYPICAL EASEMENTS

(NOT TO SCALE)



MIN: 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES
AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS
OTHERWISE SHOWN.

LEGEND

- IDENTIFIED WINDY POINT FROM AN L&P SURVEY
- IDENTIFIED NON-WINDY POINT FROM AN L&P SURVEY
- IDENTIFIED SIDE SETTING BY THE 2018 L&P SURVEY
- IDENTIFIED EXISTING CONDUITS
- IDENTIFIED AREA 1-HOUR WETNESS
- IDENTIFIED APPROXIMATE FRESH FLOOD ZONE A LINE FROM PLAT NO. 21, ANOKA COUNTY (HIGHWAY RIGHT-OF-WAY) PLAT NO. 21, ACCORDING TO THE PLAT THEREOF AS THE AID OF RECORD IN THE OFFICE OF THE ANOKA COUNTY RECORDER, ANOKA COUNTY, MINNESOTA.

NORTH



Drawn: 20/20/2022 License No. 41378

GRAPHIC SCALE



NOTES

- 1. Boundaries shown are on Anoka County datum.
- 2. Typical lot areas include adjoining 32' feet of street per easement.
- 3. This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a cleared title commitment or an attorney's title opinion.
- 4. Wetlands delineated by Tetonian Environmental, PLLC.

Parcel ID: 15-22-23-14-0004

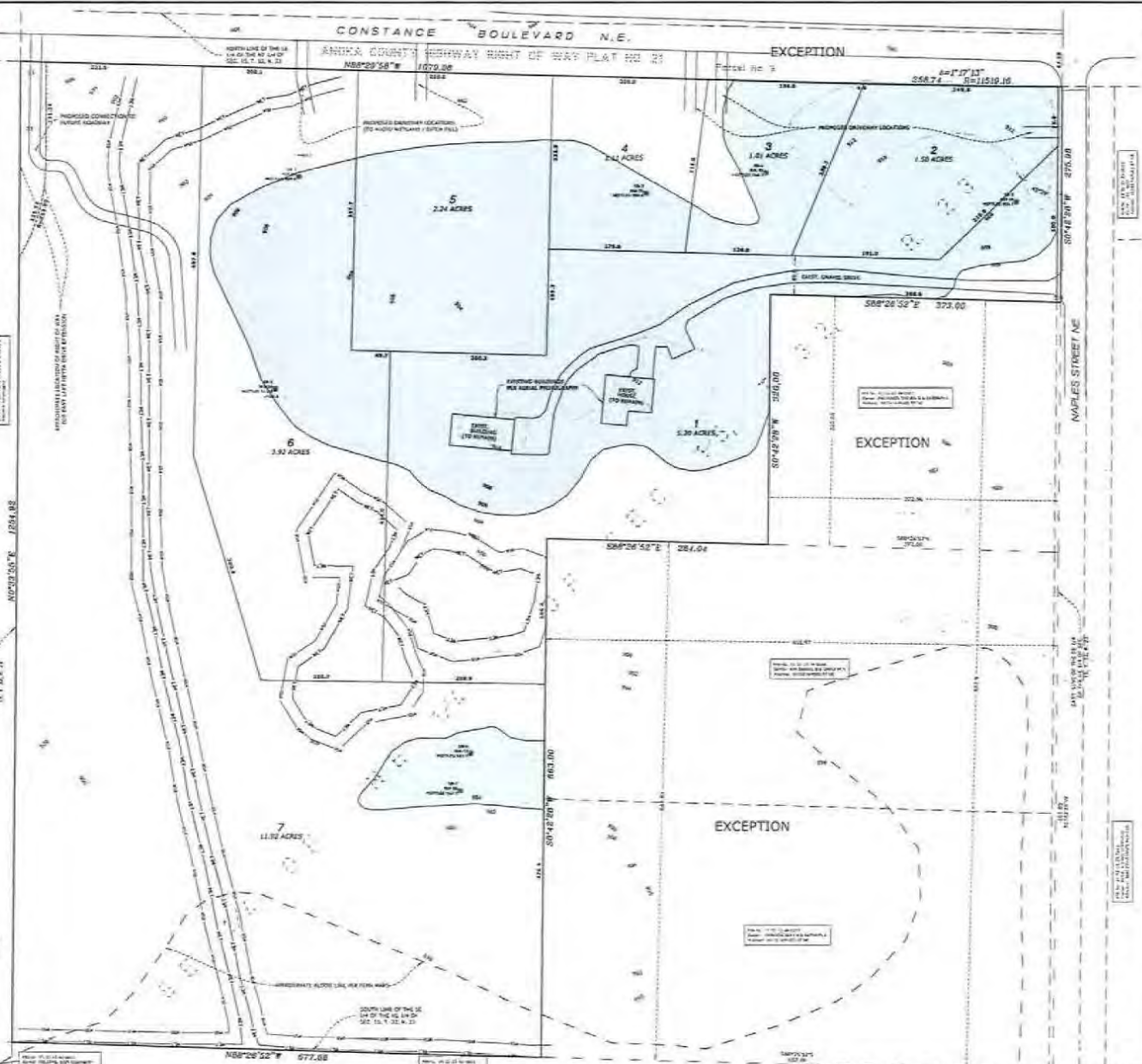
Owner: Sylvester Trubian, Diane H.

DEVELOPMENT DATA

- TOTAL SITE AREA = 25.794 ACRES
- 7 PROPOSED SINGLE FAMILY LOTS
- AVERAGE LOT SIZE = 3.684 ACRES
- MINIMUM STREET FRONTAGE = 208 FEET
- MINIMUM LOT SIZE = 1.02 ACRES (including 33' feet of adjoining street)
- PROPOSED ZONING = R-1
- BUILDING SETBACKS: FRONT = 20 FEET
SIDE = 10 FEET
REAR = 10 FEET
COUNTY ROAD = 50 FEET

E. G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 351-9200 Fax (651) 351-8701

DATE	BY	FOR NO.	PROJECT / CLIENT
10/1/2021	JK	15-22-23-14-0004	TOBY'S TRAILS
2/1/2022	JK	15-22-23-14-0004	TOBY'S TRAILS
7/1/2022	JK	15-22-23-14-0004	TOBY'S TRAILS
7/18/2022	JK	15-22-23-14-0004	TOBY'S TRAILS



**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

April 10th, 2023

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304
Attention: Tom Collins

Dear Mr. Collins:

As a licensed site evaluator who conducted the soil borings in Toby's Trail, for Richard & Diane Sylvester, I found the following: Each boring has at least 12" of natural, undisturbed and unmottled soil. In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of mottling is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink that reads "Mark Tradewell". The signature is fluid and cursive, with the first name "Mark" being more prominent and the last name "Tradewell" following in a similar style.

Mark Tradewell
MPCA #307

Tom Collins

From: Abbey Lee <alee@cooncreekwd.org>
Sent: Monday, June 12, 2023 10:04 AM
To: Diane Sylvester
Cc: Tom Collins; Jennifer Bohr
Subject: RE: Toby's Trails (P23-028) Review Timeline Extension

Hi Diane,

Yes, I had copied Tom Collins on the email indicating that that we will be recommending approval at the June 26 Board Meeting. Nothing further is required.

Thanks,

Abbey Lee

Watershed Development Manager

763.258.7928 direct
763.755.0975 office

13632 Van Buren NE
Ham Lake, MN 55304
www.cooncreekwd.org



Attn: New electronic submittals (except TA and Wetland Applications) should be sent through our new online application at the following link: [Online Application](#). You will be instructed on how to submit any additional materials that may be requested by District staff. If submittal instructions are not followed, it will not be considered a submittal. This is in an effort to ensure submittals are not missed and are processed in a timely manner.

From: Diane Sylvester <diane.sylvester@hotmail.com>
Sent: Thursday, June 8, 2023 2:20 PM
To: Abbey Lee <alee@cooncreekwd.org>
Subject: RE: Toby's Trails (P23-028) Review Timeline Extension

Abbey, Were you able to give Tom Collins Ham Lake city engineer any assurance that our project, Toby's Tails will be recommended for approval to Board on June 26th? Anything you can do to expedite this process is appreciated.
Thank You Diane Sylvester

Sent from [Mail](#) for Windows

From: [Abbey Lee](#)
Sent: Tuesday, May 30, 2023 3:43 PM
To: [Diane Sylvester](#); [Erin Edison](#); [Adam Ginkel](#)
Cc: [Tom Collins](#)
Subject: RE: Toby's Trails (P23-028) Review Timeline Extension

Hi Diane,

Yes, we have everything we need to continue with review. The extension was because the deadline for this project was going to be before we could present the project in front of our Board of Managers for approval. It is scheduled for approval at the June 26 Board Meeting.

I have copied the City on this email.

Thanks,

Abbey Lee

Watershed Development Manager

763.258.7928 direct

763.755.0975 office

13632 Van Buren NE

Ham Lake, MN 55304

www.cooncreekwd.org



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From: Diane Sylvester <diane.sylvester@hotmail.com>

Sent: Tuesday, May 30, 2023 7:53 AM

To: Erin Edison <eedison@cooncreekwd.org>; Adam Ginkel <adam@plowe.com>

Cc: Abbey Lee <alee@cooncreekwd.org>

Subject: RE: Toby's Trails (P23-028) Review Timeline Extension

Hi Erin,

Thank you for the email on Friday. To confirm, you have everything needed to proceed with your review? Do we have a preliminary approval during this review period so we can move forward with the City of Ham Lake?

Thanks,
Diane

Sent from [Mail](#) for Windows

From: [Erin Edison](#)

Sent: Friday, May 26, 2023 2:13 PM

To: diane.sylvester@hotmail.com; [Adam Ginkel](#)

Cc: [Abbey Lee](#)

Subject: Toby's Trails (P23-028) Review Timeline Extension

Good afternoon,

In accordance with MN state statute 15.99 Subd. 3. (g), the Coon Creek Watershed District is extending our decision making period for the Toby's Trails project application (PAN P-23-028) an additional 60 days to allow additional time for staff to review resubmitted materials.

Please let me know if you have any questions.

Thank you,

Erin Edison, CMWPIT

Watershed Development Coordinator

763.392.8875 direct

763.334.0192 cell

763.755.0975 office

13632 Van Buren NE

Ham Lake, MN 55304

www.cooncreekwd.org

Attn: New electronic submittals (except TA and Wetland Applications) should be sent through our new online application at the following link: **Online Application**. You will be instructed on how to submit any additional materials that may be requested by District staff. If submittal instructions are not followed, it will not be considered a submittal. This is in an effort to ensure submittals are not missed and are processed in a timely manner.



Minnesota Department of Natural Resources
Division of Ecological & Water Resources
500 Lafayette Road, Box 25
St. Paul, MN 55155-4025

April 17, 2023

Correspondence # MCE 2023-00012

Wayne Jacobson
Jacobson Environmental, PLLC

RE: Natural Heritage Review of the proposed Toby's Trails,
T32N R23W Section 15; Anoka County

Dear Wayne Jacobson,

As requested, the [Minnesota Natural Heritage Information System](#) has been reviewed to determine if the proposed project has the potential to impact any rare species or other significant natural features. Based on the project details provided with the request, the following rare features may be impacted by the proposed project:

Ecologically Significant Areas

- The Minnesota Biological Survey considered the forested area on the west side of the proposed project for a Site of Biodiversity Significance. It was determined to be *Below* the minimum biodiversity threshold for statewide significance. This area, however, may have conservation value at the local level as habitat for native plants and animals, corridors for animal movements, buffers surrounding higher quality natural areas, or as areas with high potential for restoration of native habitat. As such, indirect impacts from surface runoff or the spread of invasive species should be considered during project design and implementation.

State-listed Species

- Blanding's turtles (*Emydoidea blandingii*), a state-listed threatened species, have been reported in the vicinity of the proposed project. Blanding's turtles use upland areas up to and over a mile distant from wetlands, waterbodies, and watercourses. Uplands are used for nesting, basking, periods of dormancy, and traveling between wetlands. Factors believed to contribute to the decline of this species include collisions with vehicles, wetland drainage and degradation, and the development of upland habitat. Any added fatality can be detrimental to populations of

Blanding's turtles, as these turtles have a low reproduction rate that depends upon a high survival rate to maintain population levels.

For additional information, see the [Blanding's turtle fact sheet](#), which describes the habitat use and life history of this species. The fact sheet also provides two lists of recommendations for avoiding and minimizing impacts to this rare turtle. **Refer to the first list of recommendations for your project.** If greater protection for turtles is desired, the second list of additional recommendations can also be implemented. The use of [erosion control](#) blanket shall be limited to 'bio-netting' or 'naturalnetting' types, and specifically not products containing plastic mesh netting or other plastic components. Also be aware that hydro-mulch products may contain small synthetic (plastic) fibers to aid in its matrix strength. These loose fibers could potentially re-suspend and make their way into Public Waters. As such, please review mulch products and not allow any materials with synthetic (plastic) fiber additives in areas that drain to Public Waters.

The [Blanding's turtle flyer](#) should be given to all contractors working in the area. If Blanding's turtles are encountered on site, remember Minnesota's Endangered Species Statute (*Minnesota Statutes*, section 84.0895) and associated Rules (*Minnesota Rules*, part 6212.1800 to 6212.2300 and 6134) prohibit the take of threatened or endangered species without a permit. If turtles are in imminent danger, they must be moved by hand out of harm's way, otherwise they are to be left undisturbed. Report any sightings to the [DNR Nongame Specialist](#), Erica Hoaglund at 651-259-5772 or Erica.Hoaglund@state.mn.us.

- Please visit the [DNR Rare Species Guide](#) for more information on the habitat use of these species and recommended measures to avoid or minimize impacts. For further assistance with these species, please contact the appropriate [DNR Regional Nongame Specialist](#) or [Regional Ecologist](#).

Federally Protected Species

- To ensure compliance with federal law, conduct a federal regulatory review using the U.S. Fish and Wildlife Service's (USFWS) online [Information for Planning and Consultation \(IPaC\) tool](#).

Environmental Review and Permitting

- Please include a copy of this letter and the MCE-generated Final Project Report in any state or local license or permit application. Please note that measures to avoid or minimize disturbance to the above rare features may be included as restrictions or conditions in any required permits or licenses.

The Natural Heritage Information System (NHIS), a collection of databases that contains information about Minnesota's rare natural features, is maintained by the Division of Ecological and Water Resources, Department of Natural Resources. The NHIS is continually updated as new information becomes available, and is the most complete source of data on Minnesota's rare or otherwise significant

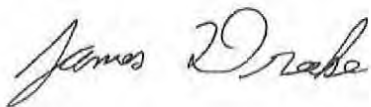
species, native plant communities, and other natural features. However, the NHIS is not an exhaustive inventory and thus does not represent all of the occurrences of rare features within the state. Therefore, ecologically significant features for which we have no records may exist within the project area. If additional information becomes available regarding rare features in the vicinity of the project, further review may be necessary.

For environmental review purposes, the results of this Natural Heritage Review are valid for one year; the results are only valid for the project location and project description provided with the request. If project details change or the project has not occurred within one year, please resubmit the project for review within one year of initiating project activities.

The Natural Heritage Review does not constitute project approval by the Department of Natural Resources. Instead, it identifies issues regarding known occurrences of rare features and potential impacts to these rare features. Visit the [Natural Heritage Review website](#) for additional information regarding this process, survey guidance, and other related information. For information on the environmental review process or other natural resource concerns, you may contact your [DNR Regional Environmental Assessment Ecologist](#).

Thank you for consulting us on this matter and for your interest in preserving Minnesota's rare natural resources.

Sincerely,

A handwritten signature in cursive script that reads "James Drake".

James Drake
Natural Heritage Review Specialist
James.F.Drake@state.mn.us

Cc: Melissa Collins



Anoka County
TRANSPORTATION DIVISION
Highway

Jennifer Bohr
City of Ham Lake
15544 Central Ave NE
Ham Lake, MN 55304

March 21, 2023

RE: Preliminary Plat – Toby's Trails

Dear Jennifer,

We have reviewed the Preliminary Plat for Toby's Trails to be located south of CR 60 (Constance Boulevard NE) and west of Naples Street NE within the City of Ham Lake, and I offer the following comments:

- The existing right of way along CR 60 is 60 feet south of centerline which should be adequate for future reconstruction purposes.
 - As proposed, the plat will introduce two new access points onto CR 60, which would be allowed since access to a City Street is not feasible. The right of access should be dedicated to Anoka County along CR 60 with exception for the two proposed access points.
 - Internal site grading shall not commence until the requested ACHD Engineering plan approvals are received and the applicable permits from ACHD and all other agencies with jurisdiction are issued. If there will be any utility relocation on CR 60, it will be required to be completed by the City/developer as a part of the ACHD Engineering Plan Review process.
-
- Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, building, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CR 60.

ACHD would like to work with local governments in promoting compatibility between land use and the county highway system. It should be recognized that residential land uses located adjacent to County highways often results in complaints about traffic noise. Existing and/or future traffic noise from CR 60 could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities are responsible for taking all reasonable measures to prevent land use activities listed in the MPCA's Noise Area Classification (NAC) where establishment of the land use would result in violations of established noise standards. It is advised that the City and the Developer assess the noise situation for this development as it is proposed to be located directly adjacent to CR 60 and take the level of action deemed necessary to minimize the impact of any highway noise by incorporating the appropriate noise mitigation elements into the design and phasing of this plat as applicable.

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005
Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ www.anokacounty.us/highway

Affirmative Action / Equal Opportunity Employer

The ACHD Engineering Plan Review process will apply to this site. The following items should be submitted to Brandon Ulvenes, Engineer I, Brandon.Ulvenes@co.anoka.mn.us (checklist and payment information are available on our website: <https://www.anokacountymn.gov/4072/Development-Review>):

- Utility relocation plans
- Traffic Control plans
- Grading and erosion control plans
- Drainage calculations – Note that the post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm
- ACHD Design Requirements Checklist
- Engineering plan review fee (estimated at \$150.00)

Following completion of the ACHD Engineering Plan Review process, the contractor(s) who will be completing any work within the county right of way must begin the ACHD Permit process. One permit for Work within the County Right of Way (\$150.00) and two Access Permits (\$175.00 each) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3176 or via email at HighwayPermits@co.anoka.mn.us for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr
Traffic Engineering Technician

xc: CR 60/Plats+Developments/2023
Jerry Auge, Assistant County Engineer
Jorge Bernal, Traffic Engineering Manager
David Ziegler, County Surveyor
Sean Thiel, Signals Manager
Sue Burgmeier, Traffic Engineering Technician
Brandon Ulvenes, Engineer I

Tom Collins

From: Logan Keehr <Logan.Keehr@co.anoka.mn.us>
Sent: Wednesday, March 22, 2023 1:16 PM
To: Tom Collins
Cc: mdavich@egrud.com
Subject: Toby's Trails

Hi Tom,

I talked with Matt about the right of access that we requested in our letter.

Our response letter is what we would prefer to see but we are not demanding them to dedicate the access to us.

I realize there is the possibility to divide Lot 1 further so dedicating the access to us could complicate that process.

Let me know if you have any questions.

Logan Keehr, E.I.T.
Traffic Engineering Technician
Anoka County Highway Department
1440 Bunker Lake Boulevard NW
Andover, MN 55304
Direct: 763.324.3183
Logan.Keehr@co.anoka.mn.us

NOTICE: Unless restricted by law, email correspondence to and from Anoka County government offices may be public data subject to the Minnesota Data Practices Act and/or may be disclosed to third parties.



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 2-15-23

Date of Receipt _____
Receipt # _____

Meeting Appearance Dates:
Planning Commission 6-26-23

City Council 7/5/23

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: HFN Properties, LLC

Address/Location of property: EAST OF LEXINGTON - Hidden Forest EAST 4th ADD.

Legal Description of property: _____

PIN # 24-32-23-44-0001, 25-32-23-12-0002
25-32-23-11-0002 + 0008 Current Zoning R-A Proposed Zoning R-1

Notes: 22 Single family residential lots and 3 out lots

Applicant's Name: JEFFREY A. STALBERGER

Business Name: HFN Properties LLC

Address 17404 WARD LK. Dr. NW

City ANDOVER State MN. Zip Code 55304

Phone 612-799-1471 Cell Phone _____ Fax _____

Email address STALLY68@MSN.COM

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 2-8-2023

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 6/26/23
City Council _____

PROPERTY TAXES CURRENT YES NO

ORDINANCE NO. 23-XX

AN ORDINANCE AMENDING A PORTION OF CHAPTER 9 OF THE CITY OF HAM LAKE, COUNTY OF ANOKA, STATE OF MINNESOTA.

The City Council of the City of Ham Lake does hereby ordain as follows, pursuant to Article 9 of the Ham Lake City Code.

That the zoning classification for the following described property situated in the City of Ham Lake, Anoka County, Minnesota is hereby designated R-1 (Single Family Residential) (Hidden Forest East Fourth Addition).

OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota.

AND

Tracts A and B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota.

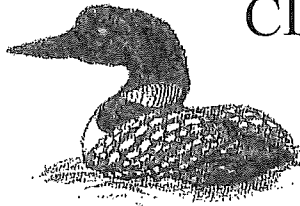
AND

The Southeast Quarter of the Southeast Quarter of Section 24, Township 32, Range 23, Anoka County, Minnesota.

Presented to the Ham Lake City Council on July 5, 2023 and adopted by a unanimous vote this ____ day of _____, 2023.

Brian Kirkham, Mayor

Denise Webster, City Clerk



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

NOTICE OF PUBLIC HEARING
CITY OF HAM LAKE
COUNTY OF ANOKA
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, June 26, 2023 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Jeff Stalberger, HFN Properties, LLC, requesting preliminary plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of the development of Hidden Forest East 4th Addition (22 single family residential lots and 3 out lots) located in Sections 24 and 25, parcels of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which are described as follows to wit:

OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota.
AND
Tracts A and B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota.
AND
The Southeast Quarter of the Southeast Quarter of Section 24, Township 32, Range 23,
Anoka County, Minnesota.

At such hearing both written and oral comments will be heard.

DATED: June 16, 2023

Jennifer Bohr
Zoning & Building Clerk
City of Ham Lake

Memorandum

Date: June 22, 2023
To: Planning Commissioners
From: Tom Collins, City Engineer *TPC*
Subject: Hidden Forest East 4th Addition

Introduction:

The proposed 22 lot residential development is located on 112.96 acres, which includes parcels 24-32-23-44-0001, 25-32-23-11-0002, 25-32-23-11-0008 (Outlot A - Hidden Forest East 3rd Addition) and 25-32-23-12-0002. The parcels are currently a mixed zoning of Rural Single Family Residential (R-A) and Single Family Residential (R-1) and the proposed zoning is all Single Family Residential. The mixed zoning is a result of that portion of the attached RLS 290 outside of the plat of Hidden Forest East Third Addition being rezoned to R-1 because it was included in the legal description provided by the surveyor on the Certificate of Title when the Third Addition was platted. A 400-scale aerial photo, 400 scale half-section maps and a 600 scale zoning map are attached.

Discussion:

The Title Sheet, Preliminary Plat, Livability Plan, Livability Chart and Floodplain Exhibit received April 11th and the Grading, Erosion Control and Tree Protection Plan, Title Sheet, Notes & Legend, Plan Profile, Pond Outlets, Intersection and C-D-S Details, Details, SWPPP and Stormwater Drainage Report received May 16th address prior review comments. Outlots A, B and C will need to be conveyed to adjacent properties.

Per correspondence with Public Works Superintendent John Witkowski, it is recommended that parkland dedication fees be collected rather than the dedication of parkland or trail easement. This development will have access to the 27.12-acre park within the Hidden Forest East Park Addition thru the streets of Hidden Forest East 2nd and 3rd Additions to the south.

An Encroachment Agreement will be required due to the Lot 10, Block 1 septic crossing the drainage and utility easement. FEMA Letter of Map Amendments are required for Lots 1, 2, 3, 5, 6 and 7 of Block 1, and Lots 2 and Lot 3 of Block 3.

The Soil Boring Test Report confirms that there is adequate area for a primary and secondary septic system for all three lots. The attached April 10th Tradewell septic certification certifies that the lots will support two standard septic systems in accordance with Minnesota Rules 7080.

A rare species survey was required with the DNR Natural Heritage Review because of the potential for the proposed project to negatively impact state-listed threatened or endangered species. The rare species survey found the presence of threatened vascular plants of black huckleberry. The project impacts eight non-fruiting black huckleberry stems and avoids 43 non-

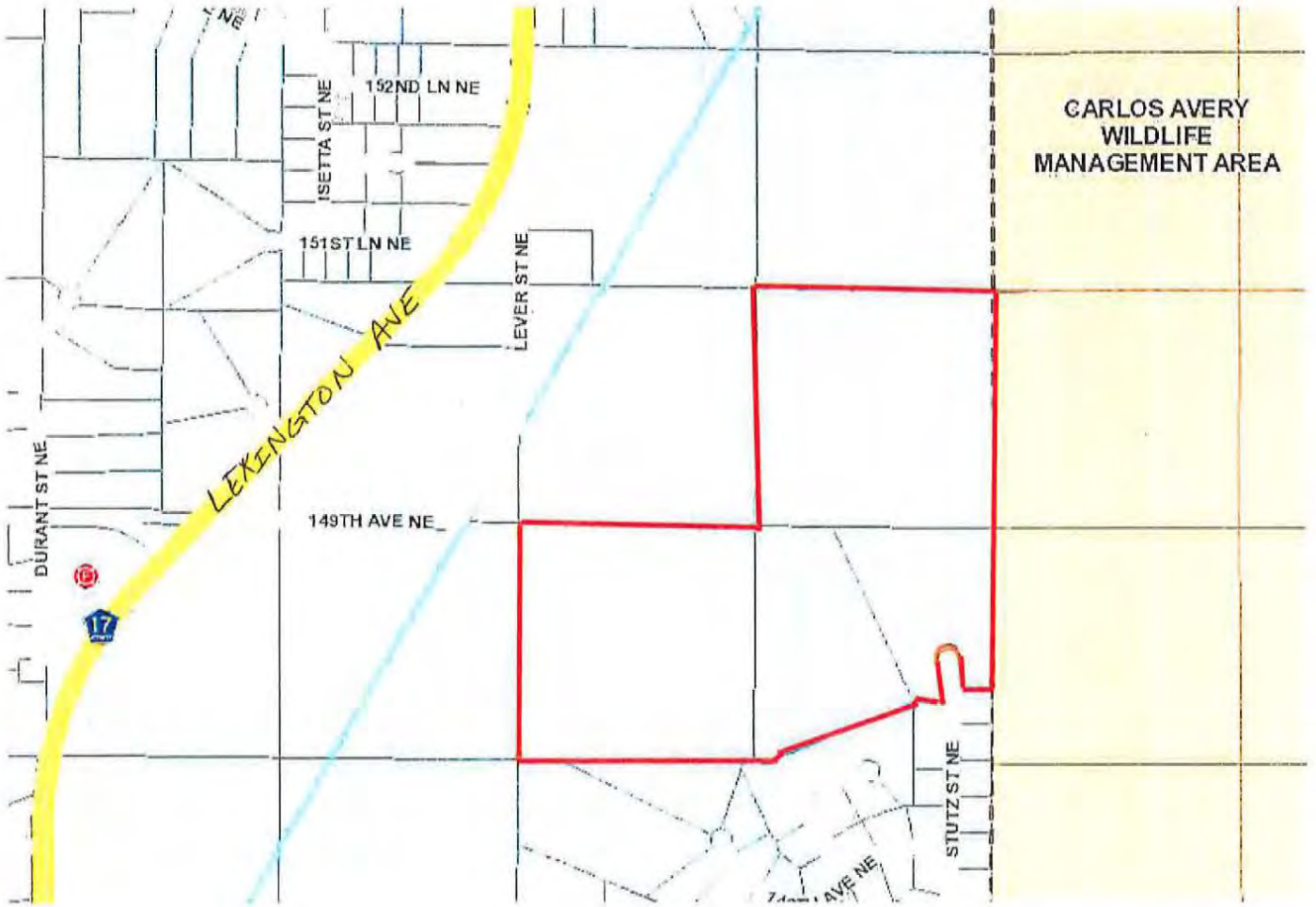
fruiting huckleberry stems. Per the attached June 13th email, the Developer has agreed to allow the DNR access to salvage and relocate the eight black huckleberry plants at least two weeks before grading impacts and has agreed to pay \$40,000 for the management of the existing black huckleberry population. The DNR is drafting a Permit. In addition, Blanding's Turtles have been reported in the vicinity of the proposed project and may be encountered on site. If during construction Blanding's Turtles are encountered they are to be moved by hand out of harm's way, otherwise they are to be left undisturbed.

The preliminary plat was granted contingent approval at the April 26th Coon Creek Watershed District (CCWD) Board of Managers meeting, per the attached Notice of Permit Application Status. In addition to paying the \$20,450 performance escrow, the Developer needs to provide proof of the NPDES/MPCA Construction Stormwater permit, submit verification of the Wetland Bank Credit Withdrawal and submit the DNR Takings Permit prior to the CCWD Permit issuance. Construction cannot commence until the CCWD Permit is issued.

The Stutz Street temporary cul-de-sac right-of-way that was built with Hidden Forest East 3rd Addition that is proposed to be vacated is included in the yard area for Lot 1, Block 2. This will require that the vacation be completed and recorded before the plat is recorded.

Recommendations:

It is recommended that the Preliminary Plat of Hidden Forest East 4th Addition be recommended for approval to the City Council.



Hidden Forest East 4th Addition



REGISTERED LAND SURVEY NO. 290


CITY OF HAM LAKE
COUNTY OF ANOKA
SEC. 25, T. 32, R. 23

I, Jason E. Rud, hereby certify that, in accordance with the provisions of Minnesota Statutes, Section 508.47, I have surveyed the following described property situated in the County of Anoka, State of Minnesota:

The Northeast Quarter except the South Half, Section 25, Township 32, Range 23.

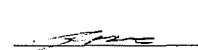
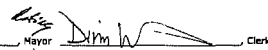
I hereby certify that this Registered Land Survey was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that this Registered Land Survey is a correct representation of said parcel of land.

Dated this 7th day of July, 2021.


Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

We do hereby certify that on the 12th day of July, 2021, the City Council of the City of Ham Lake, Minnesota, has approved this Registered Land Survey.


Mayor 
Clerk



ANOKA COUNTY SURVEYOR

Pursuant to Minnesota Statutes, Section 389.09, Subd. 1, this Registered Land Survey has been reviewed and approved this 23rd day of July, 2021.


David M. Ziegemeier, Anoka County Surveyor

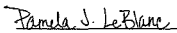

COUNTY AUDITOR/TREASURER

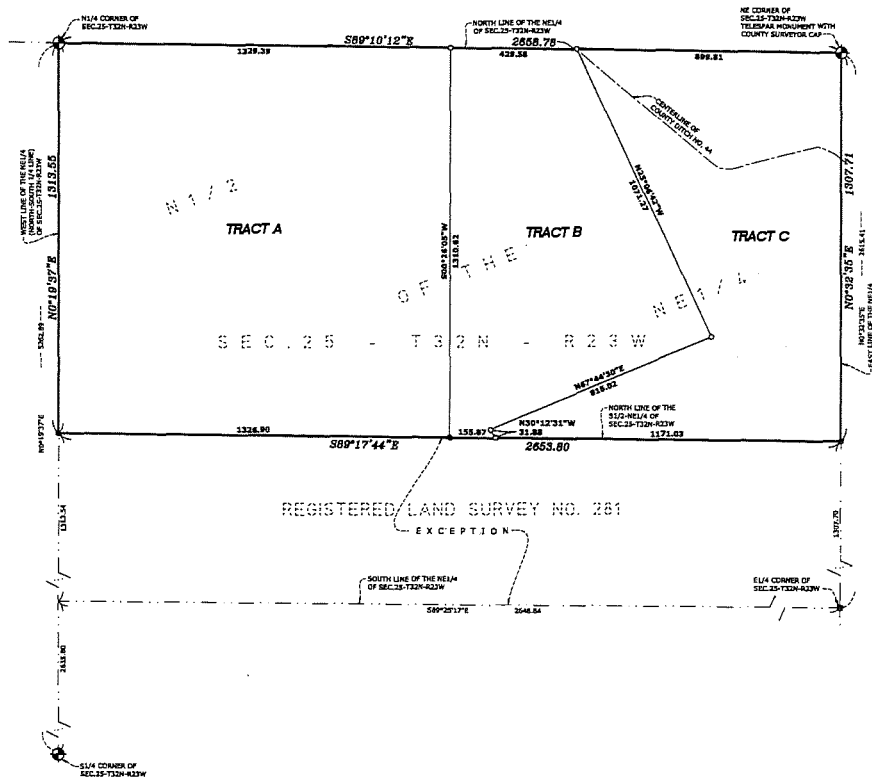
Pursuant to Minnesota Statutes, Section 508.47, Subd. 4, taxes payable in the year 2021 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this 22nd day of July, 2021.


Pamela J. LeBlanc
Property Tax Administrator
By  Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this REGISTERED LAND SURVEY NO. 290 was filed in the office of the County Recorder/Registrar of Titles for public record on this 22nd day of July, 2021, at 12:19 o'clock P.M. and was duly recorded as Document Number 590855.001.

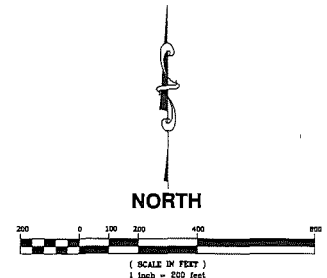

Pamela J. LeBlanc
County Recorder/Registrar of Titles
By  Deputy



LEGEND

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET MARKED BY RLS NO. 41578
- DENOTES FOUND 1/2 INCH IRON PIPE MARKED RLS 41578
- ⊕ DENOTES ANOKA COUNTY CAST IRON MONUMENT, UNLESS OTHERWISE SHOWN
- DENOTES FOUND CONCRETE MONUMENT

FOR THE PURPOSES OF THIS REGISTERED LAND SURVEY THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 32 NORTH, RANGE 23 WEST, IS ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREES 19 MINUTES 37 SECONDS EAST.



516

1" = 400'

LEVER ST

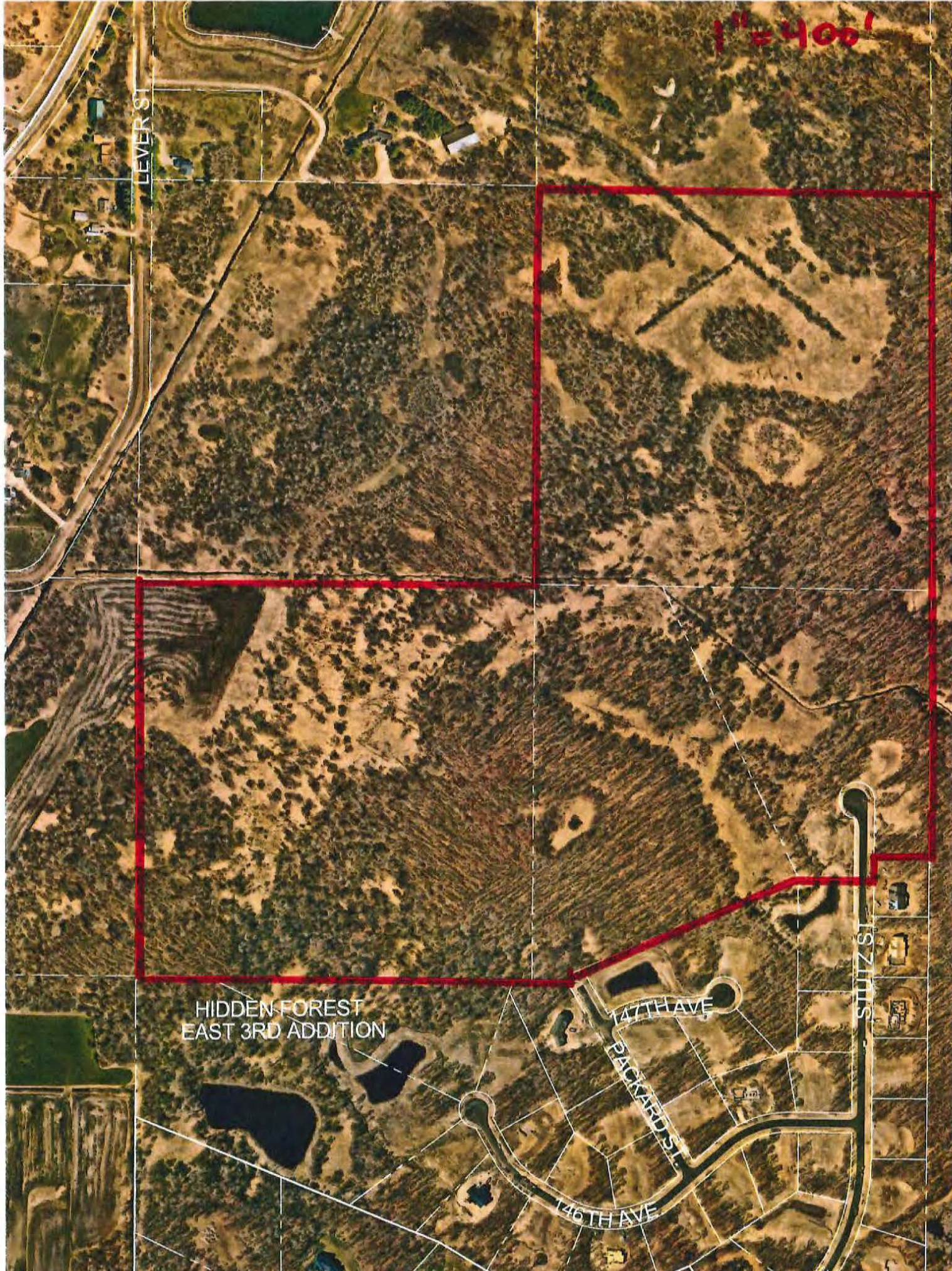
HIDDEN FOREST
EAST 3RD ADDITION

147TH AVE

PACKARD ST

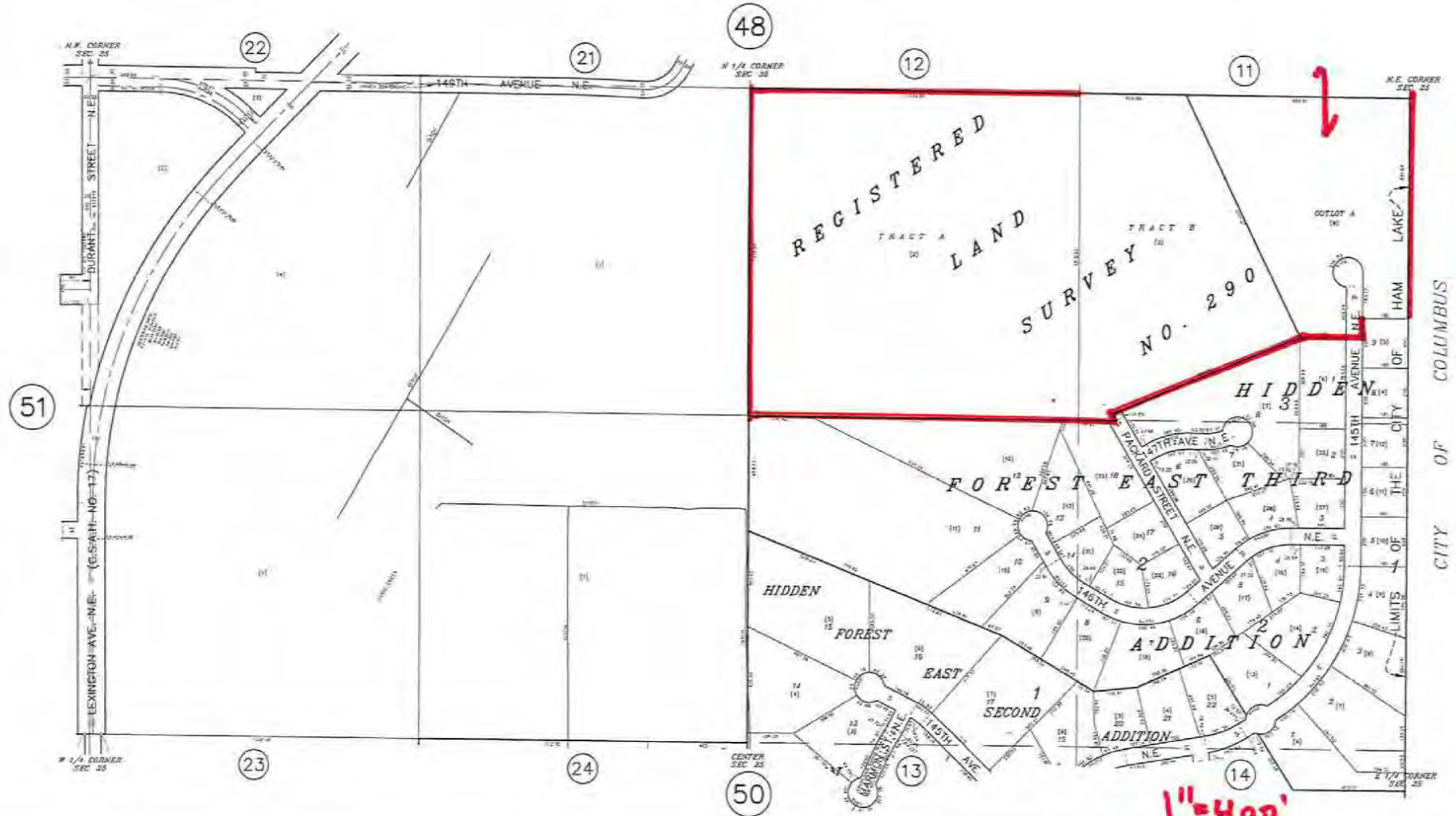
146TH AVE

STUTZ ST



N 1/2 SECTION 25, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

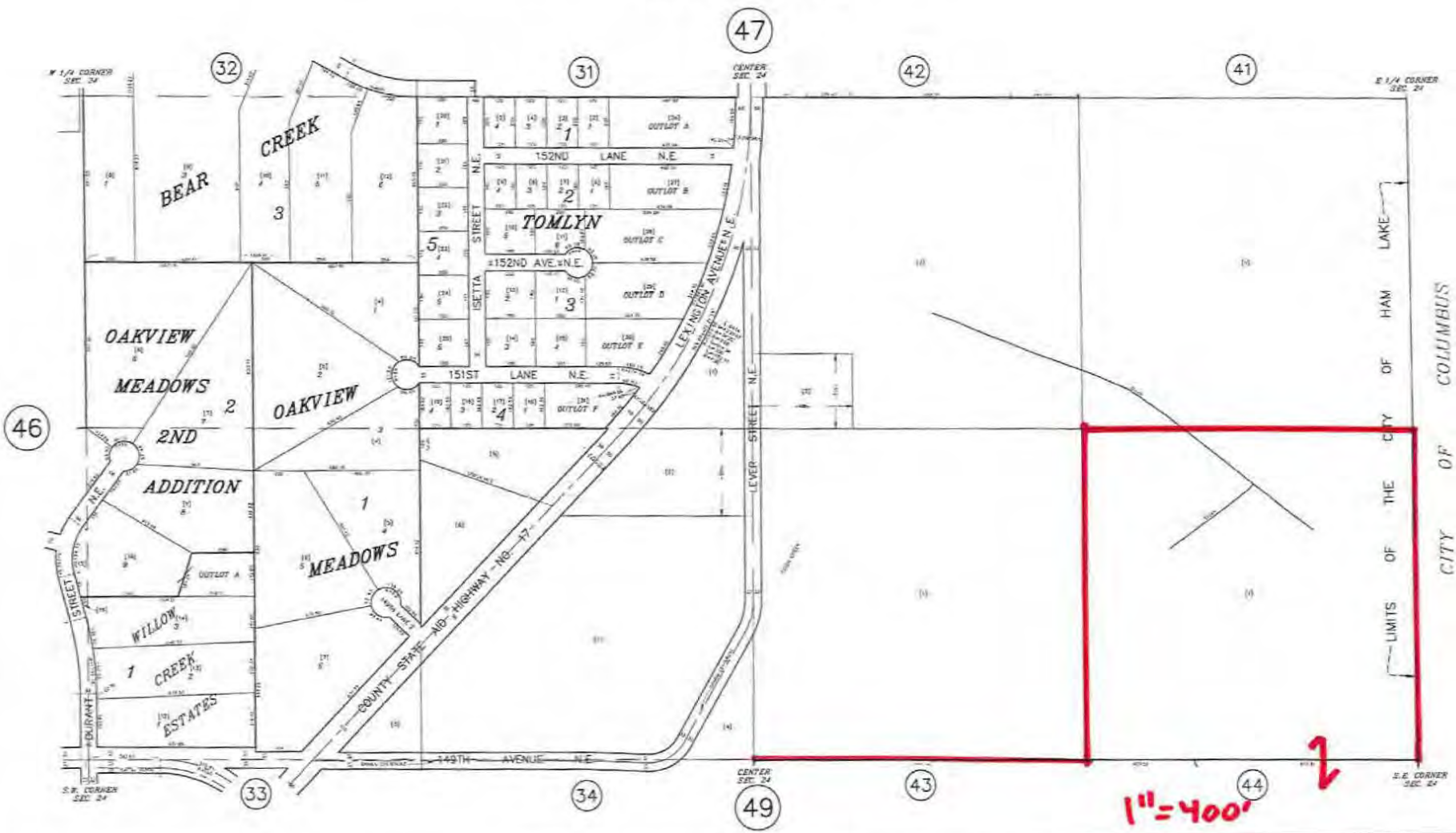
Section Number	Township Number	Range Number	Quarter Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS ()
EXAMPLE OF PIN NUMBER: 25-23-21-13-001

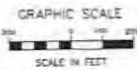
THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICE ARCHIVING THIS AREA SURVEY. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED

S 1/2 SECTION 24, T. 32, R. 23

CITY OF HAM LAKE



1" = 400'



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

32	21	12	11
23	24	13	14
32	31	42	41
23	24	43	44

NORTH HALF OF SECTION

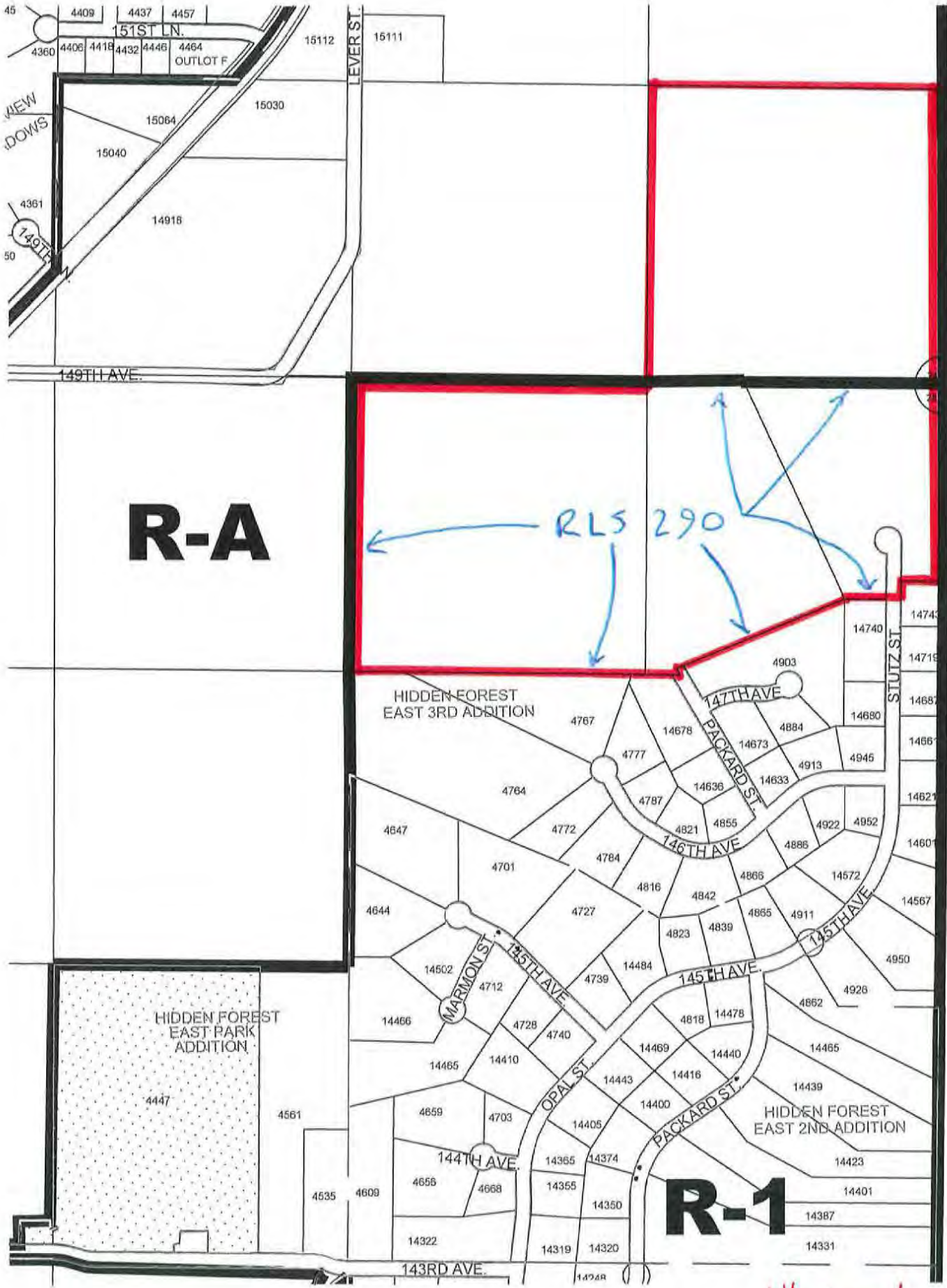
SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township	Range	Quarter	Specific Parcel
XX	XX	XX	XX	XXXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS (1)
EXAMPLE OF PIN NUMBER: 24-32-22-11-0017

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.



R-A

RLS 290

R-1

1" = 600'

TITLE SHEET

-of- HIDDEN FOREST EAST 4TH ADDITION
 -for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

VICINITY MAP

PART OF SECS. 24 AND 25, TWP. 32, RNS. 23



ANOKA COUNTY, MINNESOTA
 (NO SCALE)

SHEET INDEX

- | | |
|-------------|--------------------------------------|
| T1 | TITLE SHEET |
| 2-3 | PRELIMINARY PLAT |
| 4-8 | GRADING PLAN |
| 9-13 | LIVABILITY PLAN |
| 14-15 | LIVABILITY CHART |
| 16 | FLOODPLAIN EXHIBIT |
| C1.1 - C1.6 | PLAN / PROFILES |
| C2.1 - C2.3 | DETAILS & NOTES |
| C3.1 - C3.2 | STORMWATER POLLUTION PREVENTION PLAN |

POUND CALCULATIONS
 AND OTHER SURVEY DESIGN BY
 PLWE ENGINEERING, P.C.

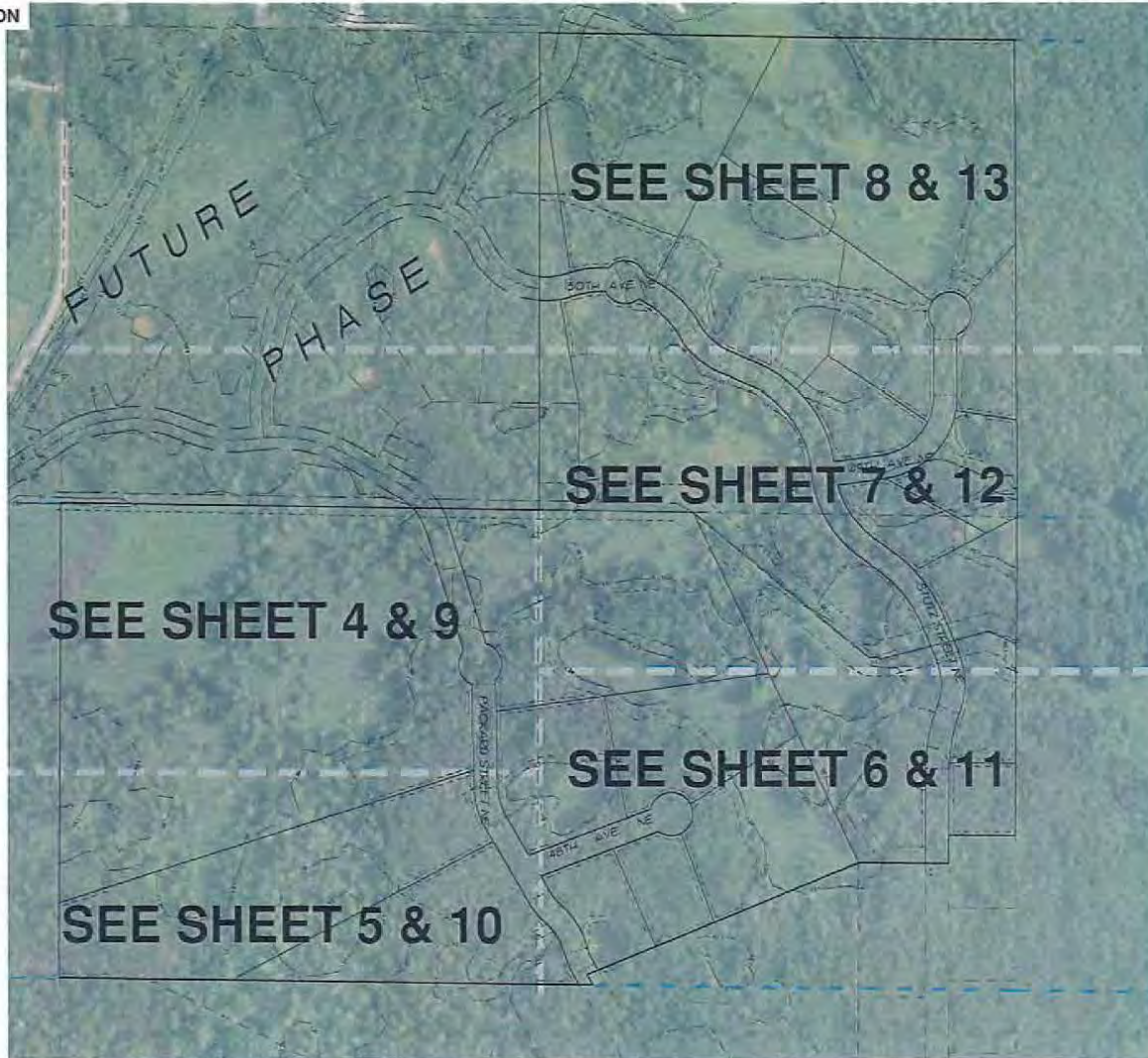
PLowe
 ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014

SITE PLANNING & ENGINEERING PHONE: (651) 261-8700
 FAX: (651) 261-8701

I HEREBY CERTIFY THAT THE STORMWATER
 MANAGEMENT AND DRAINAGE REPORT FOR THIS
 PLAN WAS PREPARED BY ME OR UNDER MY
 SUPERVISION AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE LAWS OF
 THE STATE OF MINNESOTA.

Jordan Orjuel
 JORDAN ORJUEL

DATE: 04/11/2022 LIC. NO. 43880



I hereby certify that this survey, plan
 or report was prepared by me or under
 my direct supervision and that I am
 a duly Registered Land Surveyor under
 the laws of the State of Minnesota.

Jordan Orjuel
 JORDAN ORJUEL License No. 41578
 Date: 04/11/2022

NO.	DATE	DESCRIPTION	BY
1	03/15/22	CITY / WATERWORKS COMMENTS	1688
2	04/11/22	CITY / WATERWORKS COMMENTS	1688
3			
4			
5	DATE	DESCRIPTION	BY

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

PRELIMINARY PLAT

-of- HIDDEN FOREST EAST 4TH ADDITION
 -for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

VICINITY MAP

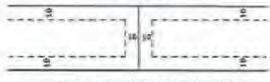
PART OF SECS. 24 AND 25, TWP. 32, RNG. 23



ANKKA COUNTY, MINNESOTA
 (NO SCALE)

TYPICAL EASEMENTS

(NOT TO SCALE)



10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES
 AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS
 OTHERWISE SHOWN

LEGEND

- DENOTES ANOKA COUNTY CAST IRON MAINLINE
- DENOTES LINEAR CONTOURS (2' INTERVAL)
- DENOTES DRAINAGE AND UTILITY EASEMENT
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND LINE DELINEATED BY WETLAND ENVIRONMENTAL SERVICES, INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES APPROXIMATE FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 27093C0235A, PANEL NO. 2355 SUPER 6, EFFECTIVE DATE DECEMBER 16TH, 2016.
- DENOTES PLANT SPECIES LOCATED BY STRATTEC CONSULTING SERVICES, INC.
- DENOTES WETLAND FILL
- DENOTES EXISTING AREA 1' ABOVE FORDING
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

NOTES

- 1 Bearings shown are an Anoka County datum.
- Parcel ID Numbers:
 - 24-22-23-14-0001
 - 25-22-23-13-0002
 - 25-22-23-11-0002
 - 25-22-23-11-0008
- OWNER: HFN PROPERTIES, LLC
 KNOLL FAMILY LIMITED PARTNER
 BEXELL, REBECCA H.

DEVELOPMENT DATA

- TOTAL SITE AREA = 132.86 ACRES
- OUTLOT AREA = 2.254 ACRES
- 22 PROPOSED SINGLE FAMILY LOTS
- 3 PROPOSED OUTLOTS
- AVERAGE LOT SIZE = 5.034 ACRES
- MINIMUM STREET FRONTAGE = 200 FEET
- MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
- PROPOSED ZONING = R-1
- BUILDING SETBACKS:
 - FRONT = 25 FEET
 - REAR = 10 FEET
 - SIDE = 10 FEET
 - COUNTY ROAD = 10 FEET

MATCHLINE: SEE SHEET 3

PROPERTY DESCRIPTION

OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota.
 AND:
 TRACTS A AND B, REGISTERED LAND SURVEY NO. 280, Anoka County, Minnesota.
 AND:
 The Southeast Quarter of the Southeast Quarter of Section 24, Township 32, Range 23, Anoka County, Minnesota

DATE	BY	DESCRIPTION	BY
04/11/2023	JAS	PRELIMINARY PLAT	JAS
04/11/2023	JAS	REVISED COMMENTS	JAS
04/11/2023	JAS	REVISED COMMENTS	JAS
04/11/2023	JAS	REVISED COMMENTS	JAS

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON J. JENSEN
 Date: 4/11/2023 License No. 41574

GRAPHIC SCALE



1" = 100 FEET

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

NORTH

PRELIMINARY PLAT

-of- HIDDEN FOREST EAST 4TH ADDITION
 -for- HFN PROPERTIES, LLC,
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

VICINITY MAP

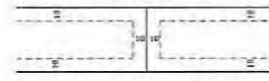
PART OF SECS. 24 AND 25, TWP. 21, RNG. 23



ANKO COUNTY, MINNESOTA
 (NO SCALE)

TYPICAL EASEMENTS

(NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES
 AND 15 FEET IN WIDTH ADJOINING LOT LINES UNLESS
 OTHERWISE SHOWN.

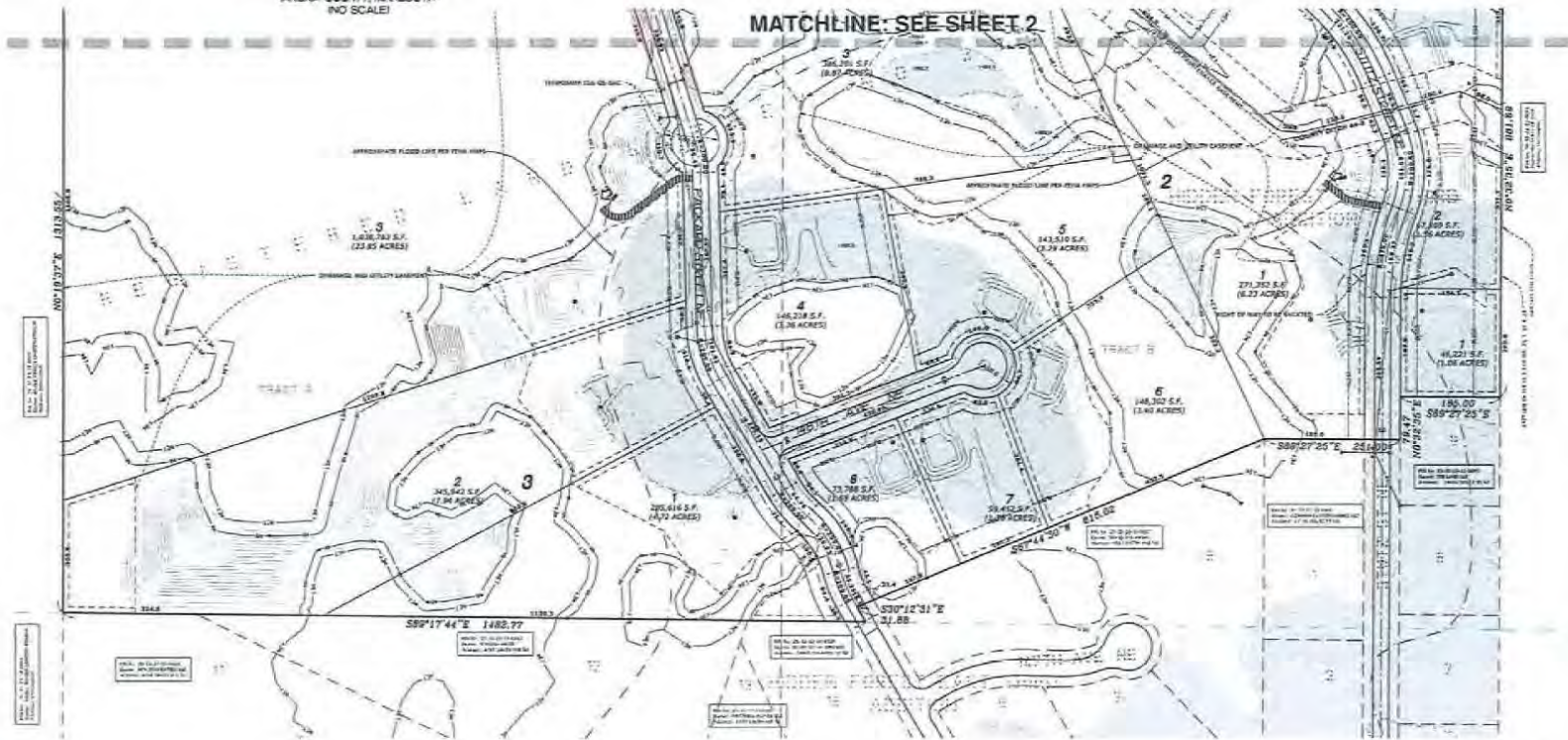
LEGEND

- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES LIDAR CONTOURS (2' INTERVAL)
- DENOTES DRAINAGE AND UTILITY EASEMENT
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND LINE DELINEATED BY KOLHAAS ENVIRONMENTAL SERVICES, INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES APPROXIMATE FIRM FLOOD ZONE A LINE FROM FIRM FLOOD INSURANCE RATE MAP NO. 27050C0732E DATED 06/28/2013 SURVEY & EFFECTIVE DATE DISCHARGED 10/14/2014
- DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- DENOTES WETLAND FILL
- DENOTES EXISTING AREA 1' ABOVE HOTTING
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

NOTES

- Bearings shown are on Anoka County datum.
- Parcel ID Number:
 - 20-22-21-44-0001
 - 20-22-21-12-0002
 - 20-22-21-11-0002
 - 20-22-21-11-0008
- OWNERS: HFN PROPERTIES, LLC
 ANOKA FAMILY LIMITED PARTNERSHIP
 BENTON, MINNESOTA

MATCHLINE: SEE SHEET 2



DEVELOPMENT DATA

- TOTAL SITE AREA = 112.964 ACRES
- OUTLOT AREA = 2.384 ACRES
- 22 PROPOSED SINGLE FAMILY LOTS
- 2 PROPOSED OUTLOTS
- AVERAGE LOT SIZE = 5.02 ACRES
- MINIMUM STREET FRONTAGE = 200 FEET
- MINIMUM LOT SIZE = 1.06 ACRES (INCLUDING HALF OF STREET ROW)
- PROPOSED ZONING = R-1
- BUILDING SETBACKS:
 - FRONT = 30 FEET
 - REAR = 10 FEET
 - SIDE = 10 FEET
 - COUNTY ROAD = 50 FEET

PROPERTY DESCRIPTION

OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota.
 AND
 Tracts A and B, REGISTERED LAND SURVEY NO. 263, Anoka County, Minnesota.
 AND
 The Southwest Quarter of the Southwest Quarter of Section 24, Township 21, Range 23, Anoka County, Minnesota.

DATE	BY	DATE	BY
04/11/2023	JASON RUD		

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON RUD
 Date: 04/11/2023 License No. 41578



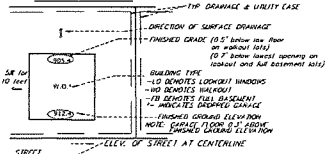
E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ HIDDEN FOREST EAST 4TH ADDITION
 ~for~ HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



LEGEND

- ⊙ DENOTES SOIL BORING BY TRADITIONAL SOIL TESTING
- ⊙ DENOTES PENETROMETER OR PENETRATION BORING OF GRAIN ANALYSIS, ETC.
- ⊙ DENOTES EMERGENCY OVERLAY ELEVATION
- ⊙ DENOTES EXISTING GROUND ELEVATION
- ⊙ DENOTES WETLAND
- ⊙ DENOTES EXISTING 1 FOOT CONTOUR
- ⊙ DENOTES PROPOSED 2 FOOT CONTOUR
- WET DENOTES WETLAND DELIMITED BY KENNETH ENVIRONMENTAL SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED 20' OH-SHIELD
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES ROAD TO BE INSTALLED
- DENOTES PROPOSED DRAINAGE TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED GROUND ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE HOTSPOTS
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES BUFFER BUFFER TO BE LOCATED IN WETLAND BUFFER
- DENOTES PROPOSED STORM WATER DRAINAGE PROTECTION
- DENOTES PLANT SPECIES LOCATED BY STAFFORD CONSULTING SERVICES, INC.
- DENOTES APPROPRIATE FIRM FLOOD ZONE LINE FROM FEMA FLOOD INSURANCE RATE MAPS, PROSPECTIVE FIRM NO. 5015, AFTER A FURTHER DATE UNLESS OTHERWISE NOTED.
- DENOTES C.C.W.D. FLOOD ZONE LINE PER TOPOGRAPHY
- DENOTES TREE PRESERVATION AREA
- DENOTES 12' POND ACCESS
- DENOTES FLOODPLAIN FILL
- DENOTES WETLAND FILL
- DENOTES CONSPICUOUS STORAGE AREA

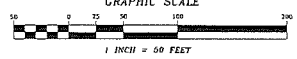
COUNTY DITCH 44-5

WETLAND 1
 100 YD. WIDE - FIELD #1
 (PER C.C.W.D. MODEL)

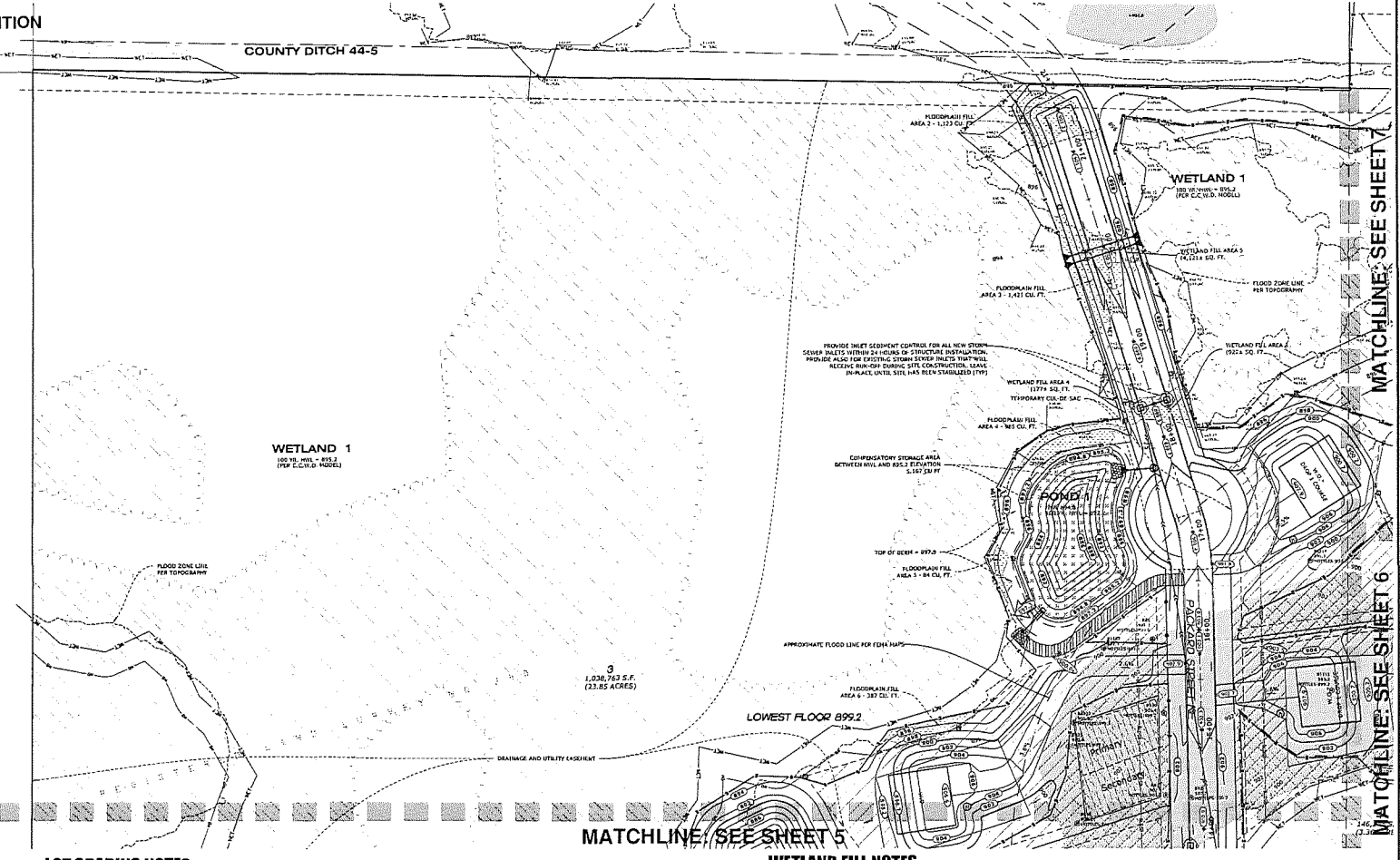
LOT GRADING NOTES
 FLOODPLAIN FILL NOTES
 TREE PROTECTION NOTES

WETLAND FILL NOTES

POUNDING CALCULATIONS AND STORM WATER DESIGN BY
PLOWE ENGINEERING, INC.
 8274 LAKE DRIVE, SUITE 110
 LINO LAKES, MN 55014
 PHONE: (612) 381-8210
 & ENGINEERING FAX: (612) 381-8701
 I HEREBY CERTIFY THAT THE DESIGN, CONSTRUCTION MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 ADAM GRENKEL
 DATE: 05-16-2023 LIC. NO. 438803



E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



LOT GRADING NOTES
 PAD CONTOURS SHOWN ARE FOR DEMONSTRATION PURPOSES. INDICATE TYPES AND GRADING THAT VARY FROM THOSE AS PROPOSED ON THE GRADING PLAN. FLOODPLAIN FILL AREAS SHALL BE GRADDED TO BE EQUAL TO OR HIGHER PRIOR TO ANY CONSTRUCTION THERE IS TO BE NO GRADING WITHIN THESE AREAS.

EROSION CONTROL / VEGETATION SPECS.
 1. PRIOR TO INITIAL GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCES WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
 2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNOCCUPIED AREAS.
 3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED AND MULCH ANCHORED WITH A STRAIGHT SET POLE WITHIN SEVEN DAYS AFTER INITIAL GRADING.
 4. MAINTAIN AND REPAIR SILT STOP FENCES INCLUDING REMOVAL OF ACCUMULATED SILT UNTIL VEGETATION IS ESTABLISHED.
 5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SCHEDULING.

FLOODPLAIN FILL NOTES
 (GOOD CREEK WATERSHED FLOODPLAIN FILL)
 FLOODPLAIN FILL WETLAND (A BASIS) 1.045 CUFT
 CONSPICUOUS STORAGE = 26,444 CUFT
 CONSPICUOUS STORAGE PROVIDED IN DRAINAGE AREA 2 BETWEEN 899 AND 897 ELEVATION
 FLOODPLAIN FILL IN WETLAND 1 BASIS = 4,680 CUFT
 CONSPICUOUS STORAGE = 3,167 CUFT
 CONSPICUOUS STORAGE PROVIDED IN POND 1 BETWEEN 896 AND 894.5'

TREE PROTECTION NOTES
 - THESE PROTECTION LIMITS TO BE INSTALLED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
 - SILT / TREE PROTECTION FENCE TO BE INSTALLED IN CONSTRUCTION LIMIT LINE.
 - CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE PROTECTION LIMITS.
 - TREE DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
 - SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. CHIPPING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.

WETLAND FILL NOTES
 WETLAND FILL AREA = 12,659 SQ. FT.

NOTES
 - BUILDINGS SHOWN ARE ON ANOKA COUNTY DUTY.
 - TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
 - 2' EXCEED INTERIOR WALLS (88').
 - CONTOUR SHOWINGS ARE FOR ILLUSTRATION PURPOSES AND FIELD VERIFICATION OF ACTIVITY.
 - ALL HATCH POINTS AND INTERVALS SHALL BE AS SHOWN AT FULL DEPTH.
 - FOR AREA TO BE COVERED WITHIN AREA OF LIMITATION OF ROAD GRADING OR BUILT-UP.
 - SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RIGS, INVERTS, AND SIZES.
 - TRAFFIC SIGN TESTING COMPLETED. SOIL BORINGS ON AND ADJACENT TO THE SITE IN 2023. THESE BORING LOCATIONS AND DEPTHS SHOWN ARE FROM THE PRELIMINARY GRADING, DRAINAGE AND EROSION CONTROL PLANS OF WETLANDS PRESERVATION LIMITED PARTITION. THE DEPTH OF 2023 TRAFFIC SIGN TESTING AND SOIL BORINGS THAT WERE FIELD LOCATED BY E. G. RUD AND SONS, INC. SHOULD BE USED FOR THE PRELIMINARY GRADING, DRAINAGE AND EROSION CONTROL PLANS OF WETLANDS PRESERVATION LIMITED PARTITION.
 - BRUSH TRAILS COMPLETELY REMOVED AND SET RECONSTRUCTED ON AND ADJACENT TO THE SITE IN 2023, AND DEAD THE PERIMETERS OF (600 AND 890). PRE-DITCHERS WERE FIELD LOCATED AND ADDITIONAL HEADINGS WERE TAKEN ON FIELD PENETRATION BORING LOCATIONS AND DEPTHS SHOWN ARE FROM THE PRELIMINARY GRADING, DRAINAGE AND EROSION CONTROL PLANS OF WETLANDS PRESERVATION LIMITED PARTITION FOR LOTS 512, BLOCK 1 AND LOT 2, BLOCK 2. AUTOCORRECTED GROUNDWATER ELEVATIONS ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO FIELD VERIFICATION.
 - ALL LIFE SUPPORT SYSTEMS ARE PROVIDED WITH TRAP GUARDS.
 - PROVIDE CLASS II HORMA WITH FILTER FABRIC FOR ALL PUMP OUTLETS. INSTALL 6" OF TOPSOIL ON RIMPAN III WETLAND BUFFERS AND SEED WITH SEED MIX 30:30:30.
 - IN DEVELOPMENT IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A FLOOD RESISTANCE PERMIT AND WILL PROVIDE WETLAND BUFFERS AND SEED WITH SEED MIX 30:30:30.
 - IN DEVELOPMENT IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A FLOOD RESISTANCE PERMIT AND WILL PROVIDE WETLAND BUFFERS AND SEED WITH SEED MIX 30:30:30.
 - DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

NOTES
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
 JASON E. RUD
 Date: 05/16/2023 License No. 41578

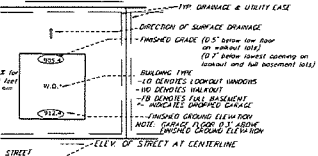
NO.	DATE	DISCUSSION	BY
1	05/16/2023	CITY / WATERWORKS COMMENTS	TRND
2	04/12/23	CITY / WATERWORKS COMMENTS	TRND
3	05/16/23	CITY / WATERWORKS COMMENTS	SWH
4			
5			

NORTH

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

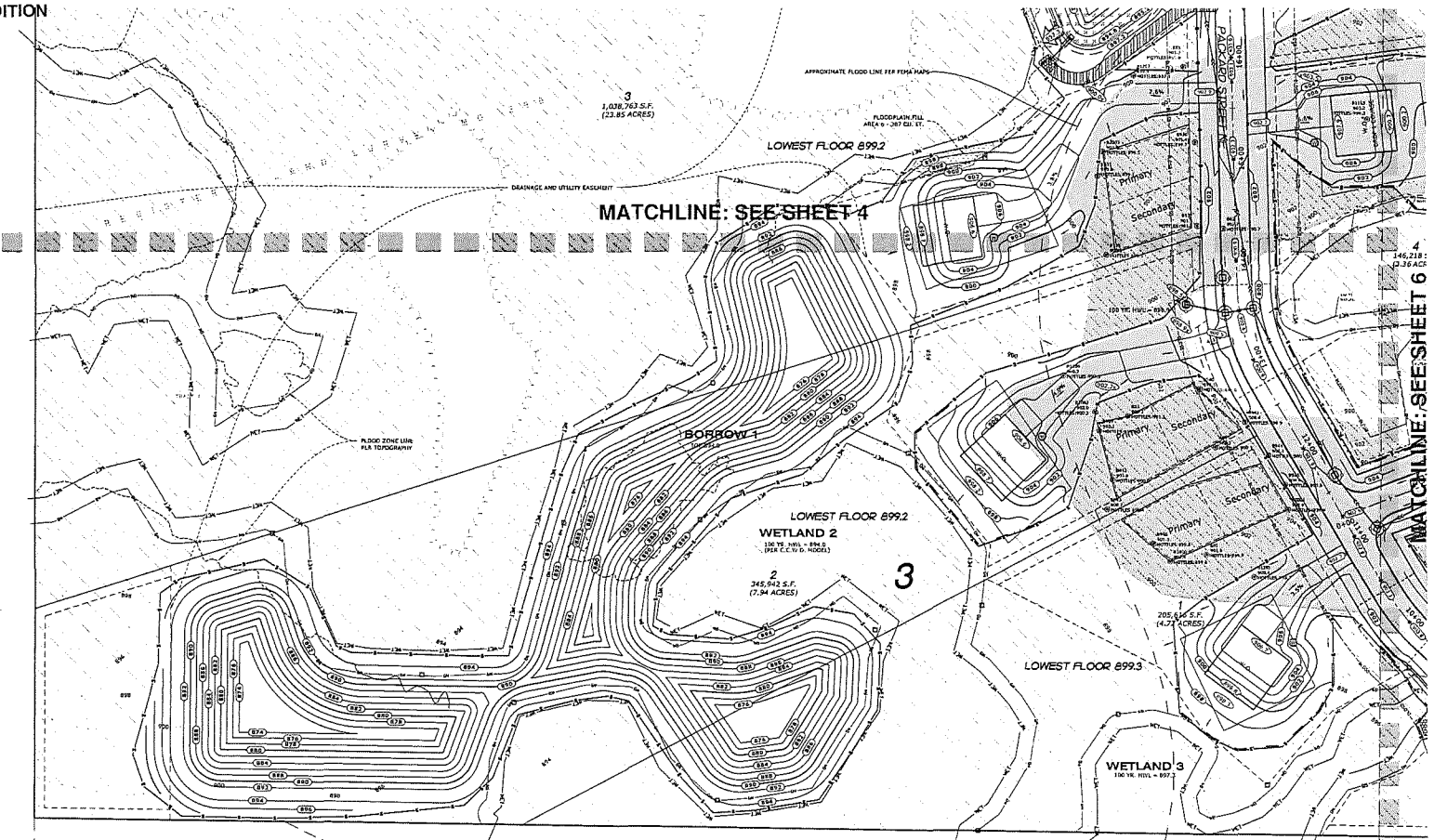
-of- HIDDEN FOREST EAST 4TH ADDITION
 -for- HFN PROPERTIES, LLC
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



LEGEND

- DENOTES SOIL BORING BY TRACKER/WEISS SOIL TESTING
- DENOTES PRESUMER OR PENETRATION BORING BY GEOTECHNICAL LINE
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES LOT LINE
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY GEOTECHNICAL/ENVIRONMENTAL SERVICES COMPANY
- DENOTES BASEMENT LINE
- DENOTES SEWERAGE LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SALT / TREE PROTECTION FENCE
- DENOTES AREA TO BE VEGETATED WITHIN INSIDE SALT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE HOTSPOTS
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SLOPE
- DENOTES RIPRAP RIPRAP TO BE VEGETATED WITHIN BUFFER
- DENOTES PROPOSED STORM SEWER BUILT PROTECTION
- DENOTES PLANT SPECIES LOCATED BY SPATIAL CONSULTING SERVICES, INC.
- DENOTES APPROXIMATE FEMA FLOOD ZONE 2 LINE FROM PLAN BEARING BY THE CITY OF ANDOVER, MN. FLOOD ZONE 2 LINE PANEL NO. 5303 SUPER L, EFFECTIVE DATE DECEMBER 14TH, 2003.
- DENOTES C.U.V.D. FLOOD ZONE LINE PER TOPOGRAPHY
- DENOTES TREE PRESERVATION AREA
- DENOTES 12' ROAD ACCESS
- DENOTES FLOODPLAIN FILL
- DENOTES WETLAND FILL
- DENOTES CONSENSUATORY STORAGE AREA



LOT GRADING NOTES

1. ALL EROSION CONTROL MEASURES FOR DISSEMINATION PURPOSES MUST BE INSTALLED PRIOR TO ANY GRADING. THIS PLAN SHOWS THE LOCATION AND TYPE OF EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO ANY GRADING. THESE MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING. THESE MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING.

EROSION CONTROL / VEGETATION SPECS.

1. PRIOR TO ANY GRADING, INSTALL SALT STOP FENCE IN LOCATION SHOWN. APPROXIMATE SALT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS ALLOW. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY ENGINEER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNGRADED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TYPICAL SEED, SOIL, AND MULCH AMONGED WITH A STRAIGHT SET BACK WITHIN SEVEN DAYS AFTER GRADING.
4. MAINTAIN AND REPAIR SALT STOP FENCES ENVELOPING REMOVAL OF ACCUMULATED SALT UNTIL VEGETATION IS ESTABLISHED.
5. SEE "SEWER WATER POLLUTION PREVENTION PLAN FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SPECIFICATIONS."

FLOODPLAIN FILL NOTES

- 1. FLOODPLAIN FILL WETLAND 1A BASIN - 4.80 CU YD COMPENSATORY STORAGE PROVIDED IN BORROW AREA 2 BETWEEN ROW AND SET ELEVATION.
- 2. FLOODPLAIN FILL IN WETLAND 1 BASIN - 4.80 CU YD COMPENSATORY STORAGE - 5.167 CU YD (COMPENSATORY STORAGE PROVIDED IN POND 1 BETWEEN ROW AND SWS).

TREE PROTECTION NOTES

- 1. TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- 2. SALT TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- 3. CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE PROTECTION LIMITS.
- 4. TREE PROTECTION LIMITS TO BE MARKED ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
- 5. SOME TREES AND ROAD PAVEMENT TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SALT TREE PROTECTION FENCE. DRAINAGE OF STUMPS WILL OCCUR AFTER WETLAND GRADING MEASURES ARE INSTALLED.

WETLAND FILL NOTES

1. WETLAND FILL AREA = 12,859 SQ. FT.

NOTES

- 1. ELEVATIONS SHOWN ARE ON ANHOLD COUNTY DATUM.
- 2. TOTAL LOT AREA ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 3. 2 FOOT CONTOUR INTERVAL SHOWN.
- 4. CONTOUR SPACING ARE PER LOCAL GRADING AND FIELD VERIFICATION.
- 5. ALL WATER POINTS AND PAVEMENT PATCHES TO BE SLOPED AT FULL DEPTH.
- 6. THIS AREA TO BE SETBACK WITHIN 7 DAYS AFTER COMPLETION OF GRADING OR INACTIVITY.
- 7. SEE PRELIMINARY PLAN, FRONTIER SHEETS FOR SIGHT SEVERAL SIGNS, SIGNS, AND SIGNS.
- 8. TRACKED VEHICLE TESTING COVERS AND SPECIFIC SOIL BORDERS AND ADJACENT TO THE SITE IN 2002. THESE BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL, PLANS OF WETLAND PRESERVATION DATED 04/20/02. THE DECISION OF 2002 TRACKING PERFORMED ADDITIONAL SLOPE BORINGS THAT WERE FIELD LOCATED BY L.C. RUD AND SONS, INC.
- 9. GRAB SAMPLES FOR WETLAND PRESERVATION AND SET PRESUMERS SET AND ADJACENT TO THE SITE IN 2002, AND READ THE PRESUMERS ON ROAD AND BRIDGES. PRESUMERS WERE FIELD LOCATED AND ADDITIONAL READINGS WERE TAKEN ON BRIDGES. FRESHNESS LOCATIONS AND ELEVATIONS PROVIDED ARE FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WETLAND PRESERVATION DATED 04/20/02.
- 10. GRAB SAMPLES TO DETERMINE SITE GRADE YEAR BALANCE WITH PRESUMERS FOR LOTS 5-11, BLOCK 1 AND LOT 2, BLOCK 2.
- 11. ALL PROTECTIVE MEASURES TO BE PROVIDED WITHIN THREE DAYS.
- 12. PROVIDE CLASS 2 RIPRAP WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON RIPRAP TO RETAIN AND NURTURE AND CLEAN WITH SODAS TO TENDRY 12 IN.
- 13. IF DOWNSTREAM IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A 30 DAY ENVIRONMENTAL PERMIT AND WILL PROVIDE WELL FIELD LOCATIONS, RATES, STORAGE LOCATIONS, SCHEDULES AND QUANTITIES TO CITY 7 DAYS PRIOR TO ANY DISTURBING OPERATIONS.
- 14. CONTRACTORS MUST BE PROVIDED WITH OUR FERRY PAGES ON BALANCE SHEETS TO BE MAINTAINED WITHIN 24 HOURS AFTER COMPLETION OF WORK AND STOCKPILES WILL BE INHIBITED OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER COMPLETION OF ACTIVITY IN THIS AREA AND TEMPORARILY OR PERMANENTLY CEASED.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 05/16/2023 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	03/27/23	CITY WATER-SHED COMMENTS	PHD
2	05/16/23	CITY WATER-SHED COMMENTS	ENR
3	05/16/23	CITY WATER-SHED COMMENTS	ENR
4			
5			

ENGINEERING CALCULATIONS AND STRENGTH CHECK DESIGN BY FLORE ENGINEERING, INC.

FLORE ENGINEERING, INC.
 8774 LAKE DRIVE
 LINO LAKE, MN 55014

PHONE: (651) 361-8210
 FAX: (651) 361-8701

WEBSITE: WWW.FLORE-ENG.COM

DATE: 05.16.2023 LIC. NO. 48882

GRAPHIC SCALE
 1 INCH = 30 FEET

F. E. G. RUD & SONS, INC.
 EST. 1877
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

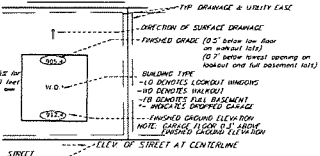
MATCHLINE - SEE SHEET 6

NORTH

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

-of- HIDDEN FOREST EAST 4TH ADDITION
 -for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



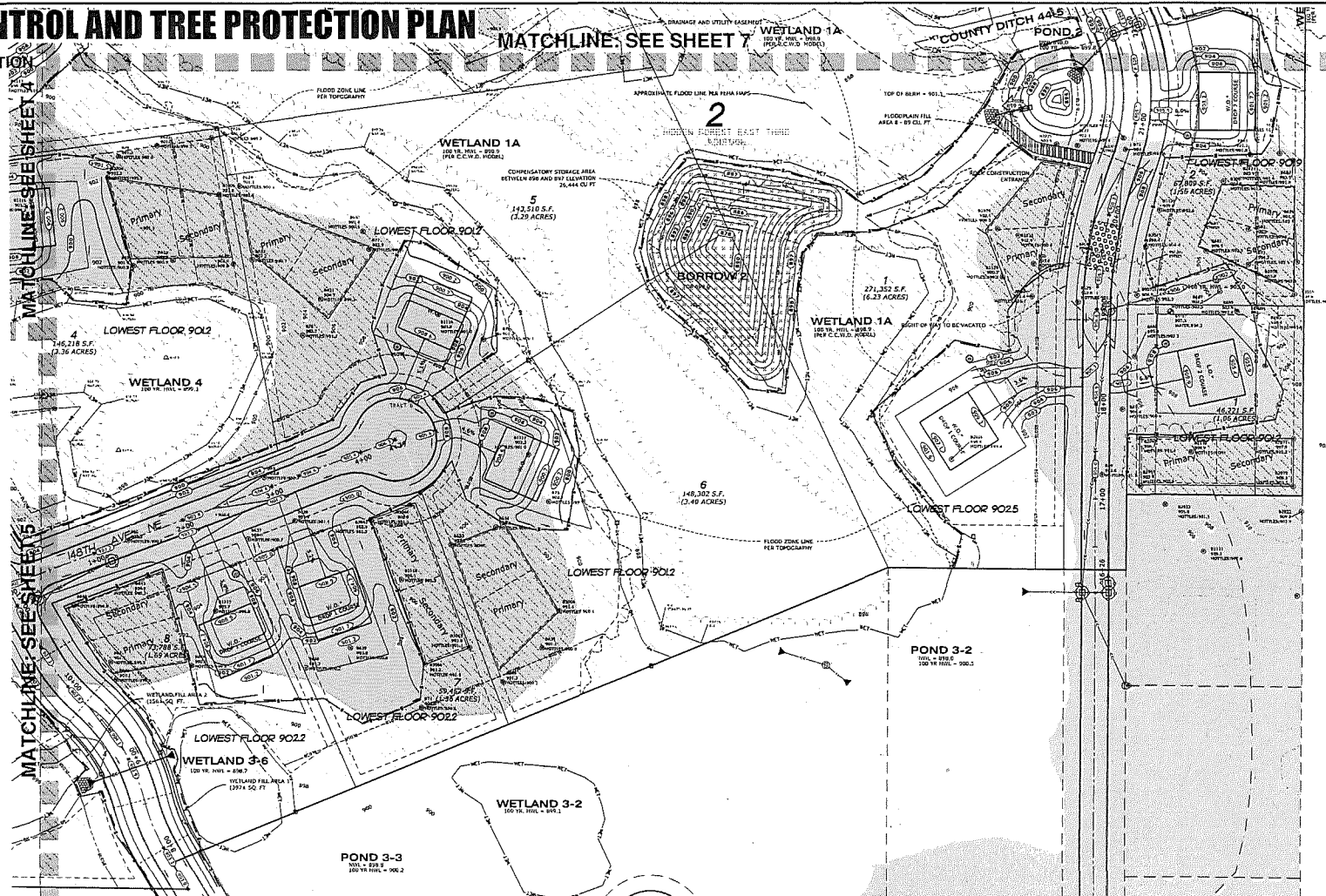
LEGEND

- DENOTES SOIL BORING BY TRADITIONAL SOIL TESTING
- DENOTES PENETROMETER OR PENETRATION BORING BY GEOTECHNICAL ENGINEER
- DENOTES EMERGENCY OVERFLOW SITUATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING 3 FOOT CENTER
- DENOTES PROPOSED 2 FOOT CENTER
- DENOTES WETLAND DELIMITED BY GEOTECHNICAL/ENVIRONMENTAL SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES SERVICE LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SLOTTED TREE PROTECTION FENCE
- DENOTES PROPOSED SLOTTED TREE PROTECTION FENCE
- DENOTES PROPOSED SLOTTED TREE PROTECTION FENCE
- DENOTES PROPOSED SLOTTED TREE PROTECTION FENCE
- DENOTES PROPOSED CENTERLINE SITUATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1" ABOVE HOTSPOTS
- DENOTES INTERLUMEN VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES SURFAP STRIP/UP TO BE VEGETATED BY LANDSCAPER
- DENOTES PROPOSED STORM SEWER SINKER PROTECTION
- DENOTES PLANT SPECIES LOCATED BY STATISTICAL CONSULTING SERVICES, INC.
- DENOTES APPROXIMATE FEMA FLOOD ZONE LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 49053Z (FLOOD DAMAGE PREVENTION DATE: DECEMBER 18TH 2005)
- DENOTES C.C.W.D. FLOOD ZONE LINE PER TOPOGRAPHY
- DENOTES TREE PRESERVATION AREA
- DENOTES 12' ROAD ACCESS
- DENOTES FLOODPLAIN FILL
- DENOTES WETLAND FILL
- DENOTES COMPENSATORY STORAGE AREA

PONDING CALCULATIONS AND STORM SEWER DESIGN BY
PLOWE ENGINEERS, INC.
 8776 LAKE DRIVE NW
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (855) 351-8210
 FAX: (855) 351-8701
 I HEREBY CERTIFY THAT THE EROSION CONTROL, MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 ADAM GENKEL
 DATE: 05.18.2023 LIC. NO. 43982

GRAPHIC SCALE
 1" = 50 FEET

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



EROSION CONTROL / REVEGETATION SPECS.

1. FROM TO ROUGH GRADING, INSTALL 3x12 STOP FENCE IN 4' LOCATIONS. ADDITIONAL 3x12 STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS REQUIRED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO AVOID UNNECESSARY EROSION.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE PLANTING TOPSOIL, SEED, AND MULCH APPLICABLE WITH A STRAIGHT 1/2" GAGE. WITHIN 30 DAYS AFTER ROUGH GRADING.
4. MAINTAIN AND REPAIR 3x12 STOP FENCES INCLUDING REMOVAL OF ACCUMULATED 3x12 MULCH. VEGETATION IS ESTABLISHED.
5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

LOT GRADING NOTES

- 1. FAD CONTROLS SHOW ARE FOR DEMONSTRATION PURPOSES. HOUSE TYPES AND GRADING THAT VARY FROM WHAT IS INDICATED ON THE GRADING PLAN, REQUIRES A PLAN REVIEW BY THE CITY OF MINNAPOLIS. SET FENCE TO BE INSTALLED BY BUILDUP PRIOR TO ROUGH CONSTRUCTION THERE IS TO BE GRADING WITHIN SETS. BEAC.

TREE PROTECTION NOTES

- 1. TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- 2. ALL TREE PROTECTION FENCES TO BE INSTALLED AT CONSTRUCTION LIMITS.
- 3. CALL TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN TREE PROTECTION LIMITS.
- 4. FENCED ENCLOSURES WILL BE MADE OF LOCATION OF TREE PROTECTION LIMITS TO PREVENT SIGNIFICANT TREE DAMAGE.
- 5. SOIL TREES AND DEAD PLANT AIR TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILTY TREE PROTECTION FENCE. GRADING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.

FLOODPLAIN FILL NOTES

- 1. FLOODPLAIN FILL SHALL BE PLACED IN 14 BACH-14WY CUFF COMPENSATORY STORAGE = 26,444 CU YD.
- 2. FLOODPLAIN FILL IN WETLAND 1B SHALL BE 4,000 CU YD COMPENSATORY STORAGE = 5,000 CU YD.
- 3. COMPENSATORY STORAGE PROVIDED IN POND 1 BETWEEN 898 AND 877 ELEVATION.

WETLAND FILL NOTES

- 1. BEACHES SHOWN ARE ON ANDRA COUNTY DATUM.
- 2. 2 FOOT CONTOUR INTERVAL (MAY BE).
- 3. TOPSOIL SHALL BE 100 HEDGES LAYER DISTRIBUTION AND FIELD VEGETATION.
- 4. ALL FILL POINTS AND PARALLEL PARCELS TO BE SAVED AT FILL DEPTH.
- 5. THIS AREA TO BE SAVED WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY.
- 6. SEE PRELIMINARY PLAN, PROTECT SHEETS FOR STORM SEWER RINGS, INVERTS, AND SINKERS.
- 7. TRADITIONAL SOIL TESTING COMPLETED SETIC SOIL BORINGS AND ADJACENT TO THE SITE IN 2003.
- 8. GRADING AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.
- 9. MEASUREMENTS WERE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.
- 10. MEASUREMENTS WERE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.
- 11. MEASUREMENTS WERE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.
- 12. MEASUREMENTS WERE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.

NOTES

- 1. BEACHES SHOWN ARE ON ANDRA COUNTY DATUM.
- 2. 2 FOOT CONTOUR INTERVAL (MAY BE).
- 3. TOPSOIL SHALL BE 100 HEDGES LAYER DISTRIBUTION AND FIELD VEGETATION.
- 4. ALL FILL POINTS AND PARALLEL PARCELS TO BE SAVED AT FILL DEPTH.
- 5. THIS AREA TO BE SAVED WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY.
- 6. SEE PRELIMINARY PLAN, PROTECT SHEETS FOR STORM SEWER RINGS, INVERTS, AND SINKERS.
- 7. TRADITIONAL SOIL TESTING COMPLETED SETIC SOIL BORINGS AND ADJACENT TO THE SITE IN 2003.
- 8. GRADING AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.
- 9. MEASUREMENTS WERE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.
- 10. MEASUREMENTS WERE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.
- 11. MEASUREMENTS WERE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.
- 12. MEASUREMENTS WERE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLAN OF FEBRUARY 2003.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
 JASON E. RUD
 Date: 05/18/2023 License No. 41578

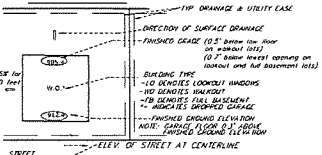
NO.	DATE	DESCRIPTION	BY
1	05/18/23	CITY WATERSHED COMMENTS	JHR
2	05/18/23	CITY WATERSHED COMMENTS	JHR
3	05/18/23	CITY WATERSHED COMMENTS	JHR

NORTH

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

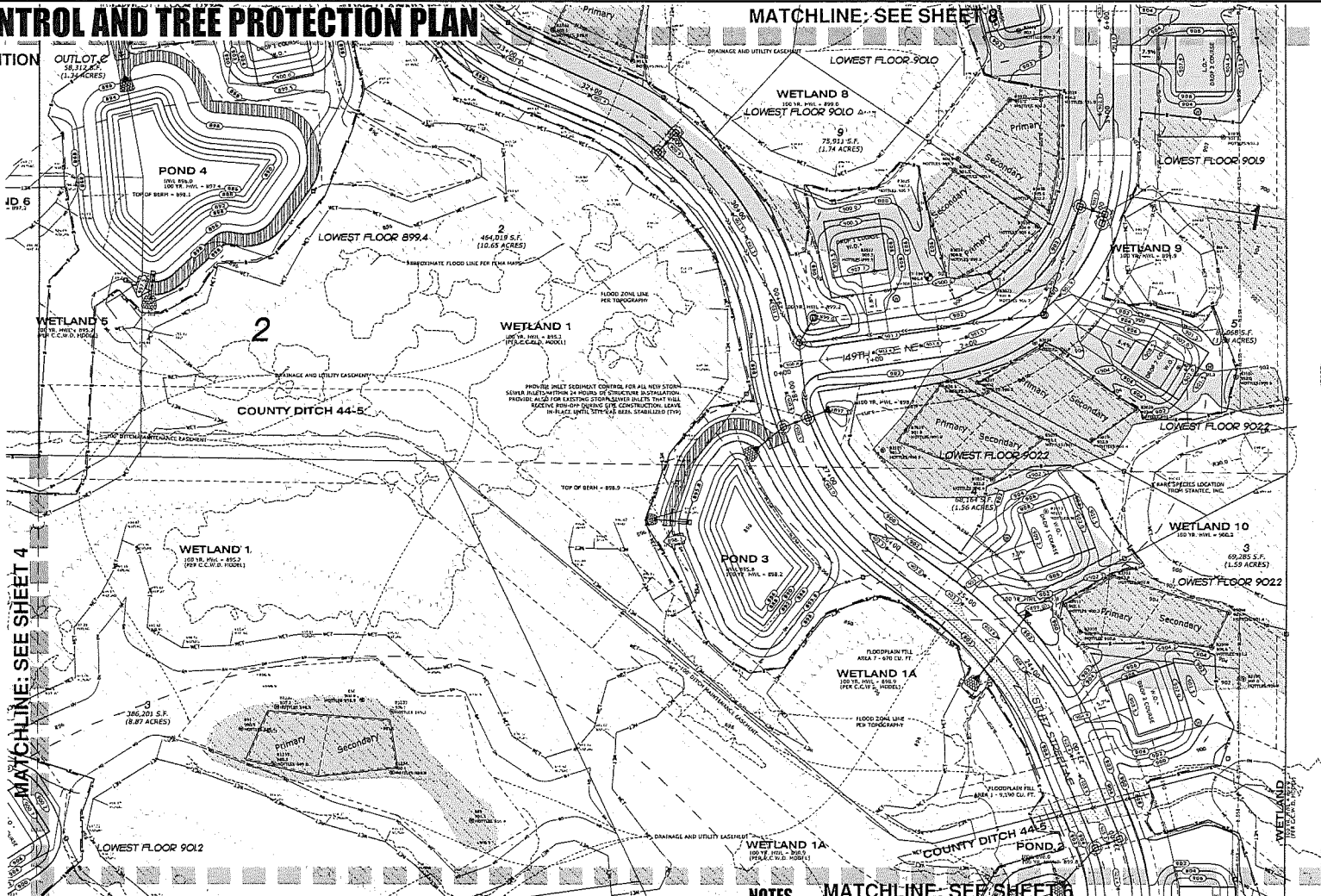
~of- HIDDEN FOREST EAST 4TH ADDITION
 ~for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



LEGEND

- DENOTES SOIL, HOME BY TRADEMARK SOIL TESTING
- DENOTES PIEZOMETER ON TRADEMARK BORING BY DRAIN INTERTEC, INC.
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES EXISTING CONTOUR ELEVATION
- DENOTES VET LAND
- DENOTES PROPOSED 3 FOOT CONTOURS
- DENOTES WETLAND DELINEATED BY KIERULFF ENVIRONMENTAL SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES SIDEWALK TO BE INSTALLED
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED WALL LOCATION
- DENOTES AREA 1 AESTHETIC HOTSPOTS
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER 50'
- DENOTES BUFFER 100' TO BE VEGETATED IN WETLAND BUFFER
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES PLANT SPECIES LOCATED BY TRAFFIC CONSULTING SERVICES, INC.
- DENOTES APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 37002C0335E PANEL NO. 9304-S-01A L.A. EFFECTIVE DATE: 08/16/2015
- DENOTES C.E.M.D. FLOOD ZONE LINE PER TOPOGRAPHY
- DENOTES TREE PRESERVATION AREA
- DENOTES 12' POND ACCESS
- DENOTES WETLAND FILL
- DENOTES FLOODPLAIN FILL
- DENOTES COMPENSATORY STORAGE AREA



MATCHLINE: SEE SHEET 4

MATCHLINE: SEE SHEET 6

PLOWE ENGINEERING, INC.
 8776 LAKE DRIVE, SUITE 110
 LINO LAKES, MN 55014
 PHONE: (651) 361-8210
 FAX: (651) 361-8701
 ADAM GARNER, DATE: 05/16/2023, LIC. NO. 428863

EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO MOULD GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS REQUIRED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOVERED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROTECT NATIVE TROPICAL, SEED, AND SOILS ASSOCIATED WITH A STRAIGHT SET SIDE DRAIN DITCHES AFTER REGIONAL GRADING.
4. MAINTAIN AND REPAIR SILT STOP FENCES INCLUDING REMOVAL OF ACCUMULATED SILT UNTIL VEGETATION IS ESTABLISHED.
5. SEE TYPICAL WATER POLLUTION PREVENTION PLAN FOR ADDITIONAL EROSION CONTROL, NOTES, AND SITE SEQUENCING.

TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE SHOWN IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SET TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CHAINS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OF CONSTRUCTION VEHICLE TRAVEL WITHIN THE CHAIN LINE OF THE TREE PROTECTION FENCE.
- FIELD DITCHES WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
- SOILS, TREES AND DEAD FALL ARE TO BE CLEANED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRABBING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.

FLOODPLAIN FILL NOTES

- (COOR) CREEK WATERFILL FLOODPLAIN FILL
- FLOODPLAIN FILL (WETLAND 10) SHALL BE 20% COMPENSATORY STORAGE = 20,444 CU YD
- FLOODPLAIN FILL STORAGE PROVIDED IN GRADY AREA 2 BETWEEN 899 AND 897 ELEVATION
- FLOODPLAIN FILL IN WETLAND 1 BASIN = 4,000 CU YD
- COMPENSATORY STORAGE = 4,100 CU YD
- COMPENSATORY STORAGE PROVIDED IN POND 1 BETWEEN 904 AND 902 1/2

NOTES

- SEPARIS SHOWN ARE ON ANNOVA COUNTY DATUM.
- TOTAL LOT AREA ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (LAND 8)
- CONTOURS SHOWN ARE PER INCH EQUAL DRAINAGE AND FILL VERIFICATION
- ALL MATCH POINTS AND PROFILES BATTERS TO BE GAYNE AT ALL POINTS.
- FILL AREA TO BE SECTED WITHIN 7 DAYS AFTER COMPLETION OF MOULD GRADING OR INACTIVITY
- SEE PRELIMINARY PLAN FOR PROFILES, QUANTITIES, AND QUANTITIES TO COVER 7 DAYS FROM TO ANY
- PROFILES TO BE TAKEN AT THE FOLLOWING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING AND PROFILES CONTROL PLANS OF THE PROJECT. THE PROFILES SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING AND PROFILES CONTROL PLANS OF THE PROJECT. THE PROFILES SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING AND PROFILES CONTROL PLANS OF THE PROJECT.
- BRUSH INSTEAD OF CONCRETE PAVEMENT FOR DRIVEWAYS AND SIDEWALKS ON AND ADJACENT TO THE SITE IN 2024 AND READ THE PRELIMINARY GRADING AND PROFILES CONTROL PLANS OF THE PROJECT.
- BRUSH INSTEAD OF CONCRETE PAVEMENT FOR DRIVEWAYS AND SIDEWALKS ON AND ADJACENT TO THE SITE IN 2024 AND READ THE PRELIMINARY GRADING AND PROFILES CONTROL PLANS OF THE PROJECT.
- BRUSH INSTEAD OF CONCRETE PAVEMENT FOR DRIVEWAYS AND SIDEWALKS ON AND ADJACENT TO THE SITE IN 2024 AND READ THE PRELIMINARY GRADING AND PROFILES CONTROL PLANS OF THE PROJECT.

WETLAND FILL NOTES

- WETLAND FILL AREA = 12,545 SQ FT

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RILEY
 DATE: 05/16/2023 License No. 41578

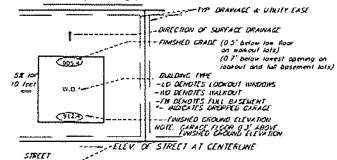
NO.	DATE	DESCRIPTION	BY
1	05/16/2023	CITY / WATERSHED COMPLETION	JPR
2	04/11/2023	CITY / WATERSHED COMPLETION	TSB
3	05/16/2023	CITY / WATERSHED COMPLETION	CHW

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ HIDDEN FOREST EAST 4TH ADDITION
 ~for~ HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

TYPICAL LOT



LEGEND

- DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- DENOTES PILE-CORNER OR PENETRATION BORING BY BRAHMAN INTACTEC, INC.
- DENOTES EMERGENCY OVERHEAD ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WET LAND
- DENOTES EXISTING 1 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY KULBIAK LANDFORM SOLUTIONS SERVICES COMPANY
- DENOTES BASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES BID ROLL TO BE INSTALLED
- INDICATES SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED VEAL LOCATION
- DENOTES AREA V ABOVE HOTSPOTS
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES BUFFER (BUMP) TO BE VEGETATED IN WETLAND BUFFER
- DENOTES PROPOSED STORM SILT TRAP PRELIMINATION
- DENOTES PLANT SPECIES LOCATED BY STAFFING OPERATING SERVICES, INC.
- DENOTES APPROXIMATE FLOW FROM THE LINE FROM FARM FLOOD INSURANCE RATE MAP NO. 27002C022E PANEL NO. 0315 SUPER 1. EFFECTIVE DATE DECEMBER 16TH, 2013
- DENOTES C.C.W.D. FLOOD ZONE LINE PER TOPOGRAHY
- DENOTES TREE PRESERVATION AREA
- DENOTES 12' FORD ACCESS
- DENOTES FLOODPLAIN FILL
- DENOTES WETLAND FILL
- DENOTES CONFIRMATORY STORAGE AREA

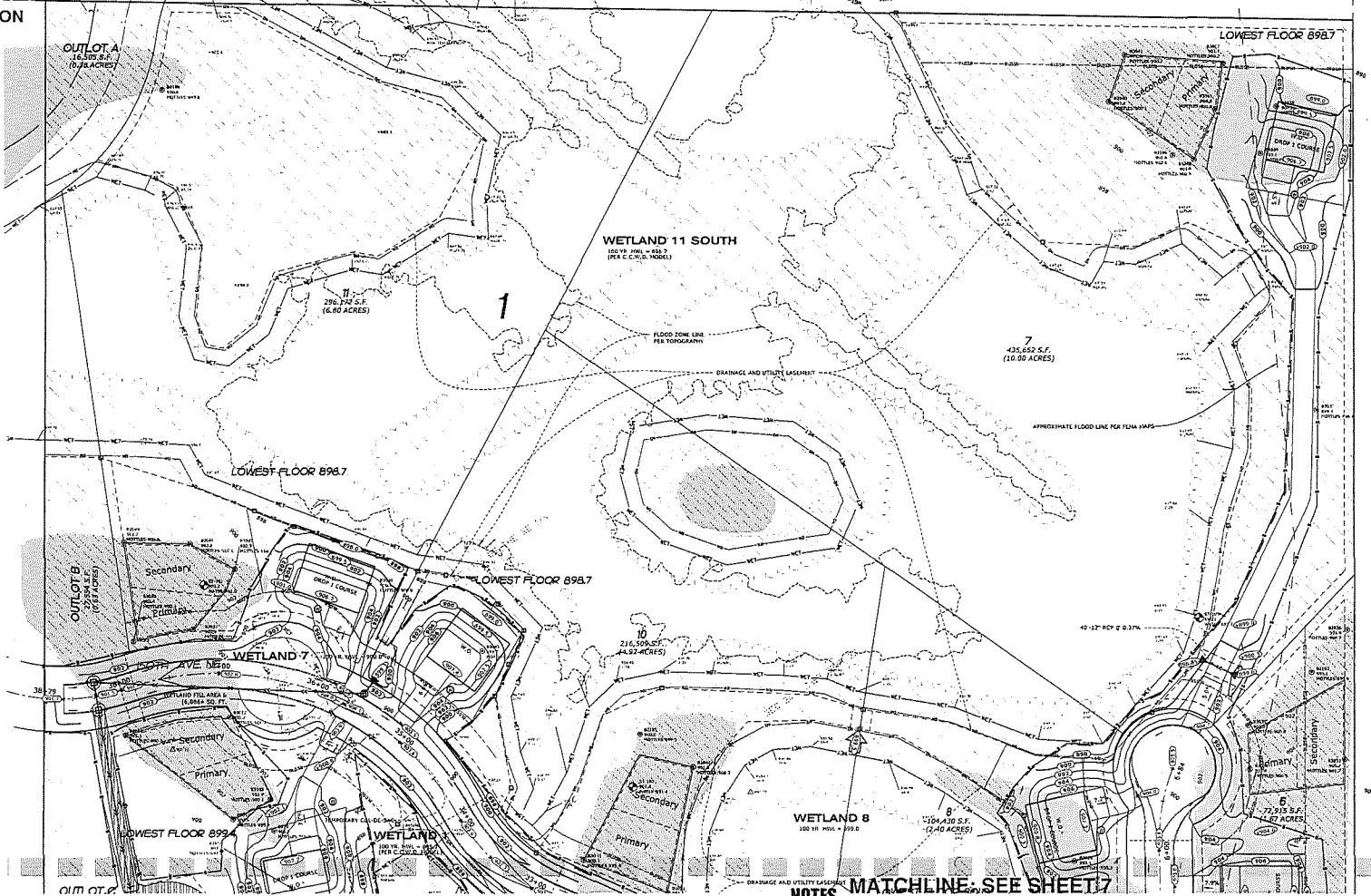
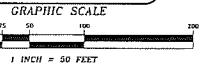
POWING CALCULATIONS AND STORM SEWER DESIGN BY FLOE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 6774 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014

PHONE: (651) 361-8210
 FAX: (651) 361-8701

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM GINKEL
 DATE: 05/10/2023 LIC. NO. 43083



EROSION CONTROL / REVEGETATION SPECS.

- Prior to rough grading, install 5x1 STOP FENCE OR LEGAL'S SIGNAGE. ADDITIONAL 2x1 STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEIGNED NECESSARY BY THE CITY ENGINEER PRIOR TO ANY GRADING.
- ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO UNRAVE UNOCCUPIED AREAS.
- AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE A WIDE TOPSOIL, SEED, AND MULCH APPLICATOR WITH A STRAIGHT SET EDGE WITHIN 24 HOURS AFTER FINISH GRADING.
- MAINTAIN AND REPAIR ALL STOP FENCES INCLUDING REMOVAL OF ACCUMULATED SILT UNTIL VEGETATION IS ESTABLISHED.
- SEE "TOWEN WARM POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SILT SEQUENCING.

LOT GRADING NOTES

- PAD CORNER LOCATIONS ARE FOR INFORMATION PURPOSES. HOUSE TYPES AND GRADING THAT VARY FROM WHAT IS PROPOSED ON THE GRADING PLAN REQUIRES A PLAN REVIEW BY THE CITY OF MINNAPOLIS. SILT FENCE TO BE INSTALLED BY OWNER PRIOR TO HOUSE CONSTRUCTION. THERE IS TO BE NO GRADING UNTIL SITS AREAS.
- FLOODPLAIN FILL BY WETLAND 1 (BASE) = 4.00 CU YD CONVEYATORY STORAGE = 5.00 CU YD
- FLOODPLAIN FILL BY WETLAND 1 (BASE) = 4.00 CU YD CONVEYATORY STORAGE = 5.00 CU YD
- CONVEYATORY STORAGE PROVIDED IN BORROW AREA 2 WITH A 10' HIGH AND 8'5" ELEVATION
- FLOODPLAIN FILL BY WETLAND 1 (BASE) = 4.00 CU YD CONVEYATORY STORAGE = 5.00 CU YD
- CONVEYATORY STORAGE PROVIDED IN BORROW AREA 2 WITH A 10' HIGH AND 8'5" ELEVATION

FLOODPLAIN FILL NOTES

- BERMINGS SHOWN ARE ON ANOKA COUNTY DATUM
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE
- 2 FOOT CONTOUR INTERVAL (UNADJUSTED)
- COLLECTING SHOWS ARE FOR PRELIMINARY DRAINAGE AND FLOOD PREVENTION
- ALL WATER FENCES AND PREVENTION METHODS TO BE SAVED AT ALL TIMES
- THAT AREA TO BE GRADED WITHIN 1 DAY AFTER COMPLETION OF FLOOD PREVENTION
- SILT PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RISERS, INVERTS, AND STILES
- PRELIMINARY SITE / PROFILE SHEETS FOR STILES, INVERTS, AND STILES
- LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING, DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE ENTERPRISES
- BRANK INTACTEC IS PROVIDING SITE, GROUND WATER DATA WITH PROFILES PER 0215-11, BLOCK 1 AND LOT 2, BLOCK 2. ANTICIPATED GROUNDWATER ELEVATIONS ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO CHANGE
- ALL TREE PROTECTING OR PROTECTING WITH PROTECTING
- PRELIMINARY CLASS OF SILT WITH FILTER FABRIC FOR ALL NEW OUTLETS. INSTALL 1" OF TOPSOIL ON PEARL IN WETLAND BUFFER AREAS WITHIN 24 HOURS OF COMPLETION
- IF DRAINAGE IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A PERMITS DRAINAGE PERMIT AND SHALL PROVIDE FILL, FIELD LOGS, WATER, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO COMPLY WITH PERMITS TO ANY DRAINAGE OPERATIONS
- CONTRACTORS MUST BE PROVIDED WITH ONE (1) COPY OF THIS PLAN AND ALL NEARBY MAPS
- DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY ON THAT AREA HAS COMPLETED OR TEMPORARILY GRADED

NOTES

- BERMINGS SHOWN ARE ON ANOKA COUNTY DATUM
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE
- 2 FOOT CONTOUR INTERVAL (UNADJUSTED)
- COLLECTING SHOWS ARE FOR PRELIMINARY DRAINAGE AND FLOOD PREVENTION
- ALL WATER FENCES AND PREVENTION METHODS TO BE SAVED AT ALL TIMES
- THAT AREA TO BE GRADED WITHIN 1 DAY AFTER COMPLETION OF FLOOD PREVENTION
- SILT PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RISERS, INVERTS, AND STILES
- PRELIMINARY SITE / PROFILE SHEETS FOR STILES, INVERTS, AND STILES
- LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING, DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE ENTERPRISES
- BRANK INTACTEC IS PROVIDING SITE, GROUND WATER DATA WITH PROFILES PER 0215-11, BLOCK 1 AND LOT 2, BLOCK 2. ANTICIPATED GROUNDWATER ELEVATIONS ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO CHANGE
- ALL TREE PROTECTING OR PROTECTING WITH PROTECTING
- PRELIMINARY CLASS OF SILT WITH FILTER FABRIC FOR ALL NEW OUTLETS. INSTALL 1" OF TOPSOIL ON PEARL IN WETLAND BUFFER AREAS WITHIN 24 HOURS OF COMPLETION
- IF DRAINAGE IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A PERMITS DRAINAGE PERMIT AND SHALL PROVIDE FILL, FIELD LOGS, WATER, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO COMPLY WITH PERMITS TO ANY DRAINAGE OPERATIONS
- CONTRACTORS MUST BE PROVIDED WITH ONE (1) COPY OF THIS PLAN AND ALL NEARBY MAPS
- DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY ON THAT AREA HAS COMPLETED OR TEMPORARILY GRADED

WETLAND FILL NOTES

- WETLAND FILL AREA = 12,819 SQ. FT.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

DATE: 05/10/2023 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	02/15/23	CITY / WATERSHED CORRECTS	JHM
2	02/22/23	TCP CORRECTS	JHM
3	04/12/23	CITY / WATERSHED CORRECTS	JHM
4	04/20/23	CITY / WATERSHED CORRECTS	JHM

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

LIVABILITY PLAN

~of- HIDDEN FOREST EAST 4TH ADDITION
 ~for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

COUNTY DITCH 44-5

LEGEND

- ⊙ DEMOTES SOIL BORING BY TRAXEL/HEINERSON TESTING
- ⊙ DEMOTES FROZENEARTH OR PENETRATION BORING BY BRAIN INTERTEC, INC.
- ▲ DEMOTES EXISTING SPOT ELEVATION
- ▭ DEMOTES WETLAND
- DEMOTES EXISTING 2 FOOT CONTOUR
- DEMOTES PROPOSED 2 FOOT CONTOURS
- WET DEMOTES WETLAND DELINEATED BY K&L/H&G ENVIRONMENTAL SERVICES COMPANY
- DEMOTES EASEMENT LINE
- DEMOTES SETBACK LINE
- DEMOTES PROPOSED STORM SEWER
- DEMOTES PROPOSED 30" F FEE PROTECTION FENCE
- DEMOTES DIRECTION OF DRAINAGE
- ⊙ DEMOTES PROPOSED WELL LOCATION
- ⊙ DEMOTES WETLAND/ VEGETATIVE BUFFER
- ⊙ DEMOTES WETLAND/ VEGETATIVE BUFFER SIGN
- ⊙ DEMOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- ▨ DEMOTES PROPOSED BUILDING PAD AREA
- ▨ DEMOTES PROPOSED YARD AREA
- ▨ DEMOTES PROPOSED SCOTIC AREA
- ▨ DEMOTES 12' POND ACCESS

WETLAND 1
 100 YD. WIDE - 800' L (PER C.L.W.S. 1000)

WETLAND 1
 100 YD. WIDE - 800' L (PER C.L.W.S. 1000)

WETLAND FILL AREA 1
 14,214 SQ. FT.

WETLAND FILL AREA 2
 1,177A SQ. FT.

WETLAND FILL AREA 3
 1,177A SQ. FT.

WETLAND FILL AREA 4
 1,177A SQ. FT.

WETLAND FILL AREA 5
 1,177A SQ. FT.

WETLAND FILL AREA 6
 1,177A SQ. FT.

WETLAND FILL AREA 7
 1,177A SQ. FT.

WETLAND FILL AREA 8
 1,177A SQ. FT.

WETLAND FILL AREA 9
 1,177A SQ. FT.

WETLAND FILL AREA 10
 1,177A SQ. FT.

WETLAND FILL AREA 11
 1,177A SQ. FT.

WETLAND FILL AREA 12
 1,177A SQ. FT.

WETLAND FILL AREA 13
 1,177A SQ. FT.

WETLAND FILL AREA 14
 1,177A SQ. FT.

WETLAND FILL AREA 15
 1,177A SQ. FT.

WETLAND FILL AREA 16
 1,177A SQ. FT.

WETLAND FILL AREA 17
 1,177A SQ. FT.

WETLAND FILL AREA 18
 1,177A SQ. FT.

WETLAND FILL AREA 19
 1,177A SQ. FT.

MATCHLINE SEE SHEET 12

MATCHLINE SEE SHEET 11

MATCHLINE SEE SHEET 10

NOTES

- 1. BEARINGS SHOWN ARE ON ANODA COUNTY DATUM.
- 2. ALL AREA AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 3. 2 FOOT CONTOUR INTERVAL SHALL BE USED UNLESS OTHERWISE NOTED.
- 4. ELEVATIONS SHOWN ARE PER FINISHED GRADE DISTRIBUTION AND FIELD VEGETATION.
- 5. ALL WATER POINTS AND PARALLEL PATCHES TO BE SCALED AT FULL BOPM.
- 6. THIS AREA TO BE SCALED WITHIN 7 DAYS AFTER COMPLETION OF ROAD GRADING OR PAVEMENT.
- 7. SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STREET SEWER AND INVERTS AND SIZES.
- 8. THESE BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING GRAPHS AND PROVISIONAL CONTROL PLANS ON NEIGHBORING PROPERTIES. TO OBTAIN FULL RECORD OF BOPM TRAVELWELL PERFORMED ADDITIONAL SEPTIC BORINGS THAT WERE FIELD LOCATED BY E.C. RUD AND SONS, INC.
- 9. BRAIN INTERTEC COMPLETED PENETRATION BORINGS AND SET PIEZOMETERS ON AND ADJACENT TO THE SITE IN 2020, AND REAR THE PIEZOMETERS ON BAYO AND BUCK. PIEZOMETERS WERE FIELD LOCATED AND ADDITIONAL READINGS WERE TAKEN ON 10/14. PENETRATION BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING GRAPHS AND PROVISIONAL CONTROL PLANS OF NEIGHBORING PROPERTIES.
- 10. BRAIN INTERTEC IS MONITORING SITE GROUND WATER ELEVATIONS WITH PIEZOMETERS FOR LOTS 3-11, BAYO AND BUCK. ALL PIEZOMETER GROUNDWATER ELEVATIONS ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO REVISION.
- 11. PROVIDE CLASS III BIPHASE WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 4" OF TOPSOIL ON APRON IN WETLAND BUFFERS AND 2" WITH SEED FOR WETLANDS.
- 12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MINOR DEWATERING PERMIT AND SHALL PROVIDE WELL-LOGGED LOCATIONS, DATES, DRUM-TRACK LOCATION, SCHEDULE AND QUANTITIES TO CDDP 7 DAYS PRIOR TO ANY DEWATERING OPERATIONS.
- 13. CONTRACTING MUST BE PROVIDED WITH OUR PLANS / FACT SHEETS ON RELATIONSHIP TURTLES.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 04/11/2023 License No. 41576

NO.	DATE	DESCRIPTION	BY
1	04/11/2023	CITY / WATERING COMMENTS	HRD
2	04/11/2023	CITY / WATERING COMMENTS	HRD
3			
4			

NORTH

POUNDING CALCULATIONS AND SIGN CENTER DESIGN BY PLOWE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 6776 LAKE DRIVE, SUITE 110
 LINO LAKES, MN 55014

PHONE: (612) 361-8210
 FAX: (612) 361-8701

WE HEREBY CERTIFY THAT THE GEOTECHNICAL MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM GRENDEL
 DATE: 04/11/2023 LIC. NO. 43983

GRAPHIC SCALE

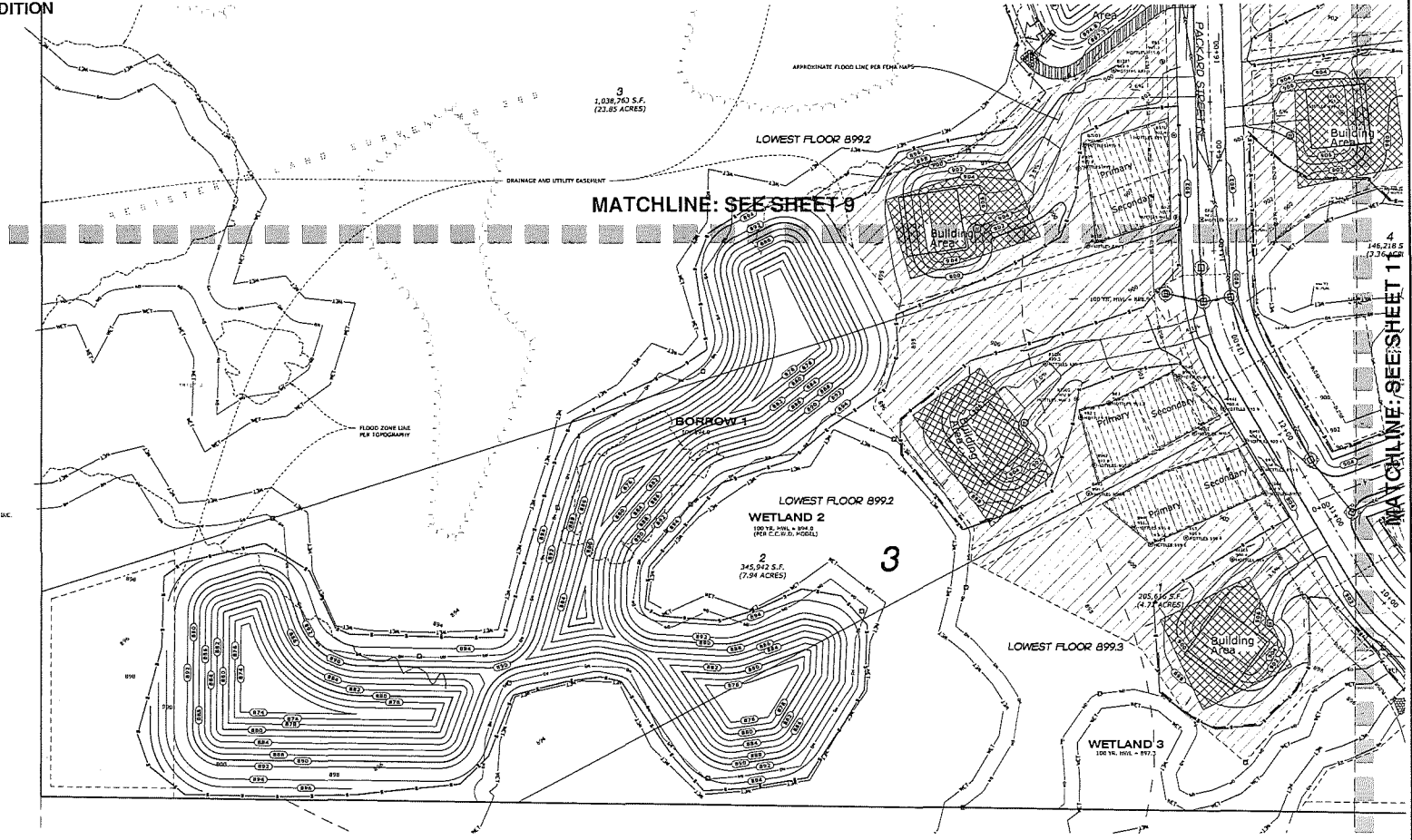
1 INCH = 50 FEET

E. G. RUD & SONS, INC.
 EST. 1877 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

www.egrud.com

LIVABILITY PLAN

~of- HIDDEN FOREST EAST 4TH ADDITION
 ~for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304



LEGEND

- DENOTES SOIL BORING BY TRADITIONAL SOIL TESTING
- DENOTES PENETROMETER OR PENETRATION BORING BY BRANCO PENETEL, INC.
- DENOTES EXISTING SHOT ELEVATION
- DENOTES WETLAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY KROENIG ENVIRONMENTAL SERVICES COMPANY.
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / FREE PROTECTION FENCE
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED WELL LOCATION
- DENOTES WETLAND VEGETATIVE BUFFER SHIP
- DENOTES PLANT SPECIES LOCATED BY STAPLE CONSULTING SERVICES, INC.
- DENOTES PROPOSED BUILDING FOOTPRINT
- DENOTES PROPOSED YARD AREA
- DENOTES PROPOSED PARKING AREA
- DENOTES 12' POND ACCESS

NOTES

- BEARINGS SHOWN ARE ON ANDA COUNTY DATUM
- TOTAL LOT AREAS ARE CALCULATED TO THREE CENTIMETER PER CENTIMETER.
- 2 FOOT CONTOUR INTERVAL UNLESS OTHERWISE NOTED.
- CONTOURS SHOWN ARE PER FINISHED GRADE DISTRIBUTION AND FIELD VERIFICATION.
- ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SITUATED AT FULL DEPTH.
- THIS AREA TO BE GRADED WITHIN 7 DAYS AFTER COMPLETION OF FINISH GRADING OR INACTIVITY.
- SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER INlets, MANHOLEs, AND SLICES.
- TRADITIONAL SOIL TESTING COMPLETED SEPTEMBER 2011 AND ADJACENT TO THE SITE IN 2003.
- THESE BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE, DATE 08/20/03. IN DECKNESS OF 7000.
- FLOODWELL PROVIDED ADDITIONAL SEPTIC SPRINGS THAT WERE FIELD LOCATED BY E. G. RUD AND SONS, INC.
- BRAUN INTERACTIVE CONDUCTED PENETRATION BORINGS AND SET PENETROMETERS ON AND ADJACENT TO THE SITE IN 2003, AND READ THE PENETROMETERS ON BR03 AND BR05. PENETROMETERS WERE FIELD LOCATED AND ADDITIONAL MANHOLES WERE TAKEN ON 10/14. PENETROMETER BEARING LOCATIONS AND READINGS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 08/20/03.
- BRAUN INTERACTIVE IS MONITORING SITE GROUND WATER ELEVATIONS WITH PENETROMETERS FOR LOTS 3-11. BR03 AND BR05 ARE AT RISK 2. ANTICIPATED GROUNDWATER FLUCTUATIONS ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO REVISION.
- ALL PIPE SPACING UNDER ALL PROPOSED WETLANDS.
- PROVIDE CLASS 20 RIPRAP WITH FILTER FABRIC FOR ALL FLOW OUTLETS. INSTALL 6" OF TOPSOIL ON RIPRAP TO RETAIN RIPRAP AND SLOPE WITH 100:1 HORIZONTAL TO 1:1 VERTICAL.
- REVISIONS WILL BE REQUIRED. THE CONTRACTOR SHALL APPLY FOR A PLUMBER SEWERING PERMIT AND FILE WITH THE LOCAL HEALTH DEPARTMENT, HEALTH DEPARTMENT, LOCAL DISCHARGE LOCATION, STORMWATER AND QUALITY CONTROL PLAN FOR THE DRAINAGE DRAINAGE.
- CONTRACTORS MUST BE PROVIDED WITH SOIL FILTERS, FACT SHEETS ON BEARING'S TUBES

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON F. RUD
 Date: 04/11/2023 License No. 43768

NO.	DATE	DESCRIPTION	BY
1	03/17/23	CITY / WATERLISHED COMMENTS	JHRD
2	04/11/23	CITY / WATERLISHED COMMENTS	JHRD
3			
4			

NORTH

FLOODING CALCULATIONS AND STORM DRAINAGE DESIGN BY PLOWE ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014

PHONE: (851) 381-8210
 FAX: (851) 381-8701

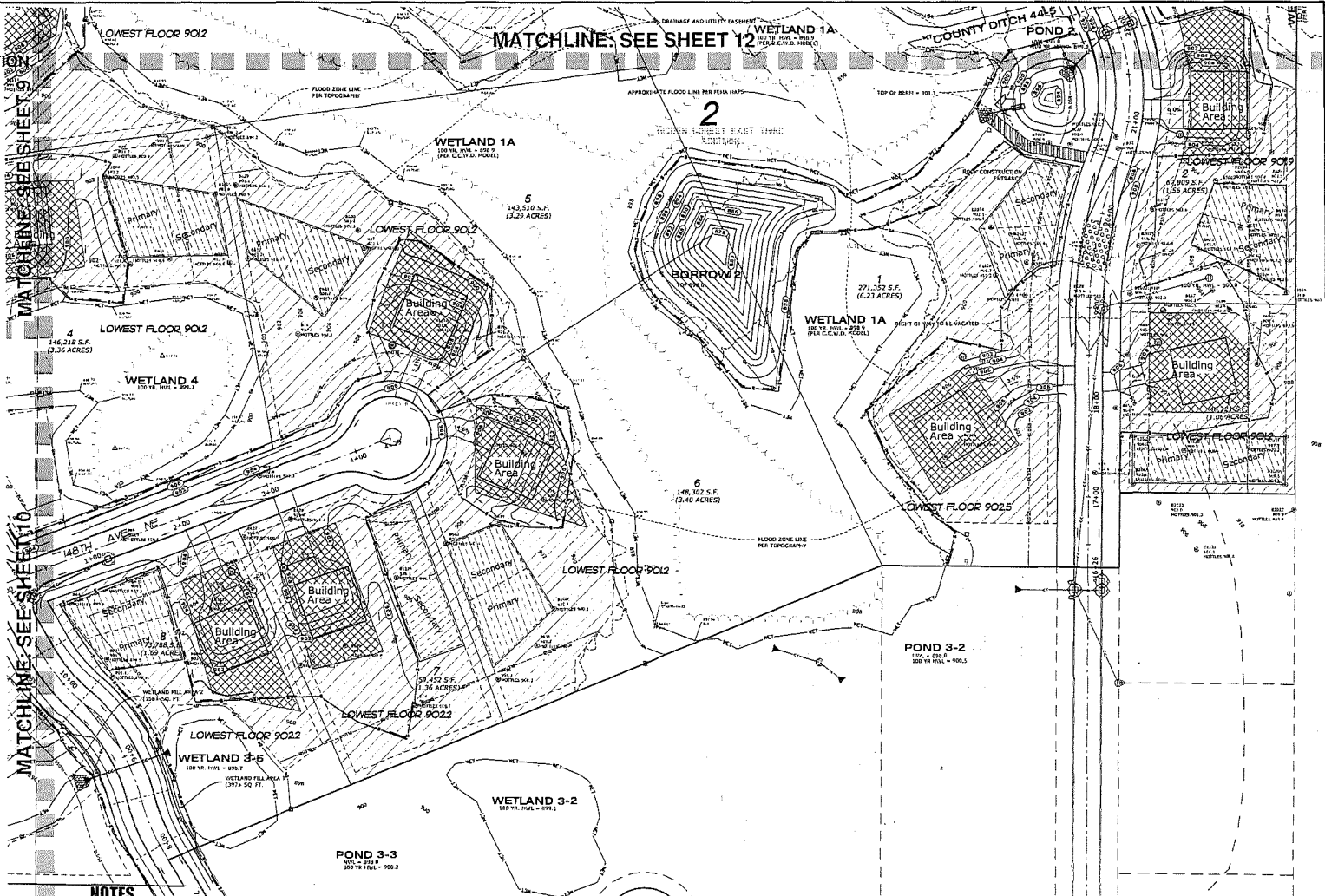
ADAM GUNKEL
 DATE: 04-11-2023 LIC. NO. 43960

GRAPHIC SCALE
 1" = 60 FEET

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

LIVABILITY PLAN

~for~ HIDDEN FOREST EAST 4TH ADDITION
 ~for~ HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304



- ### LEGEND
- DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
 - DENOTES PROXIMITY OR PENETRATION BORING BY BRANCH METEORIC, INC.
 - ▲ DENOTES EXISTING SPOT ELEVATION
 - ▲ DENOTES WET LAND
 - DENOTES EXISTING 2 FOOT CONTOUR
 - DENOTES PROPOSED 2 FOOT CONTOUR
 - DENOTES WETLAND EVALUATED BY MINNAPAC ENVIRONMENTAL SERVICES COMPANY.
 - DENOTES EASEMENT LINE
 - DENOTES SETBACK LINE
 - DENOTES PROPOSED STORM SEWER
 - DENOTES PROPOSED SILT / FREE PROTECTION FENCE
 - DENOTES DIRECTION OF DRAINAGE
 - DENOTES PROPOSED WELL LOCATION
 - DENOTES WETLAND VEGETATIVE BUFFER
 - DENOTES WETLAND VEGETATIVE BUFFER SIGN
 - DENOTES PLANT SPECIES LOCATED BY STATIST CONSULTING SERVICES, INC.
 - DENOTES PROPOSED BUILDING PAD AREA
 - DENOTES PROPOSED YARD AREA
 - DENOTES PROPOSED SEPTIC AREA
 - DENOTES 12" POND ACCESS

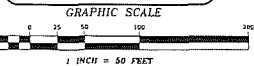
POUND CALCULATIONS AND STORM SEWER DESIGN BY PLING ENGINEERING, INC.

PLOWE ENGINEERING, INC.
 6776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014

SITE PLANNING PHONE: (651) 361-8210 & ENGINEERING FAX: (651) 361-8711

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Gravel
 ADAM GRAVEL
 DATE: 04/11/2023 LIC. NO. 43993



NOTES

- BOUNDARIES SHOWN ARE ON ANOKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL BARRIERS.
- CONTOURS SHOWN ARE FOR FINISHED EARTH DISTRIBUTION; ANY FIELD VERIFICATION.
- ALL LOTS OR PORTIONS THEREOF ARE TO BE SUBJECT TO FINAL SETBACKS, SETBACKS, AND SETBACKS.
- SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RINGS, INVERTS, AND SIZES.
- TRAVELERS SIGN NOTING EXISTING UTILITY LOCATIONS AND DEPTHS TO THE SURFACE.
- THESE BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING AND DRAINAGE CONTROL PLANS OF PREVIOUS PROJECTS AND ARE SUBJECT TO FIELD VERIFICATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE BORING LOCATIONS AND ELEVATIONS WITH PRECISEMENTS ON AND ADJACENT TO THE SITE IN 2023, AND READ THE PRECISEMENTS ON AND ADJACENT TO THE SITE IN 2023, AND READ THE PRECISEMENTS ON AND ADJACENT TO THE SITE IN 2023, AND READ THE PRECISEMENTS ON AND ADJACENT TO THE SITE IN 2023.
- IF WATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MINOR REVISIONS PERMIT AND NOT PROVIDE WELL-FILED LOCATIONS, RATES, DISCHARGE LOCATIONS, SCHEDULES AND DRAINAGES TO CONDUIT 7 DAYS PRIOR TO ANY DEWATERING OPERATIONS.
- CONTRACTORS MUST BE PROVIDED WITH OUR REVERSE FACT SHEETS ON BOUNDARIES, UTILITIES.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 JASON E. RUD
 Date: 04/11/2023 License No. 41578

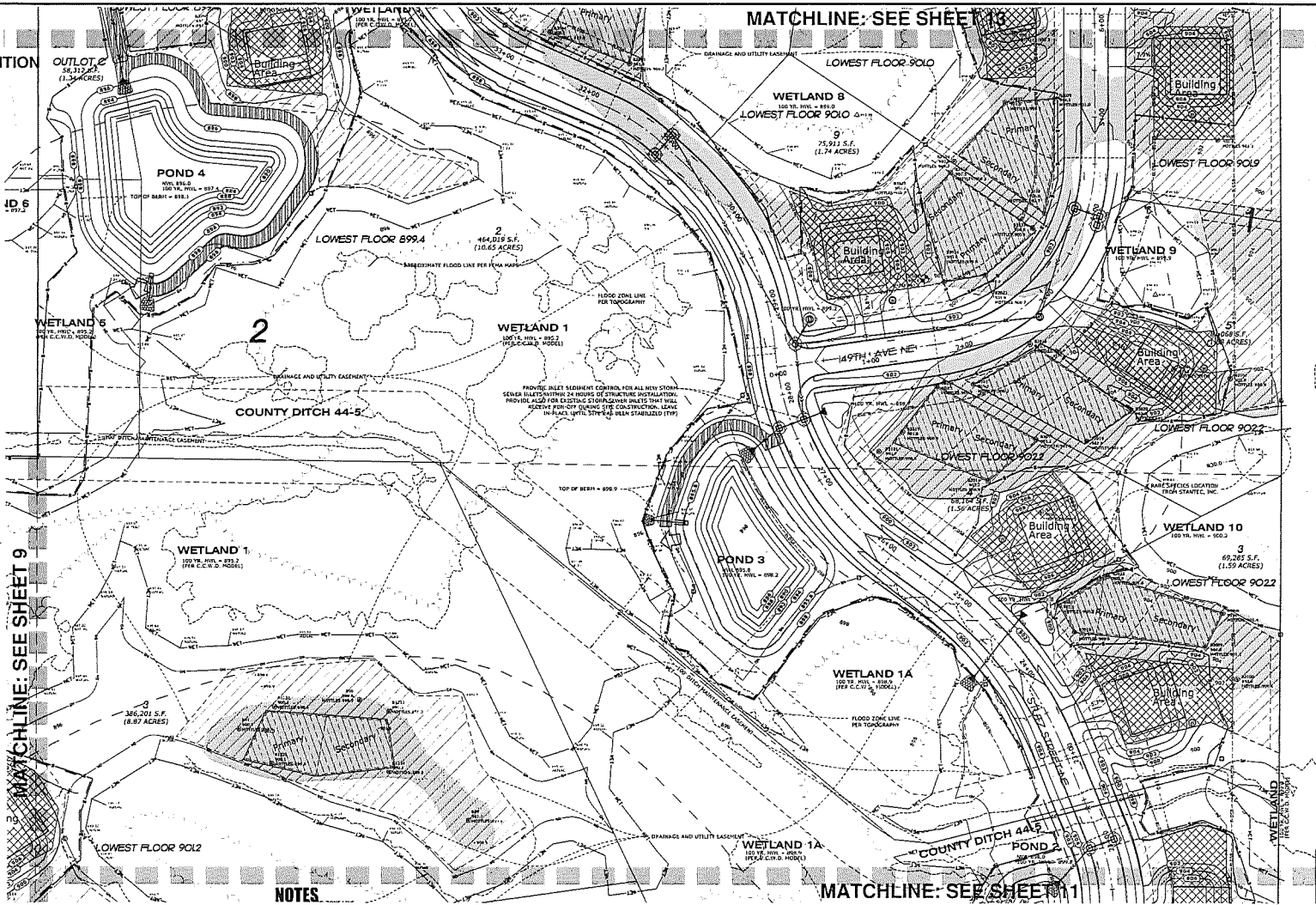
NO.	DATE	DESCRIPTION	BY
1	03/12/23	CITY / WATERSHED COMMENTS	PHD
2	03/12/23	CITY / WATERSHED COMMENTS	PHD
3			
4			
5			

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

NORTH

LIVABILITY PLAN

-of- HIDDEN FOREST EAST 4TH ADDITION
 -for- HFN PROPERTIES, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471



LEGEND

- DENOTES SOIL BORING BY TRADITIONAL SOIL TESTING
- DENOTES PENETRATION OR PENETRATION BORING BY BRAK HYDRAULIC
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WETLAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY KOKOMO ENGINEERING SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED 1/4 MILE PROTECTION FENCE
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED WELL LOCATION
- DENOTES WETLAND VEGETATIVE BUFFER ZONE
- DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- DENOTES PROPOSED BUILDING PAD AREA
- DENOTES PROPOSED YARD AREA
- DENOTES PROPOSED SEPTIC AREA
- DENOTES 12' POND ACCESS

PONDING CALCULATIONS AND DESIGN DONE BY PLOWE ENGINEERING, INC.

PLOWE
 ENGINEERING, INC.
 6776 LAKE DRIVE
 SUITE 110
 LINO LAKE, MN 55014

SITE PLANNING PHONE: (881) 361-8210 & ENGINEERING FAX: (881) 361-8701

I HEREBY CERTIFY THAT THE RECONSTRUCTION MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Gunkel
 ADAM GUNKEL
 DATE: 04/11/2023 LIC. NO. 423683

GRAPHIC SCALE
 1 INCH = 50 FEET

NOTES

1. BEARINGS SHOWN ARE ON ANNOVA EQUITY DATUM.
2. TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
3. 2 FOOT CONTOUR INTERVAL PLANNED.
4. CONDITIONS SHOWN ARE FOR PRELIMINARY CONSTRUCTION AND FIELD VERIFICATION.
5. ALL WATER PIPES AND PAVEMENT PATHS TO BE SAVED AT THIS DEPTH.
6. THIS AREA TO BE SAVED WITHIN 7 DAYS AFTER COMPLETION OF DESIGN OR DRAINAGE.
7. SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER MAIN, INVERTS, AND SIZES.
8. TRADITIONAL SOIL TESTS COMPLETED SEPTEMBER 2022 AND ADJACENT TO THIS SITE IN 2023.
9. THESE BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING, DRAINAGE AND EROSION CONTROL PLANS OF REDEVELOPER'S PREVIOUS PROJECTS. IN CONNECTION OF THIS TRADITIONAL PERFORMED ADDITIONAL SEPTIC BORINGS THAT WERE FIELD LOCATED BY E.G. RUD AND SONS, INC.
10. BRAK HYDRAULIC COMPLETED PENETRATION BORINGS AND SET PENETROMETER ON AND ADJACENT TO THE SITE IN 2023, AND READ THE PENETROMETER ON (SOIL) AND (GRAV). PENETROMETER WERE FIELD LOCATED AND ADDITIONAL READINGS WERE TAKEN ON (SOIL). PENETRATION BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING, DRAINAGE AND EROSION CONTROL PLANS OF REDEVELOPER'S PREVIOUS PROJECTS.
11. PRELIMINARY DATED 04/11/2023.
12. BRAK HYDRAULIC SITE GRADING WATER ELEVATIONS WITH PENETROMETER FOR LOTS 5-11.
13. LOTS 1 AND LOTS 2, RECORD 2 UNDEVELOPED GROUNDWATER ELEVATIONS ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO REVISION.
14. ALL PIPE INVERTS SHALL BE PROVIDED WITH TRAP AND CLEANOUT.
15. PROVIDE CLASS III BIRAP WITH FILTER FABRIC ON ALL PIPE OUTLETS. INSTALL 8" OF TOPSOIL ON RUMPAF IN WETLAND AREAS AND SAVED WITHIN SEVEN (7) DAYS.
16. IF CHANGING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MINOR CHANGING PERMIT AND WILL PROVIDE FIELD FIELD LOGGING, WATER DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CONDO 7 DAYS PRIOR TO ANY DEWATERING OPERATIONS.
17. CONTRACTOR SHALL BE PROVIDED WITH ONE (1) REVISION FACILITY SHEETS ON BOUNDING TURTLES.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON C. MUEH
 JASON C. MUEH
 DATE: 04/11/2023 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	04/11/23	CITY / WATERSHED COMMENTS	THW
2	04/11/23	CITY / WATERSHED COMMENTS	THW
3			
4			
5			

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

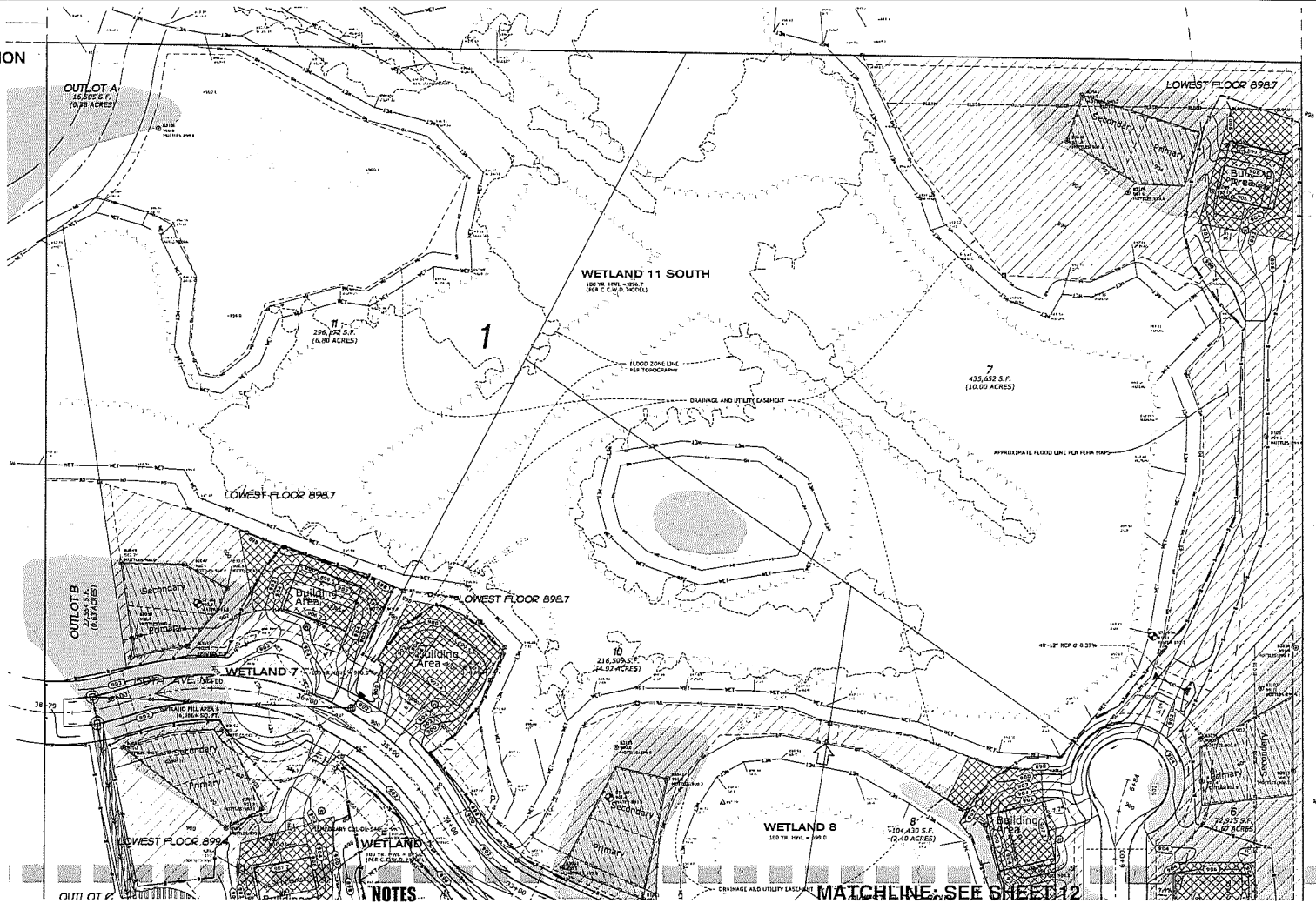
NORTH

LIVABILITY PLAN

-of- HIDDEN FOREST EAST 4TH ADDITION
 -for- HFN PROPERTIES, LLC
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

LEGEND

- DENOTES SOIL BORING BY TRADITIONAL SOIL TESTING
- DENOTES PIEZOMETER OR PENETRATION BORING BY GRAUN INTECH, INC.
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WETLAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOUR
- DENOTES WETLAND DELINEATED BY KORNHUBER ENVIRONMENTAL SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED 3/4" TRAIL PROTECTION FENCE
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED WELL LOCATION
- DENOTES WETLAND VEGETATION BUFFER
- DENOTES WETLAND VEGETATION BUFFER SIGN
- DENOTES PLANT SPECIES LOCATED BY STAFFAC CONSULTING SERVICES, INC.
- DENOTES PROPOSED BUILDING PAD AREA
- DENOTES PROPOSED YARD AREA
- DENOTES PROPOSED SEPTIC AREA
- DENOTES 12' POND ACCESS



NOTES

- 1. BOUNDARIES SHOWN ARE OF ANOKA COUNTY DATUM.
- 2. TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 3. 2 FOOT CONTOUR INTERVAL (FIND 88)
- 4. CONTOURS SHOWN ARE FOR UNGRADED TERRAIN AND FIELD VERIFICATION.
- 5. ALL WETLANDS IDENTIFIED AND BOUNDARIES ARE TO BE SHOWN AT FULL DEPTH.
- 6. THIS AREA TO BE SEPARATED WITHIN 7 DAYS AFTER COMPLETION OF SOIL BORING OR INACTIVITY SET PERMITS AND ANALYSIS OF SOIL BORING LOGS, AND SEALS.
- 7. TRADITIONAL SOIL TESTING COMPLETED SOIL BORINGS ON AND ADJACENT TO THE SITE IN 2003.
- 8. THESE BORING LOCATIONS AND ELEVATIONS CORRESPOND TO PRELIMINARY DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 2/27/03. IN CHECKERS OF 2003, THEREWAS PERFORMED ADDITIONAL SOIL BORINGS THAT WERE FILED LOCALLY BY J.E. RUD AND SONS, INC.
- 9. GRAUN INTECH COMPLETED PENETRATION BORINGS AND SET PIEZOMETERS ON AND ADJACENT TO THE SITE IN 2003, AND READ THE PIEZOMETERS ON 04/03 AND 04/03. PIEZOMETERS WERE FIELD LOCATED AND ADDITIONAL READINGS WERE TAKEN ON 04/11. PRELIMINARY BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING, DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 2/27/03.
- 10. GRAUN INTECH IS PROVIDING SITE GROUND WATER ELEVATIONS WITH PIEZOMETERS FOR LOTS 4 - 11, BLOCK 1 AND LOT 5, BLOCK 2. ANTICIPATED CONSTRUCTION STARTING ARE BASED ON PRELIMINARY INFORMATION AND ARE SUBJECT TO CHANGE.
- 11. ALL FIRE ALARMS UNDER 48" PROVIDED WITH TRASH GUARDS.
- 12. PRELIMINARY CLASSIFICATION FOR ALL FIRE OUTLETS, INSTALLED 6" OF TPOSS ON BURNAP IN WETLAND BUFFERS AND SEED WITH SLAG FOR FIBER 22 2A1.
- 13. IF CONTRACTOR IS REQUIRED, THE CONTRACTOR SHALL VERIFY OR A 1/4" DIA. DRIFTING BURNET AND WILL PROVIDE WELL FIELD LOCATIONS, RATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CONVO 2 DAYS PRIOR TO ANY OPERATIONAL OPERATIONS.
- 14. CONTRACTORS MUST BE PROVIDED WITH SHW FILERS/ FACT SHEETS ON BOUNDARIES/TURBLES.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 04/11/2023 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	04/11/2023	CITY MATRASH COMMENTS	HRD
2	04/11/2023	CITY MATRASH COMMENTS	HRD
3			
4			

POUNDING CALCULATIONS AND STORM SEWER DESIGN BY
PLOWE ENGINEERS, INC.
 875 LAKE DRIVE
 SUITE 111
 LINO LAKES, MN 55014

PHONE: (651) 361-8210
 & ENGINEERING FAX: (651) 361-8701

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Ornel
 ADAM ORNEL
 DATE: 04.11.2023 LIC. NO. 43960

GRAPHIC SCALE
 1 INCH = 50 FEET

E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



LIVABILITY CHART

-of- HIDDEN FOREST EAST 4TH ADDITION
 -for- HFN PROPERTIES, LLC
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

Livability Standards
 All residential lots shall contain at least 20,000 square feet of lot area with the following additional requirements must be present:

a. 1575 Area Each lot must contain at least 7,500 square feet of contiguous area which is reserved for both the 1575 category, single-family and a future 1575. The 1575 area must be contiguous to the eligible building area and the 1575 area. The entire 1575 area must exist at an elevation of least one foot above the finished grade, and must contain undisturbed soils or soils which meet the requirements of the Minnesota Pollution Control Agency for 1575 minimum standards. The 1575 area may be irregular in shape, provided they do not encroach into areas reserved by easements or otherwise for roadway, drainage or utility purposes, and provided that all of the area is for residential use for 1575 classification within the next 20 years.

b. Eligible Building Area Each lot shall contain at least 10,000 square feet of contiguous land which lies at an elevation at least one foot above the finished grade. The eligible building area may not be irregular in shape, and must be separate, rectangular or square, with no setbacks, normal eaves or porches. Eligible building areas may not encroach into any areas reserved by easement or otherwise for roadway, drainage or utility purposes. It may be used to create the eligible building area.

c. Yard Area Each lot shall contain at least 12,000 contiguous square feet which lie above the 100 year flood contour, and

ii) lie at least one foot above such contour for the intended stage of the 100 year flood, and
 iii) be contiguous to the eligible building area for a distance of at least five percent of the total perimeter of the eligible building area.
 Yard areas may encroach into the designated exterior area which is a distance of ten feet from the perimeter of the lot, and may encroach into areas reserved by easement or otherwise for other public utility purposes, but may not encroach into any other area reserved by easement or otherwise for road or utility purposes, nor may they encroach into any area within the 100 year flood contour or into designated wetlands. Yard areas may be irregular in shape except within utility lines of the easements within the yard area contiguous to the eligible building area, in which locations the yard area shall be a regular width or expansion of the generally rectangular or square shape of the eligible building area. It may be used to create the yard area.

d. Building Pad Area The entire building pad must be within the eligible building area, and shall meet the separation requirements for the eligible building area.

e. Low Floor Elevations
 i) For unshaded contours, the low floor elevation shall be at least one foot above the 100 year flood contour, but, when utilizing the 100 year flood contour, not less than one foot above unshaded 100 year contours as determined by the City's engineer.

ii) For other contours, the low floor elevation shall be at least one foot above the 100 year flood contour, but, when utilizing the 100 year flood contour, not less than one foot above unshaded 100 year contours, as determined by the City's engineer.

Lot	Block	Total Lot Area	Yard Area	Depth Area (sq. ft.)	Building Pad Area	Proposed Building Pad Area	Garage Floor	Proposed Low Floor	Proposed Low Floor	Lowest Floor	Groundwater	Highest Anticipated		Desaturation Factor	Boring #	Boring	Mudmax	Building	Custom																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
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1	1	48,231	17,000	6,117	10,999	8,450	810.2	903.9	901.1	901.2	898.2	PER	ST-97	907.3	884.2 (W)	L.O.*	NO																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
<table border="1"> <tr><td>69</td><td>906.0</td><td>901.1</td><td>DNHP</td></tr> <tr><td>698</td><td>906.3</td><td>903.3</td><td>2 COURSE</td></tr> <tr><td>689</td><td>904.4</td><td>902.4</td><td></td></tr> <tr><td>686</td><td>904.4</td><td>902.8</td><td></td></tr> <tr><td>691</td><td>904.4</td><td>900.9</td><td></td></tr> <tr><td>1130</td><td>868.8</td><td>NDME</td><td></td></tr> <tr><td>2098</td><td>862.8</td><td>900.6</td><td></td></tr> <tr><td>2058</td><td>908.1</td><td>901.4</td><td></td></tr> <tr><td>2019</td><td>908.0</td><td>903.1</td><td></td></tr> <tr><td>2071</td><td>907.5</td><td>903.2</td><td></td></tr> <tr><td>72</td><td>903.1</td><td>901.0</td><td>W.O.*</td></tr> <tr><td>73</td><td>904.3</td><td>901.3</td><td>2 COURSE</td></tr> <tr><td>681</td><td>906.5</td><td>902.3</td><td>2 COURSE</td></tr> <tr><td>687</td><td>908.3</td><td>901.1</td><td></td></tr> <tr><td>683</td><td>907.3</td><td>901.6</td><td></td></tr> <tr><td>684</td><td>903.5</td><td>901.8</td><td></td></tr> <tr><td>686</td><td>907.1</td><td>902.4</td><td></td></tr> <tr><td>1139</td><td>907.8</td><td>902.6</td><td></td></tr> <tr><td>2054</td><td>903.9</td><td>901.8</td><td></td></tr> <tr><td>2072</td><td>906.0</td><td>902.3</td><td></td></tr> <tr><td>2073</td><td>908.4</td><td>904.4</td><td></td></tr> <tr><td>2007</td><td>909.0</td><td>901.8</td><td></td></tr> <tr><td>2058</td><td>903.9</td><td>902.0</td><td></td></tr> <tr><td>2099</td><td>904.6</td><td>901.1</td><td></td></tr> <tr><td>PER</td><td>2100</td><td>902.5</td><td>W.O.*</td></tr> <tr><td>PER</td><td>2101</td><td>901.9</td><td>W.O.*</td></tr> <tr><td>PER</td><td>2102</td><td>901.3</td><td>DNHP</td></tr> <tr><td>PER</td><td>2103</td><td>901.7</td><td>2 COURSE</td></tr> <tr><td>PER</td><td>2104</td><td>902.7</td><td>800.6</td></tr> <tr><td>PER</td><td>2105</td><td>902.1</td><td>900.2</td></tr> <tr><td>PER</td><td>2106</td><td>901.6</td><td>901.0</td></tr> <tr><td>PER</td><td>2107</td><td>901.1</td><td>901.0</td></tr> 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<tr><td>PER</td><td>2138</td><td>913.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2139</td><td>913.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2140</td><td>914.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2141</td><td>914.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2142</td><td>915.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2143</td><td>915.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2144</td><td>915.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2145</td><td>916.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2146</td><td>916.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2147</td><td>917.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2148</td><td>917.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2149</td><td>917.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2150</td><td>918.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2151</td><td>918.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2152</td><td>919.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2153</td><td>919.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2154</td><td>919.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2155</td><td>920.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2156</td><td>920.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2157</td><td>921.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2158</td><td>921.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2159</td><td>921.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2160</td><td>922.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2161</td><td>922.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2162</td><td>923.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2163</td><td>923.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2164</td><td>923.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2165</td><td>924.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2166</td><td>924.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2167</td><td>925.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2168</td><td>925.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2169</td><td>925.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2170</td><td>926.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2171</td><td>926.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2172</td><td>927.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2173</td><td>927.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2174</td><td>927.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2175</td><td>928.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2176</td><td>928.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2177</td><td>929.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2178</td><td>929.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2179</td><td>929.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2180</td><td>930.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2181</td><td>930.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2182</td><td>931.1</td><td>901.0</td></tr> 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<tr><td>PER</td><td>2273</td><td>967.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2274</td><td>967.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2275</td><td>968.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2276</td><td>968.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2277</td><td>969.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2278</td><td>969.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2279</td><td>969.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2280</td><td>970.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2281</td><td>970.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2282</td><td>971.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2283</td><td>971.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2284</td><td>971.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2285</td><td>972.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2286</td><td>972.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2287</td><td>973.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2288</td><td>973.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2289</td><td>973.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2290</td><td>974.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2291</td><td>974.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2292</td><td>975.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2293</td><td>975.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2294</td><td>975.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2295</td><td>976.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2296</td><td>976.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2297</td><td>977.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2298</td><td>977.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2299</td><td>977.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2300</td><td>978.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2301</td><td>978.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2302</td><td>979.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2303</td><td>979.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2304</td><td>979.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2305</td><td>980.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2306</td><td>980.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2307</td><td>981.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2308</td><td>981.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2309</td><td>981.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2310</td><td>982.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2311</td><td>982.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2312</td><td>983.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2313</td><td>983.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2314</td><td>983.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2315</td><td>984.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2316</td><td>984.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2317</td><td>985.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2318</td><td>985.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2319</td><td>985.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2320</td><td>986.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2321</td><td>986.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2322</td><td>987.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2323</td><td>987.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2324</td><td>987.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2325</td><td>988.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2326</td><td>988.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2327</td><td>989.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2328</td><td>989.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2329</td><td>989.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2330</td><td>990.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2331</td><td>990.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2332</td><td>991.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2333</td><td>991.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2334</td><td>991.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2335</td><td>992.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2336</td><td>992.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2337</td><td>993.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2338</td><td>993.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2339</td><td>993.9</td><td>901.0</td></tr> <tr><td>PER</td><td>2340</td><td>994.3</td><td>901.0</td></tr> <tr><td>PER</td><td>2341</td><td>994.7</td><td>901.0</td></tr> <tr><td>PER</td><td>2342</td><td>995.1</td><td>901.0</td></tr> <tr><td>PER</td><td>2343</td><td>995.5</td><td>901.0</td></tr> <tr><td>PER</td><td>2344</td><td>995.9</td><td>901.0</td></tr></table>																				69	906.0	901.1	DNHP	698	906.3	903.3	2 COURSE	689	904.4	902.4		686	904.4	902.8		691	904.4	900.9		1130	868.8	NDME		2098	862.8	900.6		2058	908.1	901.4		2019	908.0	903.1		2071	907.5	903.2		72	903.1	901.0	W.O.*	73	904.3	901.3	2 COURSE	681	906.5	902.3	2 COURSE	687	908.3	901.1		683	907.3	901.6		684	903.5	901.8		686	907.1	902.4		1139	907.8	902.6		2054	903.9	901.8		2072	906.0	902.3		2073	908.4	904.4		2007	909.0	901.8		2058	903.9	902.0		2099	904.6	901.1		PER	2100	902.5	W.O.*	PER	2101	901.9	W.O.*	PER	2102	901.3	DNHP	PER	2103	901.7	2 COURSE	PER	2104	902.7	800.6	PER	2105	902.1	900.2	PER	2106	901.6	901.0	PER	2107	901.1	901.0	PER	2108	901.5	901.0	PER	2109	901.9	901.0	PER	2110	902.3	901.0	PER	2111	902.7	901.0	PER	2112	903.1	901.0	PER	2113	903.5	901.0	PER	2114	903.9	901.0	PER	2115	904.3	901.0	PER	2116	904.7	901.0	PER	2117	905.1	901.0	PER	2118	905.5	901.0	PER	2119	905.9	901.0	PER	2120	906.3	901.0	PER	2121	906.7	901.0	PER	2122	907.1	901.0	PER	2123	907.5	901.0	PER	2124	907.9	901.0	PER	2125	908.3	901.0	PER	2126	908.7	901.0	PER	2127	909.1	901.0	PER	2128	909.5	901.0	PER	2129	909.9	901.0	PER	2130	910.3	901.0	PER	2131	910.7	901.0	PER	2132	911.1	901.0	PER	2133	911.5	901.0	PER	2134	911.9	901.0	PER	2135	912.3	901.0	PER	2136	912.7	901.0	PER	2137	913.1	901.0	PER	2138	913.5	901.0	PER	2139	913.9	901.0	PER	2140	914.3	901.0	PER	2141	914.7	901.0	PER	2142	915.1	901.0	PER	2143	915.5	901.0	PER	2144	915.9	901.0	PER	2145	916.3	901.0	PER	2146	916.7	901.0	PER	2147	917.1	901.0	PER	2148	917.5	901.0	PER	2149	917.9	901.0	PER	2150	918.3	901.0	PER	2151	918.7	901.0	PER	2152	919.1	901.0	PER	2153	919.5	901.0	PER	2154	919.9	901.0	PER	2155	920.3	901.0	PER	2156	920.7	901.0	PER	2157	921.1	901.0	PER	2158	921.5	901.0	PER	2159	921.9	901.0	PER	2160	922.3	901.0	PER	2161	922.7	901.0	PER	2162	923.1	901.0	PER	2163	923.5	901.0	PER	2164	923.9	901.0	PER	2165	924.3	901.0	PER	2166	924.7	901.0	PER	2167	925.1	901.0	PER	2168	925.5	901.0	PER	2169	925.9	901.0	PER	2170	926.3	901.0	PER	2171	926.7	901.0	PER	2172	927.1	901.0	PER	2173	927.5	901.0	PER	2174	927.9	901.0	PER	2175	928.3	901.0	PER	2176	928.7	901.0	PER	2177	929.1	901.0	PER	2178	929.5	901.0	PER	2179	929.9	901.0	PER	2180	930.3	901.0	PER	2181	930.7	901.0	PER	2182	931.1	901.0	PER	2183	931.5	901.0	PER	2184	931.9	901.0	PER	2185	932.3	901.0	PER	2186	932.7	901.0	PER	2187	933.1	901.0	PER	2188	933.5	901.0	PER	2189	933.9	901.0	PER	2190	934.3	901.0	PER	2191	934.7	901.0	PER	2192	935.1	901.0	PER	2193	935.5	901.0	PER	2194	935.9	901.0	PER	2195	936.3	901.0	PER	2196	936.7	901.0	PER	2197	937.1	901.0	PER	2198	937.5	901.0	PER	2199	937.9	901.0	PER	2200	938.3	901.0	PER	2201	938.7	901.0	PER	2202	939.1	901.0	PER	2203	939.5	901.0	PER	2204	939.9	901.0	PER	2205	940.3	901.0	PER	2206	940.7	901.0	PER	2207	941.1	901.0	PER	2208	941.5	901.0	PER	2209	941.9	901.0	PER	2210	942.3	901.0	PER	2211	942.7	901.0	PER	2212	943.1	901.0	PER	2213	943.5	901.0	PER	2214	943.9	901.0	PER	2215	944.3	901.0	PER	2216	944.7	901.0	PER	2217	945.1	901.0	PER	2218	945.5	901.0	PER	2219	945.9	901.0	PER	2220	946.3	901.0	PER	2221	946.7	901.0	PER	2222	947.1	901.0	PER	2223	947.5	901.0	PER	2224	947.9	901.0	PER	2225	948.3	901.0	PER	2226	948.7	901.0	PER	2227	949.1	901.0	PER	2228	949.5	901.0	PER	2229	949.9	901.0	PER	2230	950.3	901.0	PER	2231	950.7	901.0	PER	2232	951.1	901.0	PER	2233	951.5	901.0	PER	2234	951.9	901.0	PER	2235	952.3	901.0	PER	2236	952.7	901.0	PER	2237	953.1	901.0	PER	2238	953.5	901.0	PER	2239	953.9	901.0	PER	2240	954.3	901.0	PER	2241	954.7	901.0	PER	2242	955.1	901.0	PER	2243	955.5	901.0	PER	2244	955.9	901.0	PER	2245	956.3	901.0	PER	2246	956.7	901.0	PER	2247	957.1	901.0	PER	2248	957.5	901.0	PER	2249	957.9	901.0	PER	2250	958.3	901.0	PER	2251	958.7	901.0	PER	2252	959.1	901.0	PER	2253	959.5	901.0	PER	2254	959.9	901.0	PER	2255	960.3	901.0	PER	2256	960.7	901.0	PER	2257	961.1	901.0	PER	2258	961.5	901.0	PER	2259	961.9	901.0	PER	2260	962.3	901.0	PER	2261	962.7	901.0	PER	2262	963.1	901.0	PER	2263	963.5	901.0	PER	2264	963.9	901.0	PER	2265	964.3	901.0	PER	2266	964.7	901.0	PER	2267	965.1	901.0	PER	2268	965.5	901.0	PER	2269	965.9	901.0	PER	2270	966.3	901.0	PER	2271	966.7	901.0	PER	2272	967.1	901.0	PER	2273	967.5	901.0	PER	2274	967.9	901.0	PER	2275	968.3	901.0	PER	2276	968.7	901.0	PER	2277	969.1	901.0	PER	2278	969.5	901.0	PER	2279	969.9	901.0	PER	2280	970.3	901.0	PER	2281	970.7	901.0	PER	2282	971.1	901.0	PER	2283	971.5	901.0	PER	2284	971.9	901.0	PER	2285	972.3	901.0	PER	2286	972.7	901.0	PER	2287	973.1	901.0	PER	2288	973.5	901.0	PER	2289	973.9	901.0	PER	2290	974.3	901.0	PER	2291	974.7	901.0	PER	2292	975.1	901.0	PER	2293	975.5	901.0	PER	2294	975.9	901.0	PER	2295	976.3	901.0	PER	2296	976.7	901.0	PER	2297	977.1	901.0	PER	2298	977.5	901.0	PER	2299	977.9	901.0	PER	2300	978.3	901.0	PER	2301	978.7	901.0	PER	2302	979.1	901.0	PER	2303	979.5	901.0	PER	2304	979.9	901.0	PER	2305	980.3	901.0	PER	2306	980.7	901.0	PER	2307	981.1	901.0	PER	2308	981.5	901.0	PER	2309	981.9	901.0	PER	2310	982.3	901.0	PER	2311	982.7	901.0	PER	2312	983.1	901.0	PER	2313	983.5	901.0	PER	2314	983.9	901.0	PER	2315	984.3	901.0	PER	2316	984.7	901.0	PER	2317	985.1	901.0	PER	2318	985.5	901.0	PER	2319	985.9	901.0	PER	2320	986.3	901.0	PER	2321	986.7	901.0	PER	2322	987.1	901.0	PER	2323	987.5	901.0	PER	2324	987.9	901.0	PER	2325	988.3	901.0	PER	2326	988.7	901.0	PER	2327	989.1	901.0	PER	2328	989.5	901.0	PER	2329	989.9	901.0	PER	2330	990.3	901.0	PER	2331	990.7	901.0	PER	2332	991.1	901.0	PER	2333	991.5	901.0	PER	2334	991.9	901.0	PER	2335	992.3	901.0	PER	2336	992.7	901.0	PER	2337	993.1	901.0	PER	2338	993.5	901.0	PER	2339	993.9	901.0	PER	2340	994.3	901.0	PER	2341	994.7	9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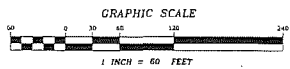
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 - DENOTES PROPOSED STORM SEWER
 - DENOTES PROPOSED SILT / FINE PROTECTION FENCE
 - DENOTES 800 ADA TO BE INSTALLED INSIDE DRAIN FLOOD ADJACENT TO WETLAND
 - DENOTES DIRECTION OF DRAINAGE
 - DENOTES PROPOSED WELL LOCATION
 - DENOTES AREA 1' ABOVE NOTES
 - DENOTES WETLAND: VEGETATIVE BUFFER
 - DENOTES WETLAND: VEGETATIVE BUFFER SIGN
 - DENOTES RIPRAP (RIPRAP TO BE VEGETATED IN WETLAND BUFFER)
 - DENOTES PROPOSED STORM SEWER INLET PROTECTION
 - DENOTES PLANT SPECIES LOCATED BY SPATKIC CONSULTING SERVICES, INC.
 - DENOTES APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE FIRM NO. 270000020Z, PANEL NO. 0329 SUPPLY E. EFFECTIVE DATE DECEMBER 16TH, 2015.
 - DENOTES C.C.W.P. FLOOD ZONE LINE FOR TOPOGRAPHY
 - DENOTES 12' NON-ACCESS
 - DENOTES FLOODPLAIN FILL
 - DENOTES WETLAND FILL
 - DENOTES COMPENSATORY STORAGE AREA



E.G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 09/11/2023 License No. 41578

DATE:	09/11/2023	DATE:	09/17/23
CHECK BY:	JRK	SCALE:	AS SHOWN
1	03/17/22	CITY / WATERWORKS COMMENTS:	MMG
2	04/11/23	CITY / WATERWORKS COMMENTS:	MMG
3			
4			
NO.	DATE	DESCRIPTION	BY

NORTH

HIDDEN FOREST EAST FOURTH ADDITION

TITLE SHEET, NOTES & LEGEND

HAM LAKE, MINNESOTA



PLOWE ENGINEERING, INC.

6775 LAKE DRIVE
SUITE 112
LINO LAKE, MN 55014

PHONE: (612) 261-2216
FAC: (612) 261-4499

OWNER: MPR PROPERTIES, LLC
17405 HIARD LAKE DRIVE
ANDOVER, MN 55304
(612) 799-1471

ENGINEER: PLOWE ENGINEERING, INC.
6775 LAKE DR STE 112
LINO LAKE, MN 55014
612-261-2216

SURVEYOR: EG RUDG LAND SURVEYING, INC.
8775 LAKE DR STE 139
LINO LAKE, MN 55014
651-361-8200

OWNER: MPR PROPERTIES, LLC
17405 HIARD LAKE DRIVE
ANDOVER, MN 55304
(612) 799-1471

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SURVEYOR: EG RUDG LAND SURVEYING, INC.
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LINO LAKE, MN 55014
651-361-8200

GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "TUT" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (COWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWERS SHALL BE:
 - a. IN REINFORCED CONCRETE PIPE (RCP) AND CTS WITH B-4 GASKETS.
 - b. IN HOPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M28, TYPE S WITH WATER-TIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND CONNECTION OF HOPE PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER. PROVIDE CLASS II RIP-RAP 18" FILTER FABRIC AT ALL RCP OUTLETS.
5. THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING APRON FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
6. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
7. ARCH RCP JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
8. SEE SHEET C3.1 FOR STRUCTURE SCHEDULE.

CURB & BITUMINOUS NOTES

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SANICUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

MISCELLANEOUS NOTES

1. SEPTIC AND WELL DESIGN BY OTHERS.
2. SITE TOPOGRAPHY PROVIDED BY OTHERS.

AN MPCA NPDES CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION

VICINITY MAP



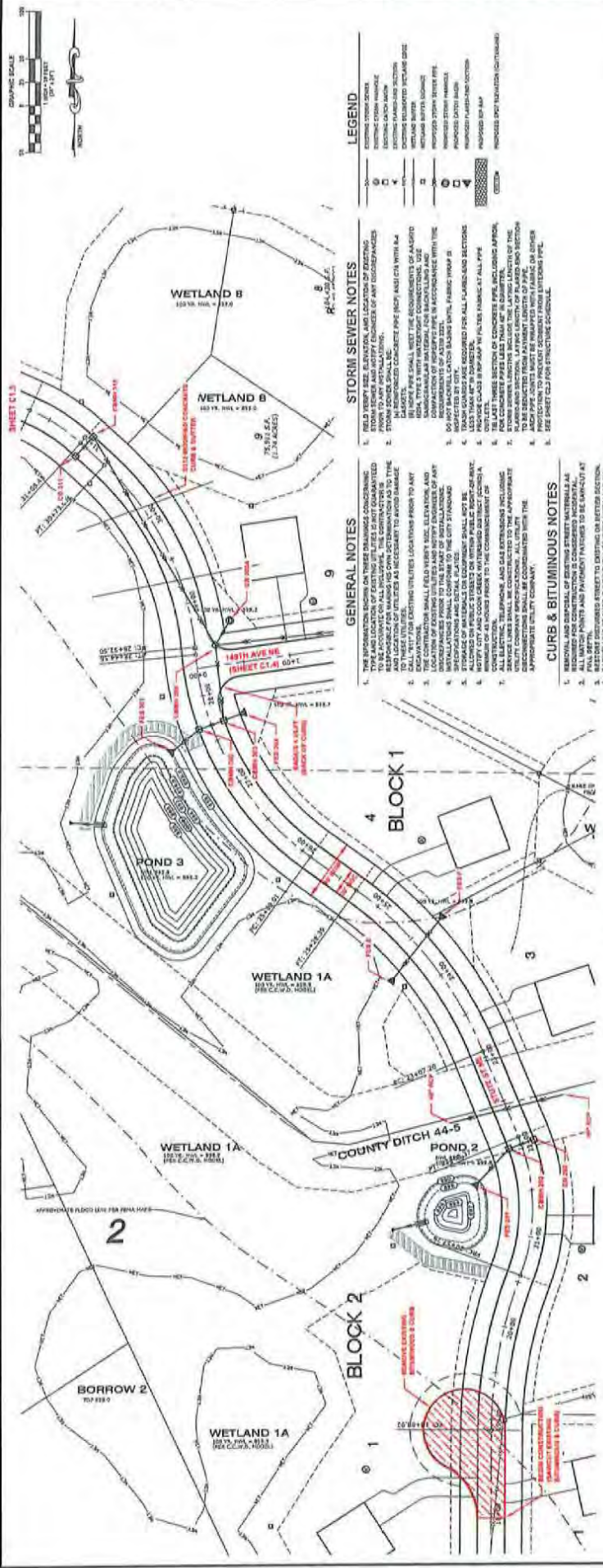
LEGEND

	EXISTING STORM SEWER		PROPOSED STORM SEWER PIPE
	EXISTING STORM MANHOLE		PROPOSED STORM MANHOLE
	EXISTING CATCH BASIN		PROPOSED CATCH BASIN
	EXISTING FLARED-END SECTION		PROPOSED FLARED-END SECTION
	EXISTING DELINEATED WETLAND EDGE		PROPOSED RIP-RAP
	WETLAND BUFFER		PROPOSED SPOT ELEVATION (DOTTERLINE)
	WETLAND BUFFER SIGNAGE		

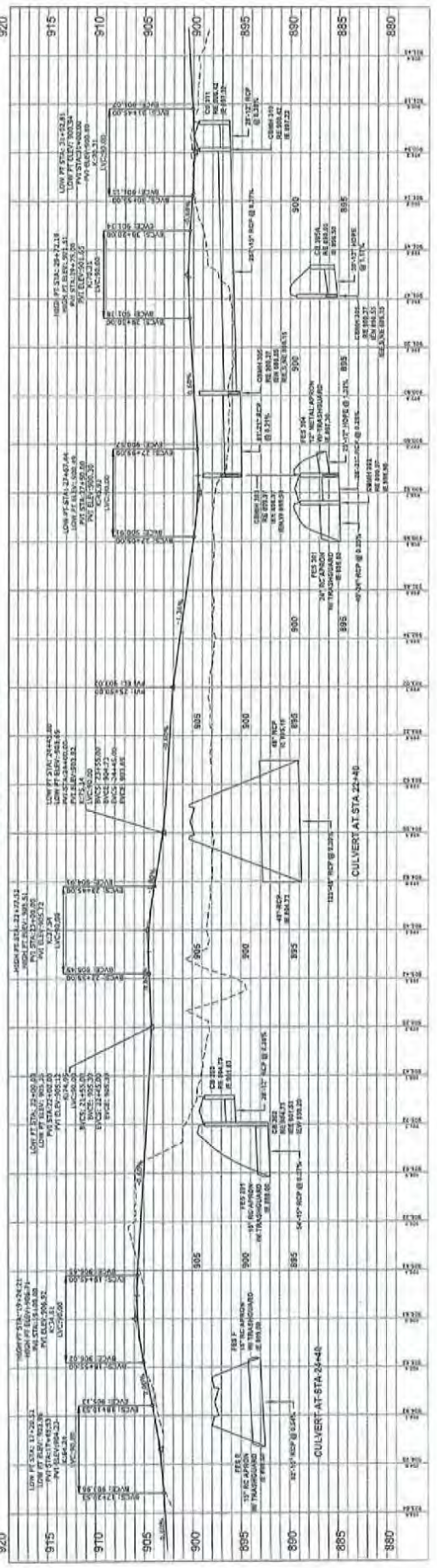
SHEET INDEX

T1	TITLE SHEET, NOTES & LEGEND
SHEETS 1-3	PRELIMINARY PLAN
SHEETS 4-8	GRADING, DRAINAGE & SEC PLAN
SHEETS 9-13	LIVABILITY PLAN
SHEETS 13-14	LIVABILITY CHART
C1.1 - C1.2	UTILITY PLAN
C2.1 - C2.3	DRYAGE
C3.1 - C3.2	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

HIDDEN FOREST EAST FOURTH ADDITION
CITY OF HAM LAKE, MINNESOTA
TITLE SHEETS, NOTES & LEGEND
PREPARED FOR: MPR PROPERTIES, LLC



STUTZ STREET NE



GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "X" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND REPORT DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTING SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

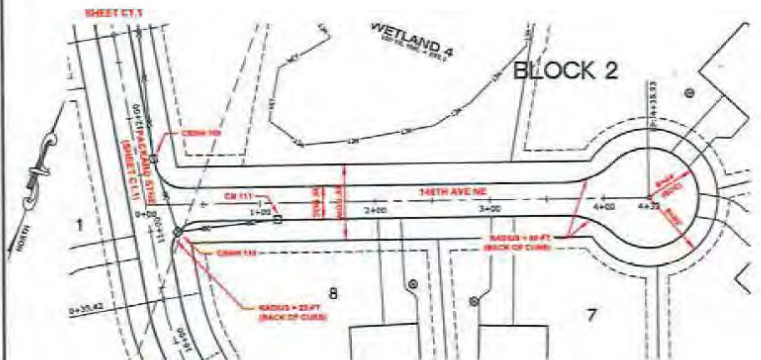
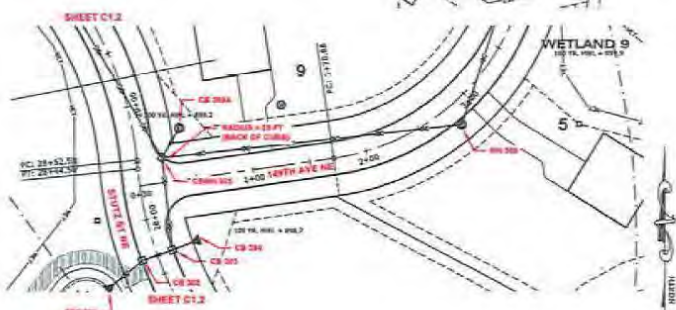
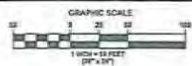
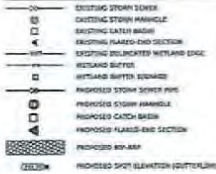
CURB & BITUMINOUS NOTES

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL PATCH POINTS AND PAVEMENT PATCHES TO BE CARVED AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILL OF CURB IS INCIDENTAL TO CURB INSTALLATION.

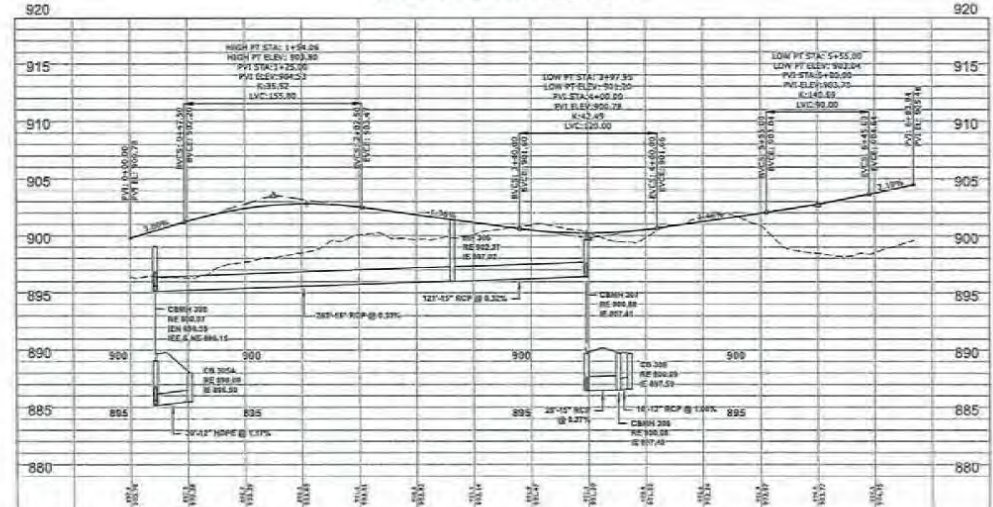
STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
 - (A) REINFORCED CONCRETE PIPE (RCP), AKSI CTV WITH #4 DAINETS.
 - (B) RCP PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294 TYPE 5 WITH WATER-TIGHT CONNECTIONS. USE SAND/SIMILAR MATERIAL FOR BACKFILLING AND COMPACTION OF RCP/FPVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D2151.
3. DO NOT BACKFILL CATCH BASIN UNITS, FABRIC WRAP IS INSPECTED BY CITY.
4. TRAP COVERS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROTECT CLASS II RCP/JAP BY FILTER FABRIC AT ALL PIPE EXITS.
6. THE LAST THREE SECTIONS OF CONCRETE PIPE, INCLUDING APPROX. FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEGMENT FROM ENTERING PIPE.
9. SEE SHEET C12 FOR STRUCTURE SCHEDULE.

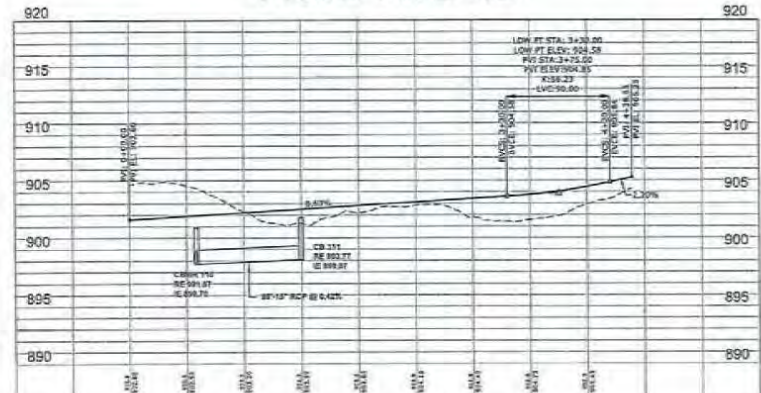
LEGEND



149TH AVE NE



148TH AVE NE



PLOWE ENGINEERING, INC.
 1275 LAKE DRIVE
 SUITE 115
 LONG LAKE, MN 55374
 PHONE: 952.324.2121
 FAX: 952.324.1034

DATE: 07/23/20
 DESIGNER: [Signature]
 CHECKER: [Signature]
 DATE: 07/23/20

PROJECT NO. 148TH & 149TH AVE NE
 SHEET NO. C14

HIDDEN FOREST EAST FOURTH ADDITION
 CITY OF HAW LAKE, MINNESOTA
PLAN PROFILE - 148TH & 149TH AVE NE
 PREPARED FOR: WYTRACORP, LLC



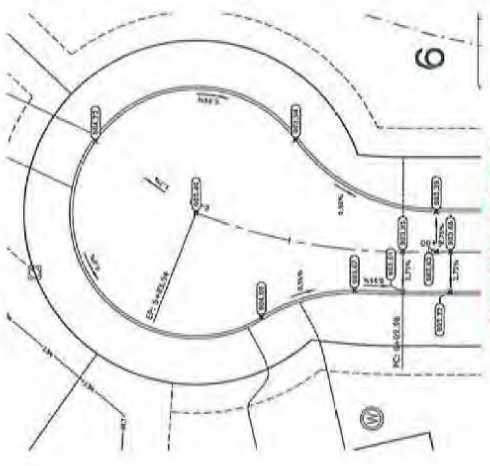
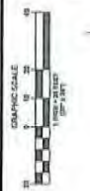
PLOWE
ENGINEERING & SURVEYING, INC.
215 W. WYOMING AVE.
LAKE LAKE, MN 55440
PHONE: 763-441-1111
FAX: 763-441-1112
WWW.PLOWE-ENGINEERING.COM

NO.	DATE	DESCRIPTION
1	10/11/23	ME & CSD DRAWINGS

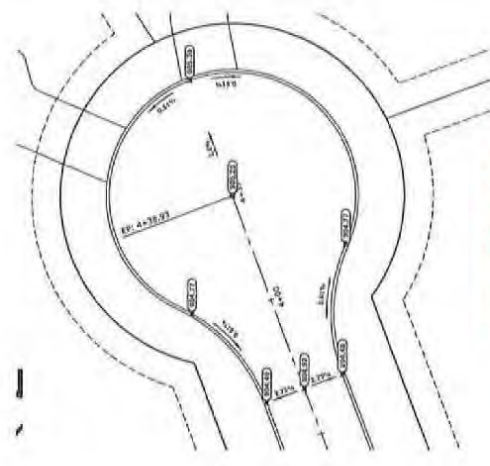
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.
DATE: 10/11/23
DRAWN BY: [Signature]
CHECKED BY: [Signature]

PREPARED FOR: HAM FOREST, LLC
HIDDEN FOREST EAST FOURTH ADDITION
CITY OF HAM LAKE, MINNESOTA
INTERSECTION AND C-D-S DETAILS

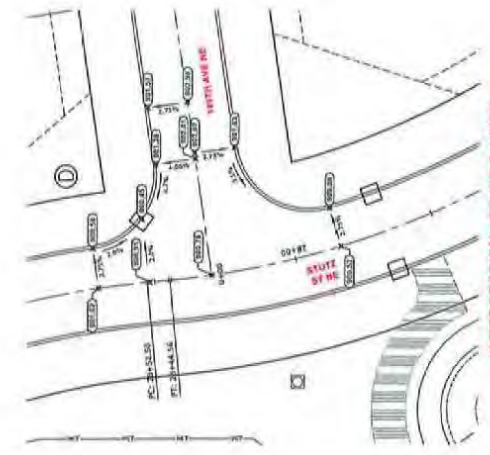
SHEET
C1.6



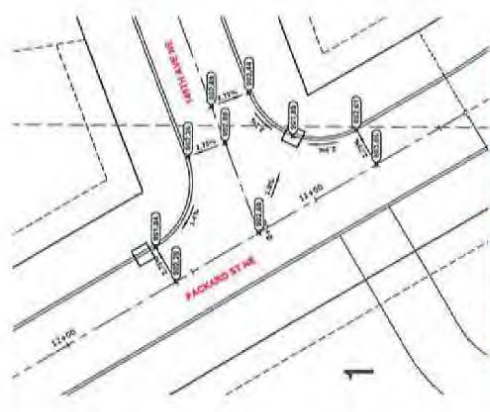
149TH AVE CUL-DE-SAC



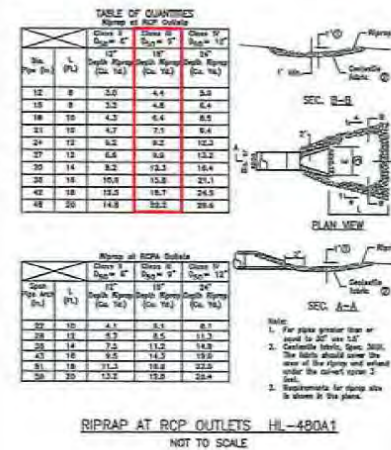
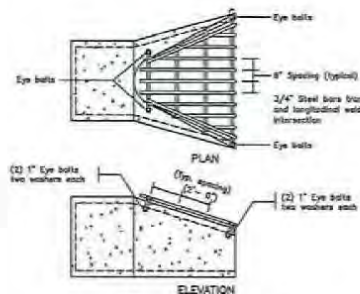
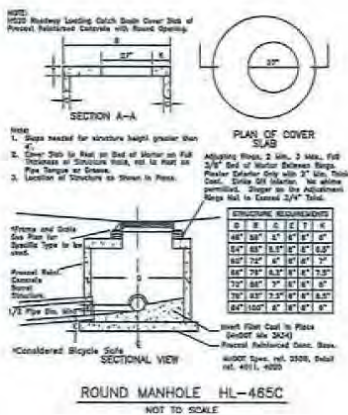
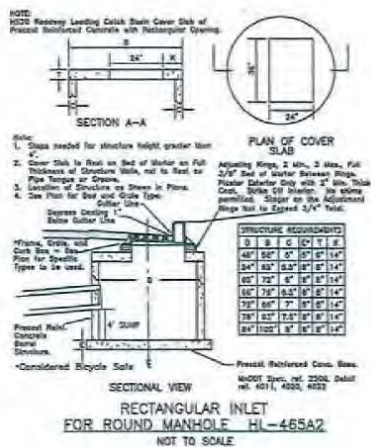
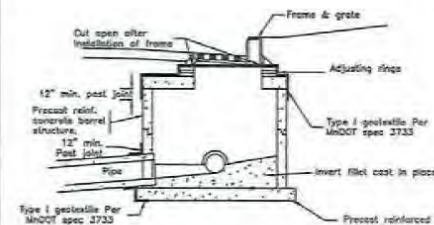
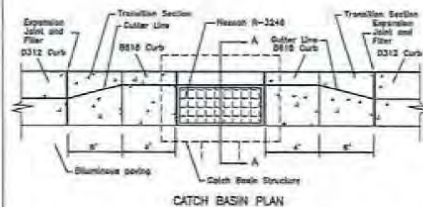
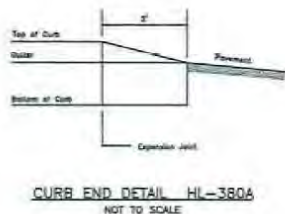
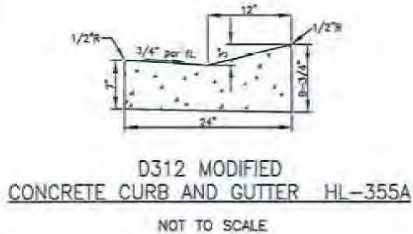
148TH AVE CUL-DE-SAC



INTERSECTION - STUTZ & 149TH



INTERSECTION - PACKARD & 148TH



GENERAL NOTES

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2. CALL "911" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COOK CREEK WATERSHED DISTRICT (CWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

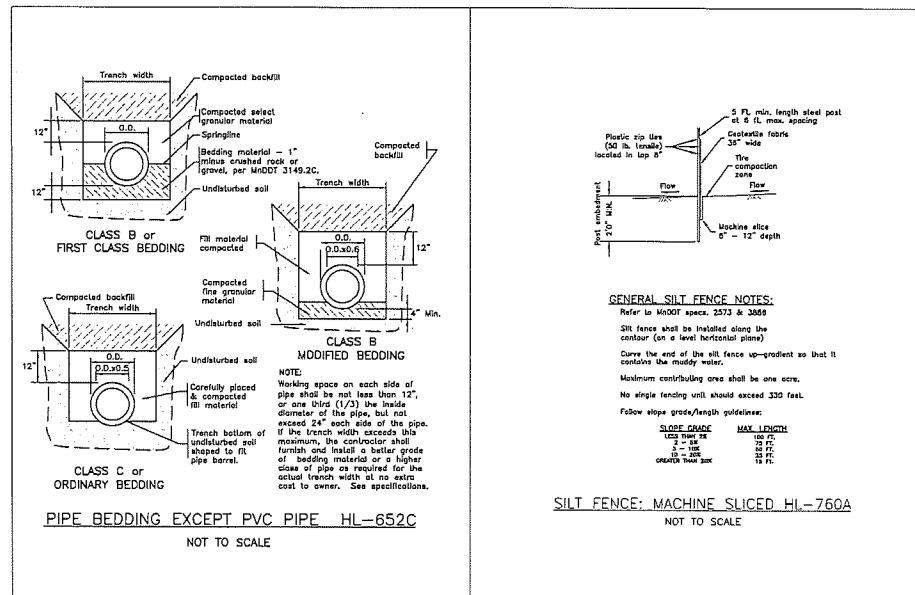
1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
 - (A) REINFORCED CONCRETE PIPE (RCP) ANSI CTS WITH R-4 GASKETS.
 - (B) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M284, TYPE S WITH WATER-TIGHT CONNECTIONS. USE SAND OR GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS B SURROUND W/ FILTER FABRIC AT ALL PIPE OUTLETS.
6. TIE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
9. SEE SHEET C2.1 FOR STRUCTURE SCHEDULE.

CURB & BITUMINOUS NOTES

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

MISCELLANEOUS NOTES

1. SEPTIC AND WELL DESIGN BY OTHERS.
2. SITE TOPOGRAPHY PROVIDED BY OTHERS.



PLOWE ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 10
 1201 LAKES, MN 55214
 PHONE: (951) 341-2119
 FAX: (951) 341-9151

DRAWN BY: CYP
 CHECK BY: CYP
 JOB NO.: 22045
 DATE: 08/12/21

NO.	DATE	DESCRIPTION
1	8/12/21	ISSUE & LOG COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

DESIGNER: [Signature]
 CHECKED BY: [Signature]
 DATE: 08/12/21
 LICENSE NO. 4193

HIDDEN FOREST EAST FOURTH ADDITION
 CITY OF HAM LAKE, MINNESOTA
DETAILS
 PREPARED FOR: INFRASTRUCTURE, LLC

**Tradewell Soil Testing
18330 Dahlia Street NW
Cedar, MN 55011**

April 10th, 2023

RFC Engineering
13635 Johnson Street NE
Ham Lake, MN 55304
Attention: Tom Collins

Dear Mr. Collins:

As a licensed site evaluator who conducted the soil borings in Hidden Forest East 4th, Addition for HFN Properties, LLC, I found the following: Each boring has at least 12” of natural, undisturbed and unmottled soil. In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12” of natural soil with no signs of mottling is required. Therefore, each of the proposed lots will support 2 “standard” septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,

A handwritten signature in black ink that reads "Mark Tradewell". The signature is written in a cursive, flowing style.

Mark Tradewell
MPCA #307

Tom Collins

From: JEFFREY Stalberger <stally68@msn.com>
Sent: Tuesday, June 13, 2023 3:42 PM
To: Henning-Randa, Bridget (DNR); Melissa Barrett; Tom Collins
Cc: Jennifer Bohr; BRIAN KIRKHAM
Subject: Re: Hidden Forest East 4th Addition - Permit application review

Bridget, yes, I can do that. please draft the permit.

Thank you,
Jeff Stalberger

From: Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>
Sent: Tuesday, June 13, 2023 3:31 PM
To: JEFFREY Stalberger <stally68@msn.com>; Melissa Barrett <melissa@kjolhaugenv.com>
Cc: Jennifer Bohr <JBohr@ci.ham-lake.mn.us>; BRIAN KIRKHAM <bkirkham11@msn.com>
Subject: RE: Hidden Forest East 4th Addition - Permit application review

Hello Jeff,

I have reviewed your application and have two outstanding issues that will need to be addressed in the permit. If you can agree to the conditions below, I will move forward with drafting the permit and you can move forward with the planning commission.

1. The project will need to allow at least 2 weeks for salvage and relocation of the plants by DNR or a DNR authorized party prior to grading impacts to the area with protected plants.
2. Fairly intensive survey efforts for this species have been conducted and additional surveys are unlikely to identify many new populations. Therefore, preferred mitigation for the species is adaptive management to maintain suitable habitat. We estimate that \$40,000 for management of existing population, such as invasive species control and prescribed fire, and monitoring to adapt management actions, will offset project impacts.

Please, let me know if you have any questions and if you would like me to proceed in drafting the permit.

Thank you,
Bridget

Bridget Henning-Randa, Ph.D.
Minnesota Endangered Species Consultant | Division of Ecological and Water Resources
Pronouns: she/her/hers

Minnesota Department of Natural Resources
500 Lafayette Rd., Box 25
St. Paul, MN 55155
Email: bridget.henning-randa@state.mn.us
<http://www.dnr.state.mn.us/eco/nhnrp>

 **DEPARTMENT OF
NATURAL RESOURCES**



From: JEFFREY Stalberger <stally68@msn.com>
Sent: Tuesday, June 13, 2023 11:29 AM
To: Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>; Melissa Barrett <melissa@kjolhaugenv.com>
Cc: Jennifer Bohr <JBohr@ci.ham-lake.mn.us>; BRIAN KIRKHAM <bkirkham11@msn.com>; Wolf, Heidi (DNR) <heidi.wolf@state.mn.us>
Subject: Re: Hidden Forest East 4th Addition - Permit application review

H Bridget, I was just going to follow up on the Hidden Forest East 4th Addition. We are hoping for some good news, and we can move forward with the planning commission meeting.

Sorry for being a pest,

Thanks, Jeff S.

612-799-1471

From: Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>
Sent: Monday, June 12, 2023 10:48 AM
To: Melissa Barrett <melissa@kjolhaugenv.com>; JEFFREY Stalberger <stally68@msn.com>
Cc: Jennifer Bohr <JBohr@ci.ham-lake.mn.us>; BRIAN KIRKHAM <bkirkham11@msn.com>; Wolf, Heidi (DNR) <heidi.wolf@state.mn.us>
Subject: RE: Hidden Forest East 4th Addition - Permit application review

Hello Jeff and Melissa,

I will review this material and do my best to let you know if we have additional concerns by tomorrow morning. I do anticipate that we will be able to issue a permit using the existing layout, but I will not be able to issue a permit by tomorrow. Next week Wednesday is the best case scenario for permit issuance, assuming I have all the information I need in the new submittal. I will let you know more after my review.

Thanks,
Bridget

From: Melissa Barrett <melissa@kjolhaugenv.com>
Sent: Friday, June 2, 2023 2:54 PM
To: Wolf, Heidi (DNR) <heidi.wolf@state.mn.us>; Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>
Cc: Jennifer Bohr <JBohr@ci.ham-lake.mn.us>; BRIAN KIRKHAM <bkirkham11@msn.com>; JEFFREY Stalberger <stally68@msn.com>
Subject: FW: * Correction on dates Hidden Forest East 4th Addition - Permit application - DNR Response

Heidi,

I am forwarding this email on to you in the event that you are helping Bridget while she is out, and because Bridget's return date is the date that the city of Ham Lake must hear back regarding this application as highlighted below.

Thank you.

Melissa Barrett
Kjolhaug Environmental Services
2500 Shadywood Road, Suite 130
Orono, MN 55331
Phone: 952-388-3752

From: JEFFREY Stalberger <stally68@msn.com>

Sent: Friday, June 2, 2023 1:50 PM

To: Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>; Melissa Barrett <melissa@kjolhaugenv.com>; Matt Davich <mdavich@egrud.com>

Cc: Jennifer Bohr <JBohr@ci.ham-lake.mn.us>; BRIAN KIRKHAM <bkirkham11@msn.com>

Subject: Fw: * Correction on dates Hidden Forest East 4th Addition - Permit application - DNR Response

correction on dates:

Hello Bridget and Melissa,

Melissa I believe I said on the phone from my car it was the 16th but looking at my notes it was Tuesday the 13th.

Jenifer Bohr (attached) at the city of Ham Lake said that if we have the DNR approval by the 13th we would be able to make the agenda for the next planning commission meeting. Mayor Brian Kirkham (attached) said it's very possible to have a special council meeting to expedite the start to help complete the project before frost arrives.

Thank you,
Jeff Stalberger Sr.

From: Melissa Barrett <melissa@kjolhaugenv.com>

Sent: Friday, June 2, 2023 1:07 PM

To: Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>

Cc: JEFFREY Stalberger <stally68@msn.com>; Matt Davich (mdavich@egrud.com) <mdavich@egrud.com>

Subject: RE: Hidden Forest East 4th Addition - Permit application - DNR Response

Bridget,

Please see response to comments below and attached supplemental information.

I know that on 5/25 Jeff sent out an email to let you know how this permit is tied to city approvals and how that affects whether he can start his project this year. The exact date of the city approving his project is June 16, and so the planning commission would need to know things were able to move forward (proffered permit OK) a few days before that to be able to add that to their agenda. Jeff – please let me know if I got that wrong.

Please let us know if that timeframe is problematic. Thank you.

Melissa Barrett

Kjolhaug Environmental Services

2500 Shadywood Road, Suite 130

Orono, MN 55331

Phone: 952-388-3752

From: Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>

Sent: Thursday, June 1, 2023 4:15 PM

To: Melissa Barrett <melissa@kjolhaugenv.com>

Cc: JEFFREY Stalberger <stally68@msn.com>

Subject: RE: Hidden Forest East 4th Addition - Permit application - DNR Response

Hello Mellissa,

Thank you for your patience. We have reviewed your application and have the following comments or requests for additional information:

1. Please provide shapefiles of the project site, area of impact, and protective fence locations around plants that will not be taken. Please see attached shapefiles.
2. Please, provide a description of the need for the project at this site. Were alternative sites considered for satisfying housing need? This is Phase 4 of an existing project. Infrastructure is in place to complete this project phase, and a development in this location has been coordinated with the city for many years (starting in 2016) and is part of the city's residential and traffic plans for this area (as outlined in the city's comprehensive plan - which is a planning tool that identifies areas for development in a proactive way for the city as a whole).
3. Please describe measures that will be implemented to ensure adjacent habitat will not be significantly disturbed, such as silt fence and construction crew notification. As required by the SWPPP, silt fencing will be used throughout the entire project area. Silt fence will be placed at the limits of grading. The location of silt fence near avoided known and potential protected species is shown on the attached **Sheet 7 and Figure 4** and is included in the provided silt fence shapefile. Wetland buffer and rare species signage (**Figure 4 attached**) will be installed at the start of project construction thereby notifying contractors and landowners that disturbance beyond the signs is not allowed.
4. Has this project received an NH review letter? If so, please provide it. Please, indicate how impacts to other rare species that may be on the project site, such as Blanding's turtle, will be avoided. Because it can take a number of months to receive a reply to the NHIS request, it is our understanding that Stantec submitted a survey protocol to DNR prior to beginning field work. That protocol was submitted prior to the new MCE online submission option; however, Stantec has access to the DNR's NHIS database so that all potential species were noted in the protocol and specifically investigated for in the field, plus any other rare species that may occur that were not included within or near the project area according to NHIS data. See attached Blanding's Turtle Avoidance Plan.
5. Please provide more information about onsite avoidance and mitigation (section 6.1). Where are the avoided areas that potentially provide long term habitat? Over 30 acres of the total project area is wooded and will remain as-is (see "tree preservation" areas on attached grading limits figure). It is the wooded area in which this species was found, and in which it may occur in the future.
6. We do not agree that the decrease of observed individuals from 2020 to 2022 or the presence of non-fruiting individuals is an indication that the species is likely to disappear in the absence of this project. Comment noted.
7. The DNR does not consider the proposed mitigation adequate to offset the proposed impact to not be detrimental to the species. Offsetting the loss of sub-populations of a rare species requires specific conservation actions; your proposal does not adequately fund specific actions that would benefit the species. You are welcome to prepare an additional proposal that fully offsets the impact or after receiving the requested information above, we will provide a mitigation suggestion. The species to be taken is found within a complex of habitats common to the Anoka Sand Plain. Compensatory mitigation for other protected species found in similar situations determined that plant surveys were a priority for contributing towards the conservation of the species, thereby providing a net benefit to the species. For past permits, the DNR has estimated the cost of such surveys to be \$32,000 to cover the cost of salary for a biologist, equipment, supplies, travel, and contractual work needed to complete surveys. For this project which proposes impact to 8 non-fruiting stems along with preservation/avoidance of 43 non-fruiting stems proposed mitigation is \$16,000.

Let me know if you have any questions,

Thank you,
Bridget

Bridget Henning-Randa, Ph.D.

Minnesota Endangered Species Consultant | Division of Ecological and Water Resources

Pronouns: she/her/hers
Minnesota Department of Natural Resources
500 Lafayette Rd., Box 25
St. Paul, MN 55155
Email: bridget.henning-randa@state.mn.us
<http://www.dnr.state.mn.us/eco/nhnrp>



From: Joyal, Lisa (DNR) <lisa.joyal@state.mn.us>
Sent: Wednesday, May 3, 2023 2:27 PM
To: Melissa Barrett <melissa@kjolhaugenv.com>
Cc: JEFFREY Stalberger <stally68@msn.com>; Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>; Horton, Becky (DNR) <becky.horton@state.mn.us>
Subject: Hidden Forest East 4th Addition - Survey Report - DNR Response

Hi Melissa,

Thank you for submitting the attached 2022 survey report. The survey documented black huckleberry (*Gaylussacia baccata*), and recommended that an additional survey be conducted. The DNR has verified the species identification and reviewed the report, and concurs that a follow up survey for *Rubus* species be conducted in late July – August. Tubercled rein orchid (*Platanthera flava* var. *herbiola*) should also be considered a target species during the follow up survey. We look forward to receiving the survey results.

In the future, please submit survey reports to Reports.NHIS@state.mn.us prior to submitting a permit to take application. More information can be found at [Natural Heritage Review](#) and [Rare Species Survey Process](#). Please note that survey data ([spreadsheets](#) and GIS data) should be submitted with the survey report.

Thank you,

Lisa Joyal

Lisa Joyal
Endangered Species Review Coordinator | EWR
NHIS Data Distribution Coordinator | EWR
Minnesota Department of Natural Resources
500 Lafayette Road, Box 25
St. Paul, MN 55155
Phone: 651-259-5109
Email: lisa.joyal@state.mn.us
mndnr.gov/eco

From: Melissa Barrett <melissa@kjolhaugenv.com>
Sent: Saturday, January 7, 2023 9:42 AM
To: Henning-Randa, Bridget (DNR) <Bridget.Henning-Randa@state.mn.us>; Joyal, Lisa (DNR) <lisa.joyal@state.mn.us>; Horton, Becky (DNR) <becky.horton@state.mn.us>

Cc: JEFFREY Stalberger <stally68@msn.com>

Subject: Hidden Forest East 4th Addition, Ham Lake - Permit application to take *Gaylussacia baccata* (black huckleberry)

This message may be from an external email source.

Do not select links or open attachments unless verified. Report all suspicious emails to Minnesota IT Services Security Operations Center.

Hello,

On behalf of HFN Properties we are submitting this *Permit Application to Take MN Endangered or Threatened Species Incidental to the Hidden Forest East 4th Addition* residential development project (download link below). The project proposes to impact one population on the site, and avoid another population on the site.

Please contact me with any questions or the need for further information for your review. Thank you.

 [TakePermitAppl_HFN 4th Addition Ham Lake 1-9-2023 KES_opt.pdf](#)

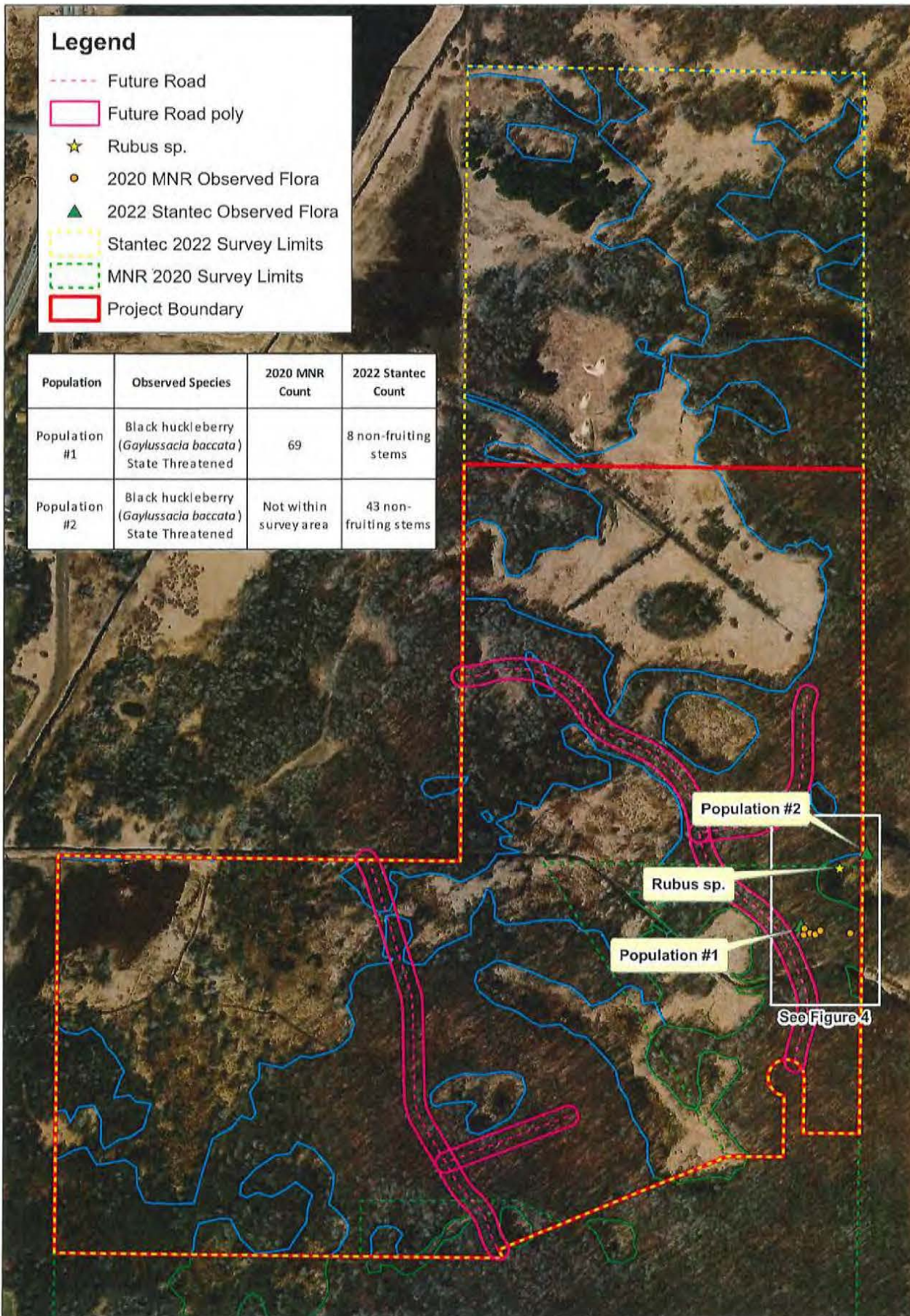
Melissa Barrett

Kjolhaug Environmental Services

2500 Shadywood Road, Suite 130

Orono, MN 55331

Phone: 952-388-3752



Legend

- Future Road
- Future Road poly
- ★ Rubus sp.
- 2020 MNR Observed Flora
- ▲ 2022 Stantec Observed Flora
- Stantec 2022 Survey Limits
- MNR 2020 Survey Limits
- Project Boundary

Population	Observed Species	2020 MNR Count	2022 Stantec Count
Population #1	Black huckleberry (<i>Gaylussacia baccata</i>) State Threatened	69	8 non-fruiting stems
Population #2	Black huckleberry (<i>Gaylussacia baccata</i>) State Threatened	Not within survey area	43 non-fruiting stems

Figure 3 - Survey Limits & Rare Species Locations



**Hidden Forest East 4th Addition (KES 2022-211)
Ham Lake, Minnesota**

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

NOTICE OF PERMIT APPLICATION STATUS

Project: Hidden Forest 4th Addition

Date: May 19, 2023

Applicant: HFN Properties, LLC
Attn: Jeff Stalberger
17404 Ward Lake Dr
Anoka, MN 55304

Permit Application#: P23-023

Purpose: Construction of a 22-lot single family home development with associated stormwater features, streets, and utilities.

Location: Stutz St NE and 149th Ave NE, Stutz St NE and 149th Ave NE, Ham Lake

At their meeting on April 24, 2023 the Board of Managers of the Coon Creek Watershed District **conditionally approved** the above referenced project with 8 conditions and 3 stipulations. **This is NOT a permit.**

Since your last submittal on 5/16/2023, the following 4 conditions remain which must be addressed before permit issuance (please see note below on how to address conditions).

1. Submittal of a performance escrow in the amount of \$20,450.00.
2. Provide proof of NPDES permit application.
3. Submittal of Wetland Bank Credit Withdrawal Verification.
4. Submittal of final Takings Permit from the MnDNR.

Please note that there are also 3 stipulations.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rule 5.1. If you have any questions, please call 763-755-0975.

Sincerely,



Erin Edison
Watershed Development Coordinator

cc: File P23-023
Eileen Weigel, Stantec
Danielle Tourtillott, Stantec
Tom Collins, Ham Lake



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 3-27-2023

Date of Receipt 5-19-23
Receipt # 96078

Meeting Appearance Dates:
Planning Commission 6-26-23

City Council 7/5/23

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Site
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Jam Hops

Address/Location of property: 1460 133rd LN NE

Legal Description of property: SW 1/4 of SE 1/4 of Sec 32, TWP 32, RGE 23

PIN # 32,32,23,43.0013 Current Zoning CD-2 Proposed Zoning CD-2

Notes: 12,992 Sq FT addition to east side of bldg with parking lot expansion

Applicant's Name: Mitch Stone

Business Name: Stone Construction

Address 2181 107th LN NE

City Blaine State MN Zip Code 55449

Phone 763-784-1950 Cell Phone 612-366-4390 Fax ---

Email address Mitch.S@stoneconstructioninc.com

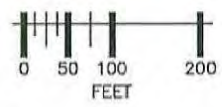
You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

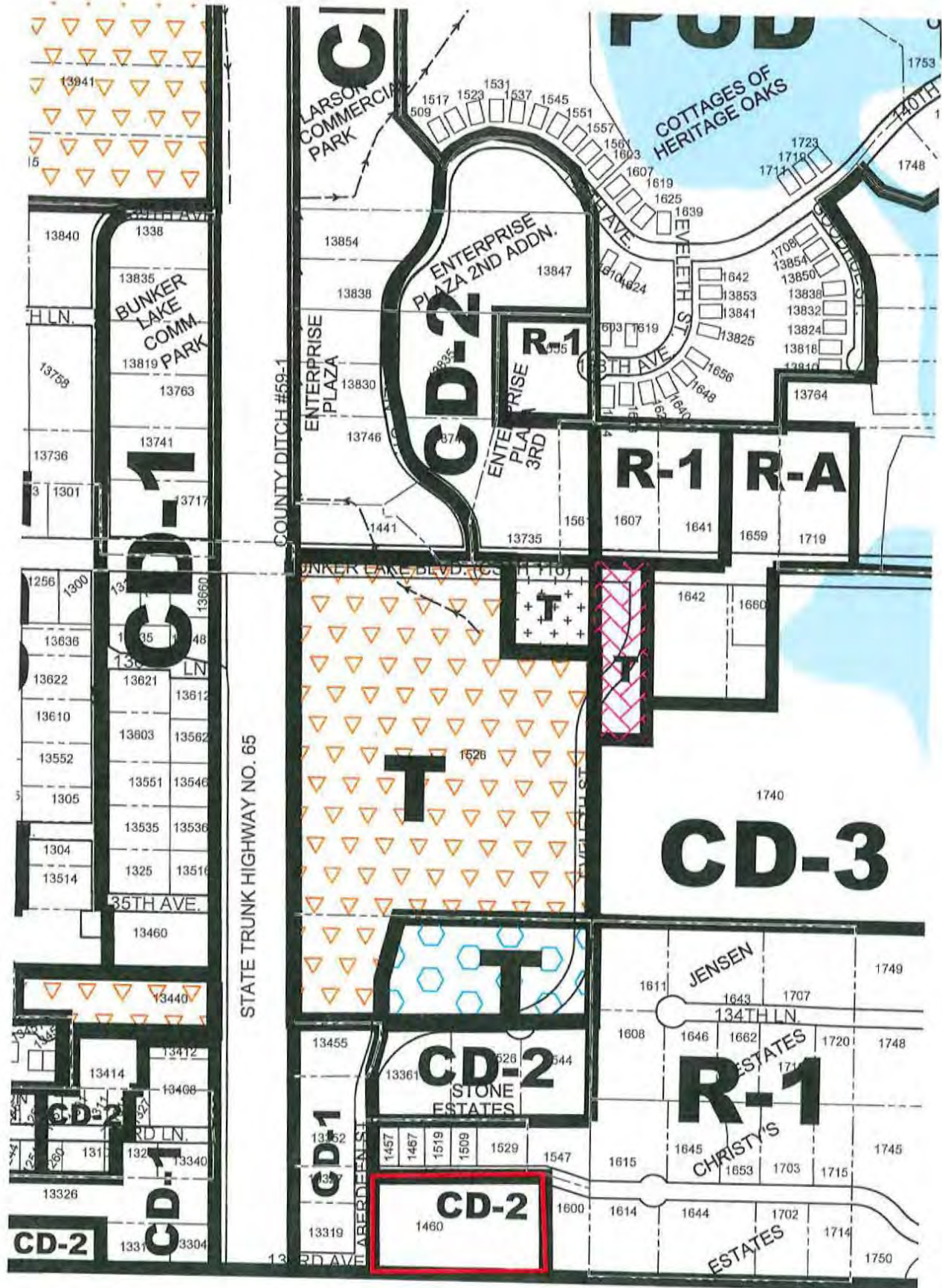
SIGNATURE [Signature] DATE 3/22/23

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission 4/24/23
City Council _____

PROPERTY TAXES CURRENT YES NO





STATE TRUNK HIGHWAY NO. 65

COUNTY DITCH #59-1

CD-2
1460



Jam Hops - Narrative

Since its opening at the current location in 2017, Jam Hops has continued to grow, other than during the COVID pandemic of course. We had hoped and planned for this to happen and included an expansion in the original plan. We have had waitlists for our gymnastics and Ninja classes for the past 2 years, and began renting space this past fall to accommodate our growing needs as best we can until the expansion is completed.

In addition to gymnastics and Ninja recreational classes, we have recreational and competitive dance classes, competitive boys and girls gymnastics teams, and an academic preschool. We also offer birthday parties, open gym, and day camps. We have plans to add a coffee, tea and shake shop through our Jam Hope Foundation, which will be staffed by kids and adults with special needs. We will sell prepackaged snacks, however there will be no food preparation. Anytime Fitness will continue to lease space in our building, and continues to operate.

We have 150 employees, and our hours of operation are approximately 8:00am-9:00pm 7 days a week with some Sundays being closed. Currently, parking at our peak evening times we can use up to 110 parking stalls. We expect a 20% increase with this expansion, which adds 22 parking stalls. Anytime Fitness uses 20 parking stalls at peak hours, totaling 152 stalls at peak business hours.

We have loved being part of the Ham Lake community for over 26 years. It is our privilege to serve the kids and families that come to Jam Hops, and to support the local businesses and organizations through our Jam Hops gives back program. Thank you for your help and support through our years of growth, and for your consideration of our much needed expansion.

CITY OF HAM LAKE
STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: Jam Hops requesting a 12,992 square foot addition at 1460 133rd Lane NE

Introduction/Discussion:

Jam Hops provides gymnastics and Ninja recreational classes, recreational and competitive dance classes, competitive boys and girl's gymnastics teams, and also has an academic preschool. They are requesting approval to add a 12,992 square foot addition to the east side of the building and expand their parking lot. The property abuts residential property on the north and east sides. Currently there is limited screening on the north side and no screening on the east side of the property. Per Article 11-1853.A - *Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years.* Code compliant screening on the north and south sides of the property is required.

The narrative indicates the business has experienced growth since constructing the building in 2016 and that a future expansion to the building was included in the original plan. The original civil plans dated April 28, 2016 do show a future 10,368 square foot expansion area on sheet C2; however, sheet C2 of the modified civil plans dated December 14, 2016, included this expansion area in the original build and a permit was issued. This expansion could be considered a third addition to the building.

There has been a great deal of discussion about the adequacy of the septic system due to the expanded occupancy load for this type of building. Occupancy Loads are based on the Minnesota 2020 Building Section 1004 (IBC). Per table 1004.5 (IBC) the maximum occupancy load will be 888 with the proposed addition to the existing building. The septic system needs to be designed to accommodate this occupancy load as required by Minnesota Subsurface Sewage Treatment System Program (SSTS) rules. Jam Hops indicates there are plans for a coffee, tea and shake shop in the building. Beverage service businesses generate additional strain on a septic system.

Recommendation:

I recommend site plan approval on the condition that a Building Permit not be issued until the septic system has been approved. All screening also needs to be approved by the City Engineer and the Building Official before a permit will be issued.

Memorandum

Date: June 22, 2023
To: Planning Commissioners
From: Tom Collins, City Engineer *TPC*
Subject: Jam Hops Dance Studio Building Addition

Introduction:

The Title Sheet, Legend, Existing Conditions & Removal Plan, Civil Site Plan, Grading, Drainage & Erosion Control Plan, Details, Stormwater Pollution Prevention Plan received May 3rd and the Architectural Plans and Stormwater Drainage Report received April 13th address prior review comments. The Architectural Plans include the Landscape Plan. No additional screening is proposed.

Discussion:

The Plans reflect a 12,992 square foot building addition to the existing 44,472 square foot building footprint. The stormwater treatment basin that was constructed with the prior expansion has adequate capacity for the proposed expansion. Additional stormwater treatment is not required.

The Coon Creek Watershed District (CCWD) Board of Managers conditionally approved the plans at the March 13th meeting, per the attached. The CCWD issued their attached permit on May 25th. An Operations and Maintenance Agreement for Stormwater Facilities has been executed between Jam Hops and the CCWD.

Per the attached Building Official memo, a Building Permit will not be issued until the septic design is approved. The State Fire Marshall office will be confirming if the reserve water tank and pump capacity of the existing fire suppression system are sufficient for the new addition. The MPCA issued the attached Construction Stormwater Permit on March 17th.

Recommendation:

It is recommended that the plans for the Jam Hops Dance Studio Building Addition be recommended for approval.

JAM HOPS DANCE STUDIO BLDG ADDITION

TITLE SHEET, LEGEND, EXISTING CONDITIONS & REMOVAL PLAN

HAM LAKE, MINNESOTA

LEGEND

- | | | | |
|-----|--|------|--|
| — | EXISTING OVERHEAD ELECTRIC | — | PROPOSED WATER PIPE |
| TEL | EXISTING UNDERGROUND TELEPHONE | — | PROPOSED SANITARY SEWER PIPE |
| CR | EXISTING UNDERGROUND CABLE | — | PROPOSED STORM SEWER PIPE |
| ED | EXISTING TELEPHONE PEDESTAL | — | PROPOSED DRAIN TILE AND CLEAN-OUT |
| ED | EXISTING ELECTRICAL PEDESTAL | ELEC | PROPOSED ELECTRIC SERVICE * |
| ED | EXISTING CABLE PEDESTAL | GAS | PROPOSED GAS SERVICE * |
| UT | EXISTING UTILITY POLE | TEL | PROPOSED TELEPHONE SERVICE * |
| OL | EXISTING LIGHT POLE | — | PROPOSED STORM MANHOLE |
| — | EXISTING STORM SEWER | — | PROPOSED CATCH BASIN |
| — | EXISTING WATER MAIN | — | PROPOSED FLARED-END SECTION |
| — | EXISTING SANITARY SEWER | — | PROPOSED GATE VALVE |
| — | EXISTING FORDRAIN | — | PROPOSED HYDRANT |
| — | EXISTING STORM MANHOLE | — | PROPOSED SANITARY SEWER MANHOLE |
| — | EXISTING CATCH BASIN | — | PROPOSED CONTOUR |
| — | EXISTING FLARED-END SECTION | — | PROPOSED SPLIT ELEVATION (SLOTTING, BITUMINOUS SURFACE OR SOME SURFACE UNLESS OTHERWISE INDICATED) |
| — | EXISTING GATE VALVE | — | PROPOSED SALT FENCE |
| — | EXISTING HYDRANT | — | PROPOSED DIRECTION OF DRAINAGE |
| — | EXISTING WELL | — | PROPOSED BITUMINOUS |
| — | EXISTING SANITARY SEWER MANHOLE | — | PROPOSED FILTRATION MEDIA |
| — | EXISTING CONTOUR | — | PROPOSED INLET PROTECTION |
| — | EXISTING SPOT ELEVATION | — | PROPOSED HEAVY-DUTY PAVEMENT |
| — | EXISTING SPOT ELEVATION (HAND-ING ELEVATION) | — | PROPOSED ENHANCAT |
| — | EXISTING BITUMINOUS | — | PROPOSED RETAINING WALL |
| — | EXISTING TREES | — | BITUMINOUS PAVEMENT REMOVAL |
| — | EXISTING TREE TO BE REMOVED | — | CONCRETE SIDEWALK REMOVAL |
| — | SURFACE DRAINAGE DIRECTION | — | PROPOSED CONCRETE SIDEWALK |
| — | EXISTING FENCE | — | PROPOSED LIGHT POLE |
| — | EXISTING RETAINING WALL | — | PARKING SETBACK |
| — | EXISTING WETLAND | — | BUILDING SETBACK |
| | | — | PROPOSED TSP-OUT CURB |

* NOT ALL SYMBOLS ARE APPLICABLE.

GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATS.

ALL UTILITIES THAT WILL BE OWNED AND MAINTAINED BY THE CITY AFTER CONSTRUCTION SHALL BE BUILT TO CITY STANDARDS.

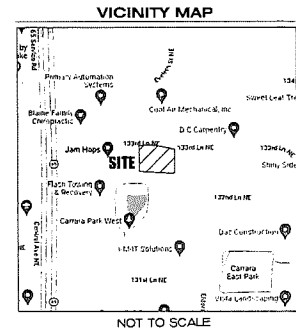
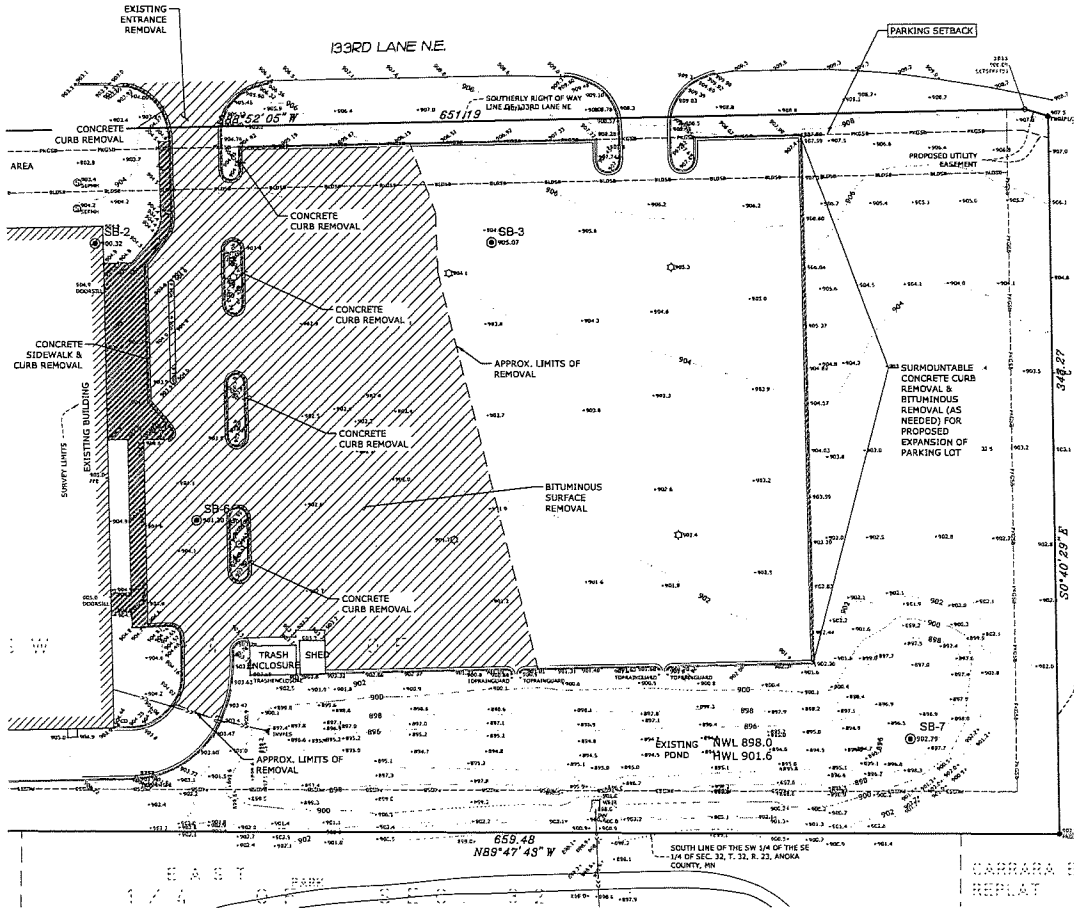
THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE CITY PRIOR TO ANY WORK.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.



GENERAL SITE INFORMATION:

ZONING = CD-2, COMMERCIAL DEVELOPMENT, TIER 2

EXISTING BUILDING (MAIN) = 41,472 SF
 EXISTING BUILDING (MEZZANINE) = 1,393 SF
 PROPOSED BUILDING = 12,992 SF

DRAWN BY:	M.C.A.	DESIGN BY:	C.W.P.
CHKD BY:	M.O.A.	PROJ. NO.:	22-1961
DATE:	AUGUST 29, 2022	ORDINAL DATE:	AUGUST 29, 2022
DATE:	4/17/23	REVISION DESCRIPTION:	ADDED DETAIL CALLOUT OF PLAN AND ELEVATION & SITE DATA

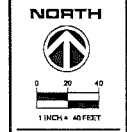
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.

Charles W. Rowe
 CHARLES W. ROWE
 LIC. NO. 18227
 DATE: 5.3.2023

JAM HOPS DANCE STUDIO BLDG ADDITION
 HAM LAKE, MINNESOTA
 TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN

PREPARED FOR:
STONE CONSTRUCTION

STONE CONSTRUCTION
 SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
 8776 LAKE DRIVE
 SUITE 100
 LINO LAKE, MN 55014
 PHONE: (651) 261-9210
 FAX: (651) 261-8761



below.
 Call before you dig.

TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN JAM HOPS DANCE STUDIO BLDG ADDITION



CURB & BITUMINOUS NOTES

REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
 RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
 BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.
 FOUR INCHES OF CLASS 5 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.
 CURB ENDS SHALL TERMINATE IN A THREE-FOOT BEAVER TAIL.

DRAWN BY: M.C.A. DESIGN BY: C.W.P.
 CHECKED BY: M.C.A. PROJ. NO.: 22-1961
 ORIGINAL DATE: AUGUST 20, 2022

DATE	REVISION DESCRIPTION
3/20/23	REVISED SITE PLAN (REMOVED PROOF OF PARKING)
4/12/23	REVISED SITE PLAN (PARKING STALLS)
5/2/23	REVISED SITE PLAN (PC AREA AND ISLAND)
5/2/23	REVISED SITE PLAN (C&B)

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Charles W. Plowe
 CHARLES W. PLOWE LIC. NO. 19227
 DATE: 5.3.2023

JAM HOPS DANCE STUDIO
 BLDG ADDITION
 HAW LAKE, MINNESOTA
 CIVIL SITE PLAN

PREPARED FOR:
 STONE CONSTRUCTION



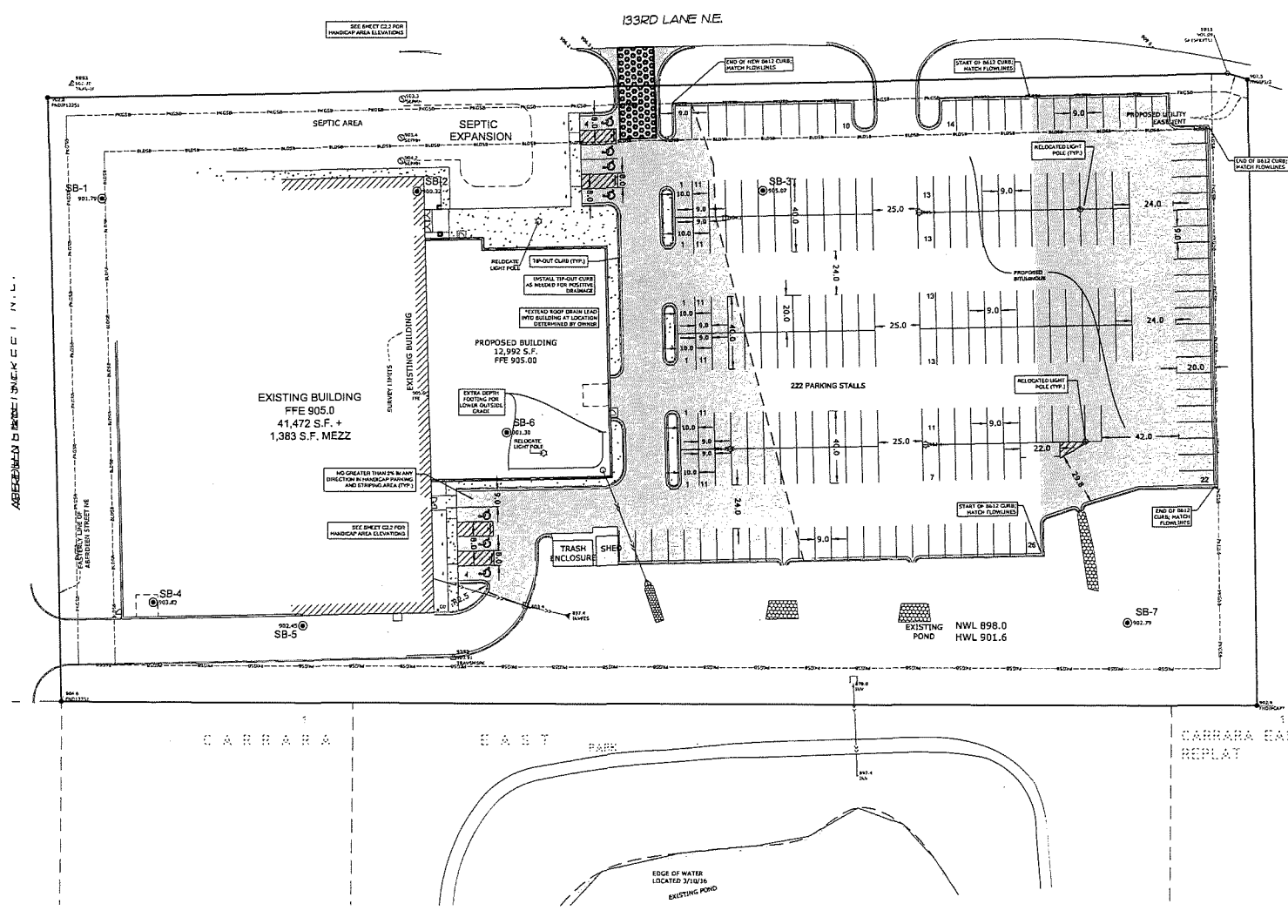
SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.

5770 LAKE DRIVE
 SUITE 110
 LIND LAKE, MN 55014
 PHONE: (651) 761-4210
 FAX: (651) 361-0701

NORTH

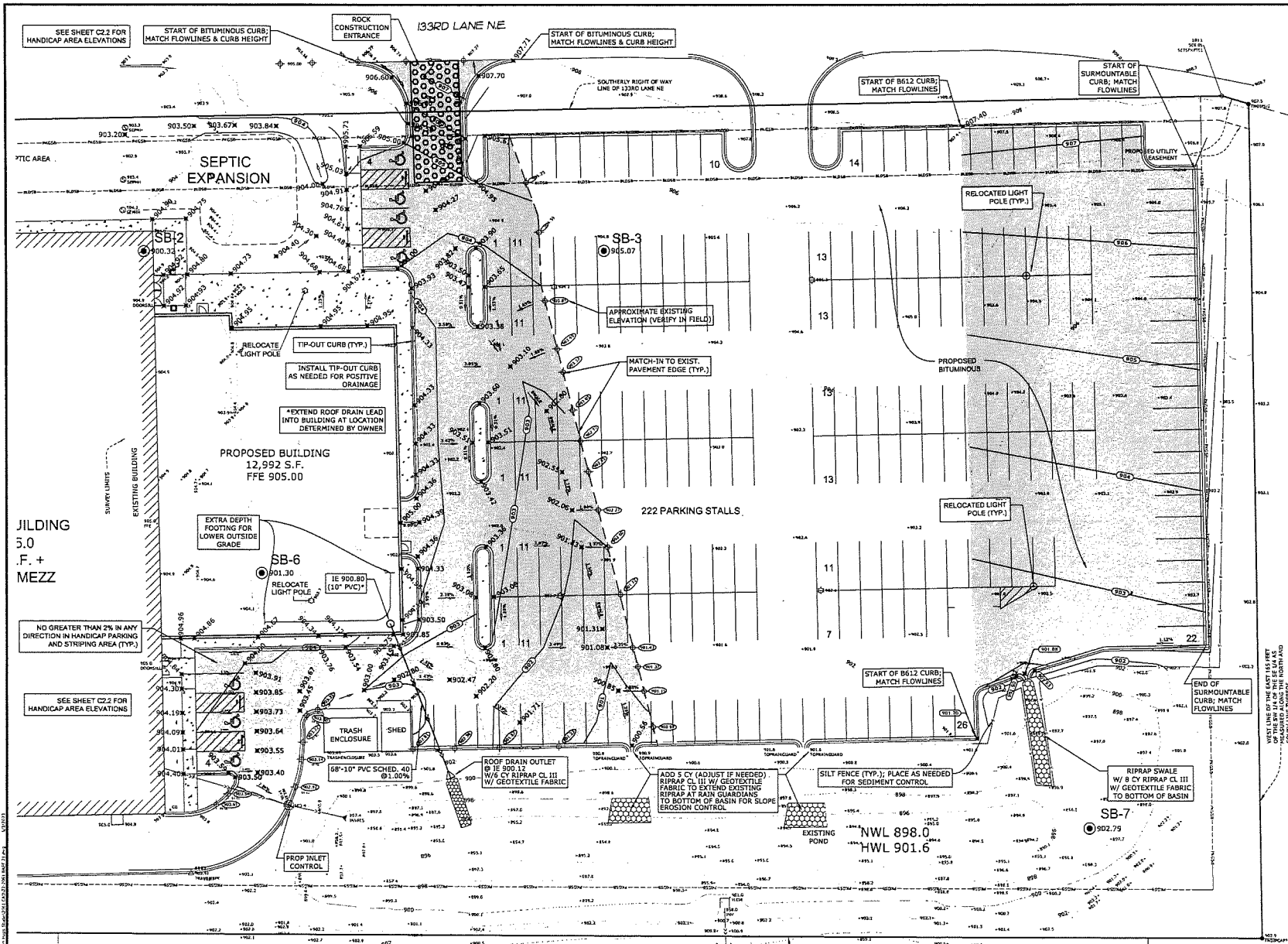


1 INCH = 30 FEET
C1



ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

**CIVIL SITE PLAN
 JAM HOPS DANCE STUDIO BLDG ADDITION**



STORM SEWER NOTES

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

WHEN CALLED OUT AS PIPE, STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) ANSI CTS WITH 4 GASKETS OR, IF ALLOWED BY CITY, NOPE PIPE MAY BE USED. (SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED.) NOPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M254.

TYPE 5 WITH WATER-TIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HOPEVIC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2221.

STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF ANJON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2630.

STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLE WITH APPROVED RELOCATED RUBBER JOINTS TO MAKE THEM CAST-IRON OR WATER-TIGHT. CURRENT HOISTER JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

ALL REPORTS, INCLUDING BUT NOT LIMITED TO PRINTS FROM CITY OF HAW LAKE, ZONING DEPARTMENT, AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY THE CONTRACTOR.

INSTALLATION OF UTILITIES SHALL BE CONSTRUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS ENGINEERING STANDARDS.

OTHER NOTES

• DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

DRAWN BY: M.C.A. CHECKED BY: M.C.A. DESIGNED BY: C.W.F. PROJECT NO: 22-1961

ORIGINAL DATE: AUGUST 29, 2022

DATE	REVISION DESCRIPTION
2/20/23	REVISED PROFILE OF PARKING & REVISIONS GRADES
4/27/23	REVISED GRADES AROUND HANDICAP PARKING AREAS
5/2/23	REVISED GRADES AT LIC AREAS
5/2/23	REVISED GRADES AT LIC AREAS

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

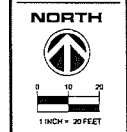
Charles W. Plowe
 CHARLES W. PLOWE
 DATE: 5.3.2023 LIC. NO. 18327

JAM HOPS DANCE STUDIO BLDG ADDITION
 HAW LAKE, MINNESOTA
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN

PREPARED FOR: STONE CONSTRUCTION



PLOWE ENGINEERING, INC.
 5776 LAKE DRIVE
 SUITE 110
 LINDEN LAKE, MN 55014
 PHONE: (651) 361-5210
 FAX: (651) 361-4791



**GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 JAM HOPS DANCE STUDIO BLDG ADDITION**

C2.1



Know what's below. Call before you dig.

DATE	REVISION DESCRIPTION
4/17/23	ADDED GRADING NOTES PER CADD COMMENTS
4/17/23	REVISED GRADES AROUND HANDICAP PARKING AREAS
4/20/23	ADJUST GRADES AROUND HANDICAP PARKING AREAS
5/23/23	ADJUST GRADES AROUND HANDICAP PARKING AREAS

DATE: 5.3.2023
 L.I.C. NO. 19277
 CHARLES W. PLOWE
 I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

JAM HOPS DANCE STUDIO
 BLDG ADDITION
 MAN LAKE, MINNESOTA
 PREPARED FOR:
 STONE CONSTRUCTION



PLOWE ENGINEERING INC.
 SITE PLANNING & ENGINEERING
 8775 LAKE DRIVE
 EDEN PRAIRIE, MN 55424
 PHONE (952) 261-8210
 FAX (952) 261-8781



1" = 10' - 10' FEET

- SITE SEQUENCING**
- PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL INSTALL ROCK CONSTRUCTION ENTRANCE FLAGSTONES TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND PERMANENTLY SET IN PLACE AS SHOWN ON PLAN. CONTRACTOR TO IMPROVE EROSION CONTROL MEASURES TO PREVENT SEDIMENTATION, IF NECESSARY. ADDITIONAL SET POINTS MAY BE REQUIRED BY LOCAL AGENCIES.
 - THE CONTRACTOR SHALL PROVIDE ALL SOIL, FILL AND UTILITIES WHICH SHALL CONFORM WITH THE FOLLOWING MINIMUM SPECIFICATIONS AS NOTED BELOW.

ITEM	MINIMUM SPECIFICATIONS
SOIL	30% (CATEGORY 3)
SEED *	20%
* FOR TURF ESTABLISHMENT	
RESIDENTIAL TURF	MINOT MIX 25-11 (100 BAWARDS)
TEMPORARY	MINOT MIX 25-11 (100 BAWARDS)
SOIL-BUILDING COVER	MINOT MIX 25-11 (100 BAWARDS)
1-7 TURF COVER	MINOT MIX 25-11 (100 BAWARDS)
1-7 TRUCK COVER	30% (TYPE 1 - 100% ASSURED)
FERTILIZER	30% (TYPE 1 - 100% ASSURED)
WOOD FIBER BLANKET	30% (CATEGORY 3)
WOOD FIBER BLANKET	30% (CATEGORY 3)

- ALL EXPOSED SOILS MUST HAVE TEMPORARY EROSION CONTROL PROTECTION OR REMAIN COVER WITH QUANTIZED (14) DATS. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL MEASURES IN PLACE IN THESE AREAS PREVENT MIGRATION OF SEDIMENT INTO ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO PREVENT SEDIMENTATION OF THE CONSTRUCTION SITE. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.
- THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO PREVENT SEDIMENTATION OF THE CONSTRUCTION SITE. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SLOPE, BARRELS AND EROSION CONTROL BLANKET AS NEEDED.
- THE CONTRACTOR SHALL FINAL GRADE SHALL BE STABILIZED UPON COMPLETION OF UPTHEAM AREAS.
- UPON COMPLETION OF THE CONSTRUCTION THE CONTRACTOR SHALL PROVIDE NATIVE TROPICAL WITH 500 OR SEEDS AND MULCH ANCHORED WITH A STRIPPER SET DISC WITHIN 48 HOURS OF FINAL GRADING.
- EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE A 2:1 SLOPE FOR ALL EXPOSED SOIL. EXCESS SOIL SHOULD BE STORED IN A CONTAINER OR COVERED WITH A 2:1 SLOPE OR LITTERED WITH A 2:1 SLOPE. EXCESS SOIL SHOULD BE STORED IN A CONTAINER OR COVERED WITH A 2:1 SLOPE OR LITTERED WITH A 2:1 SLOPE. EXCESS SOIL SHOULD BE STORED IN A CONTAINER OR COVERED WITH A 2:1 SLOPE OR LITTERED WITH A 2:1 SLOPE.
- ALL SOIL STOCKPILES SHALL BE COVERED WITH A 2:1 SLOPE OR LITTERED WITH A 2:1 SLOPE.
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- ALL SOIL STOCKPILES SHALL BE COVERED WITH A 2:1 SLOPE OR LITTERED WITH A 2:1 SLOPE.

OTHER POLLUTION CONTROL MEASURES

CONSTRUCTION WASTE MATERIALS - ALL WASTE MATERIALS GENERATED AS A RESULT OF SITE CONSTRUCTION SHALL BE COLLECTED AND STORED IN A DESIGNATED AREA. WASTE MATERIALS SHALL BE STORED IN A DESIGNATED AREA. WASTE MATERIALS SHALL BE STORED IN A DESIGNATED AREA. WASTE MATERIALS SHALL BE STORED IN A DESIGNATED AREA.

HAZARDOUS WASTE - ALL HAZARDOUS WASTE MATERIALS SHALL BE STORED PROPERLY TO PREVENT SPILLS AND WASHDRIPS, WHICH MAY BE REQUIRED BY LOCAL REGULATION.

SAFETY WASTE - ALL SAFETY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS BY A LOCAL LICENSED WASTE MANAGEMENT COMPANY, AS REQUIRED BY LOCAL REGULATION.

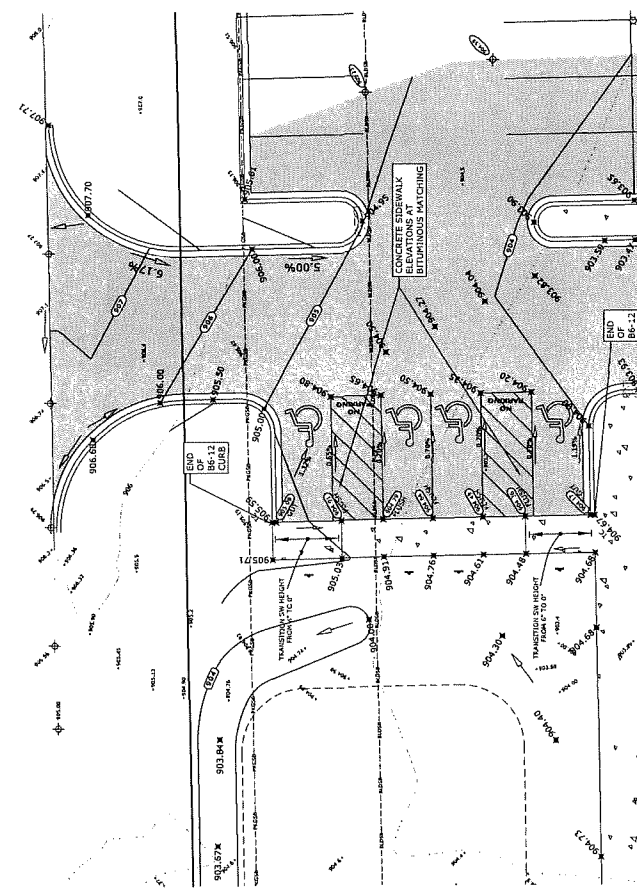
OFFSITE VEHICLE TRACKING - A ROCK CONSTRUCTION ENTRANCE FLAGSTONE HAS BEEN INSTALLED TO HELP REDUCE VEHICLE TRACKING OF SOIL ONTO ADJACENT PROPERTIES. THE CONTRACTOR SHALL MAINTAIN THIS FLAGSTONE THROUGHOUT THE CONSTRUCTION PERIOD AND PERMANENTLY SET IN PLACE AS SHOWN ON PLAN. CONTRACTOR TO IMPROVE EROSION CONTROL MEASURES TO PREVENT SEDIMENTATION, IF NECESSARY. ADDITIONAL SET POINTS MAY BE REQUIRED BY LOCAL AGENCIES.

VEHICLE CLEANING - NO DRIVING OR IDLING IS ALLOWED ON SITE. EXTERNAL WASHING OF VEHICLES TO BE CONFINED TO A DESIGNATED AREA. EXCESS WATER SHALL BE COLLECTED AND STORED IN A DESIGNATED AREA. EXCESS WATER SHALL BE COLLECTED AND STORED IN A DESIGNATED AREA.

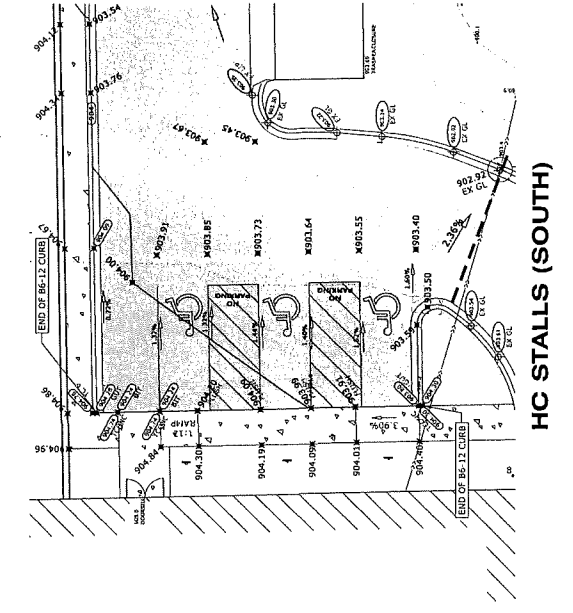
CONTRACTOR TO PROVIDE DESIGNATED CONCRETE WASHOUT AREA WITH APPROPRIATE SIGNAGE. KEEP WASHOUT AREAS AS FAR FROM ADJACENT PROPERTIES AS POSSIBLE. CONCRETE WASHOUT AREAS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

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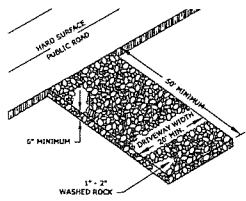
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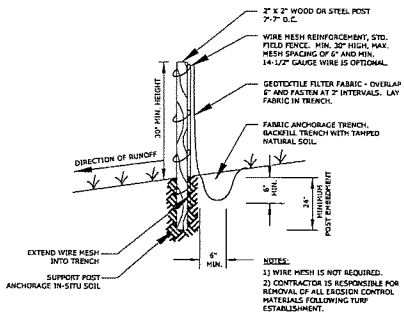
HC STALLS (NORTH)



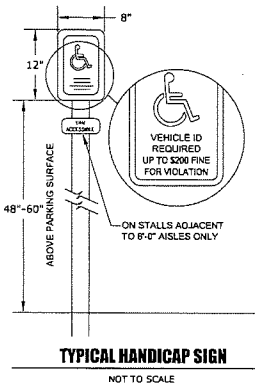
NO GREATER THAN 2% IN ANY DIRECTION IN HANDICAP PARKING AND STRIPING AREAS



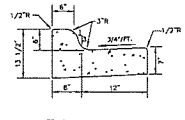
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



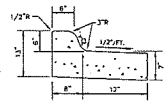
EROSION CONTROL FENCE
NOT TO SCALE



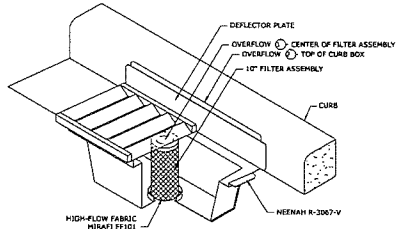
TYPICAL HANDICAP SIGN
NOT TO SCALE



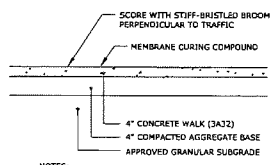
B612 CONCRETE CURB AND GUTTER
NOT TO SCALE



B612 CONCRETE CURB AND GUTTER TR-401
NOT TO SCALE

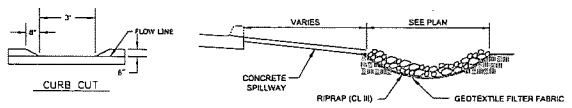


WIMCO INLET PROTECTION
NOT TO SCALE

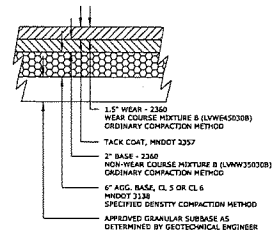


- NOTES:**
- USE EXPANSION JOINT WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR STRUCTURE.
 - CONTROL JOINTS SHALL BE CUT WITH A JOINTER HAVING A RADIUS OF 1/4" AND SPACED @ 5'-0" O.C. MAX. U.N.D.
 - EXPANSION JOINTS SHALL BE SPACED AT 20'-0" O.C. MAX. AND SHALL CONSIST OF A 1/2" PRE-FORMED JOINT FILLER.
 - ANTI-SPLALLING COMPOUND SHALL BE APPLIED TO CONCRETE SURFACES.
 - SECTION TO BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION.

TYPICAL CONCRETE SIDEWALK
NOT TO SCALE



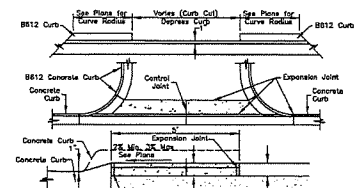
CURB DRAIN OPENING
NOT TO SCALE



PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S STANDARDS FOR STREET AND UTILITY CONSTRUCTION.

GEOTECHNICAL ENGINEER TO REVIEW ON-SITE SOILS AND PAVEMENT SECTION PRIOR TO ANY INSTALLATIONS.

PROPOSED BITUMINOUS
NOT TO SCALE



- NOTES:**
- Match existing driveway width and elevation of existing unless otherwise directed by engineer (See Plans).
 - If existing driveway is concrete, apron and driveway shall be constructed of 6" concrete with #4" x 12" spaced wire fabric per MNDOT Spec. 3303 in flat areas, and ribs. Existing curb shall be removed and replaced with curb conforming to MNDOT Spec. 3302 shall be placed in the existing driveway pavement along the spawall face. Dowel bars shall be properly coated with a MNDOT approved lubricant. Dowel bars shall be #12 and placed at 24" OC spacing. All work shall conform to MNDOT Spec. 2201 and 2201. Concrete shall be per MNDOT Spec. 2461 for ready-mix with 3,000 PSI at 28 days with air content of 5% to 7%. Course aggregate for concrete shall be per MNDOT Spec. 1137 with 1" max. Class A aggregate. Joint sealers shall be hot-applied low modulus, mastic type per MNDOT Spec. 3725. Bituminous curing compound shall be per MNDOT Spec. 3754 and 2201.3.
 - If existing driveway is gravel, apron and driveway within R/W shall be constructed per Bituminous Driveway.
- General Driveway matching beyond R/W shall be 6" Class 5.**
- If existing driveway is bituminous, apron must be constructed per concrete driveway and driveway within R/W shall be bituminous per note A. All bituminous work shall conform to MNDOT Specifications 2112, 2211, 2207 and 2360. Tack coat is to be applied between bituminous courses and between concrete and bituminous surface.**
- Driveway in cut sections to slope up from 1" curb up to R/W at 2% min. 3% max then slope to matchline. Driveway in fill sections to slope up from 1" curb up to R/W at min of 2% then slope to matchline. See Plan for slope.**

COMMERCIAL DRIVEWAY DETAIL HI-370A1
NOT TO SCALE

DRAWN BY: M.Q.A. C.W.F.
DESIGN BY: M.Q.A. C.W.F.
CHKD BY: M.Q.A. PRCL NO. 22-1981
ORIGINAL DATE: AUGUST 26, 2022

DATE	REVISION DESCRIPTION
8/11/22	ADD R/W AND CONCRETE PAVEMENT (SEE WALK LINE)

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.

CHARLES W. FLOWE
DATE: 8.3.2022 LIC. NO. 18227

JAM HOPS DANCE STUDIO BLDG ADDITION
HIGH LAKE, MINNESOTA
DETAILS & NOTES

PREPARED FOR:
STONE CONSTRUCTION

PLOWE ENGINEERING, INC.
SITE PLANNING & ENGINEERING
874 LAKE DRIVE
SUITE 110
LIND LAKE, MN 55014
PHONE: (651) 261-4210
FAX: (651) 261-8781



JAM HOPS ADDITION

COMMERCIAL PLAN REVIEW FOR CODE COMPLIANCE

GENERAL INFORMATION

1. Project Location: 1460 13th Lane NW, Ham Lake, MN 55431
 2. Project No: 2018-001
 3. Date: 11/15/2018
 4. Drawn By: JLB
 5. Checked By: JLB

APPLICABLE CODES:

1. Minnesota State Building Code (MSBC) - 2015 Edition
 2. Minnesota State Fire Code (MSFC) - 2015 Edition
 3. Minnesota State Mechanical Code (MSMC) - 2015 Edition
 4. Minnesota State Electrical Code (MSEC) - 2015 Edition
 5. Minnesota State Plumbing Code (MSPC) - 2015 Edition
 6. Minnesota State Fire Alarm and Detection System Code (MSFADSC) - 2015 Edition
 7. Minnesota State Fire Sprinkler Code (MSFSKC) - 2015 Edition
 8. Minnesota State Energy Code (MSEC) - 2015 Edition
 9. Minnesota State Accessibility Code (MSAC) - 2015 Edition
 10. Minnesota State Historic Preservation Code (MSHPC) - 2015 Edition
 11. Minnesota State Historic Preservation Code (MSHPC) - 2015 Edition
 12. Minnesota State Historic Preservation Code (MSHPC) - 2015 Edition

BUILDING CLASSIFICATION

1. Occupancy Group: B (Business)
 2. Use: Office
 3. Height: 3 Stories
 4. Area: 10,000 sq ft

PLUMBING FIXTURES

Fixture	Quantity	Notes
Water Closets	15	
Urinals	5	
Sinks	10	
Shower	1	
Drinking Fountains	2	
Handwashing Sinks	2	
Other	0	

MEANS OF EGRESS

1. First Floor Egress: 100% Compliant
 2. Second Floor Egress: 100% Compliant
 3. Third Floor Egress: 100% Compliant
 4. Stairways: 100% Compliant
 5. Exit Doors: 100% Compliant
 6. Exit Signs: 100% Compliant
 7. Exit Pathways: 100% Compliant
 8. Exit Widths: 100% Compliant
 9. Exit Distances: 100% Compliant
 10. Exit Illumination: 100% Compliant
 11. Exit Signage: 100% Compliant
 12. Exit Pathway Obstructions: 100% Compliant
 13. Exit Pathway Clearances: 100% Compliant
 14. Exit Pathway Surface: 100% Compliant
 15. Exit Pathway Slope: 100% Compliant
 16. Exit Pathway Finish: 100% Compliant
 17. Exit Pathway Hardware: 100% Compliant
 18. Exit Pathway Locking: 100% Compliant
 19. Exit Pathway Latching: 100% Compliant
 20. Exit Pathway Release: 100% Compliant
 21. Exit Pathway Identification: 100% Compliant
 22. Exit Pathway Directional: 100% Compliant
 23. Exit Pathway Illumination: 100% Compliant
 24. Exit Pathway Signage: 100% Compliant
 25. Exit Pathway Graphics: 100% Compliant
 26. Exit Pathway Text: 100% Compliant
 27. Exit Pathway Symbols: 100% Compliant
 28. Exit Pathway Icons: 100% Compliant
 29. Exit Pathway Arrows: 100% Compliant
 30. Exit Pathway Circles: 100% Compliant
 31. Exit Pathway Squares: 100% Compliant
 32. Exit Pathway Triangles: 100% Compliant
 33. Exit Pathway Diamonds: 100% Compliant
 34. Exit Pathway Stars: 100% Compliant
 35. Exit Pathway Crosses: 100% Compliant
 36. Exit Pathway Pluses: 100% Compliant
 37. Exit Pathway Minuses: 100% Compliant
 38. Exit Pathway Percentages: 100% Compliant
 39. Exit Pathway Fractions: 100% Compliant
 40. Exit Pathway Decimals: 100% Compliant
 41. Exit Pathway Integers: 100% Compliant
 42. Exit Pathway Rationals: 100% Compliant
 43. Exit Pathway Irrationals: 100% Compliant
 44. Exit Pathway Complexes: 100% Compliant
 45. Exit Pathway Imaginaries: 100% Compliant
 46. Exit Pathway Quaternions: 100% Compliant
 47. Exit Pathway Octonions: 100% Compliant
 48. Exit Pathway Sedenions: 100% Compliant
 49. Exit Pathway Octonions: 100% Compliant
 50. Exit Pathway Sedenions: 100% Compliant

ENERGY COMPLIANCE

ANSI/ASHRAE STANDARD 90.1-2016

1. Title: Energy Addendum
 2. Date: 11/15/2018
 3. Version: 1.0

GENERAL

1. Scope: Commercial Buildings
 2. Building Type: Office
 3. Building Area: 10,000 sq ft
 4. Building Height: 3 Stories
 5. Building Use: Office

COMPLIANCE PATH

1. Default Path: Prescriptive
 2. Alternative Path: Performance

MANDATORY PROVISIONS

1. General Provisions
 2. Energy Performance
 3. Energy Modeling
 4. Energy Reporting
 5. Energy Labeling
 6. Energy Certification

DEVELOPMENT TEAM

OWNER
 JAM HOPS
 1460 13th Lane NE
 Ham Lake, MN 55431
 Contact: Brands Nohy

CONTRACTOR
 STONE CONSTRUCTION ARCHITECTS
 428 Summit Avenue SE
 Blaine, MN 55434
 Contact: Mitch Stone

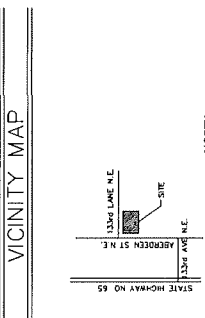
CIVIL ENGINEER
 PLOWE ENGINEERING
 6776 Lake Drive, Suite 110
 Blaine, MN 55434
 Contact: Chuck Plowe

ARCHITECT
 LAMPERT ARCHITECTS
 420 Summit Ave
 Ham Lake, MN 55431
 Contact: James Berthoume

SHEET SCHEDULE

No.	Description
1	Title Sheet
2	General Notes
3	Energy Compliance
4	Code Requirements
5	Accessibility
6	Automatic Sprinklers
7	Allowable Height
8	Vicinity Map

VICINITY MAP



TITLE SHEET

Project No. 220422-1

1460 13th Lane NE, Ham Lake, Minnesota

JAM HOPS ADDITION

1460 13th Lane NE, Ham Lake, Minnesota

Project No. 220422-1

ENERGY COMPLIANCE

ANSI/ASHRAE STANDARD 90.1-2016

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CIVIL ENGINEER
 PLOWE ENGINEERING
 6776 Lake Drive, Suite 110
 Blaine, MN 55434
 Contact: Chuck Plowe

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 LAMPERT ARCHITECTS
 420 Summit Ave
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VICINITY MAP



TITLE SHEET

Project No. 220422-1

1460 13th Lane NE, Ham Lake, Minnesota

JAM HOPS ADDITION

1460 13th Lane NE, Ham Lake, Minnesota

Project No. 220422-1

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 2. Building Type: Office
 3. Building Area: 10,000 sq ft
 4. Building Height: 3 Stories
 5. Building Use: Office

COMPLIANCE PATH

1. Default Path: Prescriptive
 2. Alternative Path: Performance

MANDATORY PROVISIONS

1. General Provisions
 2. Energy Performance
 3. Energy Modeling
 4. Energy Reporting
 5. Energy Labeling
 6. Energy Certification

DEVELOPMENT TEAM

OWNER
 JAM HOPS
 1460 13th Lane NE
 Ham Lake, MN 55431
 Contact: Brands Nohy

CONTRACTOR
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 428 Summit Avenue SE
 Blaine, MN 55434
 Contact: Mitch Stone

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 PLOWE ENGINEERING
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 Blaine, MN 55434
 Contact: Chuck Plowe

ARCHITECT
 LAMPERT ARCHITECTS
 420 Summit Ave
 Ham Lake, MN 55431
 Contact: James Berthoume

SHEET SCHEDULE

No.	Description
1	Title Sheet
2	General Notes
3	Energy Compliance
4	Code Requirements
5	Accessibility
6	Automatic Sprinklers
7	Allowable Height
8	Vicinity Map

VICINITY MAP



TITLE SHEET

Project No. 220422-1

1460 13th Lane NE, Ham Lake, Minnesota

JAM HOPS ADDITION

1460 13th Lane NE, Ham Lake, Minnesota

Project No. 220422-1

ENERGY COMPLIANCE

ANSI/ASHRAE STANDARD 90.1-2016

1. Title: Energy Addendum
 2. Date: 11/15/2018
 3. Version: 1.0

GENERAL

1. Scope: Commercial Buildings
 2. Building Type: Office
 3. Building Area: 10,000 sq ft
 4. Building Height: 3 Stories
 5. Building Use: Office

COMPLIANCE PATH

1. Default Path: Prescriptive
 2. Alternative Path: Performance

MANDATORY PROVISIONS

1. General Provisions
 2. Energy Performance
 3. Energy Modeling
 4. Energy Reporting
 5. Energy Labeling
 6. Energy Certification

DEVELOPMENT TEAM

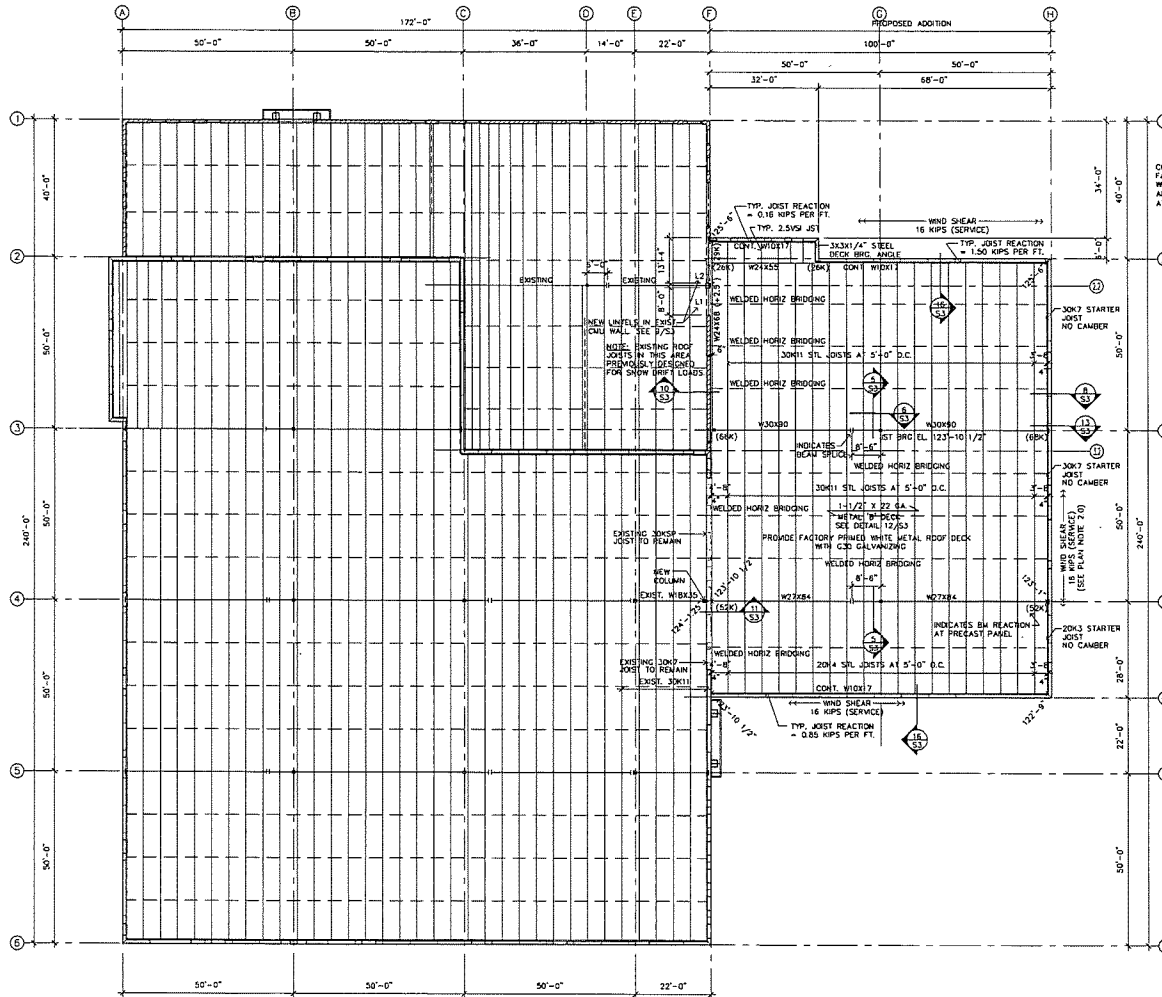
OWNER
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 Contact: Brands Nohy

CONTRACTOR
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Filename: JAM HOPS ADDITION.JAM HOPS ADDITION-S2

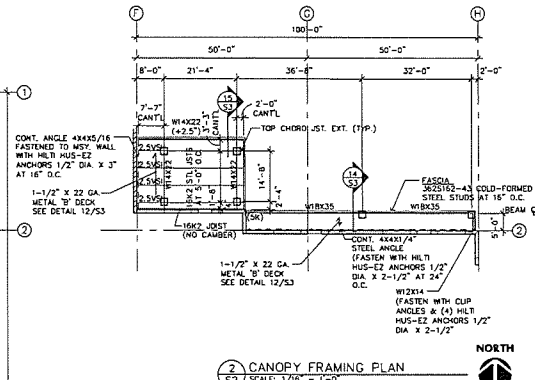


1 ROOF FRAMING PLAN
SCALE: 1/16" = 1'-0"



ROOF PLAN NOTES:

- CANTILEVER BEAM SPLICES HAVE BEEN OPTIMIZED FOR STEEL SIZES, STOCK LENGTHS AND STRUCTURAL DESIGN LOADS. STEEL FABRICATOR MAY SUBMIT ALTERNATE SPLICE LOCATIONS FOR CONSIDERATION BY STRUCTURAL ENGINEER OF RECORD.
- NEW ADDITION SHALL BE DESIGNED TO BE SELF-SUPPORTING WITH REGARD TO WIND SHEAR LOADS IN EACH PRIMARY DIRECTION.



2 CANOPY FRAMING PLAN
SCALE: 1/16" = 1'-0"



Stroh
ENGINEERING

ENGINEER CERTIFICATION:
I HEREBY CERTIFY THAT THIS DESIGN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

B. Stroh

BRUCE STROH
FIRM NAME
LICENSE NO.
2228723
DATE

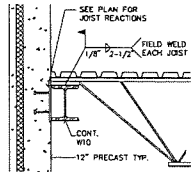
STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

JAM HOPS ADDITION
1460 133rd Lane NE, Ham Lake, Minnesota

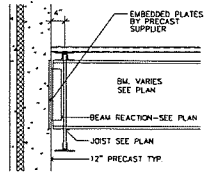
Structural Engineer: B. STROH
Drawn By: JRB
Checked By: BS
Revisions:
1/26/22 ISSUE FOR PERMIT
12/27/22 RE-ISSUE
2/24/23 REVISION

CANOPY FRAMING
PLAN
ROOF FRAMING PLAN
Sheet Number

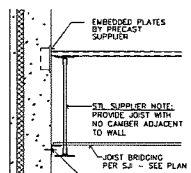
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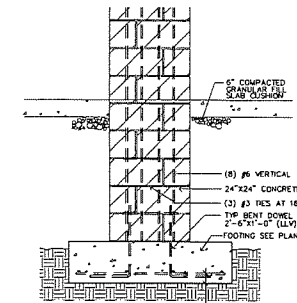
16 TYPICAL SECTION
S3 SCALE: 3/4" = 1'-0"



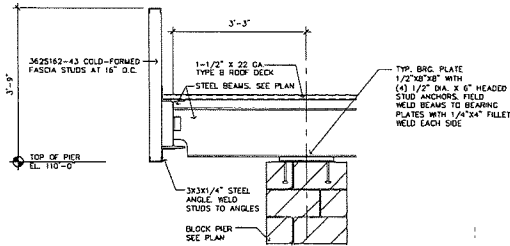
13 TYPICAL DETAIL
S3 SCALE: 3/4" = 1'-0"



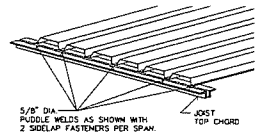
8 TYPICAL SECTION
S3 SCALE: 3/4" = 1'-0"



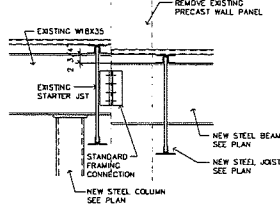
4 TYPICAL DETAIL
S3 SCALE: 3/4" = 1'-0"



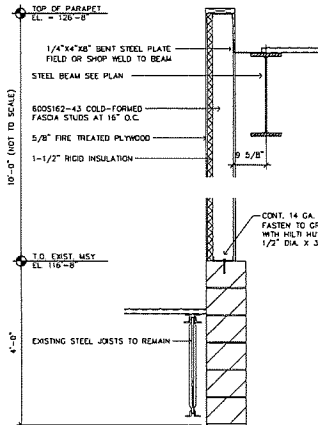
15 TYPICAL DETAIL
S3 SCALE: 3/4" = 1'-0"



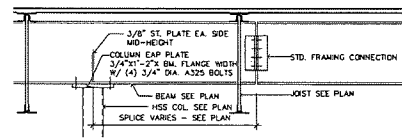
12 TYPICAL DECK FASTENING DETAIL
S3 SCALE: NOT TO SCALE



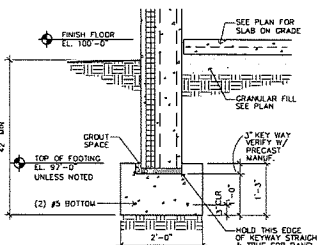
11 TYPICAL DETAIL
S3 SCALE: 3/4" = 1'-0"



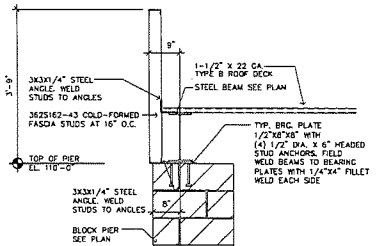
10 TYPICAL SECTION
S3 SCALE: 3/4" = 1'-0"



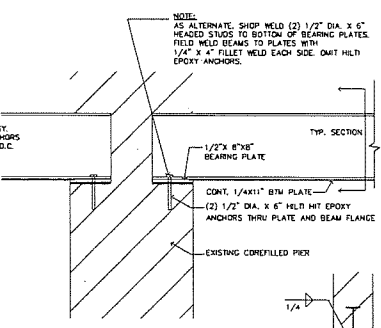
6 TYPICAL DETAIL AT BEAM SPLICE
S3 SCALE: 3/4" = 1'-0"



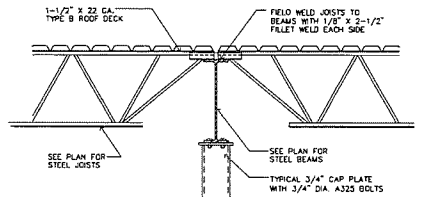
3 TYP. DETAIL AT PRECAST WALL FOOTING
S3 SCALE: 3/4" = 1'-0"



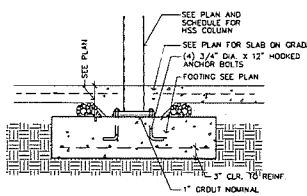
14 TYPICAL DETAIL
S3 SCALE: 3/4" = 1'-0"



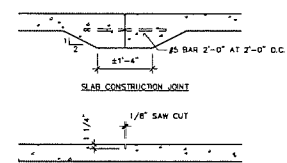
9 NEW LINTEL AT EXISTING CMU WALL
S3 SCALE: NO SCALE



5 TYPICAL DETAIL AT ROOF JOIST BEARING
S3 SCALE: 3/4" = 1'-0"

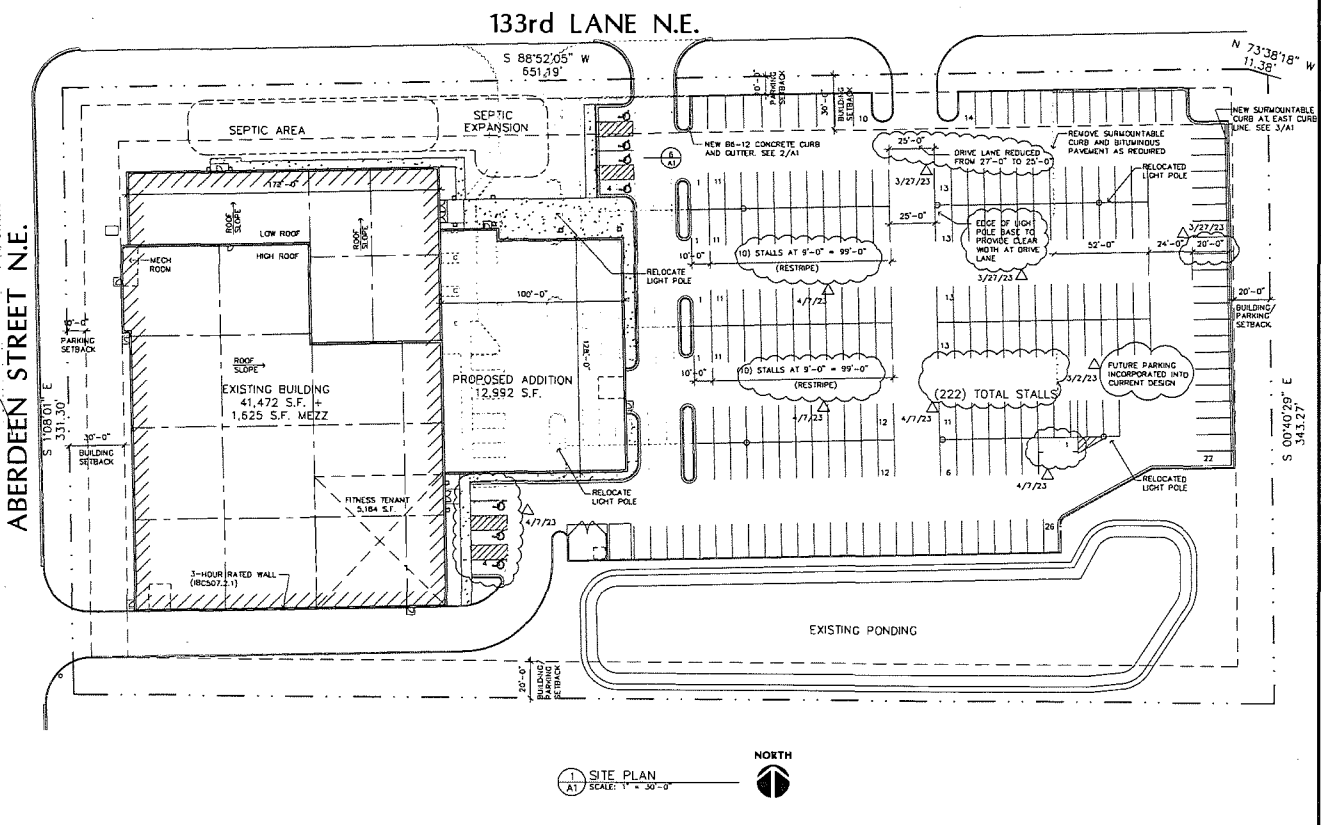
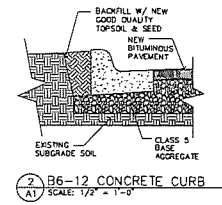
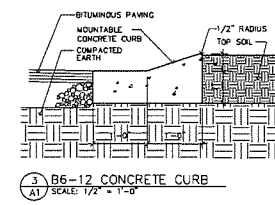
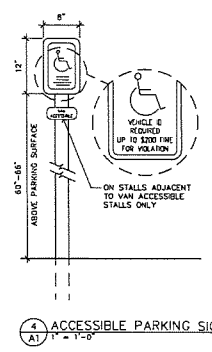
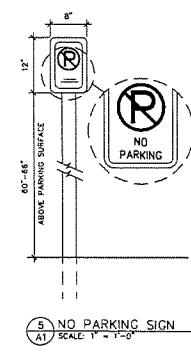
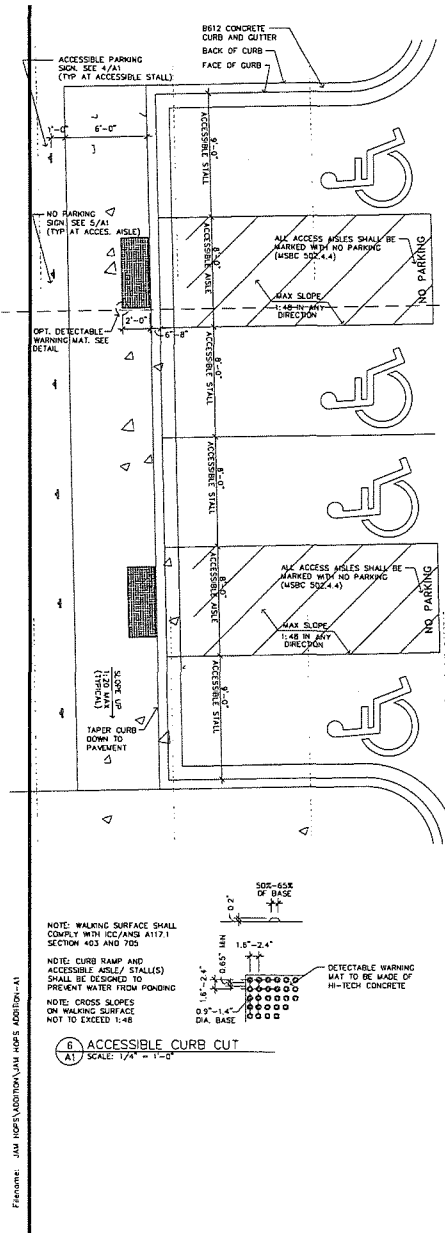


2 TYPICAL STEEL COLUMN FOOTING DETAIL
S3 SCALE: 3/4" = 1'-0"



1 TYP. SLAB CONSTRUCTION/CONTROL JOINT DETAILS
S3 SCALE: 3/4" = 1'-0"

- NOTES:
1. 1-1/4" DEEP SAW CUT WITH WET BLADE IMMEDIATELY AFTER FINISHING FOR 4" OR 5" SLABS. 1-1/2" DEEP FOR 6" SLABS.
 2. ALL CONTROL/CONSTRUCTION JOINTS MUST BE CONTINUOUS AND NOT STAGGERED.
 3. USE EXPANSION JOINT MATERIAL OR BOND BREAKER AT ALL WALLS AND TRENCH DRAINS.



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I HEREBY CERTIFY THAT THE PLANS, SPECIFICATIONS OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Leonard Lampert
LEONARD LAMPERT
LEAD
LEAD
3/22/23
DATE

(763) 784-1950
FAX 763-9707

STONE CONSTRUCTION, INC.
218 - 10TH LANE N.E.
BLAINE, MINNESOTA 55434

JAM HOPS ADDITION
1460 133rd Lane NE Ham Lake, Minnesota

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Leonard Lampert Architects, Inc.
Project Designer: JAMES B
Drawn By: JMS
Checked By: LL
Revisions

11/3/22	PRELIMINARY
12/22/22	RE-ISSUE
2/24/23	REVISION

SITE PLAN

Sheet Number

A1

Project No. 220422-1

GRAB BARS

GRAB BARS SHALL BE 1 1/4"-2" IN DIAMETER. THE SPACE BETWEEN THE GRAB BAR AND THE WALL SHALL BE 1 1/2" A 1 1/2" MINIMUM CLEARANCE SHALL BE PROVIDED BELOW AND AT END OF THE GRAB BAR. A 12" MINIMUM CLEARANCE SHALL BE PROVIDED ABOVE THE GRAB BAR EXCEPT AT SHOWER. CONTROLS, GRAB BARS SHALL NOT ROTATE IN THEIR FITTING AND SHALL SUPPORT 250 POUNDS MINIMUM.

FLUSH CONTROLS

FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED CONTROLS SHALL COMPLY WITH REQUIREMENTS FOR ACCESSIBLE OPERABLE PARTS. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET, EXCEPT IN AMBULATORY ACCESSIBLE COMPARTMENTS WHERE CONTROLS ARE PERMITTED ON EITHER SIDE OF THE WATER CLOSET.

ACCESSORIES

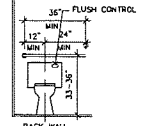
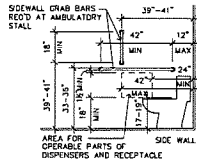
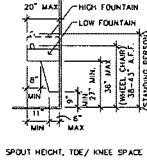
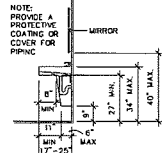
ALL WALL-MOUNTED DISPENSERS, WASTE DISPOSAL CONTAINERS, OR SIMILAR TOILET ACCESSORIES SHALL BE MOUNTED SO THAT THE OPERABLE PORTIONS OF SUCH ACCESSORIES COMPLY WITH AN UNOBSTRUCTED FRONT OR SIDE REACH. THE MAXIMUM UNOBSTRUCTED REACH RANGE IS BETWEEN 15" AND 48" ABOVE THE FINISHED FLOOR. OBSTRUCTIONS PROTRUDING 20"-25" FROM A WALL SHALL LIMIT THE HIGH REACH TO 44" MAXIMUM ABOVE THE FINISHED FLOOR.

INTERIOR FINISHES

FLOORS IN TOILET, SHOWER, AND BATHING ROOMS ACCESSIBLE TO THE PUBLIC SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS CERAMIC TILE AND SHALL EXTEND UP THE WALLS AT LEAST 4" (BC 1209.2.1) WALLS WITHIN 2 FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE TO A FEET A.F.F. (BC 1209.2.2) SHOWER COMPARTMENT AND BATHING WALLS WITH SHOWER HEADS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS CERAMIC TILE TO 72" ABOVE THE DRAIN. (BC 1209.2.3)

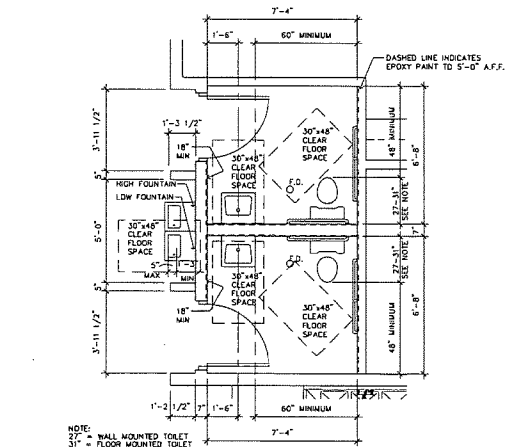
SIGNAGE

IDENTIFICATION SIGNAGE SHALL BE PROVIDED AT TOILET ROOMS. THE SIGNAGE SHALL INCLUDE TACTILE LETTERS INDICATING THE NAME OF THE SPACE, THE INTENTIONAL DIVISION OF ACCESSIBILITY, AND BRaille CHARACTERS ACCORDING TO CHAPTER 703. MOUNT THE SIGN CENTERED AT 9" FROM THE LATCH SIDE OF THE DOOR AND MOUNT THE SIGN 48"-60" ABOVE THE FINISHED FLOOR.

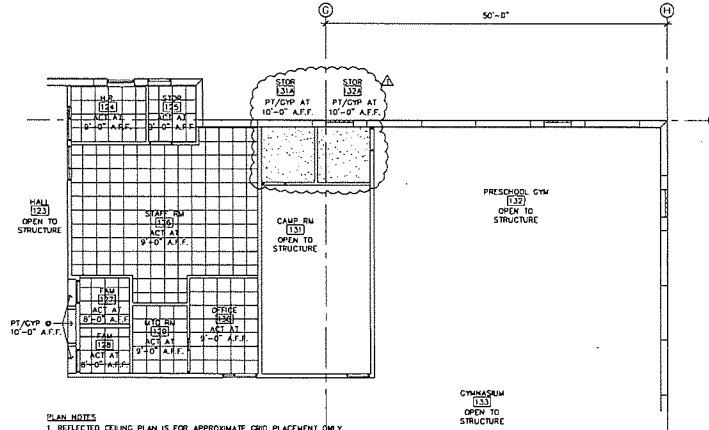


GRAB BARS AND ACCESSIBLE WATER CLOSETS

4 PLUMBING FIXTURE DETAILS & NOTES
A3 SCALE: 3/8" = 1'-0"

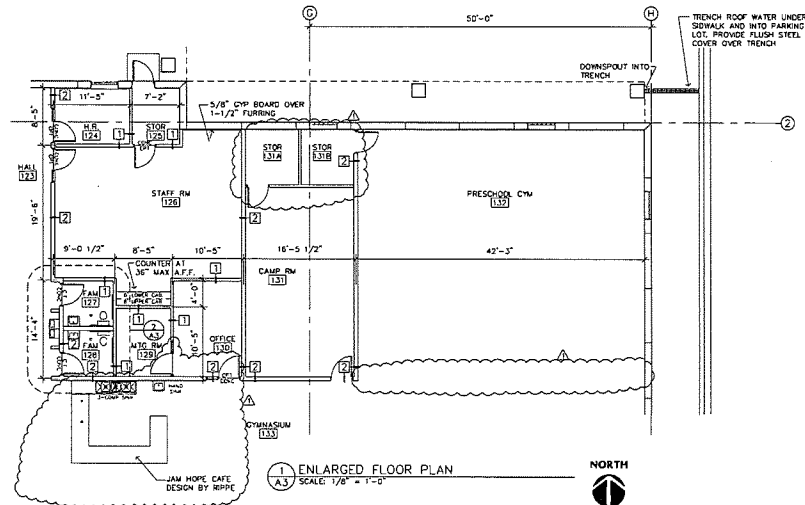


2 ENLARGED RESTROOM PLAN
A3 SCALE: 1/8" = 1'-0"



PLAN NOTES
1. REFLECTED CEILING PLAN IS FOR APPROXIMATE GRID PLACEMENT ONLY. VERIFY LOCATION OF ALL DIFFUSERS, SPRINKLER HEADS, LIGHTS, ETC. WITH APPROPRIATE DESIGN BUILD CONTRACTOR

3 FIRST FLOOR REFLECTED CEILING PLAN
A3 SCALE: 1/8" = 1'-0"



1 ENLARGED FLOOR PLAN
A3 SCALE: 1/8" = 1'-0"

Filename: JAM HOPS ADDITION, JAM HOPS, ADDITION-A3



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Phone: 763.753.1311 Fax: 763.753.3848
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ARCHITECT CERTIFICATION:
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Edward Lampert
EDWARD LAMPERT
Principal
13869
2/24/23
SAC

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FAX 784-9707

STONE CONSTRUCTION, INC.
2181 - 10TH LANE N.E.
BLAINE, MINNESOTA 55434

JAM HOPS ADDITION
1460 133rd Lane NE, Ham Lake, Minnesota

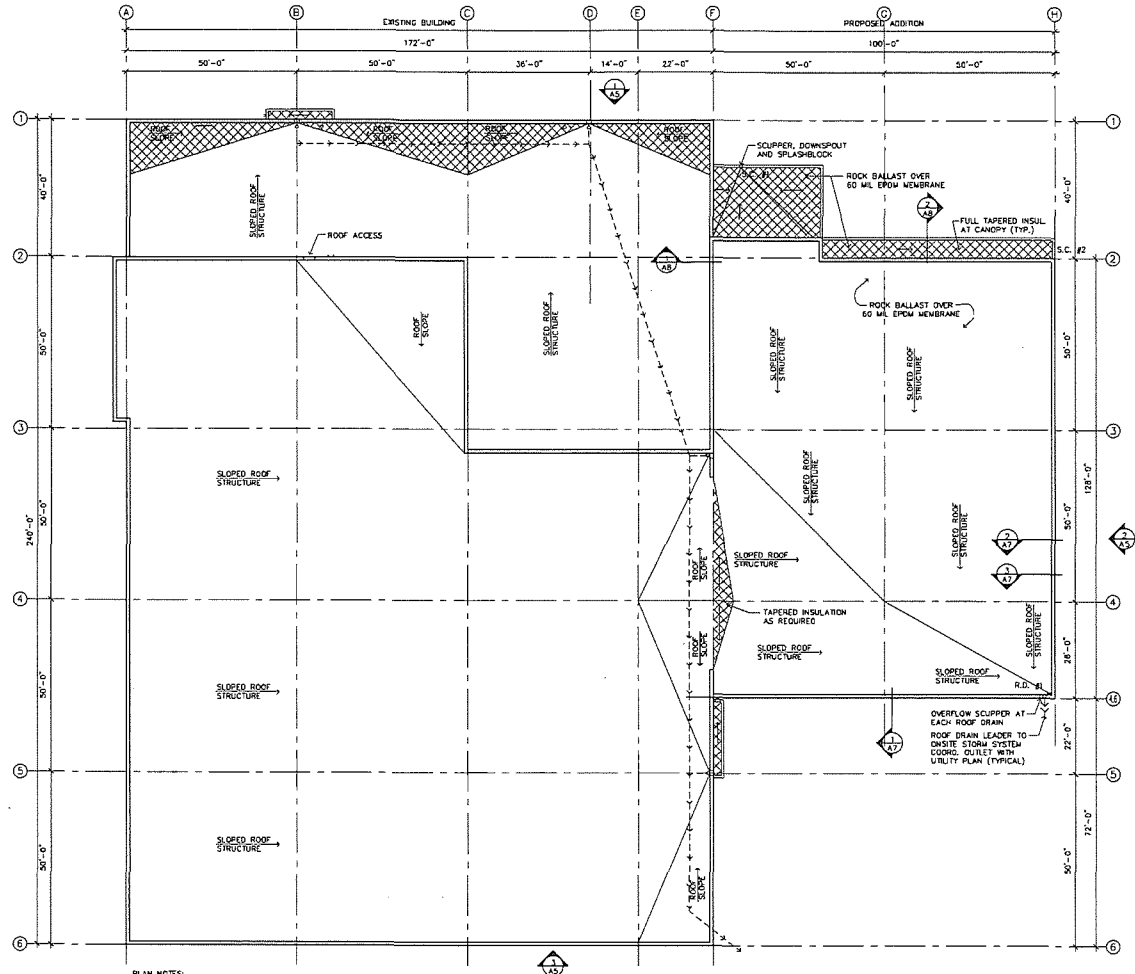
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Drawn By: JMB
Checked By: LL
Revisions:

7/26/22 ISSUE FOR PERMIT
12/27/22 RE-ISSUE
2/24/23 REVISION

ENLARGED FLOOR PLANS
REF. CLG PLANS
Sheet Number

A3

Project No. 220422-1



- PLAN NOTES:**
1. ROOF SLOPES 30° OVER 132'-0" (2.0%)
 2. ROOF TOP UNIT LOCATIONS MUST BE CONFIRMED WITH MECHANICAL DRAWINGS (DESIGN BUILD) ROOF TOP UNITS TO BE LOCATED AWAY FROM THE PARAPET EDGE SO FAR AS POSSIBLE TO MINIMIZE THEIR APPEARANCE FROM THE GROUND.
 3. ROOF DRAIN AND DRAIN LEADER DESIGN IS BY PLUMBING CONTRACTOR LEADERS TO BE TIED INTO EXIST. STORM DRAIN - SEE CIVIL PLAN FOR STUB LOCATION
- AREA SERVED BY ROOF DRAIN**
- | ROOF DRAIN # | SCUPPER #1 | SCUPPER #2 |
|---------------|------------|------------|
| ± 12,660 S.F. | ± 637 S.F. | ± 359 S.F. |

1 ROOF PLAN
A.4 SCALE: 1/16" = 1'-0"



LAMPERT ARCHITECTS

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Richard Lampert
SIGNATURE
RICHARD LAMPERT
P.L.L.C.
13669
STATE NO.
2/24/23
DATE

(763) 784-1950
FAX 784-9707

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BLAINE, MINNESOTA 55434

JAM HOPS ADDITION
1460 133rd Lane NE, Ham Lake, Minnesota

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Project Designer: JAMES B
Drawn By: JRB
Checked By: LL
Revisions:

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2/24/23	REVISION 

ROOF PLAN

Sheet Number

A4

Project No. 220422-1

BUILDING ELEVATIONS

Sheet Number

A5

Project No. 220422-1

JAM HOPS ADDITION

1460 133rd Lane NE, Ham Lake, Minnesota



L E M P E R T
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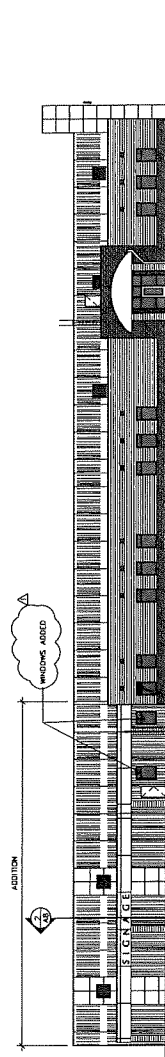
- COUNTY MATERIALS - ROBERT CASTLE
- COUNTY MATERIALS - CODA BEAN
- COUNTY MATERIALS - CODA BEAN
- COUNTY MATERIALS - EXPOSED AGGREGATE BUFF #103
- COUNTY MATERIALS - SLATE GRAY
- COUNTY MATERIALS - RECAL RD
- COUNTY MATERIALS - RED ALUMINUM - DARK BRONZE
- COUNTY MATERIALS - BRONZE TINT

TOP OF PRECAST
 EL. = 138'-0"

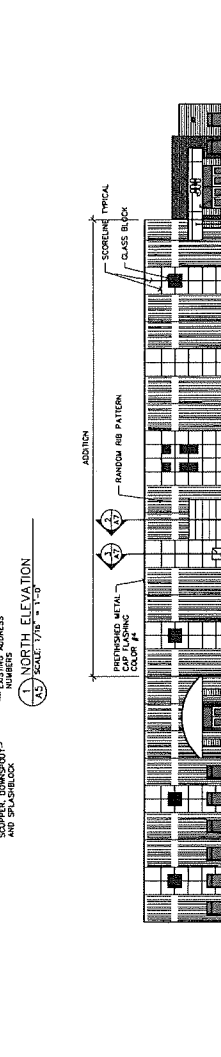
FINISHED MEZZANINE
 EL. = 113'-0"

FINISHED FLOOR
 EL. = 109'-0"

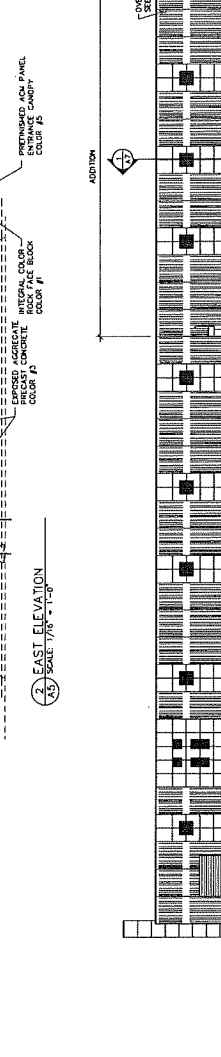
F.L. FINISHED
 EL. = 107'-0"



1. NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2. EAST ELEVATION
SCALE: 1/8" = 1'-0"



3. SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4. OVERFLOW SCUPPER DETAIL
SCALE: 1/4" = 1'-0"

NOTE: OVERFLOW SCUPPER IS SIZED ACCORDING TO IRC 1502.2.3
VERIFY WITH THE PLUMBING DESIGNER AND INT'L PLUMBING CODE

SEE ELEVATIONS FOR SCUPPER LOCATIONS

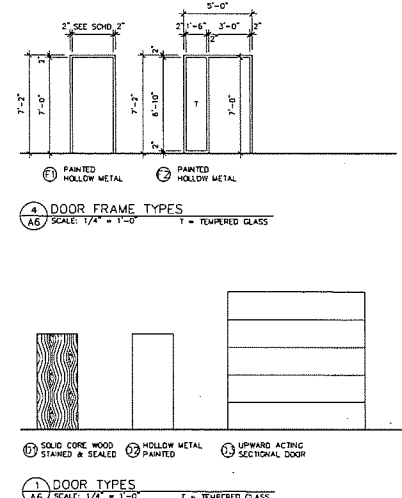
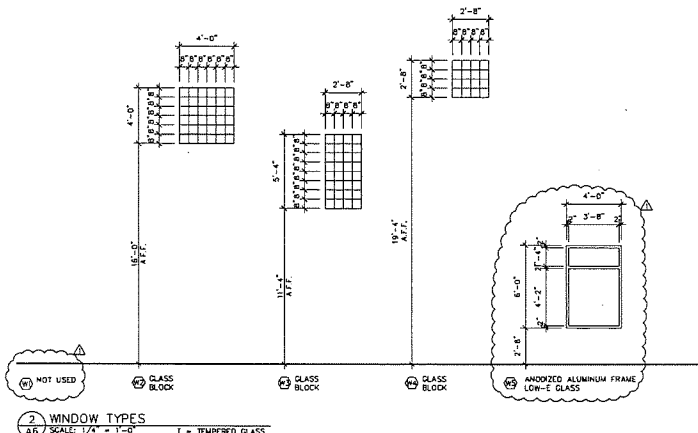
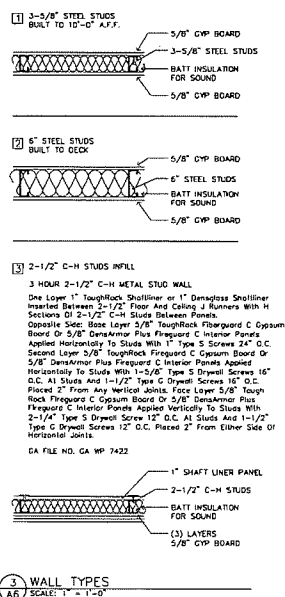
DR #	DOOR SIZE	THICK	DOOR FRAME	REMARKS
114	3'-0" x 7'-0"	1-3/4"	D2	F1 INSULATED, 180 MIN. RATED
124	5'-0" x 7'-0"	1-3/4"	D1	F2 =
125A	3'-0" x 7'-0"	1-3/4"	D2	F1 INSULATED
125B	3'-0" x 7'-0"	1-3/4"	D1	F1 =
126	3'-0" x 7'-0"	1-3/4"	D1	F2 =
127	3'-0" x 7'-0"	1-3/4"	D1	F1 =
128	3'-0" x 7'-0"	1-3/4"	D1	F1 =
129	3'-0" x 7'-0"	1-3/4"	D1	F2 =
130	3'-0" x 7'-0"	1-3/4"	D1	F2 =
131	3'-0" x 7'-0"	1-3/4"	D1	F1 =
131A	3'-0" x 7'-0"	1-3/4"	D1	F1 =
132A	3'-0" x 7'-0"	1-3/4"	D1	F1 =
133A	3'-0" x 7'-0"	1-3/4"	D2	F1 INSULATED
133B	12'-0" x 14'-0"	2"	D3	= INSULATED

DOOR 131 TO PAIR OF DOORS DOOR 131A AND 132A ADDED TO SCHEDULE DOOR 132 REMOVED

- NOTES:
- ALL DOOR HARDWARE TO BE SPECIFIED & PROVIDED BY CONTRACTOR
 - ALL EXIT HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST. MOUNT HARDWARE BETWEEN 34"-48" (ANSI A117.1-404.2.6)
 - THE MAIN EXIT IS ALLOWED TO HAVE A KEYS LOCK PROVIDED THAT THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED AND A SIGN WITH "EXIT" CONTRASTING LETTERS IS POSTED ON THE EXCESS SIDE STAINING. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. (IBC 1010.1.9.4)

RM#	DESCRIPTION	FLOOR	BASE	N.WALL	E.WALL	S.WALL	W.WALL	C.L.C.	HOHT	REMARKS
101	VESTIBULE									
102	RECEPTION									
103	HALL									
104	CONFERENCE ROOM									
105	PROHIBIT									
106	OFFICE									
107A	LEAP AND LEARN									
107B	DANCE ROOM C									
108	STORAGE									
109	PRESCHOOL GYM									
110	STORAGE									
111	GYMNASIUM									
112	OFFICE									
113	MECHANICAL									
114	FITNESS TENANT									
115	MAN/DON									
116	WOMEN									
117	MEN									
118	FAMILY									
119	FAMILY									
120A	DANCE ROOM A									
120B	DANCE ROOM B									
121	UTILITY									
122	OFFICE									
123	HALL		CONC	VNVL	PT/GYP	PT/GYP	PT/GYP	PRECAST	OPEN	VARIES
124	H.R.		CARPET	CARPET	PT/GYP	PT/GYP	PT/GYP	PT/GYP	ACT	9'-0"
125	STORAGE		CONC	VNVL	PT/GYP	PT/GYP	PT/GYP	PT/GYP	ACT	9'-0"
126	STAFF ROOM		CARPET	CARPET	PT/GYP	PT/GYP	PT/GYP	PT/GYP	ACT	9'-0"
127	FAMILY		C.T.	C.T.	EPOXY PAINT TO 3'-0" AFF. = SEE PLAN				ACT	8'-0"
128	FAMILY		C.T.	C.T.	EPOXY PAINT TO 3'-0" AFF. = SEE PLAN				ACT	8'-0"
129	MEETING ROOM		CARPET	CARPET	PT/GYP	PT/GYP	PT/GYP	PT/GYP	ACT	9'-0"
130	OFFICE		CARPET	CARPET	PT/GYP	PT/GYP	PT/GYP	PT/GYP	ACT	9'-0"
131	CAMP ROOM		CONC	VNVL	PT/GYP	PRECAST	PRECAST	PRECAST	OPEN	VARIES 1'
131A	STORAGE		CONC	VNVL	PT/GYP	PRECAST	PRECAST	PRECAST	PT/GYP	10'-0"
132	PRESCHOOL GYM		CONC	VNVL	PT/GYP	PRECAST	PRECAST	PRECAST	OPEN	VARIES 1'
132A	STORAGE		CONC	VNVL	PT/GYP	PRECAST	PRECAST	PRECAST	PT/GYP	10'-0"
133	GYMNASIUM		CONC	VNVL	PT/GYP	PRECAST	PRECAST	PRECAST	OPEN	VARIES 1'
201	VIEWING AREA									
202	UTILITY									
203	OFFICE									
204	STORAGE									

- EXISTING FINISHES TO REMAIN. PATCH AND REPAIR AS REQUIRED
VERIFY AREA OF WORK WITH OWNER
- ROOM 131A AND 132A ADDED TO SCHEDULE
- 1 = VINYL BASE OF PT/GYP WALLS ONLY



LAMPERT ARCHITECTS

LAMPERT ARCHITECTS
420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1311 Fax: 763.755.2814
lampo@lampoarch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Leonard Lampert
LEONARD LAMPERT
Principal
1/26/20
2/24/23
A6

(763) 784-1950
FAX 764-9707

STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLANE, MINNESOTA 55454

JAM HOPS ADDITION
1460 133rd Lane NE, Ham Lake, Minnesota

Copyright 2022
Leonard Lampert Architects, Inc.
Project Designer: JAMES B
Drawn By: JRB
Checked By: LL
Revisions

7/28/22	ISSUE FOR PERMIT
12/22/22	RE-ISSUE
2/24/23	REVISION

COMPONENT TYPES
SCHEDULES
DETAILS

Sheet Number

A6

Project No. 220422-1

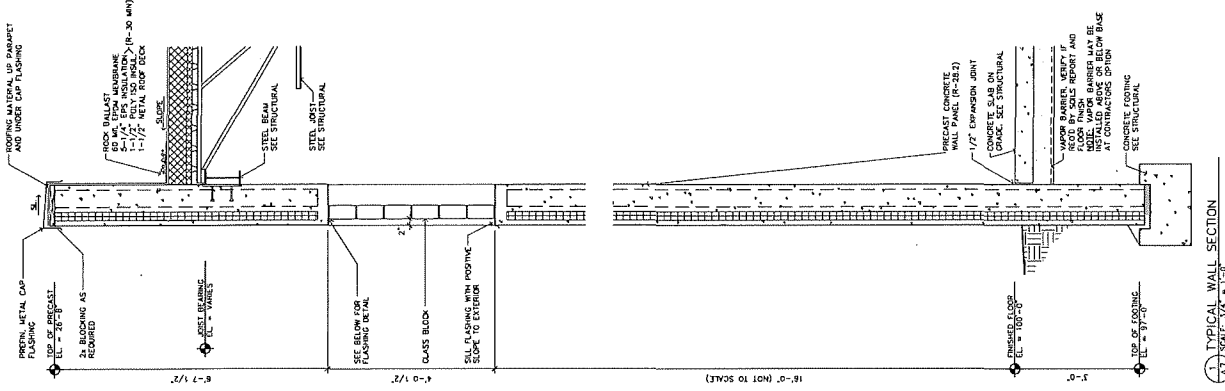
7/26/22	ISSUE FOR PERMIT
12/27/22	RC-SSUE
2/21/23	REVISION

Checked By: LL
 Project Designer: JAMES B.
 Designer: JAMES B.
 Designer: JAMES B.

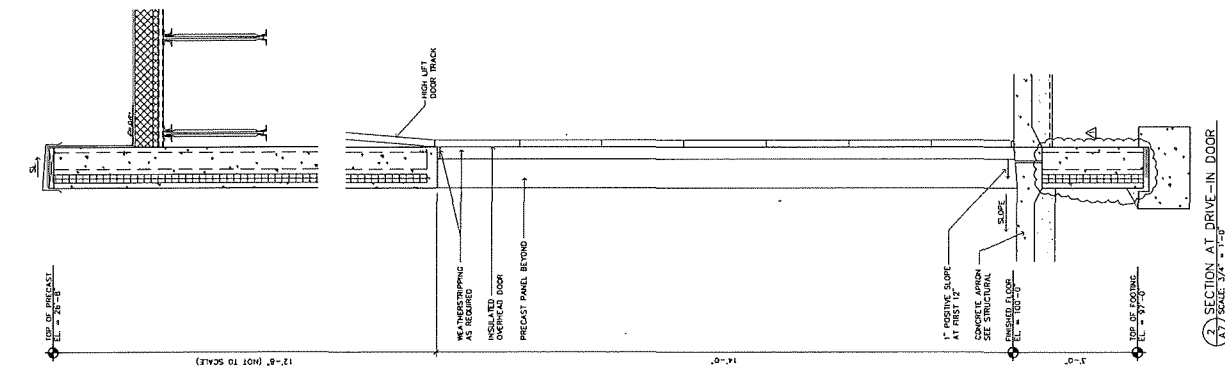
JAM HOPS ADDITION
 1460 133rd Lane NE, Ham Lake, Minnesota

STONE CONSTRUCTION, INC.
 218 - 107th LANE NE
 BURNS MINNESOTA 55305

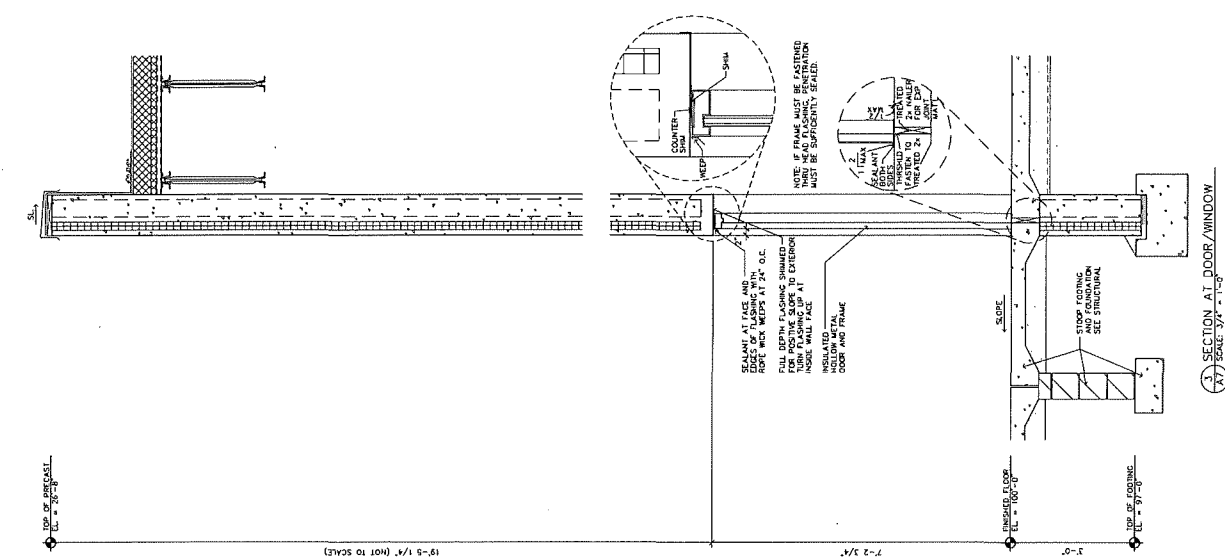
LAMPERT ARCHITECTS
 420 Summit Avenue
 Minneapolis, MN 55401
 Phone: (612) 331-1111
 Fax: (612) 331-2841



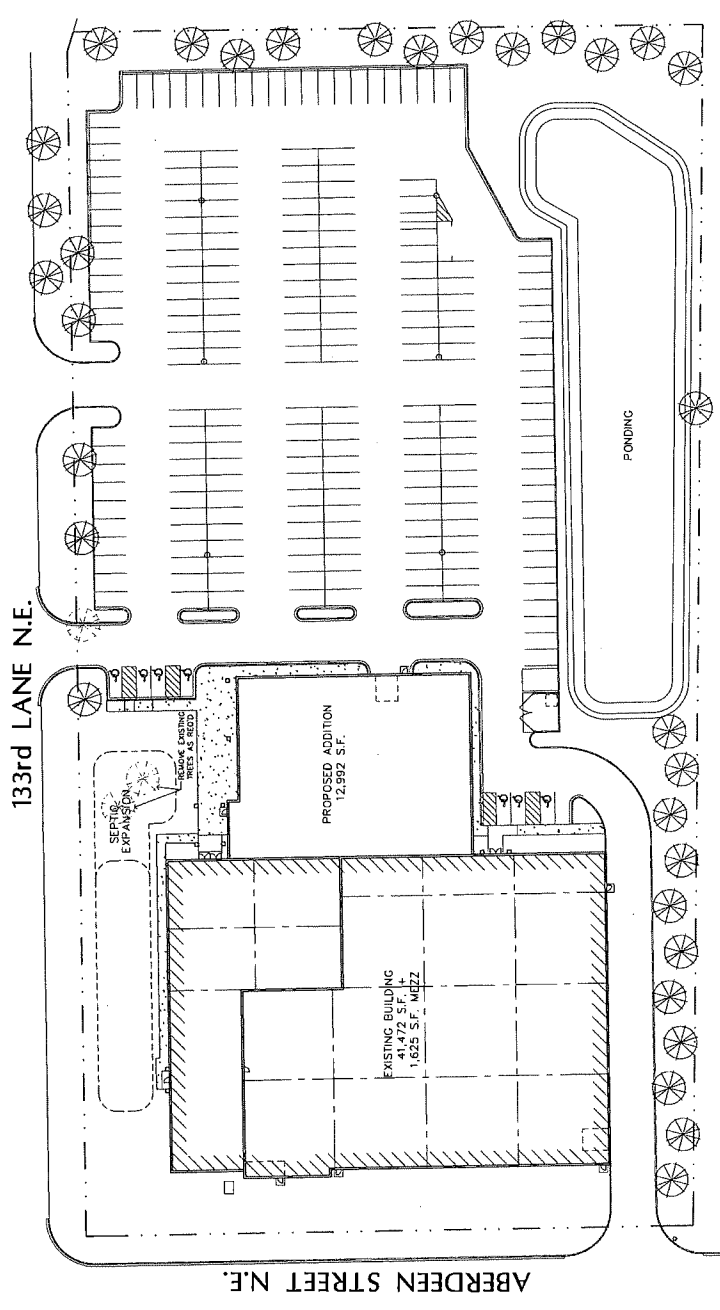
1 TYPICAL WALL SECTION
 SCALE: 3/4" = 1'-0"



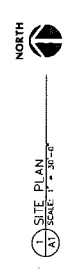
2 SECTION AT DRIVE-IN DOOR
 SCALE: 3/4" = 1'-0"



3 SECTION AT DOOR/WINDOW
 SCALE: 3/4" = 1'-0"



PLAN NOTE:
 1. NO NEW PLANTINGS PLANNED WITH EXPANSION
 2. ALL PLANTINGS TO BE SUCCESSFULLY ESTABLISHED
 3. BY CONSTRUCTION PROCESS



L1

Project No. 220422-1

LANDSCAPE PLAN

Sheet Number

Drawn By: JBB	12/27/22	RE-USE
Checked By: J.L.	2/24/23	REVISION
Revision		

JAM HOPS ADDITION

1460 133rd Lane NE Ham Lake, Minnesota

STONE CONSTRUCTION, INC.
 2100 WOODWAY AVE.
 ST. LOUIS, MISSOURI 63114
 (636) 784-1800
 Fax: 784-1787

Excerpt from Article 11 of the Ham Lake City Code

...

11-1800 LANDSCAPING IN COMMERCIAL ZONED AREAS

In all areas of the City zoned CD-1, CD-2, CD-3 or CD-4, the following conditions shall apply to landscaping and ground cover.

11-1810 Landscape Plan Required No building permit shall be issued for construction on a vacant lot, nor for any addition to an existing building involving the addition of 500 square feet or more of additional building space, unless the applicant shall have first submitted and obtained approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

11-1820 Installation Required No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

11-1830 Time for Submission The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

11-1840 Contents and Specifications

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

- A. Perimeter of all buildings, signs or other structures;
- B. Parking lots and walkways, identifying pavement material;
- C. Areas of decorative rock, identifying type of rock;
- D. Areas of lawn;
- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall

be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;
- B. The use of conifers shall be encouraged and preferred.
- C. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical

hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

NOTICE OF PERMIT APPLICATION STATUS

Project: Jam Hops Addition

Date: March 13, 2023

Applicant: Jam Hops
Attn: Brenda Nolby
1460 133rd Ln NE
Ham Lake, MN 55304

Permit Application#: P-23-026

Purpose: Building addition, sidewalk and parking addition

Location: 1460 133rd Ln NE, Ham Lake

At their meeting on March 13, 2023, the Board of Managers of the Coon Creek Watershed District the above referenced project with 3 conditions and 0 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled. Please respond to each of these items in writing when resubmitting application materials to the District.

Conditions:

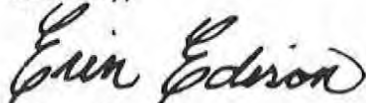
1. Submittal of a performance escrow in the amount of \$2,775.00.
2. Provide a note on the erosion and sediment control plan that disturbed soils and stockpiles will be temporarily or permanently stabilized within 24 hours after construction activity in that area has temporarily or permanently ceased.
3. Provide proof that an application has been submitted to the MPCA for an NPDES Construction Stormwater Permit

After issuance, the permit will include the following stipulations that need to be fulfilled before permit closeout:

Stipulations: None

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,



Erin Edison
Watershed Development Coordinator

cc: File P-23-026
Eileen Weigel, Stantec
Danielle Tourtillott, Stantec
Tom Collins, Ham Lake

PERMIT
COON CREEK WATERSHED DISTRICT
13632 Van Buren St NE
Ham Lake, MN 55304
Permit Number: 2322

Project: Jam Hops Addition

Issued to: CBN Enterprises LLC
Brenda Nolby
1460 133rd Ln NE
Ham Lake, MN 55304

Location: 1460 133rd Ln NE, Ham Lake

Permit Application #: P-23-026

Purpose: Building addition, sidewalk and parking addition

At its meeting on March 13, 2023, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Permit Application; by CBN Enterprises LLC, dated 2/08/2023, received 2/13/2023.
2. Construction Plans (7 sheets); by Plowe, dated 04/12/2023, received 04/12/2023.
3. Building Plans (13 sheets); by Lampert Architects, dated 02/24/2023, received 04/12/2023.
4. Stormwater Management Plan; by Plowe, dated 01/31/2023, received 04/12/2023.

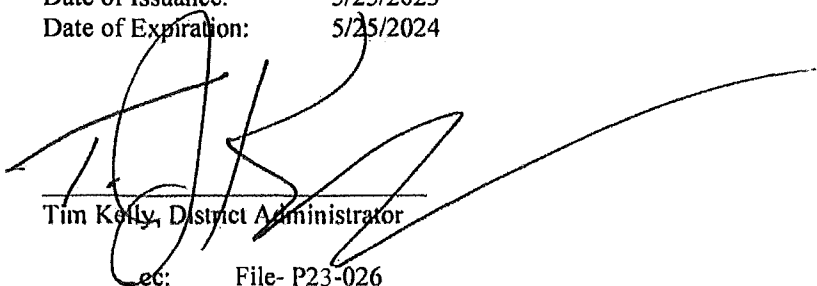
The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 0 stipulations.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: 5/25/2023

Date of Expiration: 5/25/2024



Tim Kelly, District Administrator

cc: File- P23-026
Eileen Weigel, Stantec
Danielle Tourtillott, Stantec
Tom Collins, City of Ham Lake

*****IMPORTANT PERMIT REQUIREMENTS OUTLINED ON REVERSE*****

GENERAL PERMIT STIPULATIONS:

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

REFUNDING OF ESCROWS: Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.

[Data](#)

Construction Stormwater Search

Permit Coverage Information

Preferred ID: C00066075
Construction Stormwater Permit

Active

Project Name: Jam Hops

Address: 1460 133rd Ln NE
Ham Lake, MN 553047045

[Permit summary](#) [New search](#)



Esri Canada, Esri, HERE, Garmin, USGS, NGA, EPA, USDA, NPS Powered by Esri

lat/long: 45.212013,-93.231972

Site information

Site Name: Jam Hops
Location Description:
County: Anoka
Owner: CBN Enterprises LLC
Owner Org Type: Private (Non-Government)
Latitude: 45.212013
Longitude: -93.231972

Permit Information

Preferred ID: C00066075
Permit Type: Construction Stormwater Permit
Permit Coverage Date: 03/17/2023
Estimated Start Date: 04/16/2023
Estimated Completion Date: 09/29/2023
Termination Date:

Project Information

Project Size (acres): 1.68
Existing Impervious Area: 1.58
Resulting Impervious Area: 1.58
Other Project Type Description:

Site Contacts

Contact type	Name	Email	Address	City	State	Zip	Office Phone	Effective Start
is owned by	Brenda Nolby	bnolby@jamhops.com	1460 133rd LN NE	Blaine	MN	55304	763- 413- 0647	03/17/2023
is owned by	CBN Enterprises LLC		1460 133rd LN NE	Blaine	MN	55304	763- 413- 0647	03/17/2023
has contractor of	Mitch Stone	mitch.s@stoneconstructioninc.com	2181 107th Ln NE	Blaine	MN	55449- 5237	763- 784- 1950	03/17/2023
has contractor of	stone construction inc	mitch.s@stoneconstructioninc.com	2181 107th Ln NE	Blaine	MN	55449- 5237	763- 784- 1950	03/17/2023

Contact us

[651-296-6300](tel:651-296-6300) or [800-657-3864](tel:800-657-3864)

- [Email us](#)