

# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, JUNE 5, 2023

### 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

### 2.0 PUBLIC COMMENT

### 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

3.1 Senator Michael Kreun and Representative Nolan West – Legislative update

3.2 6:01 P.M. – Public Hearing – to consider the vacation of a portion of the drainage and utility easements located on Lot 12, Block 1, Timber Woods and Lot 1, Block 1, Sherman Woods in Section 35 and adoption of a Resolution

### 4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

4.1 Approval of minutes of May 15, 2023

4.2 Approval of claims

4.3 Approval of scheduling a Budget Workshop Meeting for Tuesday, June 20, 2023 at 5:00 p.m.

4.4 Approval of an Ordinance regarding chickens

4.5 Approval of ordering the Feasibility Study for a potential wetland banking project within the park dedicated with the Hidden Forest East Park Addition

4.6 Approval of the cost increase for cleaning services with CMT Janitorial Services

4.7 Approval of a Temporary One-Day Liquor License for the Brown Boys Benefit (non-profit) at the Willow Tree Winery, 828 Constance Boulevard NE on July 15, 2023

4.8 Approval of an Exempt Permit for Zachary NF Research Fund to hold a raffle on August 14, 2023 at Majestic Oaks Golf Club, 701 Bunker Lake Boulevard NE

4.9 Approval of hiring Administrative Assistant II

4.10 Approval of the Non-DOT Drug Testing Policy

4.11 Approval of Rescinding Resolution No. 23-17 and adoption of a Resolution for the American Rescue Plan Act (ARPA) Funding of equipment for Public Works and City Hall

4.12 Approval of the 2023 Budget Calendar

4.13 Approval of hiring summer seasonal employees in Public Works

4.14 Approval of a Resolution scheduling a public hearing to vacate a portion of the drainage and utility easements located on Lots 1, 2, 3 and 4, Block 3, Creekside Farms

4.15 Approval of Liquor Licenses:

#### On-Sale and Sunday On-Sale

- T-Box Bar & Grill, 1431 147<sup>th</sup> Avenue NE, Ham Lake, MN
- Ham Lake Lanes, 16465 Highway 65 NE, Ham Lake, MN
- Acapulco Mexican Restaurant, 18015 Ulysses Street NE, Suite 1000, Ham Lake, MN
- EAGL Beverages Holding LLC, dba Majestic Oaks Golf Club, 701 Bunker Lake Boulevard NE, Ham Lake, MN
- Maxx Bar & Grill, 17646 Highway 65 NE, Ham Lake, MN

3.2% Off-Sale

- Speedway, 1442 Constance Boulevard NE, Ham Lake, MN

Wine and 3.2% Malt Liquor

- Mansetti's Pizza & Pasta, 16220 Aberdeen Street NE, Suite C, Ham Lake, MN

Off-Sale

- Grape Expectations, dba Tournament Liquor, 1434 147<sup>th</sup> Avenue NE, Ham Lake, MN
- Bidhipur Beverage, Inc., dba Ham Lake Liquors, 17720 Central Avenue NE, Ham Lake, MN
- Broadview Operations, LLC, dba 1 Stop Liquor, 16205 Lexington Avenue NE, Ham Lake (previously Carey's Liquor)
- Rama Corporation dba Network Liquors, 13548 Highway 65 NE, Ham Lake, MN

**5.0 PLANNING COMMISSION RECOMMENDATIONS**

- 5.1 Seng Vang requesting a Temporary Conditional Use Permit to raise pigeons at 142 154<sup>th</sup> Avenue NE
- 5.2 Akil Ibrahim requesting a Conditional Use Permit to operate Fleet Star Truck and Trailer, LLC (a full-service trucking terminal business) at 16522 Buchanan Street NE and adoption of a Resolution
- 5.3 Akil Ibrahim requesting Commercial Site Plan approval to construct a 11,040 square foot office/warehouse building for a truck terminal to be located at 16522 Buchanan Street NE

**6.0 ECONOMIC DEVELOPMENT AUTHORITY – None**

**7.0 APPEARANCES – None**

**8.0 CITY ATTORNEY**

**9.0 CITY ENGINEER**

**10.0 CITY ADMINISTRATOR**

**11.0 COUNCIL BUSINESS**

11.1 Committee Reports

11.2 Announcements and future agenda items

RESOLUTION NO. 23-XX

WHEREAS, the Ham Lake City Council, on its own motion, wishes to consider the vacation of the following described land in the City of Ham Lake, pursuant to Minnesota Statutes Chapter 412.851:

EASEMENT VACATION LEGAL DESCRIPTION

That portion of the drainage and utility easement as dedicated on Lot 12, Block 1, TIMBER WOODS, and on Lot 1, Block 1, SHERMAN WOODS, Anoka County, Minnesota, described as follows:

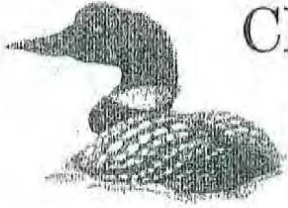
Commencing at the southeast corner of said Lot 12, Block 1; thence on an assumed bearing of North 01 degree 01 minute 10 seconds West, along the east line of said Lot 12, Block 1 a distance of 38.55 feet; thence North 57 degrees 20 minutes 19 seconds West a distance of 12.02 feet to the west line of the east 10 feet of said Lot 12, Block 1 and the point of beginning of the easement to be vacated; thence North 57 degrees 20 minutes 19 seconds West a distance of 268.19 feet to the east line of the west 10 feet of said Lot 12, Block 1; thence South 17 degrees 10 minutes 57 seconds East along said east line a distance of 37.22 feet; thence South 57 degrees 20 minutes 19 seconds East a distance of 255.74 feet to said west line of the east 10 feet of said Lot 12, Block 1; thence North 01 degree 01 minute 10 seconds West along said west line a distance of 28.84 feet to the point of beginning.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, that the City Clerk is directed to post in a conspicuous place in the City Hall between the dates of May 16, 2023 and June 5, 2023 and to cause publication of a NOTICE OF PUBLIC HEARING, a copy of which is attached to this Resolution, for a public hearing to be held on June 5, 2023, with publication to occur in the Star Tribune on May 18, 2023.

Adopted by the City Council of the City of Ham Lake this 15th day of May 2023.

\_\_\_\_\_  
Brian Kirkham, Mayor

\_\_\_\_\_  
Denise Webster, City Clerk



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## NOTICE OF PUBLIC HEARING VACATION OF PUBLIC LAND

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held before the Ham Lake City Council on June 5, 2023 at 6:01 p.m. in the City Council Chambers, City Hall, 15544 Central Avenue N.E. Ham Lake, Minnesota 55304, to hear comments and questions concerning the proposed vacation of the following described land within the City of Ham Lake, Minnesota:

### EASEMENT VACATION LEGAL DESCRIPTION

That portion of the drainage and utility easement as dedicated on Lot 12, Block 1, TIMBER WOODS, and on Lot 1, Block 1, SHERMAN WOODS, Anoka County, Minnesota, described as follows:

Commencing at the southeast corner of said Lot 12, Block 1; thence on an assumed bearing of North 01 degree 01 minute 10 seconds West, along the east line of said Lot 12, Block 1 a distance of 38.55 feet; thence North 57 degrees 20 minutes 19 seconds West a distance of 12.02 feet to the west line of the east 10 feet of said Lot 12, Block 1 and the point of beginning of the easement to be vacated; thence North 57 degrees 20 minutes 19 seconds West a distance of 268.19 feet to the east line of the west 10 feet of said Lot 12, Block 1; thence South 17 degrees 10 minutes 57 seconds East along said east line a distance of 37.22 feet; thence South 57 degrees 20 minutes 19 seconds East a distance of 255.74 feet to said west line of the east 10 feet of said Lot 12, Block 1; thence North 01 degree 01 minute 10 seconds West along said west line a distance of 28.84 feet to the point of beginning.

Said hearing is conducted pursuant to Minnesota Statutes Chapter 412.851.

Dated: May 18, 2023

  
Dawnette Shimek, Deputy City Clerk

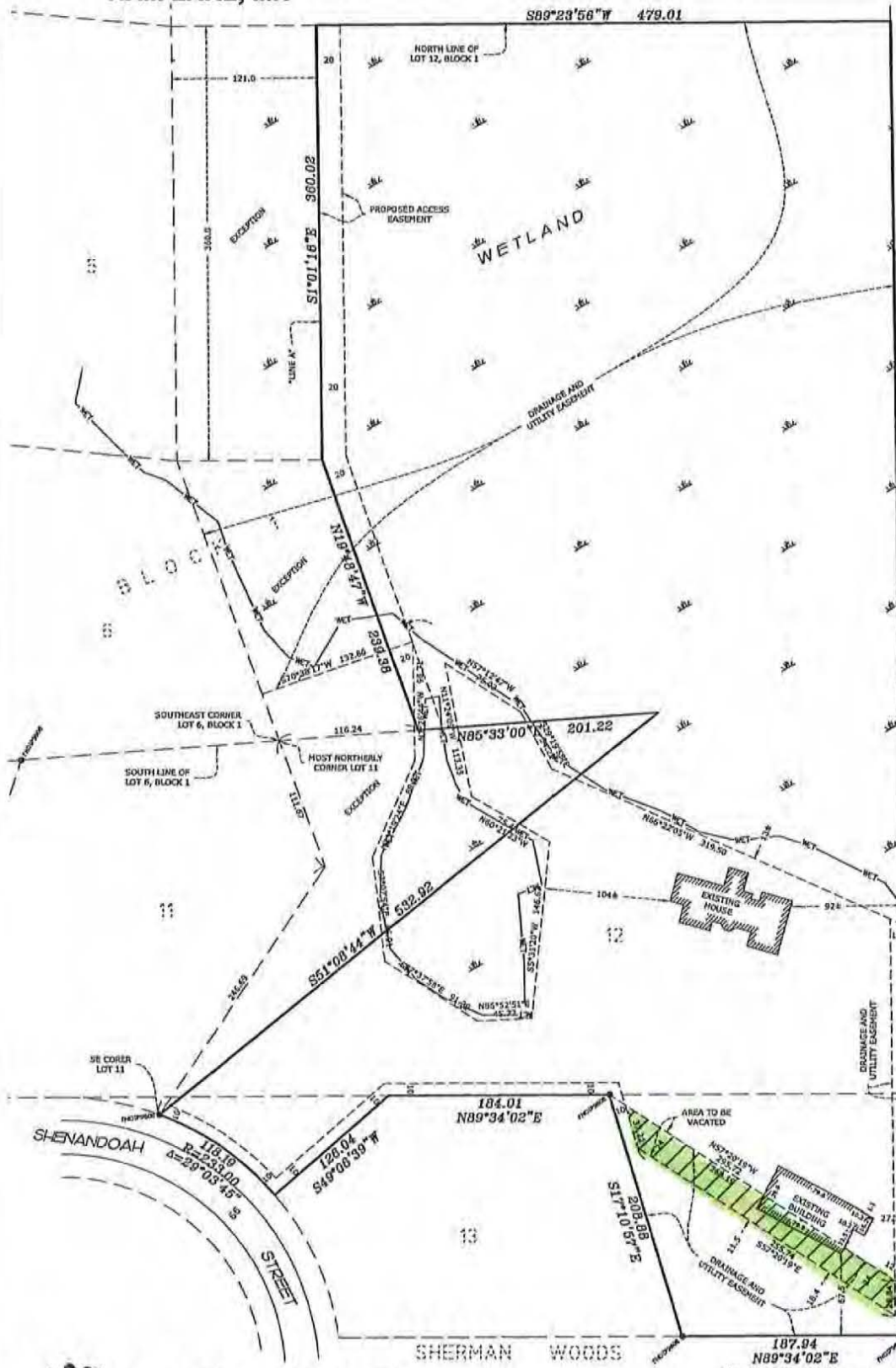
Posted at City Hall between the dates of May 16, 2023 and June 5, 2023.

Published in the Star Tribune on May 18, 2023

PLEASE SEE REVERSE SIDE FOR SKETCH

# SKETCH AND DESCRIPTION / EASEMENT VACATION

~for~ TIM AND PAULA LANG  
 ~of~ 3705 139TH AVE NE  
 HAM LAKE, MN



NORTH

GRAPHIC SCALE



### EXISTING LEGAL DESCRIPTION

Lot 12, Block 1, TIMBER WOODS, Anoka County, Minnesota EXCEPT the West 121.00 feet of the North 360.00 feet thereof, ALSO EXCEPT that part of said lot described as follows: Beginning at the most northerly corner of said Lot 11, thence North 85 degrees 33 minutes 00 seconds East, assumed bearing, along the easterly extension of the northerly line of said Lot 11, a distance of 317.46 feet; thence South 51 degrees 08 minutes 44 seconds West, a distance of 532.92 feet, to the Southeast corner of said Lot 11; thence North 33 degrees 48 minutes 41 seconds East, along the easterly line of said Lot 11, a distance of 246.69 feet; thence North 20 degrees 18 minutes 53 seconds West along said easterly line, a distance of 111.67 feet to the point of beginning, all in TIMBER WOODS, according to the recorded plat thereof, ALSO EXCEPT that part of said Lot 12 described as follows: Beginning at the southeast corner of said Lot 6; thence North 85 degrees 33 minutes 00 seconds East, assumed bearing, along the easterly extension of the southeasterly line of said Lot 6, a distance of 116.24 feet; thence North 19 degrees 48 minutes 47 seconds West, a distance of 239.38 feet to the southeast corner of the West 121.00 feet of the North 360.00 feet of said Lot 12; thence South 89 degrees 23 minutes 56 seconds West, parallel with the north line of said Lot 12, a distance of 121.00 feet to the northeast corner of said Lot 6; thence South 20 degrees 18 minutes 53 seconds East a distance of 248.41 feet to the point of beginning, all in TIMBER WOODS, according to the recorded plat thereof.

### SURVEY NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 04/14/23.
- Bearings shown are on plat datum.

### EASEMENT VACATION LEGAL DESCRIPTION

That portion of the drainage and utility easement as dedicated on Lot 12, Block 1, TIMBER WOODS, and on Lot 1, Block 1, SHERMAN WOODS, Anoka County, Minnesota, described as follows:

Commencing at the southeast corner of said Lot 12, Block 1; thence on an assumed bearing of North 01 degree 01 minute 10 seconds West, along the east line of said Lot 12, Block 1 a distance of 39.55 feet; thence North 57 degrees 20 minutes 19 seconds West a distance of 12.02 feet to the west line of the east 10 feet of said Lot 12, Block 1 and the point of beginning of the easement to be vacated; thence North 57 degrees 20 minutes 19 seconds West a distance of 268.19 feet to the east line of the west 10 feet of said Lot 12, Block 1; thence South 17 degrees 10 minutes 57 seconds East along said east line a distance of 37.22 feet; thence South 57 degrees 20 minutes 19 seconds East a distance of 255.74 feet to said west line of the east 10 feet of said Lot 12, Block 1; thence North 01 degree 01 minute 10 seconds West along said west line a distance of 28.84 feet to the point of beginning.

DENOTES AREA TO BE VACATED (6,287.24 S.F.)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD

Date: 4/17/2023 License No. 41578

DRAWN BY:	RAF	JOB NO.:	220567ED	DATE:	06-27-22
CHECK BY:	JER	FIELD CREW:	BAVB		
1	04-17-23	ADDED FIELD INFO.		RAF	
2					
3					
NO.	DATE	DESCRIPTION		BY	

**E.G. RUD & SONS, INC.**  
 EST. 1977  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

Tim  
Lang ↓

CROOKS ANDREW L  
PIN: 35-32-23-21-0012  
3635 140TH AVE NE  
HAM LAKE, MN 55304

CHASTANET, HENRI G  
PIN: 35-32-23-24-0018  
13800 SHENANDOAH ST NE  
HAM LAKE, MN 55304

MATTSON, JAIMIE A  
PIN: 35-32-23-21-0005  
3748 BUNKER LAKE BLVD NE  
HAM LAKE, MN 55304

GABRIELSON DARYL G & CAROL  
PIN: 35-32-23-12-0003  
3840 BUNKER LAKE BLVD NE  
HAM LAKE, MN 55304

LEMKE JAYMIE L  
PIN: 35-32-23-24-0004  
13817 SHENANDOAH ST NE  
HAM LAKE, MN 55304

TUFTE JAMIE L & DAHL TUFTE AMY  
PIN: 35-32-23-24-0011  
13855 SHENANDOAH ST NE  
HAM LAKE, MN 55304

BAYLESS MARK E  
PIN: 35-32-23-21-0021  
3642 140TH AVE NE  
HAM LAKE, MN 55304

HEDRINGTON, KATIE J  
PIN: 35-32-23-21-0010  
3658 BUNKER LAKE BLVD  
HAM LAKE, MN 55304

RIOLA ANNE M & PETER W  
PIN: 35-32-23-13-0005  
13814 VICKERS ST NE  
HAM LAKE, MN 55304

LARSON BRIAN R  
PIN: 35-32-23-12-0007  
7338 148TH LN NW  
RAMSEY, MN 55303

WYLIE TRUSTEE, TERI A  
PIN: 35-32-23-24-0003  
13833 SHENANDOAH ST NE  
HAM LAKE, MN 55304

BILLS DEWITT LEE & JUDITH A  
PIN: 35-32-23-21-0004  
3716 BUNKER LAKE BLVD NE  
HAM LAKE, MN 55304

LANG TRUSTEE, PAULA K  
PIN: 35-32-23-21-0027  
3705 139TH AVE NE  
HAM LAKE, MN 55304

BARNES, DANIEL J  
PIN: 35-32-23-13-0006  
13819 VICKERS ST NE  
HAM LAKE, MN 55304

HYLAND, TINA  
PIN: 35-32-23-12-0001  
3816 BUNKER LAKE BLVD NE  
HAM LAKE, MN 55304

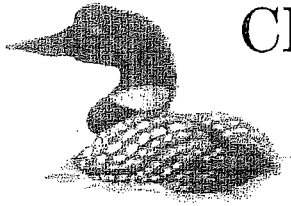
LANG TRUSTEE, PAULA K  
PIN: 35-32-23-24-0009  
3705 139TH AVE NE  
HAM LAKE, MN 55304

LANG TRUSTEE, TIMOTHY S  
PIN: 35-32-23-24-0010  
3705 139TH AVE NE  
HAM LAKE, MN 55304

MYRMEL TRUSTEE JEFFREY A  
PIN: 35-32-23-21-0025  
3640 140TH AVE NE  
HAM LAKE, MN 55304

VITEK CHRISTOPHER G  
PIN: 35-32-23-21-0009  
3644 BUNKER LAKE BLVD  
HAM LAKE, MN 55304

STENGER, KERRY  
PIN: 35-32-23-21-0018  
3635 139TH AVE NE  
HAM LAKE, MN 55304



# CITY OF HAM LAKE

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Ham Lake, Minnesota 55304  
(763) 434-9555  
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## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES MONDAY, MAY 15, 2023

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, May 15, 2023 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Mayor Brian Kirkham and Councilmembers Jim Doyle, Gary Kirkeide, Al Parranto and Jesse Wilken

**MEMBERS ABSENT:** None

**OTHERS PRESENT:** City Attorney, Mark Berglund; City Engineer, Tom Collins; Deputy City Clerk, Dawnette Shimek; and Finance Director, Andrea Murff

### 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Mayor Kirkham called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

### 2.0 PUBLIC COMMENT

Brian Elferts, 4030 170<sup>th</sup> Lane NE, was before the City Council asking what was going to be done with the roads in his development and why the residents don't have any input regarding their roads. Mayor Kirkham stated that the City Council plans to review maintenance costs of the road after one year. Mayor Kirkham stated that a decision has not been made at this time. Mr. Elferts stated that he doesn't necessarily want the road paved, but the road millings could be redone. Mayor Kirkham stated that they are still in the process of evaluating the situation.

### 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

#### 3.1 Lt. Schuldt, Anoka County Sheriff's Office Monthly Report

Lt. Schuldt gave a summary of the Sheriff's Report for the month of April 2023. Councilmember Parranto questioned why assaults appear to be on the rise. Lt. Schuldt stated he will look further into the reports and report back to the City Council.

#### 3.2 Approval of Resolution No. 23-19 and acceptance of the retirement of Mark Kollman after 39 active years of service to the Ham Lake Fire Department

Mayor Kirkham presented Resolution No. 23-19 to Mark Kollman for his 39 years of service on the Ham Lake Fire Department. **Motion by Kirkham, seconded by Doyle, to approve Resolution No. 23-19 recognizing Mark Kollman for his 35 years of service on the Ham Lake Fire Department. All in favor, motion carried.**

#### 3.3 Approval of Resolution No. 23-20 and acceptance of the retirement of Joseph Thomas after 24 active years of service to the Ham Lake Fire Department

Mayor Kirkham presented Resolution No. 23-20 to Joseph Thomas for his 24 years of service on the Ham Lake Fire Department. **Motion by Kirkham, seconded by Doyle, to approve Resolution No. 23-20**

**recognizing Mark Kollman for his 24 years of service on the Ham Lake Fire Department. All in favor, motion carried.**

#### **4.0 CONSENT AGENDA**

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of May 1, 2023
- 4.2 Approval of claims in the amount of \$179,182.98
- 4.3 Approval of re-appointment of Safety Committee Members Mike Raczkowski, Andrea Murff and Jim Kappelhoff
- 4.4 Approval of the First Reading of an Ordinance regarding chickens
- 4.5 Approval of hiring summer season employees in Public Works
- 4.6 Approval of a Letter requesting Coon Creek Watershed District and Sunrise Watershed Management Organization review the hydrologic boundary of parcels in the City of Ham Lake
- 4.7 Approval of Resolution No. 23-21 scheduling a public hearing to vacate a portion of the drainage and utility easement located on Lot 12, Block 1, Timber Woods and Lot 1, Block 1, Sherman Woods in Section 35

Councilmember Kirkeide asked that item 4.4 be removed from the consent agenda.

**Motion by Wilken, seconded by Parranto, to approve the May 15, 2023 consent agenda with the omission of item 4.4 All in favor motion carried.**

Councilmember Kirkeide stated that he worked on amending the City's chicken ordinance and noted that there are two corrections, as noted on the clerks copy. Councilmember Kirkeide also wanted to discuss the number of chickens to be allowed, currently the ordinance allows fifteen chickens and he is proposing to increase the limit to twenty. **Motion by Kirkham, seconded by Doyle, to approve item 4.4 on the consent agenda amending portions of the Chicken Ordinance and increasing the number of chickens allowed from fifteen to twenty and also corrections as noted on the clerks copy. All in favor, motion carried.** This is considered the first reading of an ordinance.

#### **5.0 PLANNING COMMISSION RECOMMENDATIONS**

- 5.1 Hany Omar, YSMN Properties LLC, and Faiz Jameel and Sami Sekhi of GT Auto Sales, requesting a Conditional Use Permit to operate GT Auto Sales, an auto sales and service, car repair and auto body shop, at 16905 Baltimore Street NE and adoption of Resolution No. 12-22

Attorney Berglund stated that typically a Conditional Use Permit is issued to the owner of the property. Rick Braastad, owner of the property, was present and stated he approves of the recommendations of the Planning Commission. **Motion by Kirkham, seconded by Doyle, to concur with the Planning Commission and adopt Resolution No. 23-22 approving the request of Hany Omar, YSMN Properties LLC, and Faiz Jameel and Sami Sekhi of GT Auto Sales, requesting a Conditional Use Permit to operate GT Auto Sales, an auto sales and service, car repair and auto body shop, at 16905 Baltimore Street NE subject to:**

1. **Constructing an eight-foot fence along the entire eastern property line, constructing a fenced enclosure in the northeast corner of the lot with fencing being at least six-feet high on the**



northern, western and southern sides, constructing an enclosure for the dumpster and striping the parking lot before any damaged or repairable vehicles can be kept outdoors on the property; repairable vehicles must be kept indoors during construction. Fence and trash enclosure construction and striping of the parking lot are to be completed by August 31, 2023.

2. Ensuring the primary and secondary septic areas are protected.
3. All damaged vehicles being parked within the screened in area and maintaining a 12-foot drive aisle between rows of cars.
4. No outside storage of liquids, tires, parts, etc.
5. No "parts" cars (vehicles bought for the sole purposes of removing parts for other vehicles).
6. Performing all repair work inside the building including work such as body work or replacement of headlights.
7. Containing and disposing of all fluids according to State and County requirements.
8. All auto sales activities being kept separate from the auto repair activity and adhering to all requirements of Article 7-900 for auto sales.
9. Business hours of 9 am to 9 pm Monday through Sunday with business activity on Sunday being limited to activity that creates no audible noise outside of the building.
10. Meeting all City, County, and State requirements.

All in favor, motion carried.

#### 6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

#### 7.0 APPEARANCES

##### 7.1 Finance Director Andrea Murff, 1<sup>st</sup> Quarter Financial Report

Finance Director Murff gave the financial report for the 1<sup>st</sup> Quarter of 2023. Finance Director Murff reported on the Overall Cash Position by Fund Type being down approximately \$984,774 from December due to General Fund operation expenditures, and the annual bond payment. However, the Cash Balances by Fund Compared to Prior Year had mostly increased due to unused ARPA (American Rescue Plan Act) funding in the General Fund and budgeted transfers in the Equipment and Revolving Street Funds. Finance Director Murff explained the cash balance for the General Fund was down from December 2022 due to not receiving the tax settlement from the County until July and having to cover operation expenditures. The overall General Fund was on track with budget projections and was currently slightly better than expected. Finance Director Murff spoke about the City investments rebounding from previous years and coming in higher than budgeted. The City Council thanked Finance Director Murff.

#### 8.0 CITY ATTORNEY – None

#### 9.0 CITY ENGINEER – None

#### 10.0 CITY ADMINISTRATOR – None

#### 11.0 COUNCIL BUSINESS

##### 11.1 Committee Reports

Mayor Kirkham stated that Superintendent Witkowski has requested and is waiting for bids on replacing the ballfield fencing at Lions Park and public works also plans to reshape the fields.

Mayor Kirkham stated that Public Works Superintendent Witkowski is going to contact Nuss Truck & Equipment to order one or maybe two plow trucks that are scheduled to be replaced. Nuss Truck &

Equipment only allows so many trucks a year to be ordered on State Contract. The trucks would not arrive for 18 months.

11.2 Announcements and future agenda items

Mayor Kirkham stated that there is 27 acres of parkland in the Hidden Forest development. Mayor Kirkham stated that there is about six acres that can to be developed with parking, playground equipment and possibly a pickle ball court. Mayor Kirkham added that he has been researching if the remaining acreage could be used for wetland banking. Mayor Kirkham stated that the money from the wetland banking would be required to go into the park fund. Councilmember Kirkeide asked if people could still access the property. Mayor Kirkham stated that state legislation would need to change to create trails on the property.

**Motion by Kirkham, seconded by Parranto, to adjourn the meeting at 6:35 p.m. All in favor, motion carried.**

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Dawnette Shimek, Deputy City Clerk

**CITY OF HAM LAKE**  
**CLAIMS SUBMITTED TO COUNCIL**  
**June 5, 2023**

**CITY OF HAM LAKE**

<b>EFTS, CHECKS, AND BANK DRAFTS</b>		<b>05/16/23 - 06/05/23</b>	
<b>EFT</b>	<b># 1862 - 1870</b>		\$ 85,838.72
<b>REFUND CHECKS</b>	<b># 65053 - 65064</b>		\$ 13,550.00
<b>CHECKS</b>	<b># 65065 - 65109</b>		\$ 181,420.82
<b>BANK DRAFTS</b>	<b>DFT0002543 -DFT0002554</b>		\$ 55,098.76
<b>TOTAL EFTS, CHECKS, AND BANK DRAFTS</b>			<u>\$ 335,908.30</u>
<b>PAYROLL CHECKS</b>			
<b>05/19/23</b>	<b>Direct Deposits</b>		\$ 46,586.30
<b>06/02/23</b>	<b>Direct Deposits</b>		\$ 36,528.99
<b>TOTAL PAYROLL CHECKS</b>			<u>\$ 83,115.29</u>
<b>TOTAL OF ALL PAYMENTS</b>			<u><u>\$ 419,023.59</u></u>
<b>VOID CHECKS</b>			
<b>CHECKS</b>			\$ -
<b>ZERO EFT</b>			\$ -
<b>BANK DRAFTS</b>			\$ -

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 5TH DAY OF JUNE 2023

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER



Packet: ARPKT00786 - 05/22/23 TRUST REFUNDS

## Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00152	PREMIER CUSTOM HOMES INC	5/22/2023	65053	2,500.00
00184	NORTHERN LIGHTS HOMESCHOOL	5/22/2023	65054	150.00
00269	REGENCY HOMES INC	5/22/2023	65055	2,500.00
00289	REGENCY HOMES INC	5/22/2023	65056	2,500.00
00305	JONATHAN HOMES OF MN, LLC	5/22/2023	65057	2,500.00
00326	PRAIRIE HOMES LIMITED	5/22/2023	65058	2,500.00
00360	ANOKA COUNTY RADIO CLUB	5/22/2023	65059	150.00
Total Refund Amount:				12,800.00

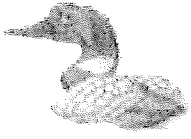
## Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	12,800.00
Revenue Totals:	12,800.00

## General Ledger Distribution

Posting Date: 05/22/2023

Account Number	Account Name	Posting Amount	IFT
<b>Fund: 890 - TRUST FUND</b>			
890-10101	Cash-claim on pooled cash	-12,800.00	Yes
890-11501	Misc receivables	12,800.00	
	<b>890 Total:</b>	0.00	
<b>Fund: 999 - POOLED CASH</b>			
999-10100	Pooled Cash	-12,800.00	
999-20702	Due to other funds	12,800.00	Yes
	<b>999 Total:</b>	0.00	
	<b>Distribution Total:</b>	0.00	



Packet: ARPKT00788 - 05/23/23 TRUST REFUNDS

## Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00339	BRENDA KUHN	5/23/2023	65060	150.00
00381	VAL BECKMAN	5/23/2023	65061	150.00
			<b>Total Refund Amount:</b>	<b>300.00</b>

## Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	300.00
<b>Revenue Totals:</b>	<b>300.00</b>

## General Ledger Distribution

Posting Date: 05/23/2023

Account Number	Account Name	Posting Amount	IFT
<b>Fund: 890 - TRUST FUND</b>			
890-10101	Cash-claim on pooled cash	-300.00	Yes
890-11501	Misc receivables	300.00	
	<b>890 Total:</b>	<b>0.00</b>	
<b>Fund: 999 - POOLED CASH</b>			
999-10100	Pooled Cash	-300.00	
999-20702	Due to other funds	300.00	Yes
	<b>999 Total:</b>	<b>0.00</b>	
	<b>Distribution Total:</b>	<b>0.00</b>	



Packet: ARPKT00794 - 05/31/23 TRUST REFUNDS

## Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00347	WAY OF THE SHEPHERD	5/31/2023	65062	150.00
00369	SARAH ANDERSON	5/31/2023	65063	150.00
00382	ABBY KIOS	5/31/2023	65064	150.00
<b>Total Refund Amount:</b>				<b>450.00</b>

## Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	450.00
<b>Revenue Totals:</b>	<b>450.00</b>

## General Ledger Distribution

Posting Date: 05/31/2023

Account Number	Account Name	Posting Amount	IFT
<b>Fund: 890 - TRUST FUND</b>			
890-10101	Cash-claim on pooled cash	-450.00	Yes
890-11501	Misc receivables	450.00	
	<b>890 Total:</b>	<b>0.00</b>	
<b>Fund: 999 - POOLED CASH</b>			
999-10100	Pooled Cash	-450.00	
999-20702	Due to other funds	450.00	Yes
	<b>999 Total:</b>	<b>0.00</b>	
	<b>Distribution Total:</b>	<b>0.00</b>	



Payment Dates 5/16/2023 - 6/5/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1862	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	75.59
1862	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1862	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	50.61
1863	BRODIN PRESS	JUNE HAM LAKER	Editing	211-41704-3125	900.00
1864	CMT JANITORIAL SERVICES	CITY HALL CLEANING	Cleaning service	100-41702-3430	520.00
1864	CMT JANITORIAL SERVICES	SHERIFF'S OFFICE CLEANING	Cleaning service	100-41702-3430	130.00
1864	CMT JANITORIAL SERVICES	FIRE #1 CLEANING	Cleaning service	100-42202-3430	136.00
1864	CMT JANITORIAL SERVICES	FIRE #2 CLEANING	Cleaning service	100-42202-3430	128.00
1864	CMT JANITORIAL SERVICES	PW CLEANING	Cleaning service	100-43104-3430	125.00
1864	CMT JANITORIAL SERVICES	SR CENTER CLEANING	Cleaning service	100-44202-3430	254.00
1865	DELTA DENTAL PLAN OF MINN	JUNE COBRA - DK	COBRA receivable	100-11502	51.04
1865	DELTA DENTAL PLAN OF MINN	JUNE DENTAL	Dental Insurance	100-21711	905.49
1865	DELTA DENTAL PLAN OF MINN	MAY DENTAL - TM	Dental Insurance	100-21711	-146.50
1866	O'REILLY AUTOMOTIVE STORE	#63 FUEL FILTERS	Vehicle parts & supplies	100-43101-2340	14.92
1866	O'REILLY AUTOMOTIVE STORE	#62 OIL & FUEL FILTERS	Equipment parts & supplies	100-44101-2320	13.86
1866	O'REILLY AUTOMOTIVE STORE	OIL FILTER	Operating supplies	100-44101-2290	7.93
1867	RFC ENGINEERING, INC.	ABERDEEN, 144TH - 145TH	Engineering	431-43301-3135	350.24
1867	RFC ENGINEERING, INC.	TWIN BIRCH ACRES	Engineering	431-43301-3135	1,040.96
1867	RFC ENGINEERING, INC.	LUND'S LAKEVIEW FOREST	Engineering	431-43301-3135	85.63
1867	RFC ENGINEERING, INC.	MEADOW PARK RECONSTRUC	Engineering	431-43301-3135	32.30
1867	RFC ENGINEERING, INC.	CREEK VALLEY RECONSTRUCTI	Engineering	431-43301-3135	2,112.39
1867	RFC ENGINEERING, INC.	CROSSTOWN BUSINESS PARK	Capital assets	262-46101-5110	9,154.26
1867	RFC ENGINEERING, INC.	CROSSTOWN SHOPPING CENT	Engineering	431-43301-3135	34,911.36
1867	RFC ENGINEERING, INC.	MAGERS MEADOWS	Engineering	100-41101-3135	35.06
1867	RFC ENGINEERING, INC.	159TH ROW VAC W OF LINCO	Engineering	100-41101-3135	35.06
1867	RFC ENGINEERING, INC.	BASE MAP	Engineering	100-41101-3135	35.05
1867	RFC ENGINEERING, INC.	FIRE MAP	Engineering	100-41101-3135	248.29
1867	RFC ENGINEERING, INC.	COUNCIL MEETING	Engineering	100-41101-3135	78.41
1867	RFC ENGINEERING, INC.	2022 ASSETS	Engineering	100-41101-3135	2,123.57
1867	RFC ENGINEERING, INC.	CITY CODE UPDATE	Engineering	100-41102-3135	913.41
1867	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	100-41601-3135	1,026.04
1867	RFC ENGINEERING, INC.	2023 SIREN UPGRADES	Covid 19	100-41701-4153	267.38
1867	RFC ENGINEERING, INC.	L4 B1 TIMBER WOODS ACCES	Engineering	100-42401-3135	14.27
1867	RFC ENGINEERING, INC.	HAM LAKE BUILDING PERMIT	Engineering	100-42401-3135	99.90
1867	RFC ENGINEERING, INC.	ASSESSOR	Engineering	100-42401-3135	85.64
1867	RFC ENGINEERING, INC.	CULVERT COLLAPSE - SWEDIS	Engineering	100-43101-3135	1,097.72
1867	RFC ENGINEERING, INC.	THOROUGHFARE PLAN	Engineering	100-43101-3135	546.35
1867	RFC ENGINEERING, INC.	HAM LAKE GIS WEB CONVERS	Engineering	100-43101-3135	52.27
1867	RFC ENGINEERING, INC.	5-YEAR PLAN	Engineering	100-43101-3135	2,069.44
1867	RFC ENGINEERING, INC.	CCWD FLOOD ZONE REVIEW	Engineering	100-43201-3135	13.07
1867	RFC ENGINEERING, INC.	SRWMO 2023 BUDGET	Engineering	100-43201-3135	114.18
1867	RFC ENGINEERING, INC.	CCWD JURISDICTIONAL BOUN	Engineering	100-43201-3135	513.79
1867	RFC ENGINEERING, INC.	NPDES	Engineering	230-43201-3135	540.33
1867	RFC ENGINEERING, INC.	FIRE STATION #3	Capital assets	420-42201-5110	1,109.49
1867	RFC ENGINEERING, INC.	2023 SIREN UPGRADES	Capital assets	422-42302-5110	-267.38
1867	RFC ENGINEERING, INC.	2023 SIREN UPGRADES	Capital assets	422-42302-5110	267.38
1867	RFC ENGINEERING, INC.	2023 REHAB	Engineering	431-43301-3135	394.45
1867	RFC ENGINEERING, INC.	SWEDISH DRIVE ROW	Engineering	431-43301-3135	57.09
1867	RFC ENGINEERING, INC.	181ST, CONCORD - HWY 65	Engineering	431-43301-3135	1,244.95
1867	RFC ENGINEERING, INC.	162ND LANE/BUCHANAN STR	Engineering	431-43301-3135	830.20
1867	RFC ENGINEERING, INC.	HIDDEN FOREST EAST WETLA	Engineering	440-44103-3135	1,113.32
1867	RFC ENGINEERING, INC.	HIDDEN FOREST EAST PARK U	Engineering	440-44103-3135	219.10
1867	RFC ENGINEERING, INC.	FLEET STAR TRUCK & TRAILER	Engineering	890-90001-3135	50.00
1867	RFC ENGINEERING, INC.	JAM HOPS EXP	Engineering	890-90001-3135	608.53

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1867	RFC ENGINEERING, INC.	CREEKSIDE FARMS	Engineering	890-90001-3135	861.60
1867	RFC ENGINEERING, INC.	EVERGREEN ESTATES	Engineering	890-90001-3135	849.03
1867	RFC ENGINEERING, INC.	HOLIDAY	Engineering	890-90001-3135	1,306.99
1867	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 4TH	Engineering	890-90001-3135	1,966.57
1867	RFC ENGINEERING, INC.	FLEET STAR TRUCK & TRAILER	Engineering	890-90001-3135	2,159.70
1867	RFC ENGINEERING, INC.	H & H LANDSCAPE	Engineering	890-90001-3135	788.04
1867	RFC ENGINEERING, INC.	HIDDEN FOREST EAST PARK	Engineering	890-90001-3135	39.36
1867	RFC ENGINEERING, INC.	CONSTANCE BOULEVARD TER	Engineering	890-90001-3135	581.35
1867	RFC ENGINEERING, INC.	TOBY'S TRAILS	Engineering	890-90001-3135	362.65
1867	RFC ENGINEERING, INC.	L1 B2 ENTERPRISE PLAZA 2ND	Engineering	890-90001-3135	26.29
1867	RFC ENGINEERING, INC.	831 - 159TH AVENUE LOT LIN	Engineering	890-90001-3135	78.88
1867	RFC ENGINEERING, INC.	13856 RADISSON ROAD LOT LI	Engineering	890-90001-3135	26.29
1867	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 2ND	Engineering	890-90001-3135	26.29
1867	RFC ENGINEERING, INC.	RADISSON SUNSET ESTATES	Engineering	890-90001-3135	365.92
1867	RFC ENGINEERING, INC.	FLAMINGO TERRACE EXP	Engineering	890-90001-3135	26.14
1867	RFC ENGINEERING, INC.	L12 B1 TIMBER WOODS EASE	Engineering	890-90001-3135	128.45
1867	RFC ENGINEERING, INC.	ENCHANTED ESTATES 3RD	Engineering	890-90001-3135	87.64
1867	RFC ENGINEERING, INC.	CROSTOWN ROLLING ACRES	Engineering	890-90001-3135	85.63
1867	RFC ENGINEERING, INC.	4611 - 139TH ANE LOT LINE A	Engineering	890-90001-3135	242.62
1867	RFC ENGINEERING, INC.	SENG VANG CUP LABELS	Engineering	890-90001-3135	25.00
1867	RFC ENGINEERING, INC.	HENTGES ADDITION	Engineering	890-90001-3135	256.90
1867	RFC ENGINEERING, INC.	L12 B1 TIMBER WOODS EASE	Engineering	890-90001-3135	25.00
1867	RFC ENGINEERING, INC.	CATCHERS CREEK	Engineering	890-90001-3135	295.63
1867	RFC ENGINEERING, INC.	CROSTOWN ROLLING ACRES	Engineering	890-90001-3135	181.02
1867	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 3RD	Engineering	890-90001-3135	299.02
1867	RFC ENGINEERING, INC.	GROUP PERMIT BILLING	Engineering	100-43501-3135	7,221.57
1867	RFC ENGINEERING, INC.	MSA GROUP BILLING	Engineering	431-43301-3135	356.45
1870	WICK COMMUNICATIONS-LEA	JUNE HAM LAKER	Printing	211-41704-3970	667.25
65065	ALL CITY ELEVATOR INC	ALARM - WAS FOR SUMP PU	Building repair & maintenanc	100-41702-3420	396.00
65066	ANCOM COMMUNICATIONS I	HEAVY DUTY HEADSETS	Phones/radios/pagers	100-42201-3210	728.80
65067	ANOKA COUNTY TREASURY D	MAY BROADBAND FIRE #2	Internet & website	100-41301-3220	75.00
65067	ANOKA COUNTY TREASURY D	MAY BROADBAND	Internet & website	100-41301-3220	37.50
65068	ARCHITECT MECHANICAL INC	MAINT - CITY HALL	Building repair & maintenanc	100-41702-3420	668.10
65068	ARCHITECT MECHANICAL INC	MAINT - FIRE #2	Building repair & maintenanc	100-42202-3420	245.63
65068	ARCHITECT MECHANICAL INC	MAINT - FIRE #1	Building repair & maintenanc	100-42202-3420	363.52
65068	ARCHITECT MECHANICAL INC	MAINT - PUBLIC WORKS	Building repair & maintenanc	100-43104-3420	510.90
65068	ARCHITECT MECHANICAL INC	MAINT - PARK BUILD	Building repair & maintenanc	100-44102-3420	176.85
65068	ARCHITECT MECHANICAL INC	AIR COMPRESSOR BREAKER R	Building repair & maintenanc	100-43104-3420	470.00
65068	ARCHITECT MECHANICAL INC	CABINET HEATER BLOWER M	Building repair & maintenanc	100-41702-3420	1,900.00
65069	ASTLEFORD INT'L TRUCKS INC	#93 TURBO CHARGER MOUN	Vehicle parts & supplies	100-43101-2340	119.22
65069	ASTLEFORD INT'L TRUCKS INC	#93 REPAIR PART	Vehicle parts & supplies	100-43101-2340	136.23
65069	ASTLEFORD INT'L TRUCKS INC	#93 VALVE, KIT INLET THROTL	Vehicle parts & supplies	100-43101-2340	168.75
65069	ASTLEFORD INT'L TRUCKS INC	#93 VALVE, KIT INLET THROTL	Vehicle parts & supplies	100-43101-2340	553.86
65070	BERGANKDV	2022 AUDIT	Audit & actuarial services	100-41402-3115	8,000.00
65071	BLAINE LOCK & SAFE, INC.	LIONS PARK NEW CODE LOCK	Building repair & maintenanc	100-44102-3420	1,092.25
65071	BLAINE LOCK & SAFE, INC.	OPEN ELEVATOR ROOM, REM	Building repair & maintenanc	100-41702-3420	227.00
65071	BLAINE LOCK & SAFE, INC.	NEW KEYS	Operating supplies	100-43101-2290	61.25
65072	CENTERPOINT ENERGY	CITY HALL	Natural gas	100-41702-3620	531.32
65072	CENTERPOINT ENERGY	FIRE #2	Natural gas	100-42202-3620	506.10
65072	CENTERPOINT ENERGY	FIRE #1	Natural gas	100-42202-3620	262.78
65072	CENTERPOINT ENERGY	PW	Natural gas	100-43104-3620	1,116.45
65072	CENTERPOINT ENERGY	H.L. PARK PAVILION	Natural gas	100-44102-3620	107.51
65072	CENTERPOINT ENERGY	H.L. PARK BUILDING	Natural gas	100-44102-3620	472.40
65072	CENTERPOINT ENERGY	SR CENTER	Natural gas	100-44202-3620	286.09
65073	CITY OF COLUMBUS	APR SIGNAL LEXINGTON & BR	Electricity	100-43401-3610	21.82
65074	COMCAST BUSINESS	FIRE #1 ADD'L CABLE BOX	Other professional services	100-42201-3190	11.23
65075	CONNEXUS ENERGY	OCT '22 - MAY '23 HAM LAKE	Electricity	100-44101-3610	722.35
65076	CONNEXUS ENERGY	GARAGE	Electricity	100-41702-3610	32.49
65076	CONNEXUS ENERGY	CITY HALL	Electricity	100-41702-3610	949.58
65076	CONNEXUS ENERGY	CITY SIGN	Electricity	100-41703-3610	262.13



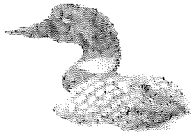
Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
65076	CONNEXUS ENERGY	SOUTH WELCOME	Electricity	100-41703-3610	15.30
65076	CONNEXUS ENERGY	FIRE #2	Electricity	100-42202-3610	181.91
65076	CONNEXUS ENERGY	FIRE #1	Electricity	100-42202-3610	389.07
65076	CONNEXUS ENERGY	SIRENS	Electricity	100-42302-3610	68.25
65076	CONNEXUS ENERGY	PW	Electricity	100-43104-3610	699.46
65076	CONNEXUS ENERGY	HWY 65/CONSTANCE SIGNALS	Electricity	100-43401-3610	117.01
65076	CONNEXUS ENERGY	BUNKER/LEXINGTON SIGNALS	Electricity	100-43401-3610	63.40
65076	CONNEXUS ENERGY	HWY 65/BUNKER SIGNALS	Electricity	100-43401-3610	79.79
65076	CONNEXUS ENERGY	RADISSON/BUNKER SIGNALS	Electricity	100-43401-3610	74.06
65076	CONNEXUS ENERGY	CROSSTOWN/HWY 65 SIGNAL	Electricity	100-43401-3610	72.57
65076	CONNEXUS ENERGY	BUNKER/JEFFERSON SIGNALS	Electricity	100-43401-3610	61.72
65076	CONNEXUS ENERGY	STREET LIGHTS #2	Electricity	100-43401-3610	265.72
65076	CONNEXUS ENERGY	LEXINGTON/CROSSTOWN SIG	Electricity	100-43401-3610	46.13
65076	CONNEXUS ENERGY	HWY 65/ANDOVER BLVD SIGN	Electricity	100-43401-3610	72.45
65076	CONNEXUS ENERGY	STREET LIGHTS #1	Electricity	100-43401-3610	23.08
65076	CONNEXUS ENERGY	HAM LAKE PARK	Electricity	100-44101-3610	134.50
65076	CONNEXUS ENERGY	SODERVILLE PARK WELL	Electricity	100-44101-3610	14.61
65076	CONNEXUS ENERGY	SODERVILLE PARK	Electricity	100-44101-3610	35.67
65076	CONNEXUS ENERGY	HAM LAKE PARK SHELTER	Electricity	100-44102-3610	29.85
65076	CONNEXUS ENERGY	LION'S PARK PAVILION	Electricity	100-44102-3610	105.69
65076	CONNEXUS ENERGY	HAM LAKE PARK BUILDING	Electricity	100-44102-3610	113.50
65076	CONNEXUS ENERGY	LION'S PARK CONCESSION	Electricity	100-44102-3610	65.83
65076	CONNEXUS ENERGY	HAM LAKE PARK CONCESSION	Electricity	100-44102-3610	84.28
65076	CONNEXUS ENERGY	SR CENTER	Electricity	100-44202-3610	511.31
65076	CONNEXUS ENERGY	STREET LIGHTS	Electricity	232-43701-3610	4,470.44
65078	DEARBORN LIFE INS CO	JUNE LIFE	Life Insurance	100-21714	54.40
65078	DEARBORN LIFE INS CO	JUNE VOL LIFE	Life Insurance	100-21714	195.30
65078	DEARBORN LIFE INS CO	MAY LIFE - TM	Life Insurance	100-21714	-3.20
65079	DEHN OIL CO	250 GAL DIESEL	Fuel	100-43101-2230	697.50
65079	DEHN OIL CO	248 GAL GASOLINE	Fuel	100-43101-2230	715.79
65079	DEHN OIL CO	265 GAL DIESEL	Fuel	100-43101-2230	778.79
65079	DEHN OIL CO	200 GAL GASOLINE	Fuel	100-43101-2230	539.00
65079	DEHN OIL CO	104 GAL DIESEL	Fuel	100-43101-2230	281.84
65080	ECM PUBLISHERS INC	HELP WANTED - BLDG/FIRE	Advertising for employment	100-42201-3910	170.30
65080	ECM PUBLISHERS INC	HELP WANTED BLDG/FIRE	Advertising for employment	100-42201-3910	150.30
65081	ELECTRICAL SERVICES EMERG	INSTALLATION OF 13 NEW SIR	Covid 19	100-41701-4153	100,750.00
65081	ELECTRICAL SERVICES EMERG	INSTALLATION OF 13 NEW SIR	Capital assets	422-42302-5110	-100,750.00
65081	ELECTRICAL SERVICES EMERG	INSTALLATION OF 13 NEW SIR	Capital assets	422-42302-5110	100,750.00
65082	ERIK SKOGQUIST	2ND QTR ASSESSING	Assessing/property tax admin	100-41403-3105	10,273.25
65083	EVERGREEN RECYCLING LLC	SPRING MATTRESS RECYCLIN	Waste management & recycli	231-43601-3630	290.00
65084	FIRE INSTRUCTION & RESCUE	PUMPING SCENARIOS/RELAY	Training/conferences/schools	100-42201-3510	650.00
65085	FLEETPRIDE	#61 CHANNEL FLOW AIR ELE	Equipment parts & supplies	100-43101-2320	28.51
65086	INSPIRE ARCHITECTS	FIRE #3	Capital assets	420-42201-5110	3,567.17
65087	J.R.'S ADVANCED RECYCLERS	SPRING RECYCLING DAY	Waste management & recycli	231-43601-3630	306.00
65088	KINGS III EMERGENCY COMM	JUNE ELEVATOR PHONE	Phones/radios/pagers	100-41701-3210	39.17
65089	LEPAGE & SONS INC	5/15 & 5/19 YARDWASTE	Waste management & recycli	231-43601-3630	984.12
65090	MACQUEEN EQUIPMENT/MA	SCBA FLOW TESTS	Equipment repair & maintena	100-42201-3440	2,000.00
65091	MARY WELLS	2ND QTR ASSESSING	Assessing/property tax admin	100-41403-3105	10,273.25
65092	MENARDS-BLAINE	PAVILION REMODEL	Controllable assets	440-44103-5120	54.96
65092	MENARDS-BLAINE	COUNTER/SINK PAVILION RE	Controllable assets	440-44103-5120	393.90
65092	MENARDS-BLAINE	PAVILION REMODEL	Controllable assets	440-44103-5120	67.47
65092	MENARDS-BLAINE	PAVILION REMODEL	Controllable assets	440-44103-5120	112.89
65092	MENARDS-BLAINE	PAVILION REMODEL	Controllable assets	440-44103-5120	173.80
65093	MINNESOTA EQUIPMENT	#46 FILTERS	Equipment parts & supplies	100-44101-2320	66.48
65093	MINNESOTA EQUIPMENT	#46 CARBURETOR-ASSY	Equipment parts & supplies	100-44101-2320	259.99
65093	MINNESOTA EQUIPMENT	#46 GASKETS	Equipment parts & supplies	100-44101-2320	5.73
65093	MINNESOTA EQUIPMENT	WEED WHIP LINE	Operating supplies	100-44101-2290	28.99
65093	MINNESOTA EQUIPMENT	#46 TIRE TUBE INSTALLATION	Equipment repair & maintena	100-44101-3440	32.99
65094	MINNESOTA OCCUPATIONAL	RESPIRATOR MASK FIT TEST -	Personnel testing & recruitme	100-42201-3150	49.00
65095	MINNESOTA PETROLEUM SER	FUEL PUMP REPAIR	Building repair & maintenanc	100-43104-3420	9,753.00

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
65096	NCPERS GROUP LIFE INSURAN	JUNE LIFE	Life Insurance	100-21714	96.00
65097	PRINT CENTRAL	LETTERHEAD, BLANK SHEETS,	Office supplies	100-41701-2110	458.71
65098	RECYCLE TECHNOLOGIES INC	SPRING RECYCLING DAY	Waste management & recycli	231-43601-3630	450.00
65098	RECYCLE TECHNOLOGIES INC	SPRING RECYCLING	Waste management & recycli	231-43601-3630	75.00
65098	RECYCLE TECHNOLOGIES INC	SPRING RECYCLING - CITY BUL	Waste management & recycli	231-43601-3630	26.25
65099	RIVARD COMPANIES	RECYCLE DAY - TREE WASTE	Waste management & recycli	231-43601-3630	400.00
65100	SITEONE LANDSCAPE SUPPLY	HERBICIDE	Operating supplies	100-44101-2290	324.20
65101	SUMMIT COMPANIES	RESIDENT EXTINGUISHER SER	Fire Extinguisher	100-20203	11.00
65101	SUMMIT COMPANIES	RESIDENT EXTINGUISHER SER	Fire Extinguisher	100-20203	22.00
65101	SUMMIT COMPANIES	RESIDENT EXTINGUISHER SER	Fire Extinguisher	100-20203	11.00
65102	THE MPX GROUP	JUNE HAM LAKER DELIVERY	Other services and charges	211-41704-3990	225.00
65103	UNITED LABORATORIES INC	DRAIN CLEANER & VANDALIS	Operating supplies	100-44101-2290	602.57
65104	UNLIMITED SUPPLIES INC	MISC SUPPLIES	Operating supplies	100-43101-2290	198.77
65105	US BANK CORPORATE PAYME	ZOOM-Zoom - May-DW	Dues & subscriptions	100-41201-3920	13.70
65105	US BANK CORPORATE PAYME	MN GFOA-2023 MNGFOA ME	Dues & subscriptions	100-41401-3920	95.00
65105	US BANK CORPORATE PAYME	IOS-highlighters, note pads-N	Office supplies	100-41701-2110	26.64
65105	US BANK CORPORATE PAYME	IOS-note pads-NW	Office supplies	100-41701-2110	12.44
65105	US BANK CORPORATE PAYME	AMAZON-document stand-N	Office supplies	100-41701-2110	9.35
65105	US BANK CORPORATE PAYME	IOS-frames, pens, packing tap	Office supplies	100-41701-2110	73.89
65105	US BANK CORPORATE PAYME	AMAZON-pens-NW	Office supplies	100-41701-2110	6.68
65105	US BANK CORPORATE PAYME	IOS-cardstock. copier paper-N	Office supplies	100-41701-2110	154.48
65105	US BANK CORPORATE PAYME	AMAZON-stain remover, whit	Operating supplies	100-41701-2290	30.92
65105	US BANK CORPORATE PAYME	PANTHEON-website-NW	Software licenses & upgrades	100-41701-2510	300.00
65105	US BANK CORPORATE PAYME	UNIQUE TRUCK- Safety stands	Covid 19	100-41701-4153	1,038.63
65105	US BANK CORPORATE PAYME	IOS-frames-NW	Office supplies	100-42201-2110	17.36
65105	US BANK CORPORATE PAYME	AMAZON-oxygen sensors-NW	Operating supplies	100-42201-2290	39.80
65105	US BANK CORPORATE PAYME	AMAZON-memory card-NW	Operating supplies	100-42201-2290	144.99
65105	US BANK CORPORATE PAYME	FIREHOSE DIRECT-Hose-MR	Operating supplies	100-42201-2290	379.47
65105	US BANK CORPORATE PAYME	AMAZON-textbook-NW	Training supplies	100-42201-3530	-89.18
65105	US BANK CORPORATE PAYME	AMAZON-plastic permit bags-	Office supplies	100-42401-2110	83.96
65105	US BANK CORPORATE PAYME	AMAZON-plastic permit bags-	Office supplies	100-42401-2110	20.99
65105	US BANK CORPORATE PAYME	IOS-toner nicole-NW	Office supplies	100-42401-2110	203.21
65105	US BANK CORPORATE PAYME	MN ONSITE-Mark Jones soils	Training/conferences/schools	100-42401-3510	300.00
65105	US BANK CORPORATE PAYME	MN ONSITE-Tom D. Soils Class	Training/conferences/schools	100-42401-3510	300.00
65105	US BANK CORPORATE PAYME	AMAZON-cellphone case-NW	Operating supplies	100-43101-2290	-11.89
65105	US BANK CORPORATE PAYME	AMAZON-screen cover-NW	Operating supplies	100-43101-2290	6.99
65105	US BANK CORPORATE PAYME	AMAZON-cellphone case Juan	Operating supplies	100-43101-2290	59.95
65105	US BANK CORPORATE PAYME	AMAZON-xacto blades-NW	Operating supplies	100-43101-2290	23.39
65105	US BANK CORPORATE PAYME	AMAZON-screen protector-N	Operating supplies	100-43101-2290	13.98
65105	US BANK CORPORATE PAYME	AMAZON-cellphone case-NW	Operating supplies	100-43101-2290	17.88
65105	US BANK CORPORATE PAYME	AMAZON-#55 springs-NW	Equipment parts & supplies	100-43101-2320	-185.04
65105	US BANK CORPORATE PAYME	AMAZON-Unit 61 surge prote	Equipment parts & supplies	100-43101-2320	114.36
65105	US BANK CORPORATE PAYME	FAIRCHILD-#70 electrical conn	Vehicle parts & supplies	100-43101-2340	78.22
65105	US BANK CORPORATE PAYME	HARBOR FREIGHT-Parts wash	Small tools	100-43101-2410	309.51
65105	US BANK CORPORATE PAYME	AMAZON-12v batteries-NW	Small tools	100-43101-2410	34.99
65105	US BANK CORPORATE PAYME	DAYS INN-Hotel for Matts CDL	Training/conferences/schools	100-43101-3510	305.61
65105	US BANK CORPORATE PAYME	OFFICE MAX-Exacto Blades-J	Equipment parts & supplies	100-43401-2320	22.47
65105	US BANK CORPORATE PAYME	WOLCYN TREE FARM-Tree for	Operating supplies	100-44101-2290	275.00
65105	US BANK CORPORATE PAYME	AMAZON-#55 springs-NW	Equipment parts & supplies	100-44101-2320	235.90
65105	US BANK CORPORATE PAYME	SHOUP MFG-#55 pick up toot	Equipment parts & supplies	100-44101-2320	63.08
65105	US BANK CORPORATE PAYME	HARBOR FREIGHT-Trans Pump	Small tools	100-44101-2410	24.99
65105	US BANK CORPORATE PAYME	HARBOR FREIGHT-park/shop t	Small tools	100-44101-2410	332.06
65108	VERIZON WIRELESS	MR	Phones/radios/pagers	100-42201-3210	41.11
65108	VERIZON WIRELESS	TD, MJ & 2 LAPTOPS	Phones/radios/pagers	100-42401-3210	162.24
65108	VERIZON WIRELESS	JK, JW, JC, CS, EH, & 2 LAPTOP	Phones/radios/pagers	100-43101-3210	293.58
65108	VERIZON WIRELESS	DH, AC, MS	Phones/radios/pagers	100-44101-3210	123.31
65109	WRIGHT-HENNEPIN COOPERA	JUNE ELEVATOR MONITORING	Monitoring	100-41702-3145	10.00
65109	WRIGHT-HENNEPIN COOPERA	JUNE SECURITY MONITORING	Monitoring	100-41702-3145	33.95
65109	WRIGHT-HENNEPIN COOPERA	BATTERY INSTALLATION	Building repair & maintenanc	100-41702-3420	170.00
65109	WRIGHT-HENNEPIN COOPERA	JUNE PW FIRE PANEL MONIT	Monitoring	100-43104-3145	52.95

Council Approval List

Payment Dates: 5/16/2023 - 6/5/2023

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
DFT0002543	COMPENSATION CONSULTAN	Health Savings Account	HSA Account	100-21712	150.00
DFT0002544	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	1,905.00
DFT0002544	EMPOWER	Roth IRA	Deferred compensation	100-21704	50.00
DFT0002545	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	5,669.66
DFT0002545	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,906.46
DFT0002545	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	7,553.54
DFT0002546	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,533.45
DFT0002547	PERA	Retirement-Coordinated	PERA	100-21703	6,782.24
DFT0002547	PERA	Retirement-Elected Officials	PERA	100-21703	81.68
DFT0002547	PERA	Retirement-Police & Fire	PERA	100-21703	1,181.43
DFT0002548	COMPENSATION CONSULTAN	Health Savings Account	HSA Account	100-21712	150.00
DFT0002549	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	1,905.00
DFT0002549	EMPOWER	Roth IRA	Deferred compensation	100-21704	50.00
DFT0002550	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	5,624.21
DFT0002550	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,588.90
DFT0002550	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	6,290.78
DFT0002551	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,508.34
DFT0002552	PERA	Retirement-Coordinated	PERA	100-21703	6,790.86
DFT0002552	PERA	Retirement-Police & Fire	PERA	100-21703	1,197.86
DFT0002553	US POSTMASTER	SR CENTER POSTAGE	Postage Liability	100-20204	40.26
DFT0002554	US POSTMASTER	JUNE HAM LAKER POSTAGE	Postage	211-41704-2120	1,139.09
<b>Grand Total:</b>					<b>322,358.30</b>



City of Ham Lake, MN

# EFT Payroll Check Register Report Summary

Pay Period: 4/30/2023-5/13/2023

Packet: PYPKT01476 - PPE 05/13/23 PAID 05/19/23  
Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	71	46,586.30
<b>Total</b>	<b>71</b>	<b>46,586.30</b>



City of Ham Lake, MN

# EFT Payroll Check Register

## Report Summary

Pay Period: 5/14/2023-5/27/2023

Packet: PYPKT01482 - PPE 05/27/23 PAID 06/02/23

Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	35	36,528.99
<b>Total</b>	<b>35</b>	<b>36,528.99</b>

## ORDINANCE NO. 23-XX

**An Ordinance Amending ARTICLE 5, EXCEPTIONS FOR CHICKENS relating to the raising of chickens in areas zoned R-1 and RS-1, subject to certain conditions.**

**Be it Ordained by the City Council of the City of Ham Lake, Anoka County, Minnesota as follows:**

### **5-330 Exception for Chickens**

The keeping or raising of chickens in areas zoned R-1 and RS-1 shall be allowed, subject to the following terms, limitations, and conditions.

1) The following conditions shall apply to every person who owns, controls, keeps, or maintains chickens on a residential city lot in areas zoned R-1 and RS-1:

- a) No more than ~~±5~~ 20 chickens shall be allowed.
- b) No roosters or other poultry shall be allowed.
- c) ~~The chickens shall be housed in a coop, which shall be of wood frame construction, with a pitched roof. Roofing and siding shall match the house. The chickens shall be housed in~~ a coop of sturdy construction which is weather tight, ventilated to insure air circulation and properly sized for the number of chickens that are housed. Roofing and siding shall be similar to existing building on the property.
- d) The chicken coop shall be located in the rear or side yard, not in the front or street side of the lot and shall meet the same setback as the dwelling.
- e) ~~The area in which the chickens are allowed to roam shall contain no more than 400 square feet, An outside pen or chicken run which allows chickens to roam shall be no more than 400 square feet,~~ and shall be completely enclosed by chicken wire mesh, including mesh over the top to prevent any escape by the chickens. The frame of the enclosure shall be ~~of wood construction, painted to blend with the colors of the other buildings, be made of~~ decaying resistant material and the enclosure of the coop shall be maintained to present a neat and orderly appearance at all times.
- f) ~~At no time shall chickens be allowed out of the enclosed screened area or coop. Chickens may be allowed outside of the coop or run if the free-range area is completely fenced to prevent escape of the chickens or attacks from predators.~~
- g) So long as the structure comprising the coop is less than 150 square feet or less at the foundation level, no building permit shall be required, and the structure shall not be considered an "accessory building". The coop shall be a freestanding building, and may not be attached to or be a part of a garage or house. The coop and screened enclosure shall be located at least ~~fifty~~ ten feet from any well, and at least ~~thirty~~ ten feet from any other building on the property.
- h) ~~Removal and proper disposal of all manure shall be completed at least every four days. Manure shall not be deposited in household trash bins. Removal of manure shall be performed as needed to prevent odors and elevated ammonia levels. Manure shall not be deposited in household trash bins.~~
- i) If eggs are harvested, they may not be sold to others.

- j) Every person owning, keeping, controlling, or maintaining chickens shall be responsible for the care and the welfare of the chickens on a daily basis, and shall not violate any code, rule or regulation of any governmental entity relating to the raising of animals.
- 2) The City Council may impose additional conditions at any time, including the requirement that opaque fencing or vegetative screening be installed to prevent the coop and enclosure from being viewed by nearby residential uses. Such additional conditions may be imposed after providing notice to the person raising chickens on a particular lot and providing that person an opportunity to be heard. ~~If, however, the City, in its sole discretion, believes in good faith that the chickens on a particular lot pose a threat to public health, safety or welfare, the City may order the immediate removal of the chickens. Every person owning, keeping, controlling, or maintaining chickens shall allow unlimited access to the City's agents, without notice, for the purpose evaluating the threat of communicable diseases or other public health threat associated with the presence of the chickens. For the purpose of Code Enforcement, normal due process procedures will be followed by the City.~~

**Presented the Ham Lake City Council on May 15, 2023 and adopted by a unanimous vote this 5<sup>th</sup> day of June, 2023.**

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**Brian Kirkham, Mayor**

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**Denise Webster, City Clerk**

## Memorandum

Date: March 31, 2023  
To: Mayor and Councilmembers  
From: Tom Collins, City Engineer **TPC**  
Subject: Park – Hidden Forest East Park Addition

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**Introduction:**

The Hidden Forest East Park Addition includes parkland dedication of 27.12 acres (<https://gis.anokacountymn.gov/propertysearch/?find=25-32-23-31-0006>), of which is 10.64 acres of delineated wetlands. In addition to general parkland upgrades on the southerly portion of the Park, there has been discussion about the creation of a wetland bank on the northerly portion of the project, thru the conversion of uplands to wetlands and the enhancement of existing wetlands. **The potential wetland banking area would be approximately 13 acres.**

**Discussion:**

A potential wetland bank project has been discussed with the Coon Creek Watershed District, and they do not have any concerns with the City pursuing a wetland bank project in this location. The CCWD supplied contact information for three different companies that are experienced in the creation of wetland banks. Those companies were Anderson Engineering, Bolton-Menk and SEH. I sent an email to each (Anderson Engineering email attached for reference), and I met with Anderson Engineering, had a phone call with Bolton-Menk and email correspondence with SEH.

Anderson Engineering emailed the attached \$3,340 proposal for completing a feasibility study. Per the attached email correspondence with SEH, their cost for completing a feasibility study would be “in the low thousands”. A proposal was not received from Bolton-Menk for a feasibility study. Anderson Engineering is currently working on a wetland banking project with the Coon Creek Watershed District.

**Recommendation:**

It is recommended that the attached Anderson Engineering contract be executed for the feasibility analysis of a wetland bank.



KNOW ALL PERSONS BY THESE PRESENTS: That HFN Properties, LLC, a Minnesota limited liability company, owner of the following described property:

Tract C, Registered Land Survey No. 274, Anoka County, Minnesota. (Torrens Property/Certificate of Title No. 148269)

AND

Outlot C, Hidden Forest East, Anoka County, Minnesota. (Torrens Property/Certificate of Title No. 148261)

Has caused the same to be surveyed and platted as HIDDEN FOREST EAST PARK ADDITION and does hereby dedicate to the public for public use the drainage and utility easements and the park as shown on this plat.

In witness whereof said HFN Properties, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this 7th day of December, 2021.

HFN PROPERTIES, LLC

Jeffrey A. Stalberger, Administrator

STATE OF Minnesota COUNTY OF Anoka

This instrument was acknowledged before me this 7th day of December, 2021 by Jeffrey A. Stalberger, Administrator of HFN Properties, LLC, a Minnesota limited liability company.

Denise Webster (Signature) (Print Name)

Notary Public, Anoka County, Minnesota My Commission Expires 1/31/2022

I, Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this 10th day of NOVEMBER, 2021.

Jason E. Rud, Licensed Land Surveyor Minnesota License No. 41578

STATE OF MINNESOTA COUNTY OF Anoka

This instrument was acknowledged before me this 10th day of November, 2021 by Jason E. Rud.

LaVoe Mack (Signature) (Print Name)

Notary Public, Anoka County, Minnesota My Commission Expires January 31, 2022

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of HIDDEN FOREST EAST PARK ADDITION was approved and accepted by the City Council of the City of Ham Lake, Minnesota as a regular meeting thereof held this 21st day of December, 2021, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ham Lake, Minnesota

By [Signature] Mayor

By [Signature] Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this 8th day of December, 2021.

David M. Ziegler, Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 2021 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this 8th day of December, 2021.

Pamela J. LeBlanc, Property Tax Administrator

By [Signature] Deputy

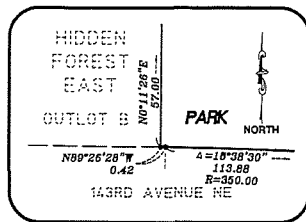
COUNTY RECORDER/REGISTRAR OF TITLES COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of HIDDEN FOREST EAST PARK ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this 28th day of December, 2021, at 10:01 o'clock A.M. and was duly recorded as Document Number 2021195022.

Pamela J. LeBlanc, County Recorder/Registrar of Titles

By [Signature] Deputy

DETAIL (NOT TO SCALE)



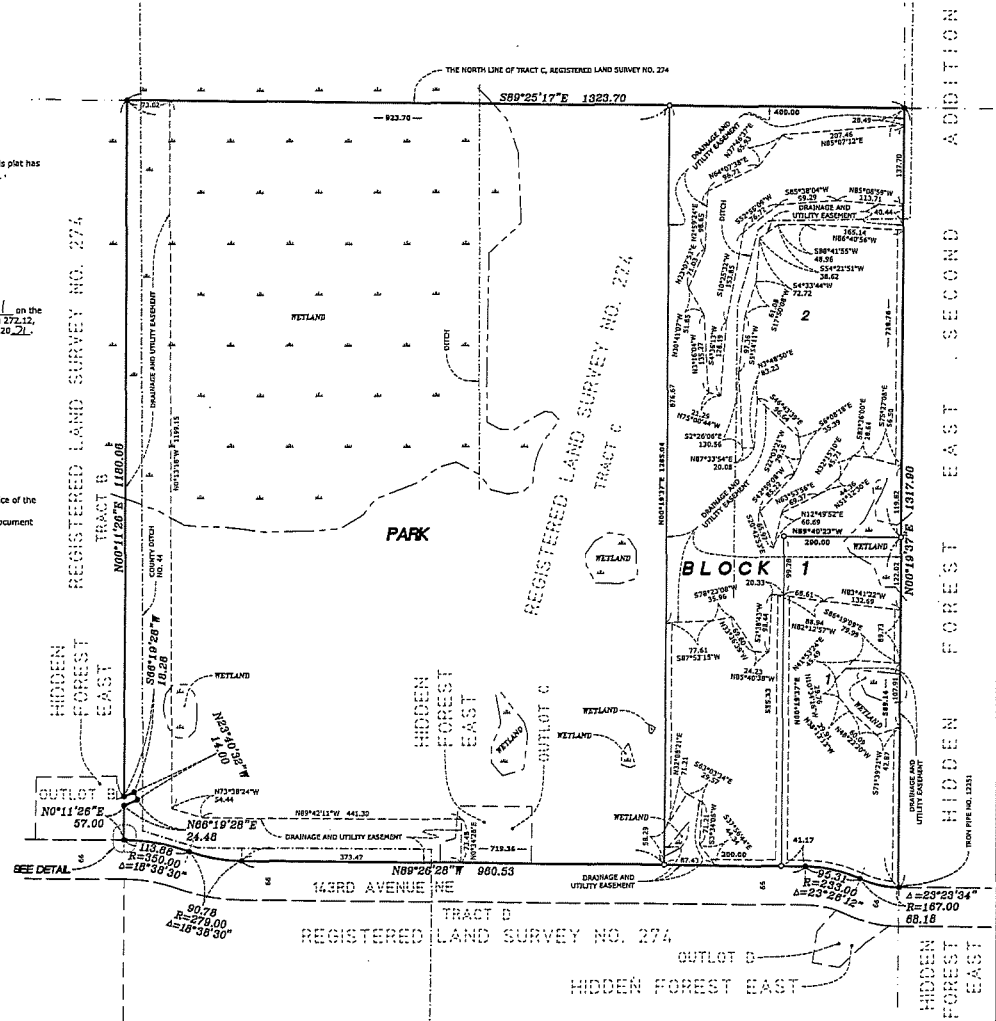
TYPICAL EASEMENTS (NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

HIDDEN FOREST EAST PARK ADDITION

CITY OF HAM LAKE COUNTY OF ANOKA SEC. 25, T32N, R23W



FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF TRACT C, REGISTERED LAND SURVEY NO. 274, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 25 MINUTES 17 SECONDS EAST.

NOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED RLS NO. 41578.

NOTES 1/2 INCH IRON PIPE FOUND, MARKED RLS NO. 41578, UNLESS OTHERWISE SHOWN.

8560

NOTES WETLAND AS DELINEATED BY KOKOMOJUNG ENVIRONMENTAL IN JULY, 2020



**LEGEND**

- DELINEATED METLAND
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- COUNTY DITCH
- PRIVATE DITCH
- TREE LINE



Drawn	CSA	Date	5/22/23	Project No.	2302.036	Sheet No.	1
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Description  
**PARKLAND**

Project  
**HIDDEN FOREST EAST PARK ADDITION**

13635 Johnson Street  
 Ham Lake, MN 55304  
 Voice: 763.862.8000  
 Fax: 763.862.8042



## Tom Collins

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**From:** Erin Edison <eedison@cooncreekwd.org>  
**Sent:** Monday, April 24, 2023 11:24 AM  
**To:** Tom Collins  
**Subject:** RE: Parkland - Hidden Forest East Park Addition

Hi Tom,

How exciting! The District does not have any concerns with the City pursuing a wetland bank here. I spoke with my TEP briefly about it and we agreed that there is banking potential here. I haven't worked on a lot of bank applications so I don't have a ton of contacts for you, but Ben Hodapp with Anderson Engineering is working on one with us right now. The TEP folks also mentioned SEH and Bolton & Menk as companies they know have worked on bank plans before. They mentioned that in general they have seen success with the larger engineering firms that have wetland scientists on staff. These companies can sometimes be better equipped to handle all the different aspects of wetland banking in house. Whoever will be working on this project should put together a draft prospectus for me and the TEP to review. Even though it's not technically a required step, it is very helpful for all parties involved.

Let me know if you have any other questions or need any additional info.

Thanks!

### Erin Edison, CMWPIT

Watershed Development Coordinator



763.392.8875 direct  
763.334.0192 cell  
763.755.0975 office  
13632 Van Buren NE  
Ham Lake, MN 55304  
www.cooncreekwd.org

**Attn:** Please send all electronic submittals to [permitsubmittals@cooncreekwd.org](mailto:permitsubmittals@cooncreekwd.org). If a document is sent to individual staff and not the permit submittals email, it will not be considered a submittal. This is in an effort to ensure submittals are not missed and are processed in a timely manner.

**From:** Tom Collins <TCollins@rfcengineering.com>  
**Sent:** Thursday, April 20, 2023 11:14 AM  
**To:** Erin Edison <eedison@cooncreekwd.org>  
**Subject:** Parkland - Hidden Forest East Park Addition

Hi Erin,

The Hidden Forest East Park Addition includes parkland dedication of 27.12 acres, of which 10.64 acres +/- was wetland. This was District Permit 20-169. The City is considering upgrades to the southerly portion of the parkland either this year or next year. The City is considering the creation of a wetland bank on the northerly portion of the parkland, either thru the creation of wetlands on the easterly portion of the parcel or the enhancement of existing wetlands per the Kjolhaug delineation. The City Attorney's email about the potential creation of a wetland bank is attached. Would the District have any concerns with the City pursuing the creation of a wetland bank of approximately 20 acres in size? Does the District have any recommendations on consultants that the City should consider that have experience in the creation of wetland banks?

Tom

## Tom Collins

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**From:** Tom Collins  
**Sent:** Monday, May 22, 2023 1:53 PM  
**To:** Ben Hodapp  
**Cc:** Brian Kirkham  
**Subject:** Hidden Forest East Park Addition  
**Attachments:** HIDDEN FOREST EAST PARK ADDITION.pdf; Parkland Aerial - Hidden Forest East Park Addition.pdf; 2021-006\_HamLake\_143rdAve\_RarePlantSurvey\_Report.pdf

Good morning Ben,

I am the consulting City Engineer for the City of Ham Lake, that is considering the creation a wetland bank within parkland that was dedicated with the attached plat of Hidden Forest East Park Addition. Here is the parcel link - <https://gis.anokacountymn.gov/propertysearch/?find=25-32-23-31-0006>. The potential wetland bank would be thru the conversion of upland to wetlands and the enhancement of existing wetlands. The Hidden Forest East Park Addition includes parkland dedication of 27.12 acres, of which 10.64 acres +/- was wetland. The estimated area for the wetland bank would be somewhere between 12 to 14 acres.

The proposed scope is to enhance or create wetlands in the northerly 60% +/- of the parcel. This was sod field last year. An aerial photo is attached. The northwesterly wetland, excluding that portion within the westerly County Ditch #44-7 easement, would be enhanced and the northeasterly upland sod field would be converted to wetland. A trail would be proposed on the west, north and east sides of the northeasterly wetland conversion area. The aerial photo shows the wetland boundary per the TEP approved 2021 Kjolhaug wetland delineation. The southerly 40% +/- would be utilized for park purposes, which is the non-sod field and wooded area on the aerial photo. The City understand that any wetland credit proceeds would be earmarked and used for park related purposes.

I spoke with Erin Edison of the Coon Creek Watershed District, and the CCWD does not have any concerns with the City pursuing a wetland bank. Erin indicated that you are working on a wetland bank with the CCWD. Per the attached Rare Plant Survey Report, there are no on-site rare/threatened plants. I am requesting your input on whether this is a cost-effective endeavor that the City should pursue. If so, I am requesting a proposal for Anderson Engineering to obtain TEP approval of a wetland bank and the subsequent monitoring. Per my discussions with Erin Edison, the first submittal would be a draft prospectus for the TEP to review.

Please contact me if you have any questions or need additional information. Thanks.

Tom Collins

RFC Engineering, Inc.  
13635 Johnson Street  
Ham Lake, Minnesota 55304  
P: (763) 862-8000  
F: (763) 862-8042



May 26, 2023

Via-E-mail: [tcollins@rfcengineering.com](mailto:tcollins@rfcengineering.com)

Tom Collins  
RFC Engineering for the City of Ham Lake  
13635 Johnson Street  
Ham Lake, MN 55304

**Subject: Proposal for Wetland Mitigation Bank Feasibility Analysis  
Hidden Forest East Park, Ham Lake, Anoka County, Minnesota**

Anderson is pleased to present this proposal to prepare a Wetland Mitigation Bank Feasibility Analysis for a portion of a 27-acre property known as Hidden Forest East Park located within the City of Ham Lake. The feasibility analysis is intended to provide baseline data and site-specific details to educate owner before deciding to invest time and money towards planning, design, permitting, constructing, monitoring and perpetual preservation of a wetland mitigation bank in coordination with United States Army Corps of Engineers, Minnesota Board of Waters and Soil Resources and Coon Creek Watershed District.



**Fee**

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- 1. Wetland Mitigation Bank Feasibility Analysis Lump Sum Fixed Fee **\$ 3,340.00**

**Scope**

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- 1. Wetland Mitigation Bank Feasibility Analysis
  - A. Summarize regulatory process, eligible credit generating actions, and applicability to site
  - B. Identify list of typical potential constraints and encumbrances
  - C. Develop concept map identifying potentially eligible credit areas

- D. Develop concept credit yield
- E. Develop concept credit release/certification schedule
- F. Develop concept plan of restoration activities
- G. Develop rough order of magnitude opinion of cost
- H. Develop opinion of credit value and market demand
- I. Develop concept schedule of anticipated activities

**Project Assumptions and Exclusions**

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- Assumes client to provide copy of previously prepared studies, reports and/or site-specific data
- Excludes any site-specific land survey, engineering, or permitting services

**Timing**

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Anderson anticipates delivering wetland mitigation bank feasibility analysis to client within 14-business days following receipt of signed contract and authorization to proceed from client.

**Respectfully,**

*Benjamin J. Hodapp*

Benjamin J Hodapp, PWS  
Principal Scientist – Environmental Group Lead  
MN Certified Wetland Delineator #1016



# CONTRACT

## Wetland Mitigation Bank – Feasibility Analysis

Hidden Forest East Park, Ham Lake

Please sign and return one copy of this Proposal Contract as acceptance of the Agreement and Authorization to proceed as described herein.

### **CONTRACT ACCEPTANCE:**

By signing this Contract, the signatory: (1) warrants that he or she has the authority to enter into this Agreement as the Client or the Client’s Authorized Agent or as an officer of the Clients Business, and (2) accepts and agrees to be bound by the provisions proposed in this Agreement, including any and all attachments included by reference. The signatory of this Contract is ultimately responsible for payment of this contract.

Client: \_\_\_\_\_ Phone \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Authorized Agent: \_\_\_\_\_ Title: \_\_\_\_\_ Phone: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### **Credit Policy & Lien Rights**

Unpaid amounts on invoices past due (more than 15 days after the invoice is sent) **will be assessed a finance charge of 1.5% per month** until Anderson Engineering of Minnesota, LLC (AE), receives payment. Payment to AE is not contingent upon the Client’s ability to obtain financing or the Client receiving payment or the success of the client’s project. AE hereby gives the Client notice that, pursuant to Minnesota Statutes Chapter 514, AE retains the right to file a lien against real property, which is the subject of this Contract.

### **Payment for Services**

Project work will be invoiced on a monthly basis. Additional work requested beyond the scope of services will be billed at the time that services are rendered based upon our current billing rates. Payment is required within 15 days from invoice date.



### CERTIFICATIONS

Professional Wetland Scientist #1832  
 MN Certified Wetland Delineator #1016

### EDUCATION

MS Water Resources Management  
 University of Wisconsin-Madison

BS Biology; Ecology  
 Minnesota State University- Mankato

### SPECIALIZED TRAINING

Wetland Delineation & Management  
 Training  
 Richard Chinn Environmental Training, Inc.

Wetland Plant Identification  
 Biotic Consultants Inc.

Plant Identification for Wetland Delineation  
 University of Wisconsin-La Crosse

Watershed Academy Web Certificate  
 United States Environmental Protection  
 Agency

### PROFESSIONAL ASSOCIATIONS

Society of Wetland Scientists  
 MN Wetland Professionals Association  
 (WPA)

MN WPA President 2010  
 Wisconsin Wetlands Association  
 Association of State Wetland Managers  
 Minnesota Native Plant Society  
 Ecological Society of America

### TOTAL EXPERIENCE

22 years

### YEARS WITH CURRENT FIRM

2004 to Present

### SUMMARY OF EXPERIENCE

Benjamin Hodapp, an Environmental Scientist and Senior Project Manager, brings a broad background of knowledge and experience in the environmental field to the Anderson Engineering team. Benjamin has a unique combination of multi-disciplinary academic training and work experience at various levels of federal, state and local government, and private consulting. Benjamin's project experience includes natural resource inventory and assessment; wetland delineation, mitigation design and monitoring; regulatory permitting; agency and stakeholder coordination; environmental impact assessment, environmental document preparation and public outreach.

### REPRESENTATIVE PROJECTS

**Minnesota Meadows Restoration Preserve Wetland Mitigation Bank, Ham Lake, MN (2021-Present):** Project Manager for evaluation of potential 160-acre wetland mitigation bank on private agricultural (sod field). Tasks completed to date include feasibility analysis, draft prospectus, agency coordination meetings and deployment of hydrology monitoring wells.

**Refuge at Rush Creek, Wetland Mitigation Bank, Corcoran, MN (2018 – Present):** Project Manager for development of 50-acre wetland mitigation bank on private agricultural land approved by federal, state and local agencies. Tasks included feasibility analysis, draft prospectus, wetland delineation, restoration plan, establishment monitoring plan, prospectus, final application, construction oversight, and five-year vegetation establishment/hydrology monitoring and reporting.

**KLM Farms Wetland Mitigation Bank, North Branch, MN (2018 – Present):** Project Manager for development of 40-acre wetland mitigation bank on private sod fields approved by federal, state and local agencies. Tasks included feasibility analysis, draft prospectus, wetland delineation, restoration plan, establishment monitoring plan, prospectus, final application, construction oversight, and five-year vegetation establishment/hydrology monitoring and reporting.

**Grygelko Wetland Mitigation Bank, Buffalo, MN (2018 – Present):** Project Manager for development of 22-acre wetland mitigation bank on private agricultural land approved by federal, state and local agencies. Tasks included feasibility analysis, draft prospectus, wetland delineation, restoration plan, establishment monitoring plan, prospectus, final application, construction oversight, and five-year vegetation establishment/hydrology monitoring and reporting.

**St Michael Crow River Wetland Mitigation Bank, St Michael, MN (2021 – Present):** Project Manager for development of 60-acre wetland mitigation bank on private agricultural land approved by federal, state and local agencies. Tasks included feasibility analysis, draft prospectus, wetland delineation, restoration plan, establishment monitoring plan, prospectus, final application, construction oversight, and five-year vegetation establishment/hydrology monitoring and reporting.

**Lemke Wetland Mitigation Bank, Cologne, MN (2019 – Present):** Project Manager for development of 20-acre wetland mitigation bank on private agricultural land approved by federal, state and local agencies. Tasks included feasibility analysis, draft prospectus, wetland delineation, restoration plan, establishment monitoring plan, prospectus, final application, construction oversight, and five-year vegetation establishment/hydrology monitoring and reporting.



## Tom Collins

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**From:** Deric Deuschle <ddeuschle@sehinc.com>  
**Sent:** Thursday, May 25, 2023 7:55 AM  
**To:** Tom Collins; Rebecca Beduhn  
**Cc:** Brian Kirkham  
**Subject:** RE: Hidden Forest East Park Addition

Tom,

I think your approach is wise, as the entire process is a significant use of time and resources and some certainty on the outcome is needed to determine if this is something the City should pursue.

I know this is a preliminary opinion, but I think this site is on the bubble of being feasible. There is definitely the potential to restore wetland, but small sites are definitely more expensive per acre. You may also be limited on the percent of credit, depending on how much is wetland and the percent of time in the past ten years that it was used for sod production. I am also concerned that you may have to reduce crediting to account for remaining adjacent ditches that you cannot fully restore, as BWSR has requested on similar projects. A perimeter of reduced credit and upland buffer may result in less potential credit. We have also experienced reducing the activity/credit to avoid changes off-property, which can also limit the extent of restoration possible. A thorough analysis would be worthwhile.

SEH would be happy to provide a proposal for the feasibility study, which would include:

- Concept plan for the potential bank
- Range of credit potential
- Estimates of cost/effort for approval process
- Estimates of costs for construction and post-construction tasks
- Timeframe for process and credit releases
- Estimates of credit value
- Overall schedule and credit release schedule
- General considerations and risks
- Summary of current market and competition
- If possible, a recommendation on proceeding or not. I keep this vague, as it may not be clear enough to make a formal recommendation
- Presentation to City Council (as directed)

The Draft Prospectus is the initial step, and is a fairly basic form that starts the process. This is useful for getting agency feedback, but I agree that you should do an initial feasibility study to be sure it makes sense to proceed. The Draft Prospectus may be a good next step if the feasibility study is inconclusive, or you want to use the initial process as a means of backchecking some of the assumptions. I would not include the Draft Prospectus with this step.

I have not calculated a cost estimate for this yet, but it would probably be in the low thousands as we have a lot of banking experience to draw from.

If this approach matches what you're looking for we can provide more specifics, but I thought this may be helpful to ensure we are on the same page.

Meeting with you is also an option to talk through it and be certain.

Thanks.

**From:** Tom Collins <TCollins@rfcengineering.com>  
**Sent:** Wednesday, May 24, 2023 8:13 AM  
**To:** Rebecca Beduhn <rbeduhn@sehinc.com>  
**Cc:** Brian Kirkham <bkirkham@ci.ham-lake.mn.us>; Deric Deuschle <ddeuschle@sehinc.com>  
**Subject:** RE: Hidden Forest East Park Addition

Good morning Rebecca,

SEH would be the design engineer for the project. On a preliminary basis, it appears that hydrology could be restored by plugging the ditch on the east side of the previously sodded wetland that drains to the north.

The City does not have a specific timeline for the project. It is understood that the approval timeframe is approximately 2 years.

There are no specific goals for crediting amounts. The City would be relying on the wetland consultant to give direction on whether the project should be pursued based on consultant costs, contractor costs and anticipated credits for wetlands and buffers.

Very much interested in breaking the project into smaller contracts. The first contract would be for a feasibility study to give an overall big picture to the City Council on estimated costs, timeframe, potential credits (state/federal), etc. so that the Council can make a decision on whether to have a prospectus completed for TEP/Corps submittal. The second contract would be the prospectus and the final would be project approvals and monitoring during the 5-year period after approvals.

Sorry about the Anderson Engineering reference. I am soliciting quotes from 3 different wetland specialists, and Anderson was the first. I should have caught that.

I am including additional information that may assist with your proposals. Attached are the preliminary plat, that includes topography, the wetland xml email, the NOD email, the wetland delineation addendum email and a CAD file that includes topography and the approved wetland boundary.

I am certainly available to meet if it would be useful.

Tom

**From:** Rebecca Beduhn <rbeduhn@sehinc.com>  
**Sent:** Tuesday, May 23, 2023 2:55 PM  
**To:** Tom Collins <TCollins@rfcengineering.com>  
**Cc:** Brian Kirkham <bkirkham@ci.ham-lake.mn.us>; Deric Deuschle <ddeuschle@sehinc.com>  
**Subject:** RE: Hidden Forest East Park Addition

Hi Tom-

Thanks for reaching out. We have a few follow up questions for you for clarification.

- Will RFC be the design engineer on the project? If so, do you have any concept drawings of what you are thinking you might do to restore hydrology?

- What is the proposed timeline of the project? Construction, when credits are available, etc?
- What are the project's goals for crediting amounts? Do you have a make or break "We need ## acres to make this project viable" in mind?
- Do you have any interest in breaking this project into smaller contracts, and starting with only the draft prospectus instead of going all the way through monitoring at this time? Happy to discuss our potential thoughts on this one more if that would be useful for you.
- Per your last paragraph below, is it your intention to only solicit proposals from Anderson Engineering?

SEH would be happy to schedule a meeting with you to discuss in greater detail if that would be useful, just let us know.

Thanks-

Rebecca Beduhn, MS  
 Professional Wetland Scientist (PWS), Certified MN Wetland Professional (CMWP)  
 Natural Resource Specialist  
 Short Elliott Hendrickson Inc.  
 651.490.2146 office | 651.470.6027 cell  
 Building a Better World for All of Us®

Interested in learning more about Wetland Delineations? [Watch and Learn](#)

**From:** Tom Collins <[TCollins@rfcengineering.com](mailto:TCollins@rfcengineering.com)>  
**Sent:** Monday, May 22, 2023 2:05 PM  
**To:** Rebecca Beduhn <[rbeduhn@sehinc.com](mailto:rbeduhn@sehinc.com)>  
**Cc:** Brian Kirkham <[bkirkham@ci.ham-lake.mn.us](mailto:bkirkham@ci.ham-lake.mn.us)>  
**Subject:** Hidden Forest East Park Addition

Good afternoon Rebecca,

I am the consulting City Engineer for the City of Ham Lake, that is considering the creation a wetland bank within parkland that was dedicated with the attached plat of Hidden Forest East Park Addition. Here is the parcel link - <https://gis.anokacountymn.gov/propertysearch/?find=25-32-23-31-0006>. The potential wetland bank would be thru the conversion of upland to wetlands and the enhancement of existing wetlands. The Hidden Forest East Park Addition includes parkland dedication of 27.12 acres, of which 10.64 acres +/- was wetland. The estimated area for the wetland bank would be somewhere between 12 to 14 acres.

The proposed scope is to enhance or create wetlands in the northerly 60% +/- of the parcel. This was sod field last year. An aerial photo is attached. The northwesterly wetland, excluding that portion within the westerly County Ditch #44-7 easement, would be enhanced and the northeasterly upland sod field would be converted to wetland. A trail would be proposed on the west, north and east sides of the northeasterly wetland conversion area. The aerial photo shows the wetland boundary per the TEP approved 2021 Kjolhaug wetland delineation. The southerly 40% +/- would be utilized for park purposes, which is the non-sod field and wooded area on the aerial photo. The City understand that any wetland credit proceeds would be earmarked and used for park related purposes.

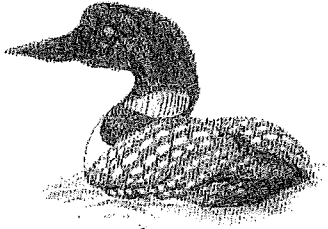
I spoke with Erin Edison of the Coon Creek Watershed District, and the CCWD does not have any concerns with the City pursuing a wetland bank. Erin indicated that SHE has worked with the TEP on wetland banking in the past. Per the attached Rare Plant Survey Report, there are no on-site rare/threatened plants. I am requesting your input on whether this is a cost-effective endeavor that the City should pursue. If so, I am requesting a proposal for Anderson Engineering to obtain TEP approval of a wetland bank and the subsequent monitoring. Per my discussions with Erin Edison, the first submittal would be a draft prospectus for the TEP to review.

Please contact me if you have any questions or need additional information. Thanks.

Tom Collins

RFC Engineering, Inc.  
13635 Johnson Street  
Ham Lake, Minnesota 55304  
P: (763) 862-8000  
F: (763) 862-8042

Meeting Date: June 5, 2023



**CITY OF HAM LAKE**

*Staff Report*

**To:** Mayor and Councilmembers

**From:** Denise Webster, City Administrator

**Subject: Cleaning Contract**

**Introduction/Discussion:** I received notice that CMT Janitorial Services who does the monthly cleaning for City Hall, Public Works, the Senior Center and Fire Stations #1 and #2 is increasing the monthly cleaning fee from \$1,293 to \$1,525 a month due to the continuing change in the market and wage conditions. We have contracted with them since 2021 and have had no issues with their services.

We recently received another quote for cleaning and the price was over double what we currently pay.

**Recommendation:** I recommend approving a new contract with CMT Janitorial Services at a cost of \$1,525 per month effective July 1, 2023.

**Meeting Date: June 5, 2023**



***CITY OF HAM LAKE  
STAFF REPORT***

**To: Mayor and Councilmembers**

**From: Dawnette Shimek, Deputy City Clerk**

**Item/Title/Subject: Temporary One-Day Liquor License**

**Introduction/Discussion:** Attached is an application from the Brown Boys Benefit requesting a Temporary One-Day Liquor License at Willow Tree Vineyard at 828 Constance Boulevard NE for July 15, 2023.

**Recommendation:** I recommend approval of the Temporary One-Day Liquor License for the Brown Boys Benefit for July 15, 2023.

APPLICATION FOR ON-SALE/OFF-SALE  
3.2 PERCENT MALT LIQUOR / one day

TO: Ham Lake City Council  
Of the City of Ham Lake  
County of Anoka, State of Minnesota

Andrew Brown, Brown Boys Benefit, whose name and address is subscribed hereto, hereby make application for an On sale/Off sale license to sell 3.2 percent malt liquor on those certain premises in the City of Ham Lake, County of Anoka, State of Minnesota known and described as follows:  
Sumner Sands Charley Concert Willow Tree Minneapolis, MN  
in connection with the Brown Boys Benefit business there now and therefore conducted by said applicant since 5/16/23 for 7/15/23

Applicant states and represents:

(a - if an individual or partnership) That they are a citizen of the United States of America, who is of good moral character and repute and has attained the age of twenty one years and who is proprietor of the establishment for which this license is applied.

(b - if a corporation) That it is a corporation organized under the laws of Minnesota. That said corporation is an affiliate or subsidiary of the \_\_\_\_\_ . That the application is made on behalf of said corporation by the undersigned (officer of manager)

(c - if a club) That it is a bona fide club and is an organization for social or business purposes - or for intellectual improvement - or for the promotion of sports - where the serving of such 3.2 percent malt liquor is incidental and not the major purpose of the club.

The applicant represents that no manufacturer or wholesaler of 3.2 percent malt liquor has any ownership, in whole or in part, in the business of applicant.

Applicant herein agrees to abide by and be governed by all rules and regulations of the municipality and all laws of the state pertaining to the sale of 3.2 percent malt liquor.

Andrew Brown (Name)  
13216 Upham Ct NE (Address) Blaine, MN 55417  
[Signature]

STATE OF MINNESOTA  
COUNTY OF ANOKA

Andrew Brown being duly sworn on oath says that he/she is the person who made and signed the foregoing application, that he/she has read said application and knows the contents thereof, and that the same is true of his/her own knowledge.

[Signature]

Subscribed and sworn to before me this  
16 day of May, 2023.  
Kristin E Veschio  
(Notary Public)



MINNESOTA LAWFUL GAMBLING  
**LG220 Application for Exempt Permit**

An exempt permit may be issued to a nonprofit organization that:

- conducts lawful gambling on five or fewer days, and
- awards less than \$50,000 in prizes during a calendar year.

If total raffle prize value for the calendar year will be \$1,500 or less, contact the Licensing Specialist assigned to your county by calling 651-539-1900.

**Application Fee (non-refundable)**  
 Applications are processed in the order received. If the application is postmarked or received 30 days or more before the event, the application fee is \$100; otherwise the fee is \$150.  
 Due to the high volume of exempt applications, payment of additional fees prior to 30 days before your event will not expedite service, nor are telephone requests for expedited service accepted.

**ORGANIZATION INFORMATION**

Organization Name: Zachary NF Research Fund Previous Gambling Permit Number: X-                      
 Minnesota Tax ID Number, if any:                      Federal Employer ID Number (FEIN), if any: 83-4581219  
 Mailing Address: 30799 Walmark Lake Dr.  
 City: Chicago City State: MN Zip: 55013 County: Chicago  
 Name of Chief Executive Officer (CEO): Jessica Bartz  
 CEO Daytime Phone: 763-227-6659 CEO Email:                       
(permit will be emailed to this email address unless otherwise indicated below)  
 Email permit to (if other than the CEO): bryan@relaynetworks.com

**NONPROFIT STATUS**

Type of Nonprofit Organization (check one):  
 Fraternal     Religious     Veterans     Other Nonprofit Organization

**Attach a copy of one of the following showing proof of nonprofit status:**  
(DO NOT attach a sales tax exempt status or federal employer ID number, as they are not proof of nonprofit status.)

**A current calendar year Certificate of Good Standing**  
 Don't have a copy? Obtain this certificate from:  
 MN Secretary of State, Business Services Division  
 60 Empire Drive, Suite 100  
 St. Paul, MN 55103  
 Secretary of State website, phone numbers:  
[www.sos.state.mn.us](http://www.sos.state.mn.us)  
 651-296-2803, or toll free 1-877-551-6767

**IRS income tax exemption (501(c)) letter in your organization's name**  
 Don't have a copy? To obtain a copy of your federal income tax exempt letter, have an organization officer contact the IRS toll free at 1-877-829-5500.

**IRS - Affiliate of national, statewide, or international parent nonprofit organization (charter)**  
 If your organization falls under a parent organization, attach copies of both of the following:  
 1. IRS letter showing your parent organization is a nonprofit 501(c) organization with a group ruling; and  
 2. the charter or letter from your parent organization recognizing your organization as a subordinate.

**GAMBLING PREMISES INFORMATION**

Name of premises where the gambling event will be conducted (for raffles, list the site where the drawing will take place): Majestic Oaks Golf Course  
 Physical Address (do not use P.O. box): 701 Bunker Lake Blvd NE  
 Check one:  
 City: HAM LAKE Zip: 55304 County: ANOKA  
 Township:                      Zip:                      County:                       
 Date(s) of activity (for raffles, indicate the date of the drawing): August 14, 2023  
 Check each type of gambling activity that your organization will conduct:  
 Bingo     Paddlewheels     Pull-Tabs     Tipboards     Raffle

**Gambling equipment** for bingo paper, bingo boards, raffle boards, paddlewheels, pull-tabs, and tipboards must be obtained from a distributor licensed by the Minnesota Gambling Control Board. EXCEPTION: Bingo hard cards and bingo ball selection devices may be borrowed from another organization authorized to conduct bingo. To find a licensed distributor, go to [www.mn.gov/gcb](http://www.mn.gov/gcb) and click on **Distributors** under the **List of Licensees** tab, or call 651-539-1900.

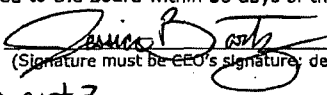


**LOCAL UNIT OF GOVERNMENT ACKNOWLEDGMENT (required before submitting application to the Minnesota Gambling Control Board)**

<p style="text-align: center;"><b>CITY APPROVAL</b> for a gambling premises located within city limits</p> <p><input type="checkbox"/> The application is acknowledged with no waiting period.</p> <p><input type="checkbox"/> The application is acknowledged with a 30-day waiting period, and allows the Board to issue a permit after 30 days (60 days for a 1st class city).</p> <p><input type="checkbox"/> The application is denied.</p> <p>Print City Name: _____</p> <p>Signature of City Personnel: _____</p> <p>_____</p> <p>Title: _____ Date: _____</p> <div style="border: 1px solid black; padding: 5px; text-align: center; margin-top: 10px;"> <p><b>The city or county must sign before submitting application to the Gambling Control Board.</b></p> </div>	<p style="text-align: center;"><b>COUNTY APPROVAL</b> for a gambling premises located in a township</p> <p><input type="checkbox"/> The application is acknowledged with no waiting period.</p> <p><input type="checkbox"/> The application is acknowledged with a 30-day waiting period, and allows the Board to issue a permit after 30 days.</p> <p><input type="checkbox"/> The application is denied.</p> <p>Print County Name: _____</p> <p>Signature of County Personnel: _____</p> <p>_____</p> <p>Title: _____ Date: _____</p> <p><b>TOWNSHIP (if required by the county)</b> On behalf of the township, I acknowledge that the organization is applying for exempted gambling activity within the township limits. (A township has no statutory authority to approve or deny an application, per Minn. Statutes, section 349.213.)</p> <p>Print Township Name: _____</p> <p>Signature of Township Officer: _____</p> <p>Title: _____ Date: _____</p>
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**CHIEF EXECUTIVE OFFICER'S SIGNATURE (required)**

The information provided in this application is complete and accurate to the best of my knowledge. I acknowledge that the financial report will be completed and returned to the Board within 30 days of the event date.

Chief Executive Officer's Signature:  Date: 5/17/23

(Signature must be CEO's signature; designee may not sign)

Print Name: Jessica Bartz

<p><b>REQUIREMENTS</b></p> <p><b>Complete a separate application for:</b></p> <ul style="list-style-type: none"> <li>• all gambling conducted on two or more consecutive days; or</li> <li>• all gambling conducted on one day.</li> </ul> <p>Only one application is required if one or more raffle drawings are conducted on the same day.</p> <p><b>Financial report to be completed within 30 days after the gambling activity is done:</b> A financial report form will be mailed with your permit. Complete and return the financial report form to the Gambling Control Board.</p> <p>Your organization must keep all exempt records and reports for 3-1/2 years (Minn. Statutes, section 349.166, subd. 2(f)).</p>	<p><b>MAIL APPLICATION AND ATTACHMENTS</b></p> <p><b>Mail application with:</b></p> <p><input checked="" type="checkbox"/> a copy of your proof of nonprofit status; and</p> <p><input type="checkbox"/> application fee (non-refundable). If the application is postmarked or received 30 days or more before the event, the application fee is <b>\$100</b>; otherwise the fee is <b>\$150</b>. Make check payable to <b>State of Minnesota</b>.</p> <p><b>To:</b> Minnesota Gambling Control Board 1711 West County Road B, Suite 300 South Roseville, MN 55113</p> <p><b>Questions?</b> Call the Licensing Section of the Gambling Control Board at 651-539-1900.</p>
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Data privacy notice: The information requested on this form (and any attachments) will be used by the Gambling Control Board (Board) to determine your organization's qualifications to be involved in lawful gambling activities in Minnesota. Your organization has the right to refuse to supply the information; however, if your organization refuses to supply this information, the Board may not be able to determine your organization's qualifications and, as a consequence, may refuse to issue a permit. If your organization supplies the information requested, the Board will be able to process the application. Your organization's name and address will be public information when received by the Board. All other information provided will be private data about your organization until the Board issues the permit. When the Board issues the permit, all information provided will become public. If the Board does not issue a permit, all information provided remains private, with the exception of your organization's name and address which will remain public. Private data about your organization are available to Board members, Board staff whose work requires access to the information; Minnesota's Department of Public Safety; Attorney General; Commissioners of Administration, Minnesota Management & Budget, and Revenue; Legislative Auditor, national and international gambling regulatory agencies; anyone pursuant to court order; other individuals and agencies specifically authorized by state or federal law to have access to the information; individuals and agencies for which law or legal order authorizes a new use or sharing of information after this notice was given; and anyone with your written consent.

**Meeting Date: June 5, 2023**

**CITY OF HAM LAKE**

**STAFF REPORT**

**To: Mayor and Councilmembers**

**From: Andrea Murff, Finance/HR Director**

**Subject: Update to the Drug and Alcohol Testing and Drug-Free Work Act Policy for Non-Commercial Drivers (Non-DOT)**

**Introduction/Discussion:**

City Attorney Baumgartner, City Administrator Webster and Finance/HR Director Murff reviewed the Drug and Alcohol Testing and Drug-Free Work Act Policy for Non-Commercial Drivers to ensure it was up to date. The key changes are listed below:

- Seasonal/Temporary Employees in a safety sensitive position would tested annually.
- Firefighters are subject to this policy if a violation were to happen.
- Random testing of full-time safety sensitive employees and firefighters will be at the discretion of the City Administrator and will be decided on an annual basis.
- Updated the levels of positive testing to be at the discretion of Medical Review Officer who reviews all test done.
- Added in the use of an Employee Assistance Program to help with steps needing to be taken if there was a positive test.

**Recommendations:**

**Approve the Drug and Alcohol Testing and Drug-Free Work Act Policy for Non-Commercial Drivers (Non-DOT).**

**CITY OF HAM LAKE  
DRUG AND ALCOHOL TESTING  
AND DRUG-FREE WORKPLACE ACT POLICY  
FOR NON-COMMERCIAL DRIVERS (NON-DOT)**

**I. PURPOSE AND OBJECTIVES**

The city of Ham Lake (“City”) has a vital interest in maintaining safe, healthful, and efficient working conditions for employees, and recognizes that individuals who are impaired because of drugs and/or alcohol jeopardize the safety and health of other workers as well as themselves. The City does not intend to intrude into the private lives of its employees, but strongly believes that a drug- and alcohol-free workplace is in the best interest of employees and the public alike. Alcohol and drug abuse can cause unsatisfactory job performance, increased tardiness and absenteeism, increased accidents and workers’ compensation claims, higher insurance rates, and an increase in theft of City property. The City’s Drug and Alcohol Testing Non-DOT policy has been established for the purpose of providing a safe workplace for all.

City employees and applicants required to hold a commercial driver’s license by the United States Department of Transportation (“DOT”) for their job will be tested under the City’s Commercial Motor Vehicle Operator Drug & Alcohol Testing Policy (the “DOT Policy”). All other employees and job applicants offered employment with the City must undergo testing as described by this policy.

To ensure the policy is clearly communicated to all employees and applicants to whom offers of employment have been made, and to comply with state law, employees and applicants are required to review this policy and sign the “Non-DOT Drug and Alcohol Policy Acknowledgement.” A job applicant will also acknowledge in this form that he/she understands that passing the drug test is a requirement of the job.

For the purposes of this policy, the definitions set forth in Section XII shall apply and have the meanings ascribed to them.

**II. PROHIBITION AGAINST DRUGS AND ALCOHOL**

**A. Use and Possession of Alcohol or Drug(s):**

Employees are prohibited from the use, possession, transfer, transportation, manufacture, distribution, sale, purchase, solicitation to sell or purchase, or dispensation of alcohol, drugs, or drug paraphernalia while on duty; is on City premises; while operating any City vehicle, machinery, or equipment; or when performing any City business, except (1) pursuant to a valid medical prescription used as properly instructed; (2) the use of over-the-counter drugs used as intended by the manufacturer; or (3) when necessary for approved law enforcement activity.

Besides having a zero-tolerance policy for the use or possession of alcohol, illegal drugs, or misused prescription drugs on the worksite, the City also prohibits the use, possession of, impairment by any cannabis or medical cannabis products (e.g., hash oils, edibles or beverages containing cannabinoids, or pills) on the worksite by a person working as an employee at the City or while “on call” and subject to return to work. Having a medical marijuana card, patient registry number, and/or cannabis prescription from a physician does not allow anyone to use, possess, or be impaired by that drug here. Likewise, the fact that cannabinoids may be lawfully purchased and consumed in some circumstances does not permit anyone to use, possess, or be impaired by them here. The federal government still classifies cannabis as an illegal drug, even though some states, including Minnesota, have decriminalized its possession and use in certain circumstances. There is no acceptable concentration of marijuana metabolites in the blood or urine of an employee who operates City equipment or vehicles or who is on one of the City’s worksites. Applicants and employees are still subject to being tested under the City’s drug and alcohol testing policy, and employees are subject to being disciplined, suspended, or terminated after testing positive for cannabis if the employee used, possessed, or was impaired by cannabis, including medical cannabis, while on the premises of the place of employment or during the hours of employment.

**B. While Impaired of Alcohol or Drug(s):**

Employees are prohibited from being under the influence of alcohol or drugs or having a detectable amount of an illegal drug in the blood or urine when reporting for work; while on duty; is on the City’s premises; while operating any City vehicle, machinery, or equipment; or when performing any City business, except (1) pursuant to a valid medical prescription used as properly instructed; or (2) the use of over-the-counter drug used as intended by the manufacturer.

**C. Driving While Impaired:**

A conviction of driving while impaired in a City-owned vehicle at any time during business or non-business hours, or in an employee-owned vehicle while conducting City business, may result in discipline, up to and including discharge.

**D. Criminal Drug Convictions:**

Any employee convicted of any criminal drug statute must notify his or her supervisor, and the City Administrator, in writing, of such conviction no later than five (5) days after such conviction. Within thirty (30) days after receiving notice from an employee of a drug-related conviction, the City will take appropriate personnel action against the employee up to and including discharge or require the employee to satisfactorily participate in a drug abuse assistance or rehabilitation program as an alternative to termination. In the event notice is not provided to the supervisor and the employee is deemed to be incapable of working safely, the employee will not be permitted to work and will be subject to disciplinary action, including dismissal from employment. In accordance with the Federal Drug-Free Workplace Act of 1988, if the City is receiving federal grants or contracts of over \$25,000, the City will notify the appropriate federal agency of such conviction within 10 days of receiving notice from the employee.

### **E. Failure to Disclose Lawful Drugs:**

Employees taking a lawful drug, including prescription and over-the-counter drugs, which may impair their ability to perform their job responsibilities or pose a safety risk to themselves or others, must advise their supervisor of this before beginning work. It is the employee's responsibility to seek out written information from his/her physician or pharmacist regarding medication and any job performance impairment and relay that information to his/her supervisor. In the event of such a disclosure, the employee will not be authorized to perform safety-sensitive functions.

### **F. Firefighters On Call**

It is the policy of the City that firefighters are on call for duty 24 hours, and the City finds, therefore, that the usage of certain chemicals at any time because of their effect on safety, and the difficulty of detecting usage, pose a serious threat to the safety, health and welfare of the citizens of the City of Ham Lake. Consequently, a firefighter's usage of a drug, as that term is defined herein, at any time and without a valid prescription for the same, constitutes a violation of City policy. Firefighters taking a lawful drug are still required to comply with Section II E above. Alcohol is specifically excepted because alcohol usage is governed by a separate policy, and alcohol usage is believed to be more readily detected by smell, demeanor and visual observation. The omission of alcohol from this provision does not alter or amend separate written fire department policies regarding alcohol usage.

## **III. PERSONS SUBJECT TO TESTING AND CIRCUMSTANCES UNDER WHICH TESTING MAY BE REQUIRED**

Under this policy, the City may test any applicant to whom an offer of employment has been made and may test any employee for alcohol and/or drugs under any of the following circumstances with a properly accredited or licensed testing laboratory, in accordance with Minn. Stat. § 181.953, subd. 1.

### **A. Pre-Employment Testing**

Every job applicant offered employment with the City for a position deemed by the City to be a safety-sensitive position receives the offer conditioned upon successful completion of an alcohol and/or drug test, among other conditions. If the job offer is withdrawn based on alcohol and/or drug test results, the City will inform the applicant of the reasons for the withdrawal, and the applicant's right to a confirmatory retest pursuant to Section VII D. A failure of the alcohol and/or drug test, a refusal to take the test, or failure to meet other conditions of the offer will result in a withdrawal of the offer of employment even if the applicant's provisional employment has begun. A negative or positive dilute test result (following a second collection), which has been confirmed, will also result in immediate withdrawal of an offer of employment to an applicant.

Temporary and seasonal employees are not subject to this policy except for those designated by the hiring department as safety-sensitive positions. These temporary and seasonal employees will be subject to testing on an annual basis. ~~Those temporary and seasonal employees which are re-hired on a subsequent basis will not be subject to pre-employment testing.~~

## **B. Reasonable Suspicion Testing**

Consistent with Minn. Stat. § 181.951, subd. 5, employees will be subject to alcohol and/or drug testing when reasonable suspicion exists to believe that the employee:

1. Is under the influence of alcohol or a drug; or
2. Has violated written work rules prohibiting the use, possession, sale or transfer of drugs or alcohol while working, while on City property, or while operating City vehicles, machinery or any other type of equipment; or
3. Has sustained a personal injury as defined in Minn. Stat. § 176.011, subd. 16 or has caused another employee to sustain an injury; or
4. Has caused a work-related accident or was operating or helping to operate machinery, equipment, or vehicles involved in a work-related accident.

Reasonable suspicion may be based upon, but is not limited to, facts regarding appearance, behavior, speech, breath, odor, possession, proximity to or use of alcohol or drugs or containers or paraphernalia, poor safety record, excessive absenteeism, impairment of job performance, or any other circumstances that would cause a reasonable employer to believe that a violation of the City's policies concerning alcohol or drugs may have occurred. These observations will be reflected in writing on a Reasonable Suspicion Record Form.

For off-site collection, employees will be driven to the employer-approved medical facility by their supervisor or a designee. For an on-site collection service, the employee will remain on site and be observed by the supervisor or designee. The medical facility or on-site collection service will take the urine or blood sample and will forward the sample to an approved laboratory for testing.

Pursuant to the requirements of the Drug-Free Workplace Act of 1988, all City employees, as a condition of continued employment, will agree to abide by the terms of this policy and must notify the City Administrator of any criminal drug statute conviction for a violation occurring in the workplace not later than five (5) days after such conviction. If required by law or government contract, the City will notify the appropriate federal agency of such conviction within ten (10) days of receiving notice from the employee.

## **C. Treatment Program Testing**

In accordance with Minn. Stat. § 181.951, subd. 6, the City may request or require an employee to undergo drug and alcohol testing if the employee has been referred by the City for chemical dependency treatment or evaluation or is participating in a chemical dependency treatment program under an employee benefit plan. In such a case, the employee may be requested or required to undergo drug or alcohol testing without prior notice during the evaluation or treatment period and for a period of up to two years following completion of any prescribed chemical dependency treatment program.

## **D. Routine Physical Examination Testing**

The City may request or require an employee to undergo drug and/or alcohol testing as part of a routine physical examination. The City, in accordance with Minn. Stat. § 181.951, subd. 3, will request or require this type of testing no more than once annually, and the employee will be provided with at least two weeks' written notice that the test will be required as part of the physical examination.

#### **E. Random Testing**

In accordance with Minn. Stat. § 181.951, subd. 4, and upon City Administrator discretion, the City may require a safety-sensitive position employee to submit to random testing, on a random selection basis, and in substantial conformity with the process and procedures set forth in Exhibit A attached hereto.

#### **IV. RIGHT OF REFUSAL**

Employees and job applicants have the right to refuse to submit to an alcohol and/or drug test under this policy. However, such a refusal may subject an employee to immediate suspension and possibly termination. If an applicant refuses to submit to applicant testing, any conditional offer of employment may be withdrawn.

Any intentional act or omission by the employee or applicant that prevents the completion of the testing process constitutes a refusal to test.

An applicant or employee who substitutes, or attempts to substitute, or alters, or attempts to alter a testing sample is considered to have refused to take a drug and/or alcohol test. In such a case, the employee may be subject to immediate termination of employment, and in the case of an applicant, the job offer may be immediately withdrawn.

An employee suspended for refusing to undergo drug testing may appeal the suspension by written request to the City Council, who shall hear the appeal in closed session. An appeal shall be sustained by the City Council if, and only if, the City Council finds that the request for test was made in violation of this Policy. The employee shall have seven (7) days from the date of notice of suspension to make a written request for appeal, to be delivered to the City Administrator, who shall schedule the appeal at the next regular meeting of the City Council. If the appeal is not decided in the employee's favor, or if no timely request for appeal be made, then the suspension shall automatically be deemed a termination, effective on the date of the notice of suspension.

#### **V. REFUSAL ON RELIGIOUS GROUNDS**

An employee or job applicant who, on religious grounds, refuses to undergo drug and/or alcohol testing of a blood sample will not be considered to have refused testing, unless the employee or job applicant also refuses to undergo drug and/or alcohol testing of a urine sample.

#### **VI. COST OF REQUIRED TESTING**

The City will pay for the cost of all drug and/or alcohol testing requested or required of all job applicants and employees, except for confirmatory retests. Job applicants and employees are responsible for paying for all costs associated with any requested confirmatory retests.

## **VII. REVIEW AND NOTIFICATION OF TEST RESULTS**

### **A. Notification of Negative Test Results**

In the case of job applicants and in accordance with Minn. Stat. § 181.953, the City will notify a job applicant of a negative drug test result within three (3) working days of receipt of the result by the City, and the hiring process will resume. In accordance with Minn. Stat. § 181.953, subd. 3, a laboratory must report results to the City within three (3) working days of the confirmatory test result. A “Negative Test Results Notification” form will be sent to the job applicant, and the job applicant may request a copy of the test result report from the City.

In the case of current employees and in accordance with Minn. Stat. § 181.953, the City will notify the employee of a negative drug and/or alcohol test result within three (3) working days of receipt of the result by the City. A “Negative Test Results Notification” form will be sent to the employee, and he or she may request a copy of the test result report from the City Administrator.

### **B. Notification of Positive Test Results**

In the event of a confirmed positive blood or urine alcohol and/or drug test result, the City will notify the employee of a positive drug and/or alcohol result within three (3) working days of receipt of the result. The City Administrator, or his/her designee, will send to the employee or job applicant a “Positive Test Results Notification” letter containing further instructions. The employee or job applicant may contact the City Administrator to request a copy of the test result report if desired. In accordance with Minn. Stat. § 181.953, subd. 3, a laboratory must report results to the City within three (3) working days of the confirmatory test result.

### **C. Right to Provide Information after Receiving Test Results**

Within three (3) working days after notice of a positive drug or alcohol test result on a confirmatory test, the employee or job applicant may submit information to the City to explain the positive result. In accordance with Minn. Stat. § 181.953, subd. 6, if an employee submits information either before a test or within three (3) working days after a positive test result that explains, to the satisfaction of the City, the positive test result, (such as medications the employee is taking), the City will not take an adverse employment action based on that information unless the employee was already under an affirmative duty to provide the information before, upon, or after hire.

### **D. Right to Confirmatory Retest**

A job applicant or employee may request a confirmatory retest of the original sample at the job applicant’s or employee’s own expense after notice of a positive test result on a confirmatory test. Within five (5) working days after notice of the confirmatory test result, the job applicant or



employee must notify the City in writing of the job applicant's or employee's intention to obtain a confirmatory retest. Within three (3) working days after receipt of the notice, the City will notify the original testing laboratory that the job applicant or employee has requested the laboratory to conduct the confirmatory retest or transfer the sample to another qualified laboratory licensed to conduct the confirmatory retest. The original testing laboratory will ensure the control and custody procedures are followed during transfer of the sample to the other laboratory. In accordance with Minn. Stat. § 181.953, subd. 3, the laboratory is required to maintain all samples testing positive for a period of six (6) months. The confirmatory retest will use the same drug and/or alcohol threshold detection levels as used in the original confirmatory test.

In the case of job applicants, if the confirmatory retest does not confirm the original positive test result, the City's job offer will be reinstated, and the City will reimburse the job applicant for the actual cost of the confirmatory retest. In the case of employees, if the confirmatory retest does not confirm the original positive test result, no adverse personnel action based on the original confirmatory test will be taken against the employee, the employee will be reinstated with any lost wages or salary for time lost pending the outcome of the confirmatory retest result, and the City will reimburse the employee for the actual cost of the confirmatory retest.

#### **E. Access to Reports**

In accordance with Minn. Stat. § 181.953, subd. 10, an employee will have access to information contained in his or her personnel file relating to positive test results and to the testing process, including all information gathered as part of that process.

#### **F. Dilute Specimens**

A negative or positive dilute test result (following a second collection) which has been confirmed will subject an employee to immediate termination.

### **VIII. CONSEQUENCES FOR EMPLOYEES ENGAGING IN PROHIBITED CONDUCT**

#### **A. Job Applicants**

The City's conditional offer of employment will be withdrawn from any job applicant who refuses to be tested or tests positive for illegal drugs as verified by a confirmatory test.

#### **B. Employees:**

1. No Adverse Action without Confirmatory Test. The City will not discharge, discipline, discriminate against, or request or require rehabilitation of an employee based on a positive test result from an initial screening test that has not been verified by a confirmatory test.

2. Suspension Pending Test Result. The City may temporarily suspend a tested employee with or without pay or transfer that employee to another position at the same rate of pay pending the outcome of the requested confirmatory retest, provided the City believes

that it is reasonably necessary to protect the health or safety of the employee, co-employees, or the public. The suspended employee will be asked to return home and will be provided appropriate arrangements for return transportation to his or her residence. In accordance with Minn. Stat. § 181.953, subd. 10, an employee who has been suspended without pay will be reinstated with back pay if the outcome of the requested confirmatory retest is negative.

#### **IV. Discipline and Discharge**

##### **A. Confirmatory Positive Test Result**

The City will not discharge an employee for a first confirmatory positive test unless the following conditions have been met:

- a. The City has first given the employee an opportunity to participate in either a drug or alcohol counseling or rehabilitation program, whichever is more appropriate, as determined by the City after consultation with a certified chemical use counselor or physician trained in the diagnosis and treatment of chemical dependency. Participation by the employee in any recommended substance abuse treatment program will be at the employee's own expense or pursuant to the coverage under an employee benefit plan. The certified chemical use counselor or physician trained in the diagnoses and treatment of chemical dependency will determine if the employee has followed the rehabilitation program as prescribed; and
- b. The employee has either refused to participate in the counseling or rehabilitation program, has failed to successfully complete the program, has withdrawn from the program before its completion or has refused to test or tested positive on a confirmatory test after completion of the program.

##### **B. Procedures on First Confirmatory Positive Test**

If an employee's test results (after all confirmatory retests) reveal that the employees has violated the City's drug usage policy as outlined herein, and no previous test during the employee's tenure with the City has revealed any other such violation, then the following shall apply:

1. The employee shall be immediately suspended;
2. The City Administrator shall, within seven (7) days after the suspension, provide to the employee an opportunity to obtain a chemical dependency evaluation and participate in counseling or rehabilitation as described in Section IX A above.
3. Within thirty (30) days, the employee shall schedule a chemical dependency evaluation and shall inform the City Administrator of the name of the counselor or physician and the time of the appointment.

4. After receiving the counselor/physician's report and recommendation, the employee shall forward the same to the City Administrator who shall make a confidential report to the City Council. The City Council shall then meet in closed session to review the report and direct the City Administrator to provide written instructions to the employee requiring implementation of the counselor/physician's recommended counseling or rehabilitation program and setting forth reasonable methods for monitoring compliance.
5. The employee shall immediately commence compliance with the program or programs recommended by the counselor/physician, and shall, upon receipt of the City's written instructions, acknowledge in writing that the employee intends to comply with the counselor/physician's recommendations. Upon such written acknowledgment, the employee shall be reinstated, pending compliance. It should be noted that the City interprets the phrase "pending the outcome of the confirmatory test, and if requested, the confirmatory retest", as used in Minnesota Statutes Chapter 181.953, Subd. 10(c) to include, as a necessary component of the word "outcome", the receipt by the City of the employee's acknowledgment that the employee intends to comply with the treatment, counseling or rehabilitation programs recommended by the counselor/physician. As such, the temporary suspension permitted by Minn. Stat. § 181.953, Subd. 10(c) includes the time period until the employee has given such written acknowledgment.
6. Any program of counseling, treatment or rehabilitation shall be conducted at the employee's expense. The cost of the chemical dependency evaluation shall be borne by the City.
7. If, within seven (7) days after receipt of the City's written instructions as to counseling, treatment or rehabilitation, the City has not received the employee's written notice that the employee intends to comply with the instructions, such failure shall be deemed to be a refusal to participate in the program, within the meaning of Minn. Stat. § 181.953, Subd. 10(b) (2), and in such case, the City Administrator shall notify the employee, in writing, that the employee has been terminated.
8. If the employee fails to successfully complete the program outlined in the City's instructions as evidenced by a withdrawal from the program before its completion, an unsatisfactory progress report from the agency conducting the program, or by a positive test for drugs (after all confirmatory retests) after completion of the program, then the employee's service shall be terminated. The employee shall be notified, in writing, by the City Administrator, of the termination.
9. An employee suspended or terminated under this Section IX shall have the same rights of appeal to the City Council as found in Section IV hereof, with time for appeal running from the date of notice of suspension or

termination. The City Council shall reverse the suspension/termination only if it finds that the suspension/termination, test requests, or procedures were conducted in violation of this Policy. Upon any appeal by an employee, the employee shall have the right to explain the positive test result to the City Council in person or in writing and such explanation shall be confidential.

### **C. Procedures on Second Confirmatory Positive Test**

If an employee's test results (after all confirmatory retests) reveal that the City's drug usage policy as outlined herein has been violated, and such result is the second such violation to have occurred during the employee's tenure with the City, then the employee shall, by written notice, be immediately suspended by the City Administrator pursuant to proceedings to permanently terminate the employee. An employee so suspended shall have the same rights of appeal as an employee who refuses a test, as outlined in Section IV hereof, but unless on appeal the City Council finds that the test was either requested in violation of this Policy, or conducted in violation of appropriate rules, procedures or regulations, the suspension shall be upheld, and converted to a dismissal, effective on the date of notice of suspension. Similarly, if the employee fails to make a timely appeal, the suspension shall automatically be deemed a termination effective on the date of notice of suspension. Upon any appeal by an employee, the employee shall have the right to explain the positive test result to the City Council in person or in writing and such explanation shall be confidential.

### **D. Other Misconduct**

Nothing in this policy limits the right of the City to discipline or dismiss an employee on grounds other than a positive confirmatory test result, including conviction of any criminal drug statute for a violation occurring in the workplace or violation of other City personnel policies.

### **E. Emergency Call Back to Work Provisions:**

If an employee is called out for a City emergency and he or she reports to work and is suspected of being under the influence of drugs or alcohol, he or she will not be subject to the testing procedures of this policy but may be subject to discipline and will not be allowed to work. Appropriate arrangements for return transportation to the employee's residence will be made. It is the sole responsibility of the employee who is under the influence of alcohol and/or drugs and who is called out for a City emergency, to notify his or her supervisor of this information and advise if he or she is unable to respond to the emergency call back.

## **X. NON-DISCRIMINATION**

The City's policy on work-related substance abuse is non-discriminatory in intent and application; however, in accordance with Minn. Stat. § 363A, disability does not include conditions resulting from alcohol or other drug abuse which prevents an employee from performing the essential functions of the job in question or constitutes a direct threat to property or the safety of individuals.

Furthermore, the City will not retaliate against any employee for asserting his or her rights under this policy.

## **XI. CITY'S EMPLOYEE ASSISTANCE PROGRAM**

The City has in place a formal employee assistance program (EAP) to assist employees in addressing serious personal or work-related problems at any time. The City's EAP provides confidential, cost-free, short-term counseling to employees and their families. Employees who may have an alcohol or other drug abuse problem are encouraged to seek assistance before a problem affects their employment status. Employee assistance program services are available reach out to your supervisor or HR department for more information.

### **A. Policy Contact for Additional Information**

If you have any questions about this policy or the City's drug and alcohol testing procedures, you may contact your immediate supervisor or the City Administrator to obtain additional information.

By this policy, the City has established a drug-free awareness program to inform employees about the dangers of drug abuse in the workplace and its policy of maintaining a drug-free workplace. Each City employee will receive a copy of this policy and will be required to read it.

## **XII. DEFINITIONS**

**Alcohol:** Means the intoxicating agent in beverage alcohol or any low molecular weight alcohols such as ethyl, methyl, or isopropyl alcohol. The term includes but is not limited to beer, wine, spirits, and medications such as cough syrup that contain alcohol.

**Alcohol use or usage:** Means the consumption of any beverage, mixture, or preparation, including any medication, containing alcohol.

**Applicant:** Means a person applying for a job with the City.

**City:** Means the city of Ham Lake, Minnesota.

**City premises:** Means, but is not limited to, all City job sites and work areas. For the purposes of this policy, City premises also includes any other locations or modes of transportation to and from those locations while in the course and scope of employment of the City.

**City vehicle:** Means any vehicle which employees are authorized to use solely for City business when used at any time; or any vehicle owned or leased by the City when used for City business.

**Collection site:** Means a place designated by the City where job applicants and employees present themselves for the purpose of providing a specimen of their breath, urine, and/or blood to be analyzed for the presence of drugs and alcohol.

**Confirmatory test:** Means a drug and/or alcohol test on a sample to substantiate the results of a prior drug and/or alcohol test on the same sample, and that uses a method of analysis allowed under one of the programs listed in Minn. Stat. § 181.953, subd. 1.

**Drug:** Includes any “controlled substance” as defined in Minn. Stat. § 152.01, subd. 4, and also includes all cannabinoids, including those that are lawfully available for public consumption that do not otherwise qualify as being a “controlled substance” as defined in Minn. Stat. § 152.01, subd. 4.

**Drug and/or alcohol testing, and drug and/or alcohol test:** Mean analysis of a body component sample according to the standards established under one of the programs listed in Minn. Stat. § 181.953, subd.1, for the purpose of measuring their presence or absence of drugs, alcohol, or their metabolites in the sample tested.

**Drug paraphernalia:** Has the meaning set forth in Minn. Stat. § 152.01, subd. 18.

**Employee:** Means a person who performs services for compensation for the City and includes independent contractors except where specifically noted in this policy.

**Initial screening test:** Means a drug and/or alcohol test that uses a method of analysis under one of the programs listed in Minn. Stat. § 181.953, subd. 1.

**Job applicant:** Means a person who applies to become an employee of the City and includes a person who has received a job offer made contingent on the person passing drug testing.

**Positive test result:** Means a finding of the presence of alcohol, drugs, or their metabolites that exceeds the cutoff levels established by the contracted Medical Review Officer (MRO). Minimum threshold detection levels are subject to change as determined by the contracted Medical Review Officer (MRO).

**Random selection basis:** Means a mechanism for selection of employees that (1) results in an equal probability that any employee from a group of employees subject to the selection mechanism will be selected, and (2) does not give an employer discretion to waive the selection of any employee selected under the mechanism.

**Reasonable suspicion:** Means a basis for forming a belief based on specific facts and rational inferences drawn from those facts.

**Safety-sensitive employee:** Means those employees employed in a safety-sensitive position with the City.

**Safety-sensitive position:** Means a job, including any supervisory or management position, in which an impairment caused by drug and/or alcohol usage would threaten the health or safety of any person or property.

**Under the influence:** Means (1) the employee tests positive for alcohol or drugs, or (2) the employee's actions, appearance, speech, and/or bodily odors reasonably cause the City to conclude that the employee is impaired because of illegal drug use or alcohol use.

## EXHIBIT A

### RANDOM DRUG TESTING PROCESS AND PROCEDURE

#### Test Selection Process

- A. *Annual Test Computation.* On February 1 of each and every year, the Fire Chief and Superintendent of Public Works shall report to the City Administrator the number of safety-sensitive employees currently on the roster, including probationary members. A number of safety-sensitive employees equal to one-tenth (fractional portions rounded to the next highest whole number) of the total number of safety-sensitive employees shall, in the ensuing twelve (12) months, be randomly tested under the City's Drug and Alcohol Testing Non-DOT Policy (The "Annual Sample")
- B. *Test Dates.* Once the Annual Sample number has been determined, the City Administrator shall arbitrarily select a number of test dates between February 1 and January 31 of the following year. Test dates need not be spread throughout the year, but at least one Test date must occur in November, December and January of each year, and no more than one hundred eighty days shall elapse between any two test dates. The City Administrator shall develop a system for date selection, and shall be solely responsible for selecting test dates. The list of test dates shall be kept confidential by the City Administrator, with a duplicate copy to be furnished for confidential safekeeping by the City Attorney.

#### Test Procedures

- A. *Test Subject.* On a date in advance of each test date, the City Administrator shall randomly select a name from the roster of safety-sensitive employees, and shall notify the Fire Chief (or an Assistant Fire Chief, if the Fire Chief will be absent, or if the Fire Chief's name is drawn), or the Superintendent of Public Works as the case may be, of the safety-sensitive employees to be tested. If the Fire Chief or Superintendent of Public Works determines that the subject will be unavailable for testing on the test date, the Fire Chief, or Superintendent of Public Works in the event of a non-firefighter subject, and City Administrator may select an alternate test date, but the subject shall not be informed in advance of the test date. Urine

samples shall be collected in conformance with the regulations of the Minnesota Department of Health and the procedures and test kits of the testing lab. The name of each safety-sensitive employee shall be included in every lottery for test subjects, regardless of the number of times a given safety-sensitive employee may have been previously selected for testing. At the time the City Administrator makes the random selection of the name of a test subject, one City Council member shall be present to observe the selection procedure. It shall be the responsibility of the City Administrator to arrange to have a Councilmember present for such observation.

- B. *Laboratory Selection and Test Methods.* Testing shall be performed by a properly accredited or licensed testing laboratory, and in accordance with Minn. Stat. § 181.953, subd. 1.



## NON-DOT DRUG AND ALCOHOL POLICY ACKNOWLEDGEMENT

I, \_\_\_\_\_, the undersigned, acknowledge as follows:

1. That I have received a copy of the CITY OF HAMLAKE DRUG AND ALCOHOL TESTING AND DRUG-FREE WORKPLACE ACT POLICY FOR NON-COMMERCIAL DRIVERS (NON-DOT) ("Policy");
2. That I understand as follows:
  - That the usage of drugs, as that term is defined in the Policy, without medical prescription, is absolutely prohibited as stated in the Policy.
  - That the City of Ham Lake has implemented a random drug testing policy; that I may be requested, without notice, to provide a urine specimen for testing.
  - That if I refuse testing, I may be suspended and dismissed from EMPLOYMENT.
  - That if I test positive for drug usage, I may be temporarily suspended, and if I fail to cooperate with recommended treatment or counseling, I may be dismissed; that if I test positive for drug usage a second time, I will be dismissed.

Dated; \_\_\_\_\_ Employee Signature \_\_\_\_\_

Meeting Date: June 5, 2023



**CITY OF HAM LAKE**

***MEMO***

**To:** Mayor and Councilmembers  
Denise Webster, City Administrator

**From:** Andrea Murff, Finance/HR Director

**Subject:** Approval of the American Rescue Plan Act Funding for Public Works Mechanic Tools and American Legal Publishing Services

**Introduction/Discussion:**

In March of 2021, the U.S. Congress adopted the American Rescue Plan Act (ARPA). The State of Minnesota received approximately \$377 million to allocate out to its jurisdictions with a population below 50,000. In July 2021, the City requested their \$1.776 million allotment and then was notified in December of 2021 an additional \$58,156.72 of unused funds would be distributed bringing the total amount of ARPA funds to approximately \$1.834 million. The funds can be used for costs after March 3, 2021 and must be obligated to an item by December 31, 2024 and distributed by December 31, 2026.

During the March 21, 2022 Council meeting, a resolution was passed determining the City would be using the Revenue Replacement option to expend the funds. The Revenue Replacement option has a standard allowance of \$10M or less to be used for what the City deems necessary.

As of May 31, 2023 there was approximately \$124,368 of unallocated ARPA funds for use. There currently has been \$594,324 expended from the ARPA funds with \$1.1M earmarked for the Revolving Street Fund and another \$15,391 earmarked for approved Public Works Department Expenditures.

On April 17, 2023, Public Works requested to use an additional \$20,000 for mechanic tools and this request was approved. Public works is asking for re-approval due to rescinding the original resolution.

On April 17, 2023, City Hall requested \$6,528 for CivicPlus's Municode code software, which was approved. However, after further discovery this amount was incorrect for the services the City needed.

City staff has since completed more research on the project and received two quotes:

- CivicPlus' Municode would be approximately \$12,650 for City Code updating services and \$1,003 annually with a 3% increase each year after year three to maintain the City Code online.
- American Legal Publishing would be approximately \$11,850 for City Code updating services and \$795 annually to maintain the City Code online.

City staff is requesting approval of \$12,800 in ARPA Funding to cover the Code updating and the first set of annual fees with the work completed by American Legal Publishing.

The approval of these items would bring the amount of unallocated ARPA funds to \$91,568.

**Recommendation:**

**Approval of rescinding Resolution No. 23-17 and approving a resolution to allocate \$20,000 of ARPA funding to Public Works for mechanic tools and \$12,800 for American Legal Publishing Services.**

**RESOLUTION NO. 23-xx**

**Rescinding Resolution No. 23-17**

**CITY OF HAM LAKE**

**A RESOLUTION APPROVING AMERICAN RESCUE PLAN ACT FUNDS FOR PUBLIC WORKS MECHANIC TOOLS AND AMERICAN LEGAL PUBLISHING COMPANY CODIFICATION SERVICES**

**WHEREAS**, received a total of \$1.834M in American Rescue Plan Act (ARPA) Funding in the fiscal years 2022 and 2023,

**WHEREAS**, on March 21, 2022, City Council approved to use the Revenue Replacement option for expending the funds and procedures for approving expenditures,

**NOW, THEREFORE, BE IT RESOLVED** the City of Ham Lake allocates \$20,000 for a Public Work's mechanic tools and \$12,800 for American Legal Publishing Company Codification services and online hosting of City Code.

Adopted by the City Council of the City of Ham Lake this 5th day of June, 2023.

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Brian Kirkham, Mayor

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Denise Webster, City Clerk

## HAM LAKE BUDGET CALENDAR

### BUDGET YEAR 2024

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By June 5	Distribution of draft budget reports and YTD 2023 Financial Reports from Finance to department heads
By June 9	Department directors complete budget work papers and submit to Finance Director
June 12	Initial review of departmental budgets with department staff, City Administrator and Finance Director
June 20	Review budget priorities with City Council during budget meeting
August 7	Preliminary budget to Council – Staff presents draft department budget requests
September 5	City Council will adopt a proposed budget and certify a proposed property tax levy to the County Auditor for taxes payable in 2024  City Council will establish initial and continuation public hearing dates and publish as required to meet compliance with Truth in Taxation legislation
By September 30	Finance Director sends certified copy of proposed budget resolution and tax levy to Anoka County
October 16	Council amends general fund budgets with city administrator; dept. heads, and Finance Director
Mid-November	County mails notices of proposed property taxes to the owner of each individual parcel of property.
November 6	(Tentative) Final budget draft presented to Council
By November 20	City Clerk publishes notice of public hearings and City will advertise the proposed budget and property tax levy in official newspaper
November 27	Creation of budget resolution
December 4	City will hold public hearings in accordance with dates established previously
December 4 or 18	Council adoption of budget and resolutions
December 29	Finance Director certifies copy of budget resolution to Anoka County
Late December	Summary of adopted budget available for public inspection
Early January	Publish summary budget data in paper

Meeting Date: June 5, 2023

**CITY OF HAM LAKE**  
*STAFF REPORT*

**To:** Mayor and Councilmembers  
**From:** John Witkowski, Public Works Superintendent  
**Subject:** Hiring Seasonal Maintenance Workers

**Introduction/Discussion:** One application was received for the 2023 Seasonal Maintenance Worker position from Joseph Mathes who is returning for a third year.

Wages for summer help is \$15.00 per hour with an additional \$1.00 for every returning year up to \$17.00 per hour. They will be scheduled for 40 hours a week but that may change due to weather and workload needs.

**Recommendation:** I recommend the hiring of returning employee Joseph Mathes at a pay rate of \$17.00 per hour.

Meeting Date: June 5, 2023



***CITY OF HAM LAKE  
STAFF REPORT***

**To: Mayor and Councilmembers**

**From: Dawnette Shimek, Deputy City Clerk**

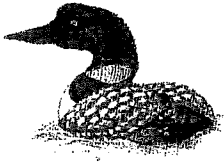
**Item/Title/Subject: Vacation of a portions of the Drainage and Utility Easements  
as dedicated on Lots 1, 2, 3 and 4, Block 3, Creekside Farms**

**Introduction/Discussion:**

The easements as described have no public purpose. Engineer Collins has reviewed the legal description and has no issue with this vacation.

**Recommendation:**

**I recommend approval of a Resolution scheduling a Public Hearing for June 20, 2023 to vacate portions of the drainage and utility easements on Lots 1, 2, 3 and 4, Block 3, Creekside Farms.**



# CITY OF HAM LAKE

**REQUEST FOR  
AN APPEARANCE  
BEFORE THE  
CITY COUNCIL**

**15544 Central Avenue NE  
Ham Lake, MN 55304  
Phone (763) 434-9555  
Fax (763) 434-9599**

**DATE OF APPLICATION** 05-24-2023 **DEPOSIT \$** 200.00  
**RECEIPT #** 96123

**Date of City Council appearance** 06/05/2023

**60-day review deadline** \_\_\_\_\_

**APPLICANT'S NAME** Fleet Star Truck and Trailer LLC

**STREET ADDRESS** 16522 Buchanan St NE

**CITY, STATE, ZIP** Ham Lake, MN 55304

**PHONE (daytime)** (952) 666-8579

**EMAIL ADDRESS** Richlandrrs@gmail.com

**NATURE OF REQUEST**

~~CUP~~ for truck terminal Lots 1-4, Block 3 Creekside Farm 3  
easement vacation

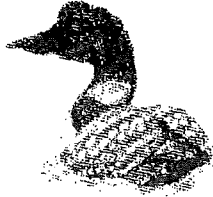
**You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.**

\_\_\_\_\_  
**Signature of Applicant** 05-24-2023  
**Date**

**Please attach any relevant information including maps, diagrams, and/or a descriptive narrative.**

**This form must be submitted to the City staff by 4:00 p.m. on the Monday prior to the Council meeting at which you will be appearing.**





**NOTICE TO ALL APPLICANTS FOR MUNICIPAL  
PERMITS, LICENSES,  
OR OTHER MUNICIPAL ACTION**

- 1. If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.**
- 2. The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.**
- 3. The information you supply will be public and available to any entity requesting to inspect the information.**

**DATA PRACTICES ADVISORY  
TENNESSEN WARNING**

**REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

**SIGNED BY** Akil Ibrahim

**COMPANY/TITLE:** Fleet Star Truck and Trailer LLC


**DATE:** 05-24-2023

**CITY OF HAM LAKE  
ACKNOWLEDGMENT OF RESPONSIBILITY  
TO REIMBURSE EXPENSES**

The undersigned, Akil Ibrahim, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

~~-GUP for truck terminal~~ -easement vacation  
Type of Application

acknowledges that the sum of \$ 500, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature  Dated 03-24-2023

The following statement must be signed if the applicant is not the property owner:

Jesse Osborne, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

Property Owner Signature  Dated 7-26-23

RESOLUTION NO. 23-XX

WHEREAS, the Ham Lake City Council, on its own motion, wishes to consider the vacation of the following described land in the City of Ham Lake, pursuant to Minnesota Statutes Chapter 412.851:

**EASEMENT TO BE VACATED (POND 1)**

All of the drainage and utility easements lying over, under, and across that part of Lot 4, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, described as follows:

Commencing at the most northerly corner of said Lot 4; thence South 40 degrees 51 minutes 34 seconds East, assumed bearing, along the northeasterly line of said Lot 4, a distance of 21.15 feet to the point of beginning of said easement to be vacated; thence continuing South 40 degrees 51 minutes 34 seconds East, along said northeasterly line of Lot 4, a distance of 124.70 feet; thence South 62 degrees 34 minutes 30 seconds West, a distance of 57.41 feet; thence North 86 degrees 24 minutes 50 seconds West, a distance of 114.56 feet; thence North 59 degrees 43 minutes 47 seconds West, a distance of 52.12 feet; thence South 75 degrees 21 minutes 11 seconds West, a distance of 54.01 feet; thence South 49 degrees 06 minutes 20 seconds West, a distance of 118.58 feet; thence South 18 degrees 25 minutes 05 seconds East, a distance of 82.36 feet; thence North 44 degrees 54 minutes 56 seconds West, a distance of 74.26 feet; thence North 61 degrees 02 minutes 53 seconds West, a distance of 115.34 feet; thence North 30 degrees 18 minutes 48 seconds West, 20.43 feet; thence North 72 degrees 14 minutes 59 seconds East, 428.68 feet to said point of beginning.

EXCEPT that part embraced within the northeasterly 10.00 feet of said Lot 4.

**EASEMENT TO BE VACATED (POND 2)**

That part of Lot 3, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, described as follows:

Commencing at the most easterly corner of said Lot 3; thence on an assumed bearing along the northeasterly line of said Lot 3, North 40 degrees 51 minutes 34 seconds West, a distance of 79.79 feet, to the point of beginning of the easement to be vacated; thence continuing North 40 degrees 51 minutes 34 seconds West, a distance of 122.45 feet; thence South 51 degrees 01 minutes 08 seconds West, a distance of 27.61 feet; thence South 42 degrees 15 minutes 21 seconds East, a distance of 122.96 feet; thence North 50 degrees 08 minutes 48 seconds East, a distance of 24.60 feet to the point of beginning.

EXCEPT

That part embraced within the northeasterly 10.00 feet of said Lot 3.

**EASEMENT TO BE VACATED (LOTS 1 AND 2)**

That part of the southeasterly 10 feet of Lot 2, Block 3, and the northwesterly 10 feet of Lot 1, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota lying southwesterly of the northeasterly 10 feet of said Lots 1 and 2, and lying easterly of the west 10 feet of said Lots 1 and 2.

**EASEMENT TO BE VACATED (LOTS 2 AND 3)**

That part of the southeasterly 10 feet of Lot 3, Block 3, and the northwesterly 10 feet of Lot 2, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, which lies southwesterly of the northeasterly 10 feet of said Lots 2 and 3, and which lies northeasterly of a line drawn parallel with and distant 10.00 feet northeasterly of the following described line and its northwesterly extension:

Commencing at the most southerly corner of said Lot 2; thence North 00 degrees 05 minutes 31 seconds East, assumed bearing, along a westerly line of said Lot 2, a distance of 134.27 feet to the point of beginning of said line to be described; thence North 38 degrees 26 minutes 35 seconds West, along a southwesterly line of said Lot 2, a distance of 201.56 feet to the most westerly corner of said Lot 2 and said line there terminating.

**EASEMENT TO BE VACATED (LOTS 3 AND 4)**

That part of the southeasterly 10 feet of Lot 4, Block 3, and the northwesterly 10 feet of Lot 3, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota which lies southwesterly of the northeasterly 10 feet of said Lots 3 and 4, and which lies northeasterly of the following described line:

Commencing at the most southerly corner of said Lot 3; thence North 51 degrees 59 minutes 23 seconds East, on an assumed bearing along the southeasterly line of said Lot 3, a distance of 136.21 feet to the point of beginning of the line to be described; thence North 30 degrees 59 minutes 02 seconds West, a distance of 15.49 feet; thence North 44 degrees 58 minutes 02 seconds West, a distance of 175.30 feet; thence North 47 degrees 32 minutes 36 seconds West, a distance of 122.93 feet and said line there terminating.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, that the City Clerk is directed to post in a conspicuous place in the City Hall between the dates of June 6, 2023 and June 20, 2023 and to cause publication of a NOTICE OF PUBLIC HEARING, a copy of which is attached to this Resolution, for a public hearing to be held on June 5, 2023, with publication to occur in the Star Tribune on June 8, 2023.

Adopted by the City Council of the City of Ham Lake this 5th day of June 2023.

\_\_\_\_\_  
Brian Kirkham, Mayor

\_\_\_\_\_  
Denise Webster, City Clerk

NOTICE OF PUBLIC HEARING  
VACATION OF PUBLIC LAND

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held before the Ham Lake City Council on June 20, 2023 at 6:01 p.m. in the City Council Chambers, City Hall, 15544 Central Avenue N.E. Ham Lake, Minnesota 55304, to hear comments and questions concerning the proposed vacation of the following described land within the City of Ham Lake, Minnesota:

**EASEMENT TO BE VACATED (POND 1)**

All of the drainage and utility easements lying over, under, and across that part of Lot 4, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, described as follows:

Commencing at the most northerly corner of said Lot 4; thence South 40 degrees 51 minutes 34 seconds East, assumed bearing, along the northeasterly line of said Lot 4, a distance of 21.15 feet to the point of beginning of said easement to be vacated; thence continuing South 40 degrees 51 minutes 34 seconds East, along said northeasterly line of Lot 4, a distance of 124.70 feet; thence South 62 degrees 34 minutes 30 seconds West, a distance of 57.41 feet; thence North 86 degrees 24 minutes 50 seconds West, a distance of 114.56 feet; thence North 59 degrees 43 minutes 47 seconds West, a distance of 52.12 feet; thence South 75 degrees 21 minutes 11 seconds West, a distance of 54.01 feet; thence South 49 degrees 06 minutes 20 seconds West, a distance of 118.58 feet; thence South 18 degrees 25 minutes 05 seconds East, a distance of 82.36 feet; thence North 44 degrees 54 minutes 56 seconds West, a distance of 74.26 feet; thence North 61 degrees 02 minutes 53 seconds West, a distance of 115.34 feet; thence North 30 degrees 18 minutes 48 seconds West, 20.43 feet; thence North 72 degrees 14 minutes 59 seconds East, 428.68 feet to said point of beginning.

EXCEPT that part embraced within the northeasterly 10.00 feet of said Lot 4.

**EASEMENT TO BE VACATED (POND 2)**

That part of Lot 3, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, described as follows:

Commencing at the most easterly corner of said Lot 3; thence on an assumed bearing along the northeasterly line of said Lot 3, North 40 degrees 51 minutes 34 seconds West, a distance of 79.79 feet, to the point of beginning of the easement to be vacated; thence continuing North 40 degrees 51 minutes 34 seconds West, a distance of 122.45 feet; thence South 51 degrees 01 minutes 08 seconds West, a distance of 27.61 feet; thence South 42 degrees 15 minutes 21 seconds East, a distance of 122.96 feet; thence North 50 degrees 08 minutes 48 seconds East, a distance of 24.60 feet to the point of beginning.

EXCEPT

That part embraced within the northeasterly 10.00 feet of said Lot 3.

**EASEMENT TO BE VACATED (LOTS 1 AND 2)**

That part of the southeasterly 10 feet of Lot 2, Block 3, and the northwesterly 10 feet of Lot 1, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota lying southwesterly of the northeasterly 10 feet of said Lots 1 and 2, and lying easterly of the west 10 feet of said Lots 1 and 2.

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That part of the southeasterly 10 feet of Lot 3, Block 3, and the northwesterly 10 feet of Lot 2, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, which lies southwesterly of the northeasterly 10 feet of said Lots 2 and 3, and which lies northeasterly of a line drawn parallel with and distant 10.00 feet northeasterly of the following described line and its northwesterly extension:

Commencing at the most southerly corner of said Lot 2; thence North 00 degrees 05 minutes 31 seconds East, assumed bearing, along a westerly line of said Lot 2, a distance of 134.27 feet to the point of beginning of said line to be described; thence North 38 degrees 26 minutes 35 seconds West, along a southwesterly line of said Lot 2, a distance of 201.56 feet to the most westerly corner of said Lot 2 and said line there terminating.

**EASEMENT TO BE VACATED (LOTS 3 AND 4)**

That part of the southeasterly 10 feet of Lot 4, Block 3, and the northwesterly 10 feet of Lot 3, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota which lies southwesterly of the northeasterly 10 feet of said Lots 3 and 4, and which lies northeasterly of the following described line:

Commencing at the most southerly corner of said Lot 3; thence North 51 degrees 59 minutes 23 seconds East, on an assumed bearing along the southeasterly line of said Lot 3, a distance of 136.21 feet to the point of beginning of the line to be described; thence North 30 degrees 59 minutes 02 seconds West, a distance of 15.49 feet; thence North 44 degrees 58 minutes 02 seconds West, a distance of 175.30 feet; thence North 47 degrees 32 minutes 36 seconds West, a distance of 122.93 feet and said line there terminating.

Said hearing is conducted pursuant to Minnesota Statutes Chapter 412.851.

Dated: June 8, 2023

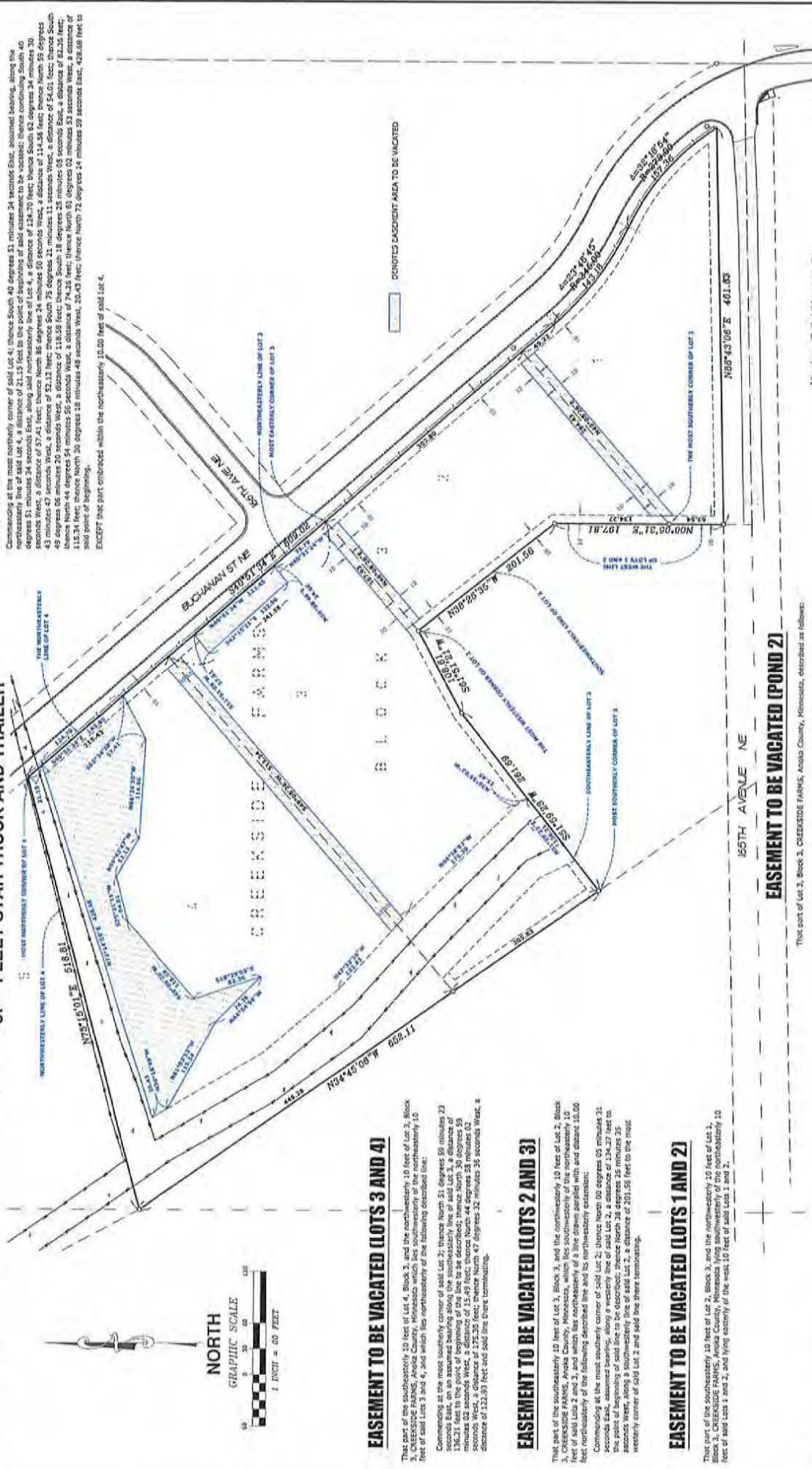
\_\_\_\_\_  
Dawnette Shimek, Deputy City Clerk

Posted at City Hall between the dates of June 6, 2023 and June 20, 2023.

Published in the Star Tribune on June 8, 2023

# SKETCH AND DESCRIPTION

~for~ CLASSIC CONSTRUCTION  
~of~ FLEET STAR TRUCK AND TRAILER



## EASEMENT TO BE VACATED (POND 1)

All of the drainage and utility easements lying over, under, and across that part of Lot 4, Block 3, Creekside Farms, Anoka County, Minnesota, described as follows:  
Commencing at the most northerly corner of said Lot 4; thence South 40 degrees 51 minutes 34 seconds East, assumed bearing, along the northerly line of said Lot 4, a distance of 21.15 feet to the point of beginning of said easement to be vacated; thence containing South 40 degrees 51 minutes 34 seconds East, along said northerly line of Lot 4, a distance of 124.70 feet; thence South 62 degrees 34 minutes 30 seconds East, along said northerly line of Lot 4, a distance of 114.56 feet; thence North 59 degrees 43 minutes 47 seconds West, a distance of 52.13 feet; thence South 75 degrees 30 seconds West, a distance of 114.56 feet; thence North 59 degrees 43 minutes 47 seconds West, a distance of 118.88 feet; thence South 18 degrees 25 minutes 05 seconds East, a distance of 84.26 feet; thence North 44 degrees 54 minutes 55 seconds West, a distance of 74.25 feet; thence North 61 degrees 02 minutes 52 seconds West, a distance of 115.24 feet; thence North 38 degrees 18 minutes 48 seconds West, 20.42 feet; thence North 72 degrees 14 minutes 59 seconds East, 428.68 feet to said point of beginning.  
EXCEPT that part embraced within the northerly 10.00 feet of said Lot 4.

COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID LOT 2; THENCE NORTH 51 DEGREES 59 MINUTES 23 SECONDS EAST, ASSUMED BEARING, ALONG THE SOUTHERLY LINE OF SAID LOT 2, A DISTANCE OF 136.21 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT TO BE VACATED; THENCE CONTAINING SOUTH 82 DEGREES 02 MINUTES 52 SECONDS WEST, A DISTANCE OF 15.49 FEET; THENCE NORTH 44 DEGREES 54 MINUTES 55 SECONDS WEST, A DISTANCE OF 172.35 FEET; THENCE NORTH 47 DEGREES 32 MINUTES 35 SECONDS WEST, A DISTANCE OF 122.93 FEET AND SAID LINE THERE TERMINATING.

THAT PART OF THE SOUTHERLY 10 FEET OF LOT 4, BLOCK 3, AND THE NORTHERLY 10 FEET OF LOT 2, BLOCK 3, CREEKSIDE FARMS, ANOKA COUNTY, MINNESOTA, WHICH ARE THE SOUTHERLY 10 FEET OF SAID LOTS 2 AND 3, AND WHICH HAS NORTHERLY AND ITS NORTHERLY EXTENSION:  
COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID LOT 2; THENCE NORTH 50 DEGREES 05 MINUTES 31 SECONDS EAST, ASSUMED BEARING, ALONG A WESTERLY LINE OF SAID LOT 2, A DISTANCE OF 134.27 FEET TO THE POINT OF BEGINNING OF SAID LINE TO BE DESCRIBED; THENCE NORTH 38 DEGREES 25 MINUTES 35 SECONDS WEST, ALONG A SOUTHERLY LINE OF SAID LOT 2, A DISTANCE OF 201.55 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 2 AND SAID LINE THERE TERMINATING.

THAT PART OF LOT 3, BLOCK 3, CREEKSIDE FARMS, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT 3; THENCE ON AN ASSUMED BEARING ALONG THE NORTHERLY LINE OF SAID LOT 3, NORTH 49 DEGREES 51 MINUTES 34 SECONDS WEST, A DISTANCE OF 132.90 FEET; THENCE NORTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 27.61 FEET; THENCE SOUTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 132.90 FEET; THENCE NORTH 50 DEGREES 08 MINUTES 49 SECONDS EAST, A DISTANCE OF 24.00 FEET TO THE POINT OF BEGINNING.

THAT PART EMBRACED WITHIN THE NORTHERLY 10.00 FEET OF SAID LOT 3.

THAT PART OF LOT 3, BLOCK 3, CREEKSIDE FARMS, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT 3; THENCE ON AN ASSUMED BEARING ALONG THE NORTHERLY LINE OF SAID LOT 3, NORTH 49 DEGREES 51 MINUTES 34 SECONDS WEST, A DISTANCE OF 132.90 FEET; THENCE NORTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 27.61 FEET; THENCE SOUTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 132.90 FEET; THENCE NORTH 50 DEGREES 08 MINUTES 49 SECONDS EAST, A DISTANCE OF 24.00 FEET TO THE POINT OF BEGINNING.

THAT PART EMBRACED WITHIN THE NORTHERLY 10.00 FEET OF SAID LOT 3.

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THAT PART EMBRACED WITHIN THE NORTHERLY 10.00 FEET OF SAID LOT 3.

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COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT 3; THENCE ON AN ASSUMED BEARING ALONG THE NORTHERLY LINE OF SAID LOT 3, NORTH 49 DEGREES 51 MINUTES 34 SECONDS WEST, A DISTANCE OF 132.90 FEET; THENCE NORTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 27.61 FEET; THENCE SOUTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 132.90 FEET; THENCE NORTH 50 DEGREES 08 MINUTES 49 SECONDS EAST, A DISTANCE OF 24.00 FEET TO THE POINT OF BEGINNING.

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COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT 3; THENCE ON AN ASSUMED BEARING ALONG THE NORTHERLY LINE OF SAID LOT 3, NORTH 49 DEGREES 51 MINUTES 34 SECONDS WEST, A DISTANCE OF 132.90 FEET; THENCE NORTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 27.61 FEET; THENCE SOUTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 132.90 FEET; THENCE NORTH 50 DEGREES 08 MINUTES 49 SECONDS EAST, A DISTANCE OF 24.00 FEET TO THE POINT OF BEGINNING.

THAT PART EMBRACED WITHIN THE NORTHERLY 10.00 FEET OF SAID LOT 3.

THAT PART OF LOT 3, BLOCK 3, CREEKSIDE FARMS, ANOKA COUNTY, MINNESOTA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT 3; THENCE ON AN ASSUMED BEARING ALONG THE NORTHERLY LINE OF SAID LOT 3, NORTH 49 DEGREES 51 MINUTES 34 SECONDS WEST, A DISTANCE OF 132.90 FEET; THENCE NORTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 27.61 FEET; THENCE SOUTH 42 DEGREES 15 MINUTES 21 SECONDS EAST, A DISTANCE OF 132.90 FEET; THENCE NORTH 50 DEGREES 08 MINUTES 49 SECONDS EAST, A DISTANCE OF 24.00 FEET TO THE POINT OF BEGINNING.

THAT PART EMBRACED WITHIN THE NORTHERLY 10.00 FEET OF SAID LOT 3.

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THAT PART EMBRACED WITHIN THE NORTHERLY 10.00 FEET OF SAID LOT 3.

**E.G. RUD & SONS, INC.**  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-6200 Fax (651) 361-6701  
www.egrud.com

DATE	BY	REVISION
08/11/2011	JEREMY COVATY	FINAL CHECK BY JHC
08/11/2011	JEREMY COVATY	REVISED DESCRIPTIONS
08/11/2011	JEREMY COVATY	REVISED DESCRIPTIONS
08/11/2011	JEREMY COVATY	REVISED DESCRIPTIONS

I hereby certify that this survey, plan or map was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.  
JEREMY COVATY  
Date: 01/17/2013 License No. 43378



**CITY OF HAM LAKE  
STAFF REPORT**

**To:** Mayor and Councilmembers  
**From:** Dawnette Shimek, Deputy City Clerk  
**Item/Title/Subject:** Renewal of Liquor Licenses

**Introduction:**

All Liquor Licenses in the City expire on June 30, 2023. The following licensees have applied for renewal and have submitted all of the necessary forms.

Approval of the following renewal of Liquor Licenses:

On-Sale and Sunday On-Sale

- T-Box Bar & Grill, 1431 147<sup>th</sup> Avenue NE, Ham Lake, MN
- Ham Lake Lanes, 16465 Highway 65 NE, Ham Lake, MN
- Acapulco Mexican Restaurant, 18015 Ulysses Street NE, Suite 1000, Ham Lake, MN
- EAGL Beverages Holding LLC, dba Majestic Oaks Golf Club, 701 Bunker Lake Boulevard NE, Ham Lake, MN
- Maxx Bar & Grill, 17646 Highway 65 NE, Ham Lake, MN

3.2% Off-Sale

- Speedway, 1442 Constance Boulevard NE, Ham Lake, MN

Wine and 3.2% Malt Liquor

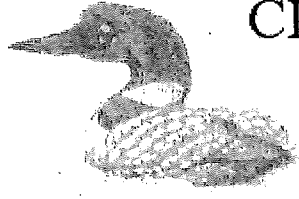
- Mansetti's Pizza & Pasta, 16220 Aberdeen Street NE, Suite C, Ham Lake, MN

Off-Sale

- Grape Expectations, dba Tournament Liquor, 1434 147<sup>th</sup> Avenue NE, Ham Lake, MN
- Bidhipur Beverage, Inc., dba Ham Lake Liquors, 17720 Central Avenue NE, Ham Lake, MN
- Broadview Operations, LLC, dba 1 Stop Liquor, 16205 Lexington Avenue NE, Ham Lake
- Rama Corporation dba Network Liquors, 13548 Highway 65 NE, Ham Lake, MN

**Recommendation: All applicants have submitted the necessary forms and are recommended for approval.**





# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, MAY 22, 2023

**CALL TO ORDER:** 6:00 p.m.

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF MINUTES:** May 8, 2023

**PUBLIC HEARINGS:**

**6:01 p.m.** Seng Vang requesting a Temporary Conditional Use Permit to raise pigeons at 142 154<sup>th</sup> Avenue NE

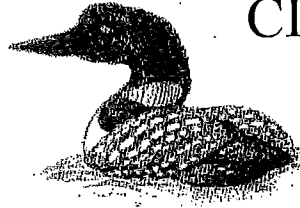
**6:01 p.m.** Akil Ibrahim requesting a Conditional Use Permit to operate Fleet Star Truck and Trailer, LLC (a full-service trucking terminal business) at 16522 Buchanan Street NE

**NEW BUSINESS:**

1. Akil Ibrahim requesting Commercial Site Plan approval to construct a 12,613 square foot office/warehouse building for a truck terminal to be located at 16522 Buchanan Street NE

**COMMISSION BUSINESS:**

1. City Council Update



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, MAY 22, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, May 22, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Commissioners Brian Pogalz, Jeff Entsminger, Dave Ringler, Scott Heaton, Jonathan Fisher and Erin Dixon

**MEMBERS ABSENT:** Commissioner Kyle Lejonvarn

**OTHERS PRESENT:** City Engineer Tom Collins, Building and Zoning Official Mark Jones and Building and Zoning Clerk Jennifer Bohr

**CALL TO ORDER:** Chair Pogalz called the meeting to order at 6:00 p.m.

**PLEDGE OF ALLEGIANCE:**

The pledge of allegiance was recited by all in attendance.

**APPROVAL OF MINUTES:**

**Motion by Entsminger, seconded by Fisher, to approve the minutes of the May 8, 2023 Planning Commission meeting as written. All present in favor, motion carried.**

**PUBLIC HEARING:**

Seng Vang requesting a Temporary Conditional Use Permit to raise pigeons at 142 154<sup>th</sup> Avenue NE.

Mr. Vang was present. Mr. Vang stated he has raced pigeons on and off over the past fifteen years and would like to start raising pigeons for racing again. Mr. Vang stated the pigeons are expensive and bred specifically to race; the sport is similar to horse racing. Commissioner Dixon completed the inspection; a copy which is on file. Commissioner Dixon stated the area the loft will be located in is screened by trees on three sides; it is unlikely it will be seen from the street. Chair Pogalz stated Building and Zoning Official Jones has submitted his recommendation for approval of this request per his staff report dated May 22, 2023.

**Chair Pogalz opened the public hearing at 6:04 p.m. and asked for public comment; with there being none, he closed the public hearing at 6:05 p.m.**

Chair Pogalz asked if the building requirements for the loft are similar to those for a chicken coop. Commissioner Dixon stated building requirements for the loft can be found in the City Code. Commissioner Dixon stated she feels the City should consider

**to be found following minutes**

modifying the City Code as it relates to pigeons. Commissioner Dixson stated she felt the requirements the City has related to raising pigeons is excessive (applying for a Temporary Conditional Use Permit, paying a \$400 fee, going through the planning process, etc.) when compared to the requirements for raising other birds, such as chickens, in the city. Chair Pogalz stated there may be some differences in the raising of each type of bird that necessitate different requirements. **Motion by Dixson, seconded by Fisher, to recommend approval of the request of Seng Vang for a Temporary Conditional Use Permit to raise pigeons at 142 154<sup>th</sup> Avenue NE subject to raising no more than 30 pigeons at one time, releasing no more than fifty-percent of the pigeons at one time for exercise and meeting all City, State and County requirements. All present in favor, motion carried. This application will be placed on the City Council's June 5, 2023 agenda.**

**PUBLIC HEARING:**

Akil Ibrahim requesting a Conditional Use Permit to operate Fleet Star Truck and Trailer, LLC (a full-service trucking terminal business) at 16522 Buchanan Street NE

Mr. Steve Plienis and Ms. Kristin Erickson of Classic Construction and Mr. Ali Giarushi, real estate agent, were present on behalf of the applicant. Mr. Plienis stated the business will be located on Lots 1-4, Block 3 of the Creekside Farms Commercial Development (Commercial Development II zoning); the applicant intends to combine the lots. Mr. Plienis stated the truck terminal building will include two stories of office space on one end, two bays with docks for shipping and receiving, two bays for trailer storage or parking when moving product from one trailer to another and one service bay; the parking lot area to the northwest of the building is primarily for trailer parking but there will also be trucks and trucks with trailers parking there. Mr. Plienis stated traffic flow will be light as most of the drivers provide over the road service; the owner anticipates traffic to be four or five trucks per day. Mr. Plienis stated Mr. Ibrahim plans to employ fifteen office staff, five shop employees, twenty drivers and contract with 60-70 independent truck drivers. Chair Pogalz completed the inspection; a copy which is on file. Chair Pogalz asked if any refrigerated trailers will be parked at the location. Mr. Plienis stated there will be some refrigerated trucks at the location, however they will come into the terminal, transfer product and leave. Chair Pogalz stated truck idling has created issues at other trucking locations adjacent to residential neighborhoods in the city; the hours of operation are to be strictly 7:00 a.m. to 5:00 p.m. Chair Pogalz stated having an indoor maintenance area should allow the business to comply with no outdoor storage requirements. Chair Pogalz asked Mr. Plienis if screening requirements have been discussed. Mr. Plienis stated they have; Mr. Ibrahim is familiar with outdoor storage requirements as he has another business location in Ham Lake. Chair Pogalz asked Building and Zoning Official Jones if he had any further comment. Building and Zoning Official Jones stated consideration may be given to posting a no truck traffic sign on 167<sup>th</sup> Avenue NE. Chair Pogalz stated a resident submitted a letter asking that a speed limit sign be posted on Buchanan Street NE. Engineer Collins stated a condition of approval for the Creekside Farms Development was that the developer post no truck signage on 167<sup>th</sup> Avenue NE; a speed limit sign can also be posted on Buchanan Street NE at 30 MPH; MnDOT approved the speed limit of 30 MPH in 2001.

See memo from Bldg. Official Jones -



Chair Pogalz opened the public hearing at 6:17 p.m. and asked for public comment; with there being none, he closed the public hearing at 6:18 p.m.

**Motion by Pogalz, seconded by Fisher, to recommend approval of the request of Akil Ibrahim requesting a Conditional Use Permit to operate Fleet Star Truck and Trailer, LLC (a full-service trucking terminal business) at 16522 Buchanan Street NE (Lots 1-4, Block 3, Creekside Farms) subject to:**

1. All semi-truck traffic using Constance Boulevard NE and Buchanan Street NE to access the terminal. Use of 167<sup>th</sup> Avenue NE is strictly prohibited.
2. All parking of semis and trailers is to be per the approved plans and the approved signage.
3. All semi-truck and trailer parking is to be associated with the truck terminal business use only. Leasing of parking spaces, under any circumstance, is strictly prohibited.
4. All truck repair is to be a secondary use to the truck terminal and is to be for trucks and trailers associated with the business only.
5. All repairs are to be done inside of the building.
6. All fluids are to be contained and disposed of according to State and County requirements.
7. No outside storage such as freight, liquids, tires, parts, etc.
8. Proper screening must be provided between commercial and residential property per Article 9-220.1.e.
9. No sleeping in trucks on the site.
10. Any refrigerated trailers are only allowed to run from 7:00 a.m. to 5:00 p.m.
11. Hours of operation will be limited to 7:00 a.m. to 5:00 p.m. Monday through Friday. No weekend hours.
12. No truck idling before or after stated hours of operation.
13. Semi-truck traffic limited to five trucks per day.
14. Meeting all City, State and County requirements.

**All present in favor, motion carried.** *This application will be placed on the City Council's June 5, 2023 agenda.*

**NEW BUSINESS:**

Akil Ibrahim requesting Commercial Site Plan approval to construct a 12,613 square foot office/warehouse building for a truck terminal to be located at 16522 Buchanan Street NE.

Chair Pogalz completed the inspection; a copy which is on file. Chair Pogalz stated he has listed the same conditions for the Commercial Site Plan as for the Conditional Use Permit with the addition of some items mentioned in Engineer Collin's memo. Chair Pogalz stated he has reviewed the turning movements shown on the plans; though the plans indicate turning maneuvers will work, they seem very tight. Engineer Collins stated the applicant's engineer has verified, through their software, that the turning movements can be made but agrees the drivers will need to maneuver carefully around the building. Chair Pogalz asked if there were concerns about the proposed screening. Engineer

Collins stated the original site plan submitted to the City included screening on the east, north and west sides from the north corner of the property to the northwest corner of the building; what is shown now is conifers and shrubs directly west of the building only. Engineer Collins stated the developer of Creekside Farms believes there is adequate natural screening provided by the existing pine trees. Engineer Collins stated the remaining trees are sparse and do not provide adequate screening; Chair Pogalz agreed. Engineer Collins stated he asked the applicant to modify the plans to include screening as was shown on the original plans; the applicant wanted the opportunity to discuss the proposed, limited screening with the Commission. Mr. Plienis stated the slope of the land is steep beyond the curb; constructing a fence on the slope will cause it to be lower than intended and there is concern the fence will be damaged when the back of trailers extend past the curb when backed into parking spaces. Chair Pogalz asked if the applicant was proposing planting trees instead of constructing a fence. Engineer Collins stated the only screening proposed is what is shown directly west of the building on the landscape plan; there is no proposed screening along the western border of the parking lot. Engineer Collins stated City Code requires screening along property lines that are adjacent to residential property in Sections 9-220.1.e and 11-1800. Engineer Collins said there is opportunity to have a flat boulevard behind the curb and/or have a retaining wall beyond the fence; there are opportunities to meet the requirements of the City Code. Mr. Plienis presented the landscape plan. Mr. Plienis said a fence is proposed along Buchanan Street NE currently; initially fencing was shown around all of the parking area for the trucks and trailers. Mr. Plienis stated the grading is very steep on the west side of the property; if a fence is constructed on the west side of the property, especially on the southern part of the west side, it will be two to three feet lower than the parking lot level due to the grade so the fence was removed from the landscape plan. Mr. Plienis stated the original plans had under-lot storage with storm water retention; the plans have been modified to include a larger retention pond and a smaller parking lot. Mr. Plienis stated extra trees are shown on the plan to the west of the building around the dumpster area. Chair Pogalz asked Engineer Collins to comment on screening options for the west side of the property. Engineer Collins stated a County Ditch runs along the west side of the property and a 50-foot easement must be maintained on each side of the ditch. Engineer Collins stated that the catch points of the proposed slopes to the west of the proposed parking lot are well outside of the County Ditch easement, and that the slope adjacent to the curb could be flattened out and the proposed slopes could be extended to the County Ditch easement which would create a bench for fencing but that retaining wall construction may also be required. Building and Zoning Official Jones stated the applicant created the hardship related to the steep grade on the west side of the property because he wants a larger parking lot. Building and Zoning Official Jones stated he has had discussions with the applicant on the impact a larger parking lot has on the site. Building and Zoning Official Jones stated a taller fence could be constructed to create an adequate amount of screening on the steep slope. Chair Pogalz stated City Code indicates screening is required and that it can be a fence, trees, vegetation or a combination of those things. Building and Zoning Official Jones stated planting trees would produce the same result as constructing a six- or eight-foot fence; the trees would be just as low as a fence would be on the proposed grade on the west side of the property. Chair Pogalz stated trees could grow up to twenty-five feet. Building and Zoning Official Jones stated that would happen over time; he is currently dealing with complaints about inadequate

screening from residents living west of Richland Refrigerated Solutions at 1305 159<sup>th</sup> Avenue NE, where trees planted for screening several years ago were removed to be replaced by a six-foot fence that doesn't adequately screen the residential area from lighting at Richland Refrigerated Solutions. Building and Zoning Official Jones stated natural screening could be provided by trees, but the trees could be removed just like they were at Mr. Ibrahim's other location. There was discussion about the type of screening that should be required and the minimum size of trees that could be planted. Engineer Collins stated there is a lot of room between the County Ditch easement and the contour; adding some fill and putting in a retaining wall could provide adequate area for a fence to be constructed. Chair Pogalz asked Building and Zoning Official Jones if he would like the screening to be a fence. Building and Zoning Official Jones stated he would like screening to be a fence. There was discussion about how requiring fence on the western side of the property would impact the project. Mr. Plienis stated the fence would add significant cost to the project. Mr. Plienis stated it was his opinion that trees would provide better screening; consideration also has to be given to a space to push snow to in the winter. Building and Zoning Official Jones asked why a fence is being proposed on the eastern side of the property that borders other commercial lots. Mr. Plienis stated they thought a fence was required on that side of the property. Engineer Collins stated screening was not required on the east side of the property. Mr. Plienis stated the fence on the east side of the property could be removed and fencing could then be constructed on the west side from the northwest corner of the building to the northern corner of the property; Mr. Ibrahim's approval would be needed before the plans could be modified. Mr. Plienis asked what type of fence would be acceptable. Building and Zoning Official Jones stated chain link fence with slats would be acceptable. Building and Zoning Official Jones stated the fence must be constructed so it is at least six-feet above the curb. Mr. Plienis stated he will need to work with a civil engineer to determine what a reasonable fence height would be. Engineer Collins stated per code, the minimum height of the fence needs to be six-feet at grade or eight-feet if it drops two-feet below grade. Mr. Plienis asked if trees could be planted for screening. Building and Zoning Official Jones stated trees could be used for screening; the applicant will be required to sign an agreement that states what type of trees will be planted, the minimum size tree that will be planted (The grade the trees will be planted at will be a factor in determining tree size.), that planting will be staggered so that trees provide an intermingled screen within five years. Chair Pogalz stated the City Code indicates screening can consist of a combination of trees and fencing; the applicant is to work with Building and Zoning Official Jones on a mutually acceptable screening plan for the west side of the property. Engineer Collins stated the City Council will consider scheduling a public hearing to vacate a portion of the drainage and utility easements for Lots 1-4 in Block 3 of Creekside Farms due to the proposed combination of the lots at the June 5, 2023 meeting. Engineer Collins stated Coon Creek Watershed District has approved a permit for the site, but will need to execute an operations and maintenance agreement (O & M Agreement) with the applicant for maintenance of the private stormwater treatment. **Motion by Pogalz, seconded by Entsminger, to recommend approval of the Commercial Site Plan requested by Akil Ibrahim to construct a 12,613 square foot office/warehouse building for a truck terminal (Fleet Star Truck and Trailer, LLC) at 16522 Buchanan Street NE (Lots 1-4, Block 3, Creekside Farms) subject to the following conditions:**

1. All semi-truck traffic using Constance Boulevard NE and Buchanan Street NE to access the terminal. Use of 167<sup>th</sup> Avenue NE is strictly prohibited.
2. All parking of semis and trailers is to be per the approved plans and the approved signage.
3. All semi-truck and trailer parking is to be associated with the truck terminal business use only. Leasing of parking spaces, under any circumstance, is strictly prohibited.
4. All truck repair is to be a secondary use to the truck terminal and is to be for trucks and trailers associated with the business only.
5. All repairs are to be done inside of the building.
6. All fluids are to be contained and disposed of according to State and County requirements.
7. No outside storage such as freight, liquids, tires, parts, etc.
8. Proper screening must be provided between commercial and residential property per Articles 9-220.1.e. and 11-1800.
9. No sleeping in trucks on the site.
10. Any refrigerated trailers are only allowed to run from 7:00 a.m. to 5:00 p.m.
11. Hours of operation will be limited to 7:00 a.m. to 5:00 p.m. Monday through Friday. No weekend hours.
12. No truck idling before or after stated hours of operation.
13. Semi-truck traffic limited to five trucks per day.
14. Meeting the requirements of the City Engineer as noted in his May 17, 2023 memo.
15. Acceptance of possible 100-year flood impacts to a portion of the site as noted in the City Engineer's memo.
16. Signing an agreement outlining requirements for screening if trees are selected for screening on the west side of the property.
17. Meeting all City, State and County requirements.

**All present in favor, motion carried.** *This application will be placed on the City Council's June 5, 2023 agenda.*

#### **COMMISSION BUSINESS:**

##### City Council Update

Commissioner Entsminger stated he did not attend the May 15, 2023 City Council meeting but informed the Commissioners that the City Council did concur with their recommendation to approve the Conditional Use Permit for GT Auto Sales. Chair Pogalz will attend the June 5, 2023 City Council meeting.

Chair Pogalz stated he has been reading several articles related to legalizing the recreational use of marijuana and the challenges it has been creating for some cities. Chair Pogalz stated the City should be proactive on determining what zoning districts dispensaries can be located in and create regulations related to marijuana sales in the City.

**ADJOURNMENT:**

**Motion by Heaton, seconded by Fisher, to adjourn the Planning Commission meeting at 7:03 p.m. All present in favor, motion carried.**

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Jennifer Bohr  
Building and Zoning Clerk



June-05-2023

**CITY OF HAM LAKE**  
**STAFF REPORT**



**To: City Council**

**From: Mark Jones, Building Official**

**Subject: Site and Conditional Use Permit approval for Fleet Star Truck & Trailer LLC at 16522 Buchanan Street St. NE**

**Introduction/Discussion:**

Akil Ibrahim, the owner of Fleet Star Truck & Trailer LLC (a trucking company) currently located at 1305 159 Avenue NE in Ham Lake, is proposing to construct a truck terminal at 16522 Buchanan Street for a second location. This property is zoned Commercial Development 2 (CD-2). A truck terminal is permitted as a Conditional Use and is defined as a location where commercial trucks load and unload cargo on a regular basis. This location will be used as an office/warehouse with a maintenance bay to provide light duty repairs and maintenance of semi-trucks. Hours of operation will 7 am to 5 pm, Monday – Friday. There will be 15 office staff, 5 shop employees, 20 drivers employed by Fleet Star & Trailer LLC and 60 to 70 independent drivers. Most services will be performed off site; truck traffic onsite is estimated to be 4 to 5 trucks per day. Per Article 9-220, Mercantile Districts, Section 9-220.1.e, Buffering - when any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both. Per Article 11-1853.A, where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years. Fleet Star Truck & Trailer's proposed landscape plan does not meet the requirements of Code for screening because of the type of trees they are proposing to plant and the location where they are proposing to plant them, has significant drop I grade from the top of the curb. A minimum 6 foot screening height needs to be meet. Article 11-260, Commercial and Industrial Fences, fences in these districts shall not be less than 6 (six) feet and shall not exceed 12 (twelve) feet.

**Recommendation:**

I recommend approval of the site plan and Conditional Use Permit for Fleet Star Truck and Trailer LLC with the addition of the following conditions:

1. Before issuance of a building permit, all screening must be approved by the City Engineer and the Building Official.
2. Any approved screening must be maintained.
3. Meeting all Planning Commission conditions

client  
**CLASSIC CONSTRUCTION**  
1842 LUXESS ST NE  
EAST RENO, NV 89501

project  
**FLEET STAR TRUCK & TRAILER**  
HAWK LAKE, NV

CONSTRUCTION  
1842 LUXESS ST NE  
EAST RENO, NV 89501

DATE: 08/20/2014  
BY: [Signature]

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/2014	CONSTRUCTION
2	08/20/2014	CONSTRUCTION
3	08/20/2014	CONSTRUCTION
4	08/20/2014	CONSTRUCTION

LANDSCAPE PLAN

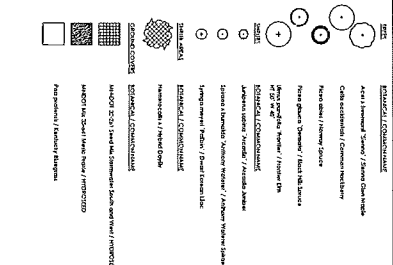
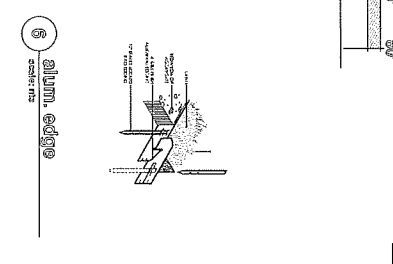
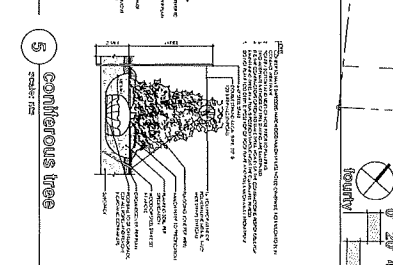
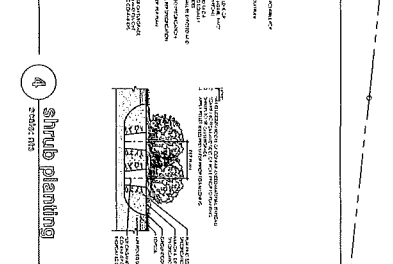
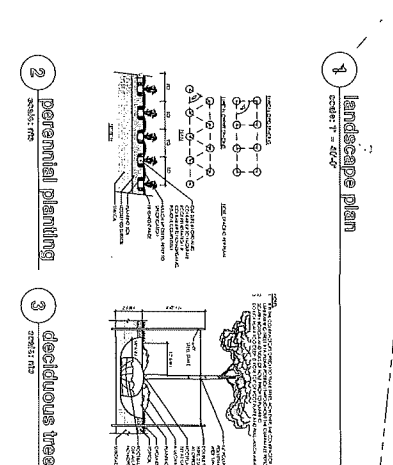
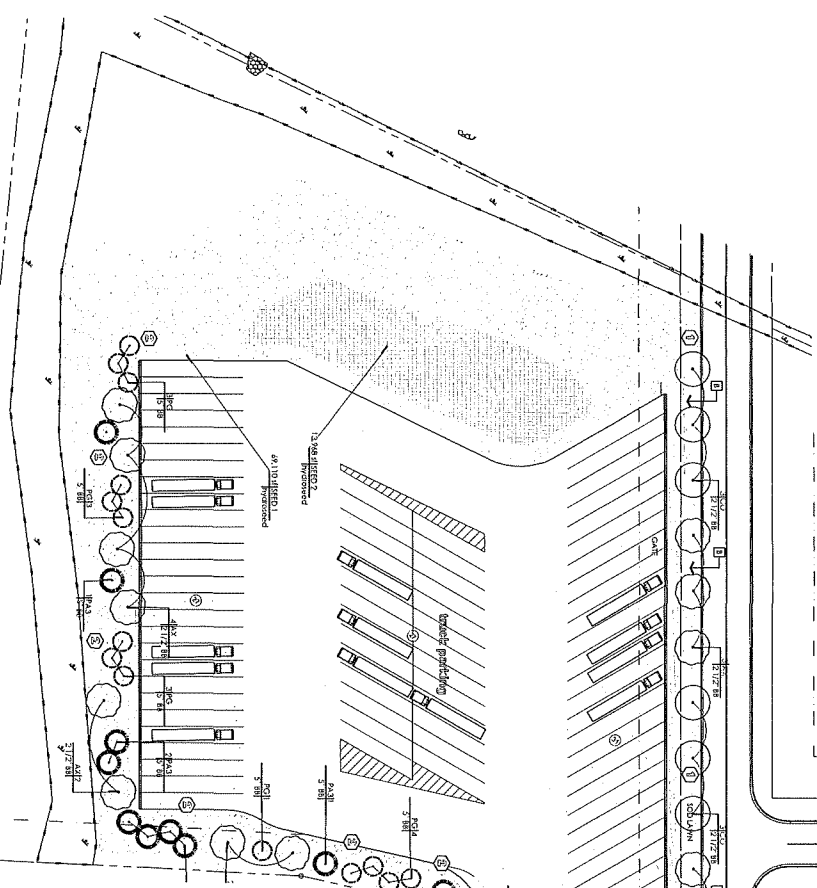
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**planting schedule**

PLANT	QUANTITY	DATE	NOTES
1. [Symbol]	1	2/17/14	...
2. [Symbol]	15	2/17/14	...
3. [Symbol]	30	5/18	...
4. [Symbol]	2	2/17/14	...
5. [Symbol]	2	5/18	...
6. [Symbol]	2	5/18	...
7. [Symbol]	15	5/18	...

**soils notes**

1. ALL PLANTING AREAS SHALL RECEIVE 10" OF MULCH...
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**planting notes**

1. CONFORM TO ALL CITY, STATE, AND FEDERAL REGULATIONS...
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1,52 ALPES



# CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

## PLANNING REQUEST

Date of Application 4/28/23

Date of Receipt 5-8-23  
Receipt # 95924

Meeting Appearance Dates:  
Planning Commission 5/22/23

City Council 6/5/23

### Please check request(s):

- |   |   |
|---|---|
| <input type="checkbox"/> Metes & Bounds Conveyance  | <input type="checkbox"/> Commercial Building Site                                 |
| <input type="checkbox"/> Sketch Plan                | <input type="checkbox"/> Certificate of Occupancy                                 |
| <input type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit                                   |
| <input type="checkbox"/> Final Plat Approval        | <input checked="" type="checkbox"/> Conditional Use Permit (New) <i>Temporary</i> |
| <input type="checkbox"/> Rezoning*                  | <input type="checkbox"/> Conditional Use Permit (Renewal)                         |
| <input type="checkbox"/> Multiple Dog License*      | <input type="checkbox"/> Other  |

**\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: \_\_\_\_\_

Address/Location of property: 142 154th Ave NE Ham Lake MN 55304

Legal Description of property: \_\_\_\_\_

PIN # \_\_\_\_\_ Current Zoning PUD Proposed Zoning \_\_\_\_\_

Notes: Temporary Conditional Use Permit to raise Pigeons

Applicant's Name: Seng Vang

Business Name: \_\_\_\_\_

Address 142 154th Ave Ne

City Ham Lake State MN Zip Code 55304

Phone 612-203-3239 Cell Phone 612-203-3239 Fax \_\_\_\_\_

Email address seva612@gmail.com

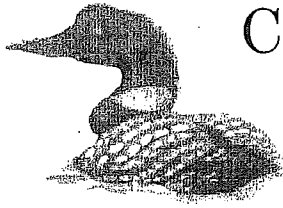
**You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.**

SIGNATURE [Signature] DATE 5/3/23

### - FOR STAFF USE ONLY -

ACTION BY: Planning Commission 5/22/23  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT YES NO



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

NOTICE OF PUBLIC HEARING  
CITY OF HAM LAKE  
COUNTY OF ANOKA  
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, May 22, 2023 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE, for the purpose of considering the application of Seng Vang requesting a Temporary Conditional Use Permit to raise pigeons at 142 154<sup>th</sup> Avenue NE, such land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

LOT 2, BLOCK 3 OAK HILL ESTATES

At such hearing both written and oral comments will be heard.

DATED: May 12, 2023

Jennifer Bohr  
Building and Zoning Clerk  
City of Ham Lake

# Anoka County Parcel Viewer



**Parcel Information:**      Approx. Acres: 1.32855615  
 19-32-23-23-0016            Commissioner: JULIE BRAASTAD  
 142 154TH AVE NE  
 HAM LAKE  
 MN 55304  
 Plat: OAK HILL ESTATES

**Owner Information:**  
 CHANG, CHEE  
 142 154TH AVE NE  
 HAM LAKE  
 MN  
 55304



**R-1**

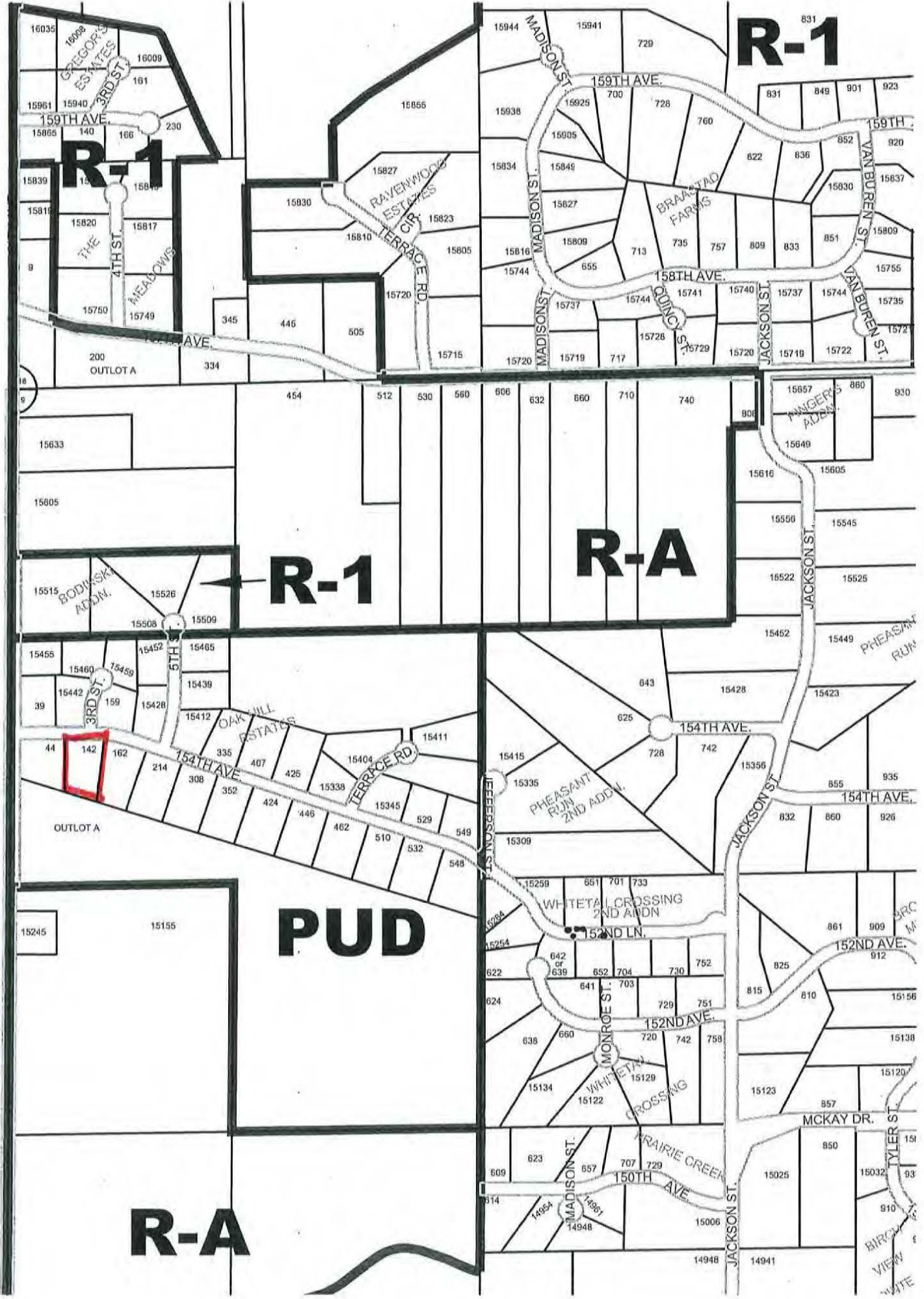
**R-1**

**R-1**

**R-A**

**PUD**

**R-A**



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15961  
15885  
15839  
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15820  
15750  
200  
OUTLOT A

16008  
15940  
15885  
15839  
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15750

159TH AVE  
3RD ST  
4TH ST  
MEADOWS

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15938  
15834  
15744  
15720

15941  
729  
15925  
700  
15905  
15849  
15827  
15809  
655  
15744  
15737  
15719  
717

159TH AVE  
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760  
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836  
851  
809  
833  
851  
15741  
15729  
15720

MADISON ST  
MADISON ST  
MADISON ST  
QUINC ST  
VAN BUREN ST  
VAN BUREN ST

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849  
901  
923  
820  
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154TH AVE  
TERRACE RD  
OAK HILL ESTATES

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154TH AVE

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May 22, 2023

**CITY OF HAM LAKE**

**STAFF REPORT**

**To: Members of the Planning Commission**

**From: Mark Jones, Building Official**

**Subject: Temporary Conditional Use Permit for Raising Pigeons  
at 142 154 Avenue NE**

**Introduction/Discussion:**

Seng Vang is looking to raise 24 to 30 pigeons for the sport of racing. He is a member of the American Racing Pigeon Union and has been for 15 years. Mr. Vang races pigeons locally and at the national level. The pigeons he raises are bred for racing and are not wild pigeons. Mr. Vang is building a loft to house the pigeons and states he will monitor the birds' health closely. Clean lofts are a big factor in maintaining healthy pigeons. Mr. Vang plans to clean the loft two to three times a week. All waste will be bagged and disposed of in the trash. Mr. Vang also states that other than for racing, training and exercise, the pigeons will be in the loft.

**Recommendation:**

I recommend approval of the Temporary Conditional Use Permit (TCUP) on the conditions Mr. Vang raises no more than 26 pigeons and, when exercising the pigeons, no more than 50 percent of the birds be released at one time. If the pigeons roost on neighboring properties other than the applicant's property when being exercised, causing ongoing problems, the TCUP should be revoked.

## Raising Of Pigeon for the Sport Of Pigeon Racing

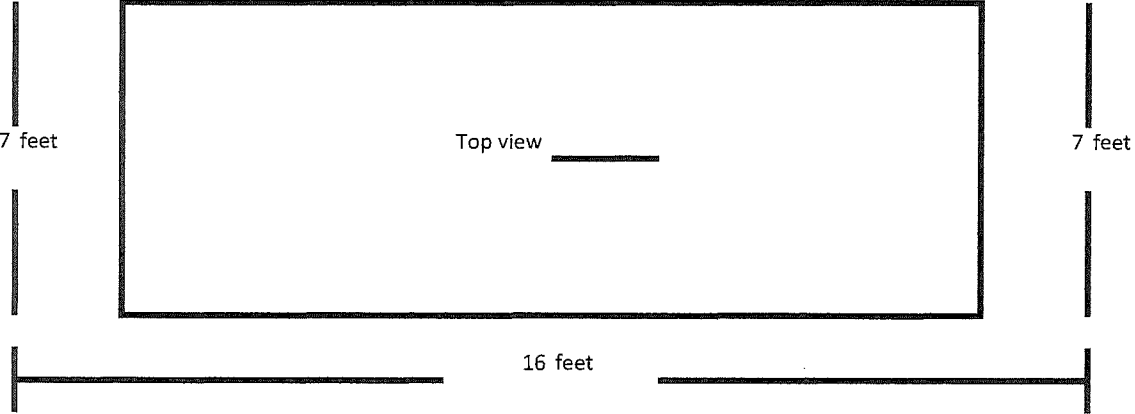
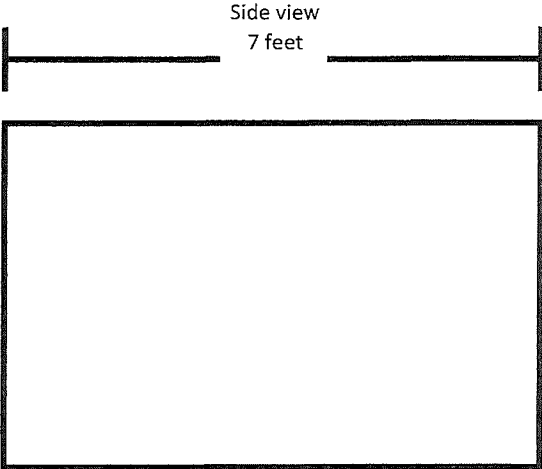
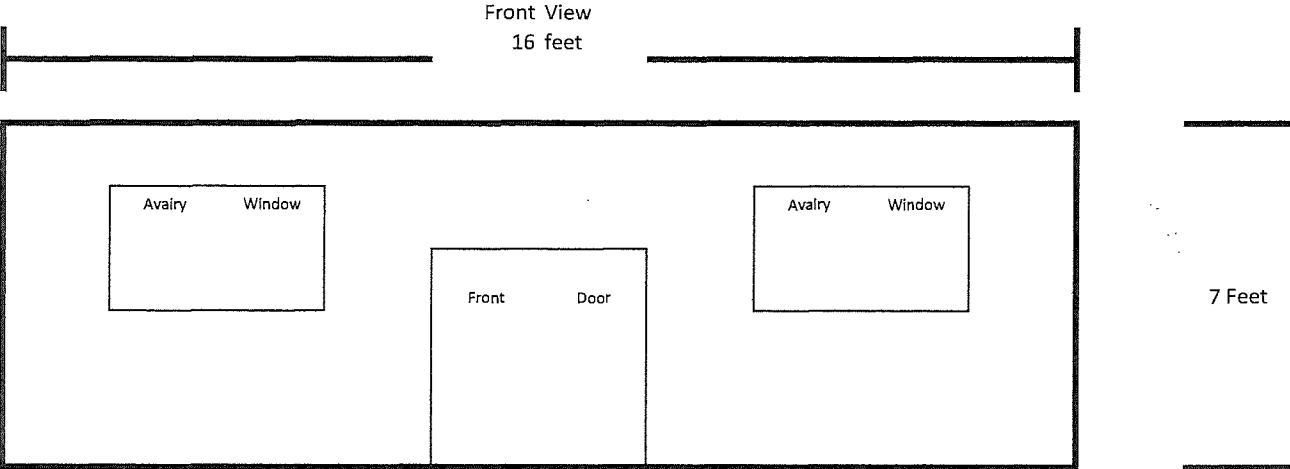
Raising of pigeons is strictly to compete in the sport of racing pigeons. Not only on a local level but also on a national level where birds are sent to a certain location to be raised and raced in that location. I have been a part of American Racing Pigeon Union for 15+ years. In the sport of pigeon racing, the pigeons are specifically bred from certain stock and are not wild pigeons. These pigeons are sold for large amounts of money so care and health of these birds are closely monitored. Certain medication and feed of birds are all controlled to maintain a healthy flock. Clean lofts are a big factor in the health of the birds so cleaning of loft will be closely monitored and bird droppings will be swept and properly bagged and disposed of in the trash every 2-3 days. I plan on having a flock of 24-30 birds. Some young birds will be sent to One Loft Races in other locations in the United States. Some will be kept for Club Racing with in MN. The number of birds will always fluctuate from birds being sent out of state or from natural death to predatory reasons. Training of birds will be limited to just once or twice a week and will all be dependent on weather. Other than out to exercise, birds will be confined to closed quarters and not free to be out and fly around. They will be food driven when training so they will not linger around on other property. Once directed, they will trap into loft to feed. I plan to construct the pigeon loft on the west side of the property. There is a natural barrier of evergreen pine trees and shrubs to hide the line of sight and noises from the neighbors to the west of my property. Also I have pine trees on the east side of my property to hide line of sight. All aspects of respect to my neighbors will be priority.



## Building Plans for Pigeon Loft

Pigeon loft will be constructed of wood frame that will be elevated off the ground to prevent rodents residing under the loft. Fencing will be install on the bottom to keep critters out. Loft plans are to have the building be 16 feet long and 7 feet wide. Roof design will be that of a shed with the slope going back towards the backside of the loft to promote good ventilation and discouragement of birds landing on the roof. Loft front will face the east with the length of the loft running north and south. Loft will be paint yellow to match the House.

Pigeon Loft Plans



Model Example





Map data ©2023, Map data ©2023 20 ft

Area Pigeon loft will be positioned at



## Excerpt from Article 9 of the Ham Lake City Code

...

**9-210.1 Single Family Residential (R-1)** R-1 districts are intended for residential dwellings occupied by a single housekeeping unit. Definition of "SINGLE HOUSEKEEPING UNIT" - means one or more persons, not necessarily related by blood, occupying a portion of a dwelling unit which contains all of the following elements intended for the exclusive use of that particular person or group of persons: bathroom, kitchen or cooking facilities and sleeping quarters. All dwellings and ancillary features shall be constructed in accord with codes adopted by the State of Minnesota, County of Anoka, and City of Ham Lake. A *dwelling unit* is a properly and legally constructed structure in which humans are intended to reside. A *garage* is a structure which, when constructed (as labeled or indicated on the building permit application), was intended to store passenger-sized motor vehicles, regardless of the present usage of the structure.

### **a) Permitted Uses**

- Single Family Dwellings, except Manufactured Homes
- Structures ancillary to the dwelling – including Non-Commercial
  - Radio Towers less than forty-five feet (45') in height.
- Public Parks
- Schools
- Full-size (9 hole +) golf courses
- Publicly Owned Buildings
- Underground Utilities
- Above Ground Transmission Lines and poles existing prior to the *Enactment Date*
- Multiple Dog License meeting requirements of Article 5-150
- Home Occupations under Article 9-350
- Accessory Buildings under Article 9-370
- Licensed Day Care Facilities in Dwellings Occupied as Residences
- Beauty Shops possessing Home Occupation Permits issued under 9-350
- Dog grooming business possessing Home Occupation Permits issued under Article 9-350

### **b) Conditional Uses**

- Public Utility Structures
- Firewood Sales

- Boarding Houses or Duplexes capable of meeting the provisions of Article 10-300 (Livability) as to each housekeeping unit

c) **Temporary Conditional Uses**

- Therapeutic Massage Facilities
- Raising of Pigeons under Article 9-330.8

...

**9-210.5 Planned Unit Development (PUD)** A PUD district is a development which involves single family housing of the variety found in the R-1 District, combined with a second active land use of a non-residential nature, or a development which involves a single active land use of a residential nature which differs from the housing types commonly found in the R-1 district, such as *townhomes* or facilities found in the R-AH districts. The following features shall be present in PUD developments:

- Development Agreement** Every PUD shall require the negotiation and execution of a written development agreement, for recording with the plat of the PUD.
- Permitted Uses, Conditional Uses, and Temporary Conditional Uses** The development agreement shall state the *permitted uses, conditional uses and temporary conditional uses* which shall be allowed in the PUD. For non-residential uses, the development agreement shall characterize these uses by reference to a particular zoning category found elsewhere in this code, and while the general zoning category of the property shall be "PUD", the non-residential usage shall be subject to the same requirements and conditions as are found for the zoning category which is chosen to characterize that particular non-residential usage.
- Townhomes** *Townhomes* are single family dwellings which have at least one common wall with another single-family dwelling, and are *permitted uses* in the PUD district up to a maximum of four units in a given row of *townhomes*.
- Density and Lot Requirements** Residential Density in a PUD shall not exceed one dwelling unit per acre. Physical standards for lots, streets and other aspects of development, including setbacks, shall generally be identical to those standards for the same character of land use in the individualized zoning districts; however, zero lot lines may be used for *townhomes*, and minor alterations in other physical

standards shall be permitted to encourage cluster housing or other planning techniques, without the need to categorize such alterations as variances.

- e) **Private Roads** Private roads may be used in the PUD districts, provided that there is a mechanism approved by the city for maintenance, snowplowing and access for emergency vehicles, school buses, mail vehicles, governmental inspectors, utility companies, rubbish removal and other common services.
  
- f) **Phasing and Amendments** A PUD may be developed in phases in accord with applicable statutory authority, but all phasing shall be detailed in the development agreement. Amendments to a PUD which do not materially affect land uses or persons outside the PUD may be processed by Planning Commission review and City Council action, but all other amendments shall require a public hearing to be conducted in the same manner as for the original PUD plat.

...

## **9-300 SPECIAL ZONING MATTERS**

### **9-310 Conditional Use Permits**

A *Conditional Use Permit* is a permit issued after approval by the City Council, which allows a particular parcel to be used for a purpose other than a *permitted use* in a given zoning category. Additional provisions for certain types of *Conditional Use Permits* are found in Article 9-330 of this code. The following specific terms and conditions shall apply to *Conditional Use Permits*:

**9-310.1 General Guidelines for Issuance** No *Conditional Use Permit* shall be issued unless the usage meets the criteria outlined in Article 9-110. In addition, a *Conditional Use Permit* may be denied if the City Council finds:

- i) that the proposed usage is visually or otherwise incompatible with adjoining pre-existing land uses; or
- ii) that the proposed usage would create unsafe traffic conditions; or
- iii) that the proposed usage would result in noise, light glare, vibrations, fumes or other environmental conditions that would disturb adjoining pre-existing land uses; or
- iv) that the proposed usage would otherwise be harmful to public health, safety or welfare.

### **9-310.2 Procedure for Issuance**

Application for a *Conditional Use Permit* shall be made on forms prescribed by the *Zoning Officer*, and shall be accompanied by such fees as the City

Council may from time to time require. The *Zoning Officer* may request such additional information or data from the applicant as the *Zoning Officer* deems appropriate, prior to scheduling a public hearing. Once all submissions are complete, the *Zoning Officer* shall publish notice in the manner provided by statute of a public hearing to be held before the *Planning Commission*, which shall make recommendations to the City Council after reviewing the application and conducting the public hearing. The public hearing may be continued or recessed in the discretion of the *Planning Commission*. The City Council may attach such conditions to the issuance of *Conditional Use Permit* as it deems appropriate. If the application is denied, notice of the reasons for denial, including specific findings of fact, shall be given in the manner provided by law.

### **9-310.3 Renewal and Revocation**

#### **9-310.31 Duration**

A *Conditional Use Permit* shall be issued for a period of one year.

#### **9-310.32 Administrative Renewal**

A *Conditional Use Permit* may be renewed by administrative action under the following conditions:

- a) City Staff shall keep a record of the expiration dates of all *Conditional Use Permits*, and shall conduct an annual inspection of the premises housing the *Conditional Use Permit* to verify ongoing compliance with the conditions of the Permit.
- b) If the annual inspection discloses no ongoing violations of the conditions of the Permit, the City Administrator shall approve the renewal, and make a notation in the Permit file as to such approval. Subject to the provisions of Article 9-310.33, the City Administrator may also approve a renewal where the annual inspection reveals an ongoing violation of the conditions of the Permit, if the violation is promptly cured by the Permit holder.
- c) No renewal fee shall be charged for renewal by administrative action.

#### **9-310.33 Renewal by City Council Action**

Renewal of a *Conditional Use Permit* by approval of the City Council, after *Planning Commission* review, shall be required in the following instances:

- a) If the Permit holder requests a material change in the conditions of the Permit; or
- b) If the City staff has documented more than two violations of the conditions of a *Conditional Use Permit* within any given calendar year; or



- c) If the City staff has documented a violation that constituted an immediate threat to public health or safety, requiring the imposition of additional conditions to the permit to lessen the likelihood of a repeat of the violation.
- d) The holder of a Permit requiring renewal by City Council action shall be required to reimburse the City for any expense incurred in renewing the permit.

#### **9-310.34 Revocation**

The City Council may, by resolution, revoke a *Conditional Use Permit* if, after conducting a review which affords reasonable due process of law to the permit holder, the City Council finds:

- a) That the conditions of the permit have been repeatedly violated in the preceding twelve months, and that there is a substantial likelihood that repeated violations will continue to occur; or
- b) That there is an ongoing violation of the permit that has not been cured; or
- c) That there are one or more conditions present at the location covered by the Permit that presents an ongoing threat to public health or safety.

#### **9-320 Temporary Conditional Use Permits**

A *Temporary Conditional Use Permit* is identical to a *Conditional Use Permit*, and subject to all of the conditions and procedures outlined in Article 9-310, with the following exceptions:

- i) The *Temporary Conditional Use Permit* shall be issued for a finite duration, after which the permit expires and the land usage no longer authorized. There is no renewal of a *Temporary Conditional Use Permit*.
- ii) The City Council may, in its discretion, require annual review of a *Temporary Conditional Use Permit*, and may, in the initial issuance of the permit, reserve the right to establish additional conditions upon each annual review.

#### **9-330.8 Raising of Pigeons**

##### **A. Definitions**

1) **“Pigeon”** means a member of the family *Columbidae*, and consists of birds known as “Racing Pigeons”, “Fancy Pigeons” and “Sporting Pigeons” as those terms are commonly known and used in the pigeon raising community.

2) **“Recognized Pigeon Association”** means the International Federation of Raging Pigeon Fanciers, the American Racing Pigeon Union, Inc., the National Pigeon Club, the American

Pigeon Club, the Rare Breeds Pigeon Club, the American Tiptler Society, and the International Roller Association.

**3) "Loft"** means a structure especially built for the housing of pigeons.

## **B. Conditions**

The following conditions shall be observed by every person granted a conditional use permit to keep, breed and raise pigeons.

**1) Location.** All pigeons shall be kept in a Loft containing at least 50 square feet of floor area. If the Loft contains more than 120 feet of floor area, the structure shall be deemed an *Accessory Building* and subject to the provision of Article 9-370. A Loft shall not be considered a *Farm Building*.

**2) Construction Standards.** The Loft shall be constructed as a wood frame building, of sufficient height and other security measures to discourage invasion by predatory animals. The property owner shall not be required to obtain a building permit for the Loft, but plans for the Loft shall be submitted at the time of application for Conditional Use Permit. The Loft shall provide adequate shelter from the elements, and meet any standards recommended by a Recognized Pigeon Association.

**3) Population Limitations.** No more than 32 pigeons may be kept on any parcel of land. Pigeons that are 28 days old or younger shall not be counted against this limit.

**4) Noise.** The permit holder shall take adequate steps to insure that noise from the pigeons are not audible to nearby properties.

**5) Personal Hobby Use Only.** Pigeons kept in any district but the R-A districts shall be for the personal hobby use of the permit holder, and the activity shall not be operated as any kind of a mercantile venture in areas zoned other than R-A.

**6) Sanitation.** All animal waste shall be removed and properly disposed of in a manner that promotes general health and safety, and all feed shall be stored inside the Loft, safe from invasion by vermin or disease-promoting forces. All feeding activities shall be carried on within the Loft.

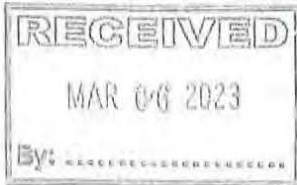
**7) Confinement.** Except when involved in exercise, competition or training activities under the supervision of the permit holder, pigeons shall be confined to the Loft, and shall not be permitted to perch or linger on the property of others. Pigeons that have been fed within the previous four hours shall not be released from the Loft.

**8) Banding and Registration.** All pigeons that are six months old or older shall be banded and registered with at Recognized Pigeon Association.

**9) Screening.** All lofts shall be placed in locations where they are screened by buildings, fences or coniferous vegetation from view from adjoining properties.

**C. Annual Inspection.** All facilities shall be subject to an annual inspection by the City. The City may, at the discretion of its staff, delegate the inspection to a Recognized Pigeon Association. The permit holder shall comply with all requirements imposed by any inspection. All costs of inspection shall be the responsibility of the permit holder.

**D. General Nuisance.** The permit holder shall conduct all activities in connection with the keeping and raising of pigeons in a manner that avoids the creation of public or private nuisances, and to this end, and without limitation, the activities shall be conducted so as to eliminate from outside the Loft all odor, noise, vibrations, attraction of rodents, vermin or predatory animals, attractive nuisance, eyesores or other aesthetic detractions from neighborhood appearance, traffic or accumulation of debris or waste.



# CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

## PLANNING REQUEST

Date of Application 3/6/2023

Date of Receipt 3-6-23

Receipt # 95475

Meeting Appearance Dates:  
Planning Commission 5/22/23

City Council 4/5/23

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval\*
- Final Plat Approval
- Rezoning\*
- Multiple Dog License\*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)\*
- Conditional Use Permit (Renewal)
- Other \_\_\_\_\_

\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.

Development/Business Name: Fleet STAR TRUCK & TRAILER

Address/Location of property: 16522 Buchanan St NE

Legal Description of property: LOTS 1-4, BLOCK 3, CREEKSIDE FARMS

PIN # 06-32-23-33-0009 Current Zoning CD-2 Proposed Zoning \_\_\_\_\_

Notes: (0010, 0011, 30012) CUP SITE PLAN FOR TRUCK TERMINAL

Applicant's Name: AKIL IBRAHIM

Business Name: Fleet STAR TRUCK & TRAILER, LLC

Address 1305 159th Ave NE

City Ham Lake State MN Zip Code 55304

Phone 763 571 441 Cell Phone 952-666-8579 Fax \_\_\_\_\_

Email address RichlandRRS@gmail.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 3-3-2023

\*\*\*\*\*

- FOR STAFF USE ONLY -

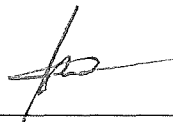
ACTION BY: Planning Commission 5/22/23  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT  YES  NO

**NOTICE TO ALL APPLICANTS FOR MUNICIPAL  
PERMITS, LICENSES,  
OR OTHER MUNICIPAL ACTION**

1. *If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.*
  
2. *The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.*
  
3. *The information you supply will be public and available to any entity requesting to inspect the information.*

**DATA PRACTICES ADVISORY  
TENNESSEN WARNING  
REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

SIGNED BY  \_\_\_\_\_

COMPANY/TITLE: OWNER

DATE: 3-3-2023

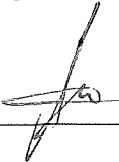
**CITY OF HAM LAKE  
ACKNOWLEDGMENT OF RESPONSIBILITY  
TO REIMBURSE EXPENSES**

The undersigned, AKIL IBRAHIM, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

*Type of Application*

acknowledges that the sum of \$ \_\_\_\_\_, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature \_\_\_\_\_



Dated \_\_\_\_\_

3-3-2023

The following statement must be signed if the applicant is not the property owner:

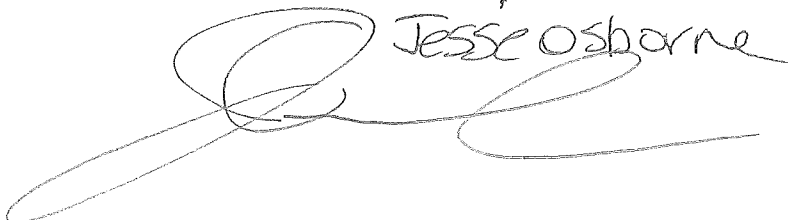
AKIL IBRAHIM, Fleet STAR, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

Property Owner Signature \_\_\_\_\_

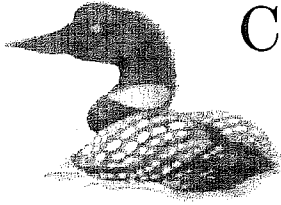


Dated \_\_\_\_\_

3-3-2023



5/25/23



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## CITY OF HAM LAKE, MINNESOTA RESOLUTION NO. 23-XX

### APPROVAL OF CONDITIONAL USE PERMIT 16522 BUCHANAN STREET NE

**WHEREAS**, Fleet Star Truck & Trailer, LLC filed an application dated March 6, 2023, Receipt #95475, requesting a conditional use permit to operate Fleet Star Truck & Trailer, LLC, a truck terminal on property located at 16522 Buchanan Street NE. The subject property is legally described as follows:

PIN#'s 08-32-23-33-0009, 08-32-23-33-0010, 08-32-23-33-0011 and 08-32-23-33-0012

LOTS 1, 2, 3 and 4, BLOCK 3 CREEKSIDE FARMS

**WHEREAS**, the Property is located in the Commercial Development II (CD-2) Zoning District; and

**WHEREAS**, CD-2 Zoning Districts are located adjacent to the CD-1 Zoning Districts, and constitute a second tier of commercial activities along the Trunk Highway 65 corridor. CD-2 Zoning Districts also have importance in presenting a visually pleasing image to the traveling public, but are less visible from the Trunk Highway 65 roadway than the CD-1 Zoning Districts; and

**WHEREAS**, the intended use of the Property is for a truck terminal; and

**WHEREAS**, the proposed hours of operation are 7:00 a.m. to 5:00 p.m., Monday thru Friday, with no weekend hours; and

**WHEREAS**, under Section 9-220.3 (c) of the Ham Lake City Code, truck terminal is a conditional use in CD-2 Zoning Districts; and

**WHEREAS**, pursuant to Section 9-310.2 of the Ham Lake City Code, the Ham Lake Planning Commission reviewed the conditional use application and held a public hearing at their regular meeting on May 22, 2023, and recommended approval of the Conditional Use Permit with the following conditions:

1. All semi-truck traffic using Constance Boulevard NE and Buchanan Street NE to access the terminal. Use of 167<sup>th</sup> Avenue NE is strictly prohibited.
2. All parking of semis and trailers is to be per the approved plans and the approved signage.
3. All semi-truck and trailer parking is to be associated with the truck terminal business use only. Leasing of parking spaces, under any circumstance, is strictly prohibited.
4. All truck repair is to be a secondary use to the truck terminal and is to be for trucks and trailers associated with the business only.

5. All repairs are to be done inside of the building.
6. All fluids are to be contained and disposed of according to State and County requirements.
7. No outside storage such as freight, liquids, tires, parts, etc.
8. Proper screening must be provided between commercial and residential property per Article 9-220.1.e.
9. No sleeping in trucks on the site.
10. Any refrigerated trailers are only allowed to run from 7:00 a.m. to 5:00 p.m.
11. Hours of operation will be limited to 7:00 a.m. to 5:00 p.m. Monday through Friday. No weekend hours.
12. No truck idling before or after stated hours of operation.
13. Semi-truck traffic limited to five trucks per day.
14. Meeting all City, State and County requirements.

**WHEREAS**, the Ham Lake Planning Commissions meeting minutes and materials from its May 22, 2023 meeting shall be used to support the Ham Lake City Council's findings of fact.

**NOW, THEREFORE, BE IT RESOLVED** that the Ham Lake City Council hereby approves the Conditional Use Permit for the property located at 16522 Buchanan Street NE subject to the conditions and approval as recommended by the Planning Commission and stated herein, and further subject to the following condition:

1. Written receipt by the City, and approval by the City Attorney, of acknowledgement and approval of the Conditional Use Permit by the owner of the property located at 16522 Buchanan Street NE.
2. Compliance with all applicable Ham Lake City Code requirements.

Adopted by the Ham Lake City Council this the 5<sup>th</sup> day of June, 2023.

ATTEST:

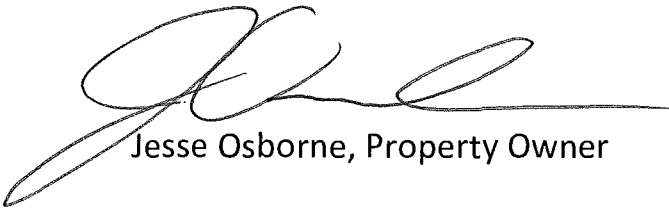
\_\_\_\_\_  
Denise Webster, City Clerk

\_\_\_\_\_  
Brian Kirkham, Mayor

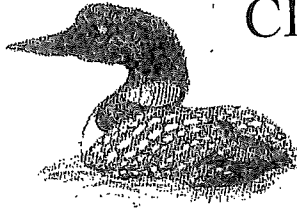


5/25/2023

I approve of the conditions of the Conditional Use Permit approved for Fleet Star Truck & Trailer located at 16522 Buchanan Street NE (L 1-4, B 3, Creekside Farms).

A handwritten signature in black ink, appearing to read 'Jesse Osborne', with a long horizontal stroke extending to the right.

Jesse Osborne, Property Owner



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

NOTICE OF PUBLIC HEARING  
CITY OF HAM LAKE  
COUNTY OF ANOKA  
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a Public Hearing shall be held before the Ham Lake Planning Commission on Monday, May 22, 2023 at 6:01 p.m. at the Ham Lake City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Akil Ibrahim of Fleet Star Truck and Trailer, LLC, requesting a Conditional Use Permit to operate a truck terminal at 16522 Buchanan Street NE, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

PIN#'s 08-32-23-33-0009, 08-32-23-33-0010, 08-32-23-33-0011 and 08-32-23-33-0012

LOTS 1, 2, 3 and 4, BLOCK 3 CREEKSIDE FARMS

At such hearing both written and oral comments will be heard.

DATED: May 12, 2023

Jennifer Bohr  
Building and Zoning Clerk  
City of Ham Lake

## Jennifer Bohr

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**From:** Susan Savarese <sues@sannerudsavarese.com>  
**Sent:** Friday, May 19, 2023 8:48 AM  
**To:** Jennifer Bohr  
**Cc:** Tim Savarese (tsavares@gmail.com); Betty Sannerud  
**Subject:** Public Hearing - Fleet Star Truck and Trailer

Good Morning Jennifer,

Thank you for taking my call earlier this week regarding the public hearing.

We are not able to attend the public hearing and have reviewed the packet of data, which answered most of our questions.

Our homes are very close to this commercial development, and our first concern was overnight parking and 24 hour activity at the site.

They indicate the hours of operation are from 7 am to 5 pm. That appears to be the hours the office is open. What about the yard/parking? Are trucks allowed in and out of the site before and after hours?

Our other question – could we get a speed limit sign posted on Buchanan? 35 mph? I would hope the trucks wouldn't speed up and down this ¼ mile of roadway, but a sign would be a helpful reminder that there are residential homes on this street.

Thank you for your help.

Sue and Tim Savarese  
16455 Buchanan Street NE  
Ham Lake MN 55304  
763.742.2764 Cell (Sue)

Betty Sannerud  
16501 Buchanan Street NE  
Ham Lake, MN 55304

*Susan E Savarese, CPA*  
Managing Partner  
Sannerud Savarese & Assoc PA  
1207 Constance Blvd NE  
Ham Lake, MN 55304  
763.434.5929 ext 407  
**763.782.7407 Direct**  
763.434.8833 fax  
[sues@sannerudsavarese.com](mailto:sues@sannerudsavarese.com)



16522 Buchanan Street NE



**TO:** City of Ham Lake – Attn: David Krugler

**FROM:** Akil Ibrahim

**DATE:** April 28, 2023

**SUBJECT:** FLEET STAR Truck & Trailer, LLC City Memo

Fleet Star Truck & Trailer, LLC is a local trucking company owned solely by myself, Akil Ibrahim and has been in business for 10 years. We currently have a location in Ham Lake. We are looking to open a second location and build a truck terminal in the new Creekside Farms Development, specifically lots 1-4 in Block 3. The building footprint square footage will be 11,057 sf (see attached A2.1 for further details) and will have two loading docks for the warehousing of freight (excludes any hazardous materials), storage bays for trailers, and one maintenance bay for light duty repairs and preventative maintenance on trucks and trailers; the upper level square footage is 2,498 and will have offices and a work area along with restrooms (see plan page A2.1) We will operate from 7AM to 5 PM Monday- Friday and employ 15 office staff, 5 Shop employees, 20 drivers, and 60-70 independent drivers which are contracted by Fleet Star (Independent Contractor Agreement submitted; Drivers provide trucking services ((loading and unloading of goods for Fleet Star)). The total truck traffic per day would be 4-5 trucks. Storage needs will take place within the building for transferring goods to and from trailers.

Please see attached X1 and X2 exhibits showing turning movements along with the 100 – year flood event of possible standing water for a short time that I find completely acceptable.

I would like to reiterate there will be no overnight parking (sleeping) allowed at this truck terminal.

Thank you and I look forward to continuing my business in Ham Lake,

*Akil I*

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May 22, 2023

**CITY OF HAM LAKE**  
*STAFF REPORT*

**To: Members of the Planning Commission**

**From: Mark Jones, Building Official**

**Subject: Conditional Use Permit for Fleet Star Truck & Trailer LLC at 16522 Buchanan Street St. NE**

**Introduction/Discussion:**

Akil Ibrahim, the owner of Fleet Star Truck & Trailer LLC (trucking company) currently located at 1305 159 Avenue NE in Ham Lake, is proposing to construct a truck terminal at 16522 Buchanan Street for a second location. This property is zoned Commercial Development 2 (CD-2). A truck terminal is permitted as a Conditional Use and is defined as a location where commercial trucks load and unload cargo on a regular basis. This location will be used as an office/warehouse with a maintenance bay to provide light duty repairs and maintenance of semi-trucks. Hours of operation will 7am to 5 pm Monday – Friday. There will be 15 office staff, 5 shop employees, 20 drivers employed by Fleet Star & Trailer LLC and 60 to 70 independent drivers. Most services will be performed off site; truck traffic onsite is estimated to be 4 to 5 trucks per day.

**Recommendation:**

I recommend approval of the Conditional Use Permit (CUP) for Fleet Star Truck and Trailer LLC with these conditions:

1. All semi-truck traffic must use Constance Boulevard NE and Buchanan Street NE.
2. All parking of semis and trailers is to be per approved plans and approved signage.
3. All semi-truck and trailer parking is to be associated with the truck terminal business use only. Leasing of parking spaces, under any circumstances, is strictly prohibited.
4. All truck repair is to be a secondary use to the truck terminal use.
5. All repairs are to be done inside the building
6. All fluids are to be contained and disposed of according to State and County requirements.
7. No outside storage, this include liquids, tires, parts, etc.
8. Proper screening must be provided between commercial and residential property per Article 9-220.1.e.
9. Must meet all City, County, and State requirements.

other than a personal computer, copy machine, fax machine and/or small personal printer.

**b. Conditional Uses**

- Public Utility Structures
- Accessory Buildings

**9-220 Mercantile Districts** The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

**9-220.1 Standards Common to All Mercantile Districts**

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

- a) **Paving** All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;
- b) **Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;
- c) **Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;
- d) **Setbacks for Paved Areas** There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;
- e) **Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;
- f) **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;
- g) **Parking Lots and Lighting** Off-street parking shall be provided for the general public and employees.

The *Zoning Officer* shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be directed away from adjacent properties. No light or combination of lights that cast light upon a Residential Land Use shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

- h) **Off-Street Loading** All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.
- i) **Signage** All signage shall conform to the provisions of Article 11-300.
- j) **Special Considerations** Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.
  - i) The departure is not being requested for purely economic reasons;
  - ii) The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;
  - iii) The business is a permitted or conditional use in the zoning district;
  - iv) The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like;



- v) The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;
  - vi) The property contains unusual accessibility problems to or from adjacent roadways;
  - vii) The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being permitted less stringent design limitations in other site plan features.
- k) **Outside Storage** Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage, excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. **Unless specifically permitted by this Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.**

#### 1) Definitions

- aa) **Outside Storage** – personal property (not fixtures) that are located within the Approved Property Lines of any parcel bearing a CD zoning classification, but which are found outside of an enclosed, roofed building (including temporary structures). Outside Storage does not include Refuse Containers, customer vehicles, employee vehicles parked while the employee is on duty, delivery vehicles while in the process of delivery or pickup, construction materials or vehicles being used in an active construction project on the parcel, legal signs or banners, or legal temporary structures. Except where specifically excepted, Outside Storage does include inventory of the business occupying the parcel.
- bb) **Inventory** - goods, except Vehicle Inventory, that are offered for sale in the ordinary course of business of any business occupying the parcel. For auto repair shops, inventory shall also be deemed to mean

passenger vehicles or pickup trucks awaiting repair services.

- cc) **Vehicle Inventory** – Automobiles, Trucks, Trailers, Manufactured Homes, Recreational Vehicles, Campers, Camper Tops, Truck Toppers, Boats or other wheeled conveyances that are offered for retail sale at a legal business location whose primary business is the retail sale of one or more of the above items. Rental equipment that may be offered for sale is not Vehicle Inventory. Vehicle Inventory that bears obvious signs that the vehicle is not presently capable of being legally operated or conveyed on a public road is not Vehicle Inventory, including, but not limited to vehicles lacking wheels or inflated tires, operable drive train components, broken windows or lights, required current vehicle registration, missing body parts, such as fenders, doors, hood lids, trunk lids, bumpers, lights or trim.
- dd) **Aesthetically Screened Outside Storage** - Inventory or Vehicle Inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building, and of sufficient height and design so as to give the appearance that the barrier is a part of the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Any gates through the barrier shall be opaque and of aesthetic design.
- ee) **Limited Outdoor Displays** - Temporary displays of merchandise which are normally sold or displayed from within an enclosed retail store location, but which are temporarily placed not more than ten feet from an outside wall of the main retail sales building during business hours, and then returned to inside storage during non-business hours.”
- ff) **Improvement Stores** – Businesses that have as their primary source of revenue the retail sale of plants, seeds, landscaping supplies, produce, or yard statuary.
- gg) **24-Hour Convenience Stores** – Businesses that sell gasoline at retail, and, from the same store location, also sell groceries, auto supplies, sundries, over-the-counter medications and personal products, sundries and other items for human consumption, and which remain open for business at all times of every day.

- hh) **Approved Property Lines** – Are the outside perimeter of the real estate parcel or parcels which were shown on the site plan used for the initial municipal approval of a certificate of occupancy or conditional use permit for a particular operation.
- ii) **Pool Stores** – retail stores that engage in the retail sales of above ground or below ground recreational swimming pools that contain electric filtration devices providing water circulation and filtration in the pool, and under conditions where an inventory of above ground or in ground swimming pools is maintained, connected by water and electricity to a source originating in a permanent retail building located on the same parcel. A Pool Store shall not be considered a retail store for the purposes of determining permitted uses under Article 9-220.2 (b) or 9-220.3(b).
- jj) **Screened Outside Storage** – is Inventory or Vehicle Inventory behind an opaque barrier constructed of wood, metal, plastic, masonry, brick or earthen berm, or which is behind an opaque barrier composed of existing buildings or other structures on the property, or which is behind a semi-opaque barrier of vegetation that substantially conceals the storage from outside view.

## 2) Permitted Outside Storage

- aa) Vehicle Inventory is permitted Outside Storage on any CD-1 or CD-2 parcel in connection with a business that is legally permitted to sell Vehicle Inventory. If specifically permitted by the conditions of any Conditional Use Permit or Temporary Conditional Use Permit for any such parcel, vehicles that do not meet the definition of Vehicle Inventory may also be permitted Outside Storage.
- bb) Aesthetically Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel.
- cc) Limited Outdoor Displays are permitted Outside Storage in both the CD-1 and CD-2 districts. If the business is a 24-Hour Convenience Store, the Limited Outdoor Display need not be moved indoors, but the

business shall at all times maintain a clear pedestrian path on sidewalks that is at least 36 inches in width.

- dd)** Inventory is permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy or conditional use permit, and must be stored only in conformance with that site plan. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales as shall be other items necessarily incident to the storage, maintenance or protection of the Inventory.
- ee)** No Outside Storage shall be permitted for any business unless the storage is within the Approved Property Lines.
- ff)** Pool Stores may display above ground or below ground swimming pools as Permitted Outside Storage only on property under conditional use permit, subject to conditions to be established by the City Council, which must include, at a minimum, the following:

  - 1)** Pool water must be maintained in a sanitary condition;
  - 2)** Below ground pools must be surrounded by code-compliant fencing;
  - 3)** Above ground pools must be constructed in a code-compliant method relative to either fencing or sufficient elevation to prevent accidental entry into the pool;
  - 4)** Adequate security fencing around the storage display area must be installed to discourage after-hours entry into the pool storage area;
  - 5)** Reasonable screening from outside view shall be installed;
  - 6)** All sources of water and electricity shall be connected to the pools in a code-compliant manner;
  - 7)** Only pools that are intended for use with circulating filters shall be permitted outside; no "kiddy pools", wading pools or inflatable pools shall be permitted to be displayed outside.
  - 8)** Winter storage of outside pools shall be done in a manner that covers the pool surface and prevents the accidental entry into the pool;

- gg)** Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures that:
- 1) Historically utilized outside storage in connection with business operating on the property, and which uses were never abandoned;
  - 2) Do not involve replacement or major remodeling of the existing structures, but utilizes the existing structures for the business to be operated;

Approval of Screened Outside Storage is discretionary with the City Council.

- hh) Revocation** All permits and certificates of occupancy issued in the mercantile districts are subject to revocation under the provisions of Article 9-240.

- 3) Office/Warehouses** Office/Warehouse is a term given to a structure that is designed to have office space in front, behind which is situated an open bay or bays, with the office and bay space to be occupied by a single business. The office space and the bay space may also include area for retail sales. The bay space may also be used for manufacturing, other industrial activity, or warehousing. Building Permits may be issued for Office/Warehouses in any Mercantile District as found in Article 9-220. However, specific uses within each Office/Warehouse are subject to the Permitted Use, Conditional Use and Temporary Conditional Use restrictions for the given zoning district in which the Office/Warehouse is constructed. The issuance of a building permit for an Office/Warehouse does not confer upon the property owner the right to use any portion of the structure in a manner inconsistent with the use restrictions for the zoning district in which the structure is located. All new tenants or occupants of any Office/Warehouse must observe the same conditions for site plan or other approval, as would any other occupant. Further, if the zoning district in which the Office/Warehouse is to be constructed contains restrictions on building materials or design, those restrictions must be followed. No outside storage unless permitted by Conditional Use Permit, Temporary Conditional Use Permit, or by the given zoning district in which the Office/Warehouse is constructed.

**9-220.2 Commercial Development I (CD-1)**

The CD-1 zone is intended to apply to certain commercial uses on lands abutting the city's only major thoroughfare, Trunk Highway 65. In that these lands have high visibility to the traveling public, it is considered important to the preservation of land values in general, as well as important to the continuing ability of the city to generate the establishment of quality commercial development and the concomitant tax and employment base, that structures in the CD-1 zones observe specific construction and aesthetic standards, which are listed below. No usage shall be permitted in the CD-1 zone which does not observe the standards found in Article 9-220.2 (a) below.

**a) Standards for Site and Building Construction**

- i) Except for structures housing public utility feature, no metal or pole-type building shall be permitted;
- ii) Exterior wall surfaces shall be of brick, decorative masonry, stone, precast panel, architectural concrete, glass, stucco, architectural metal panel with hidden fasteners, or wood framed with horizontal lap siding;
- iii) No galvanized surfaces shall be permitted, either on roofs or siding;
- iv) All roofs shall be colored and shall incorporate a minimum 18-inch soffit on the eave edge of the roof;
- v) All roofs shall have a minimum 12-inch overhang on the gable ends;
- vi) All roofs have a minimum 6-inch fascia;
- vii) Standing metal seam roofing shall be permitted (minimum 24-gauge, non-galvanized);

**b) Permitted Uses (Including uses that are ancillary to the main use)**

- Clubs and Lodges
- Medical Facilities
  - Assisted Living Facilities
  - Chiropractic
  - Clinics of all medical disciplines
  - Dental
  - Diagnostic Facilities
  - Hospitals
  - Laboratories
  - Nursing Homes
  - Residential Treatment Centers

- Treatment Rooms and Centers
- Veterinary Clinics
- Hotels, Motels and Lodging Houses under Article 11-1100
- Light Manufacturing, defined as follows: The fabrication or processing of goods for sale to retailers, wholesalers, other manufacturers or at retail that takes place entirely within an enclosed building and that meets the following criteria:
  - a) The business does not generate any noise, odor or vibration detectable from adjoining properties, other than that which occurs in the normal course of business during shipping and receiving activities;
  - b) There is no outside storage of any item except Aesthetically Screened Outside Storage as defined in Article 9-220(k)(1)(dd) of this Code.
  - c) No outside cranes or booms are located on the site;
  - d) Retail sales of the business products can occur on the premises if the commodities are the commodities manufactured on site.
- Offices and Office Buildings
- Office Warehouses
- Park and Ride Lots
- Post Offices
- Public Utilities (metal or pole type construction allowed)
- Recreational Facilities (indoor unless noted)
  - Batting Cages
  - Billiard Parlors
  - Bowling Alleys
  - Dance/Gymnastic Studios
  - Health Clubs
  - Martial Arts Studios
  - Miniature Golf Courses (outdoor)
  - Paintball or Laser Tag Facilities
  - Parks (outdoor/publicly owned)
  - Roller Skating Facilities
  - Shooting Range
  - Skateboard Facilities
  - Virtual Golf Facilities
- Restaurants, including liquor service
- Retail Facilities - engaged in the sale of goods (Excluding Motor Vehicle/ Boat/RV/Camper Sales), from freestanding one-store locations, shopping

centers, strip malls or enclosed malls, including, but not limited to:

- Antique Stores
- Appliance Stores
- Automobile Parts Stores (new parts only)
- Bakeries
- Bicycle Stores
- "Big Box" Stores (subject to Article 9-400)
- Book Stores
- Butcher Shops/Meat Markets
- Camera Stores
- Candy Stores
- Carpet Stores
- Clothing Stores
- Coin Stores
- Convenience Stores
- Cosmetic Stores
- Discount Stores
- E-Cig Stores
- Electrical, HVAC and Plumbing Equipment Stores
- Electronics Stores
- Fireworks (under Article 9-330.6)
- Floral Stores
- Furniture Stores
- Gift Shop
- Grocery Stores
- Hardware Stores
- Health Stores
- Hobby/Game Stores
- Housewares Stores
- Improvement Stores (Lawn & Garden) as defined in Article 9-220.1 (k)(1)(ff)
- Jewelry Stores
- Liquor Stores
- Luggage Stores
- Music Stores
- Office Supply Stores
- Optical Supply Stores
- Paint/Wallpaper Stores
- Pet Stores
- Petroleum product sales (excluding vehicle repair)
- Pharmacies
- Shoe Stores
- Sporting Goods Stores
- Souvenir Stores
- Thrift Stores



- Tobacco Stores
- Video Stores
- Schools and Colleges
- Service Businesses with no outside storage or displays
- Service Businesses
  - Appliance Repair Shops
  - Barber Shops
  - Beauty Shops
  - Car Washes
  - Day Cares (licensed)
  - Dry Cleaners
  - Electronics Repair Shops
  - Financial Institutions
  - Funeral Homes
  - Government Buildings
  - Insurance Agencies
  - Law Offices
  - Locksmiths
  - Manicure/Pedicure/Nail Care shops
  - Pet Grooming Shops
  - Photography Studios
  - Print Shops
  - Shoe Repair Shops
  - Specialty Retail Shops
  - Tailor Shops
  - Tanning Facilities
  - Travel Agencies
- Small Engine Sales and Repair
  - Air Compressors
  - Chain Saws
  - Garden Tractors
  - Lawn Mowers
  - Leaf Blowers
  - Other Motorized Gardening Equipment
  - Power Rakes
  - Power Washers
  - Rototillers
  - Shop Vacs
  - Snowblowers
  - Woodchippers
  - Wood-splitters
- Theatres
- Therapeutic Massage where the business meets the following criteria:
  - a) *Therapeutic Massage* means the practice of

administering physical therapy through the massaging, rubbing, kneading or other manipulations of the body, administered solely for therapeutic purposes, but not intended to result in the sexual gratification of the recipient.

- b) No person shall engage in *Therapeutic Massage* who is not a *Massage Therapist* (defined as a person who maintains certification with the National Certification Board for Therapeutic Massage & Bodywork (NCBTMB), has passed the MBLEx examination given by the Federation of State Massage Therapy Boards, is a member in good standing in the American Massage Therapy Association (AMTA), or is a member in good standing in the Associated Bodywork and Massage Professionals (ABMP);
  - c) Hours of operation shall be limited to 8:00 am to 10:00 pm;
  - d) The business shall at all times maintain a complete listing of all persons engaged as *Massage Therapists* and shall on request of City staff furnish evidence that each such person meets the qualifications to be a *Massage Therapist*.
- Worship Centers and ancillary features owned by the entity that owns the Worship Center, including classrooms, recreational features, residences for staff, offices and kitchen/dining.

**c) Conditional Uses**

- Automobile Repair Shops (Passenger Vehicles, Pickup Trucks, ATVs, Snowmobiles, Motorcycles, Jet-skis, Boats and other Marine Equipment)
- Equipment Rental Businesses
- Event Center/Convention Center defined as a structure or area used for the purposes of public performances, sporting events, private receptions or parties, conventions, shows, or similar attractions that may generate heavy traffic
- Indoor Agricultural Facility
- Manufactured Home Sales (including, without limitation, housing units, gazebos, storage sheds, playhouses, screened porches, and shelters) together with incidental furnishings such as lawn chairs and picnic tables
- New Vehicle Sales (must have indoor showroom) limited to the following:
  - **Note:** Where the word “vehicle” is used, the term is hereby defined to exclude manufactured homes, busses, semi-tractors, semi-trailers over 30 feet in

length, and heavy construction equipment, such as bulldozers, backhoes, road graders, earth moving equipment, cranes and excavators.

- ATV's (all-terrain vehicles)
- Automobiles
- Boats
- Campers
- Golf Carts
- Motorcycles, Motorbikes and Scooters
- Recreational Vehicles
- Snowmobiles
- Commercial Trucks
- Pickup Trucks
- Trailers less than 30 feet in length
- Pool Stores
- Service Businesses with outside storage or displays
  - Landscaping
- Sexually Oriented Business under Article 9-330.3
- Self-Storage Facilities, limited to properties on which self-storage facilities were in existence as of January 1, 2014. "Properties" as used herein is intended to include "Expansion Parcels", which are tax parcels that were on said date contiguous to and in common ownership or control with the parcel on which self-storage facilities were in use on said date and which were lacking a permanent structure/usage and/or providing a parking area or driveway serving the parcel on which the self-storage units were located. Expansion Parcels do not include parcels that are separated by public roads from the parcel on which the self-storage units were located on said date. It is the intent of this language that the self-storage use be permitted to expand onto the Expansion Parcels if a Conditional Use Permit for such expansion is approved. Notwithstanding these provisions, all self-storage uses shall be considered non-conforming uses and if abandoned or damaged and unrepaired, are subject to the same criteria for termination of allowed usage status as for other non-conforming uses as provided in Article 9-150.1 of this Code.
- Temporary Commercial Structures under Article 9-330.7
- Transportation Facilities
- Used Vehicle Sales limited as follows
  - Collector Cars

- Motor Homes and Recreational Vehicle Trailer Sales\*  
\*(A "Trailer", for the purposes of this code, shall mean a conveyance which is primarily designed to be towed behind a motor vehicle on public highways for usage in camping at bona fide campgrounds or RV parks. The conveyance commonly known in the industry as a "Park Model" is not to be considered a Trailer.)
- Facilities that meet the following criteria:
- The lot on which the use is proposed is presently and lawfully used by a business whose primary business is in the automotive industry such as automobile specialty shop, auto repair or recreational vehicle sales lot; and
- The sales are limited to passenger cars and pickup trucks; and
- The primary business activity in the automotive industry that qualified the lot to be used for Used Vehicle Sales must continue to be the primary business activity on the lot; Used Vehicle Sales shall be an incidental use only, and shall not replace the primary business activity; or
- The used vehicle inventory is part of the overall inventory of a New Vehicle Sales operation, limited to vehicles that have been taken in trade by the owner

**d) Temporary Conditional Uses Only**

Modular or prefabricated housing sales lots may be allowed as Temporary Conditional Uses in the CD-1 areas under the following limited conditions:

- i) The permit shall be for no longer than five years;
- ii) No housing units shall be permitted which are manufactured homes, which were at one time manufactured homes, or which could become manufactured homes with the addition of wheels installed in a pre-engineered or pre-planned receptacle. It is the intention of this usage that the only housing units permitted for display in such areas are single family dwellings of wood frame construction, designed for placement on a permanent foundation in a typical single-family residential neighborhood, and not designed for or commonly found in manufactured home parks.

- iii) A single housing unit may be used as a sales office.
- iv) Marketing of housing units shall be only to consumer-homeowners, and not to retailers or wholesalers;
- v) All units shall be placed on concrete blocks, at least two courses in height, giving the appearance of a full basement.
- vi) All units shall be completely finished on the exterior to give the appearance that the unit is inhabited as a part of a quality single family neighborhood. Units may be assembled from pre-constructed component parts on site, but may not be constructed from scratch on the site. Assembly of any display unit shall be complete (weather permitting) within 14 days after commencement of assembly. Each display unit shall obtain a building permit from the City prior to commencement of assembly. vii) All surfaces upon which the public is expected to drive, park or walk shall be paved with bituminous or concrete material according to specifications to be established by the City's engineer.
- vii) A Site Plan shall be reviewed and approved by the City Council, after review and comment by the Planning Commission, which plan shall limit the number of units to be displayed, provide a landscaping plan, show the locations of all drives, walkways and parking areas, and provide photographic samples of the styles of units to be displayed.
- ix) The City Council may attach such other conditions to the Temporary Conditional Use Permit as are deemed appropriate or necessary to protect public safety, health or welfare, or to protect nearby property values.

### **9-220.3 Commercial Development II (CD-2)**

The CD-2 Districts are located adjacent to the CD-1 Districts, and constitute a second tier of commercial activities along the T.H. 65 corridor. These districts also have importance in presenting a visually pleasing image to the traveling public, but are less visible from the T.H. 65 roadway than the CD-1 districts.

**a) Standards for Site and Building Construction**

- i) Metal or pole-type buildings shall be permitted if surfaces meet the requirements of ii below, and, provided that no galvanized surface may appear, all roofs shall be colored and incorporate a minimum 18-inch soffit on eave edges, 12-inch overhang on gable ends, and 6-inch fascia.
- ii) Metal panel with exposed fasteners or architectural metal panel with hidden fasteners may be used for roof surfaces. All wall surfaces may be composed of metal panel, brick, decorative masonry, stone, precast panel, architectural concrete, glass, stucco or wood framed with horizontal lap siding. The exterior wall surface facing or with the most exposure to a public street or right-of-way, shall have a wainscot at least 42-inches in height which is composed of a contrasting color or material.

**b) Permitted Uses (Including uses that are ancillary to the main use)**

- All Permitted Uses in the CD-1 District
- Broadcasting Studios
- Building Supply Yards/Lumber Yards
- Enclosed Storage and Office/Warehousing
- Landscaping Businesses
- Manufacturing involving no non-enclosed storage
- Public Utilities (metal or pole type construction allowed)
- Research laboratories
- Used Vehicle Sales - limited to the following:
  - ATV's (all-terrain vehicles)
  - Automobiles
  - Boats
  - Campers
  - Golf Carts
  - Motorcycles, Motorbikes and Scooters
  - Recreational Vehicles
  - Snowmobiles
  - Commercial Trucks
  - Pickup Trucks
  - Trailers less than 30 feet in length
- Utility Companies

**c) Conditional Uses**

- All conditional uses or temporary conditional uses in the CD-1 District
- Construction Service Contractors such as Concrete Masonry, Roofing, Siding, and Landscaping Contractors
- Flea Markets under Article 11-1500
- Kennels
- Pawn Shops under Article 11-1300
- **Truck Terminals** – as defined as a location where commercial trucks load and unload cargo on a regular basis with Large Truck and Equipment Repair (Body and Driveline Repair) as a secondary use
- Self-storage facilities, but not including the limitations and conditions imposed for such facilities as found in Article 9-220.2 (c).

**9-220.4 Commercial Development III (CD-3)**

The CD-3 zones are areas of the City that are located outside of the TH 65 Corridor, which are suitable for certain institutional activities; neighborhood retail, or which operate under historic permits, and which involve no outside storage of supplies, equipment or inventory excepting motor vehicles used in the business (unless specifically allowed by historic permit) and except as stated below:

**a) Permitted Uses (Including uses that are ancillary to the main use)**

- Campgrounds (may include outside storage of firewood, equipment, picnic tables and other items common to a campground environment)
- Churches, including ancillary structures such as classrooms, offices, recreational facilities, parsonages or other dwellings for occupancy by church staff
- Convenience Stores including outdoor displays and inventory
- Financial Institutions
- Governmental, Business and Professional Offices
- Land Uses Specifically Authorized by Development
- Agreements in effect in whole or in part prior to January 1, 2000
- Licensed Day Care Centers
- Medical Clinics, including general medicine, specialty medicine, dental, optical and chiropractic

Review

## Memorandum

Date: May 17, 2023

To: Planning Commissioners

From: Tom Collins, City Engineer **TPC**

Subject: Fleet Star Truck and Trailer

---

**Introduction:**

The proposed 11,057 square foot footprint for Fleet Star Truck and Trailer is located on the combined 10.39-acres of Lots 1 thru 4, Block 3 of the Creekside Farms subdivision (attached). The parcels are zoned Commercial Development Tier 2 (CD-2). A 300-scale aerial photo and a 500-scale zoning map are attached.

**Discussion:**

The Site Plan, Demolition Plan, Paving Plan, Grading Plan, Utility Plan, Details and Erosion Control Notes, Details, Flood Plain Mitigation Plan, Storm Water Pollution Prevention Plan (SWPPP) and Stormwater Calculations received May 5<sup>th</sup>, the Certificate of Survey received April 27<sup>th</sup>, and the Architectural Plans and Lighting Plan received April 17<sup>th</sup> address prior review comments.

The attached Landscape Plan, with a revision date of April 25<sup>th</sup>, includes tree screening to the west and southwest of the proposed building. The screening is Norway spruce to the west of the proposed building and Hackberry to the southwest. Per the zoning map, the parcels to the west are zoned Rural Single Family Residential (R-A). Landscaping in commercially zoned areas is to be per 11-1800 of City Code (attached). Per 11-1853, where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years. Per 9-220.1.e of City Code (attached), when any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both. 11-1860 allows for case-by-case evaluation for landscape approval and "strict adherence to the remaining provisions of Article 11-1800 may be unnecessary". A determination needs to be made as to whether the proposed landscaping is adequate where adjacent to R-A zoning or if additional screening is required.

A public hearing will be scheduled for consideration of vacating drainage and utility easements that were recorded with Creekside Farms. Easements to be considered for vacation include the northerly 10-feet of Lot 1, Block 3, southerly and northerly 10-feet of Lot 2, Block 3, southerly and northerly 10-feet of Lot 3, Block 3, southerly 10-feet of Lot 4, Block 3 and that portion of easements on the north side of Lot 4, Block 3 that exclude the County Ditch #58 easement on the west side. An exhibit with legal descriptions is attached..

The 908.73 100-year flood elevation of the infiltration basin on the northerly portion of the site extends into the drive aisle, with a depth of up to 0.68 feet. The attached 5-page owner memo states that this is acceptable.



A Division/Combination Request Form (attached) will need to be submitted and approved by the Anoka County Property Records & Taxation Division for combining Lots 1 thru 4, Block 3, Creekside Farms. Proof of combining Lots 1 thru 4 with Anoka County will need to be provided before consideration of the issuance of a building permit.

Fleet Star Truck and Trailer was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their April 24<sup>th</sup> meeting. The attached Permit was issued May 1<sup>st</sup>. Fleet Star Truck and Trailer still needs to execute an Operation and Maintenance Agreement with the CCWD for stormwater treatment. A MPCA Construction Stormwater Permit is required before grading operations can commence because the disturbed area is over one-acre.

**Recommendation:**

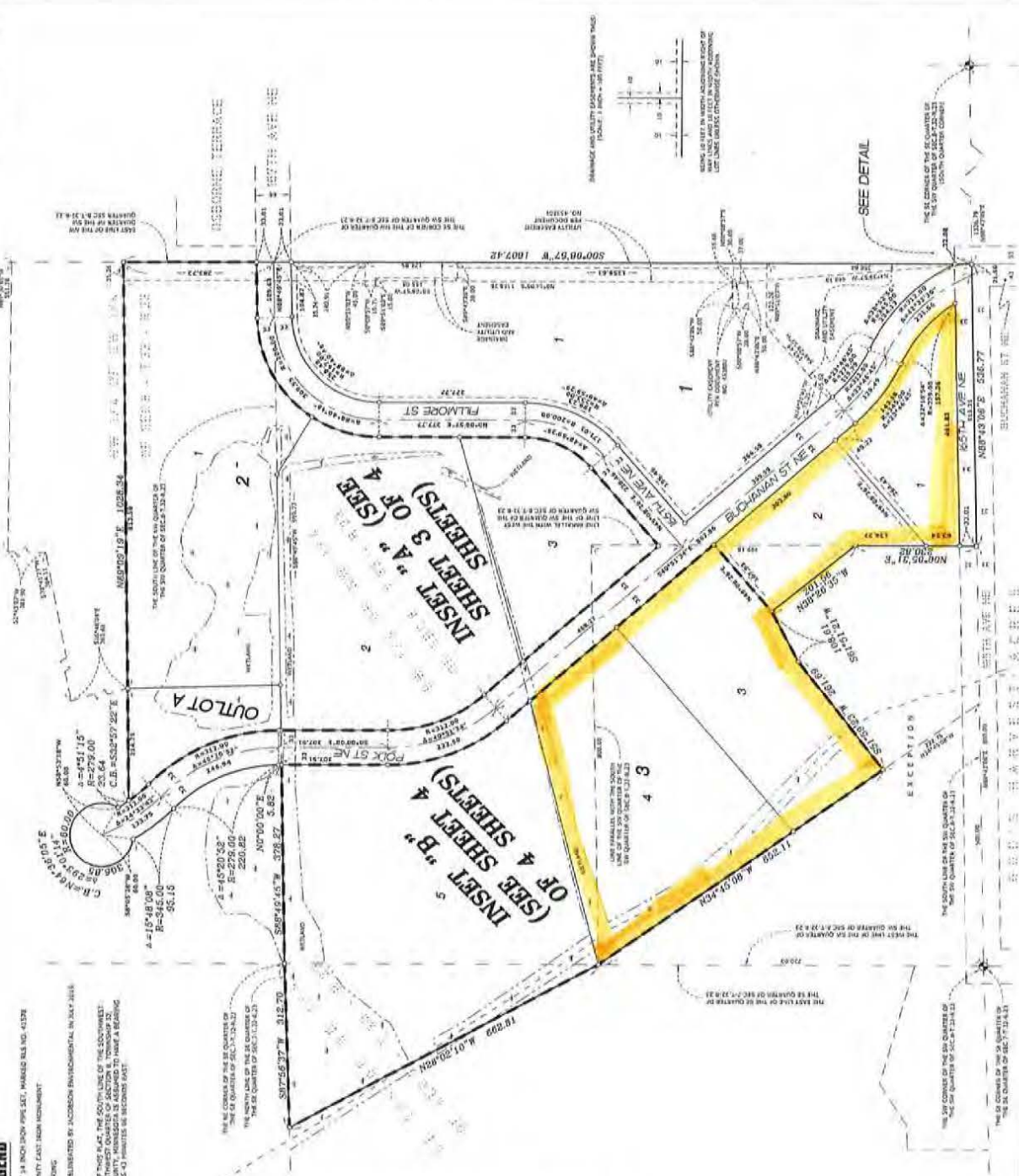
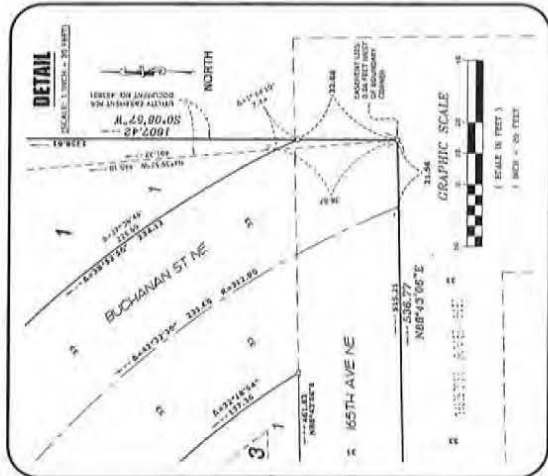
It is recommended that the Fleet Star Truck and Trailer plans be recommended for approval, including the adequacy of the proposed screening.

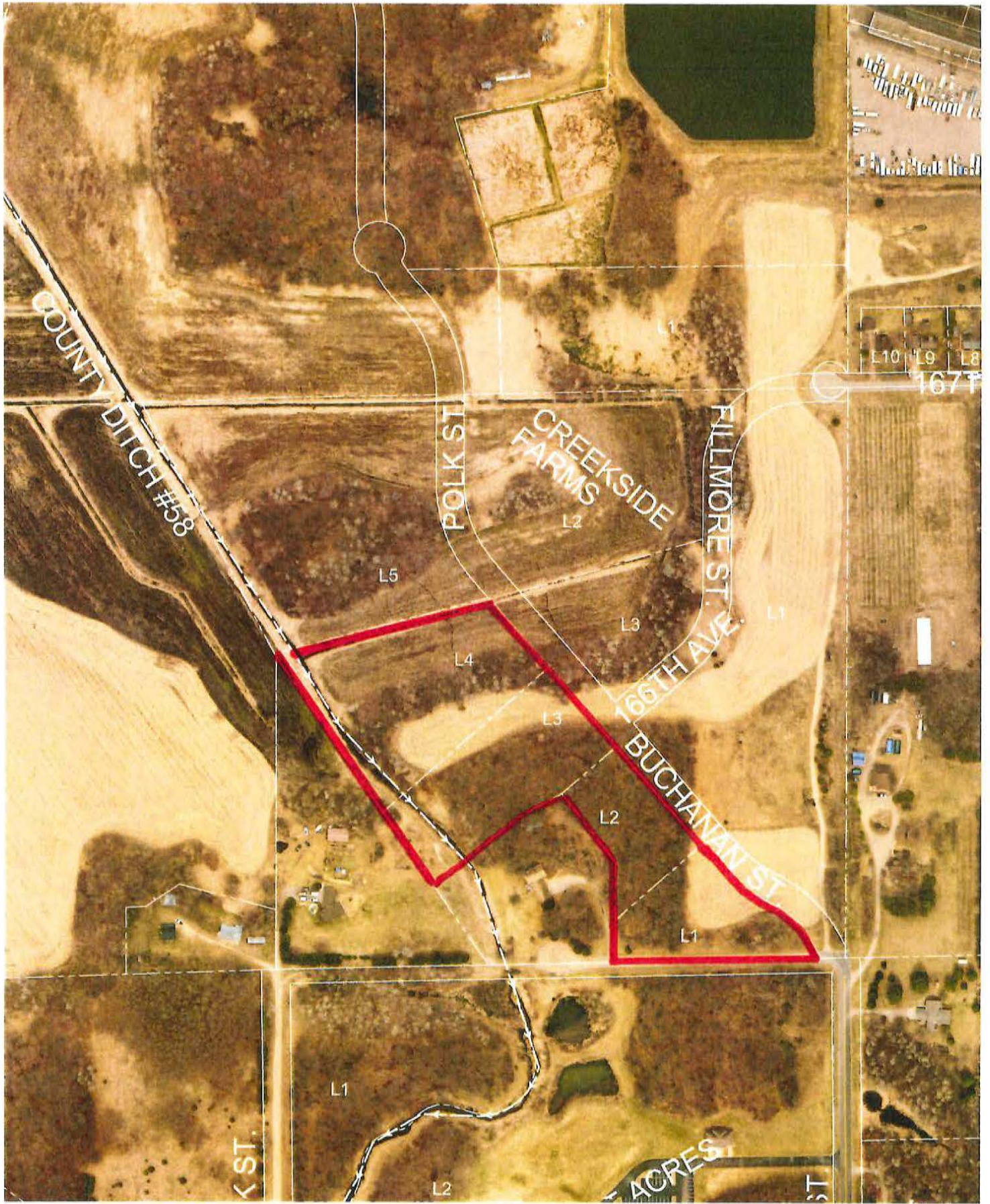
# CREEKSIDE FARMS

City of Kam Lake  
County of Anoka  
Sec. 7 and 8, T32, R23

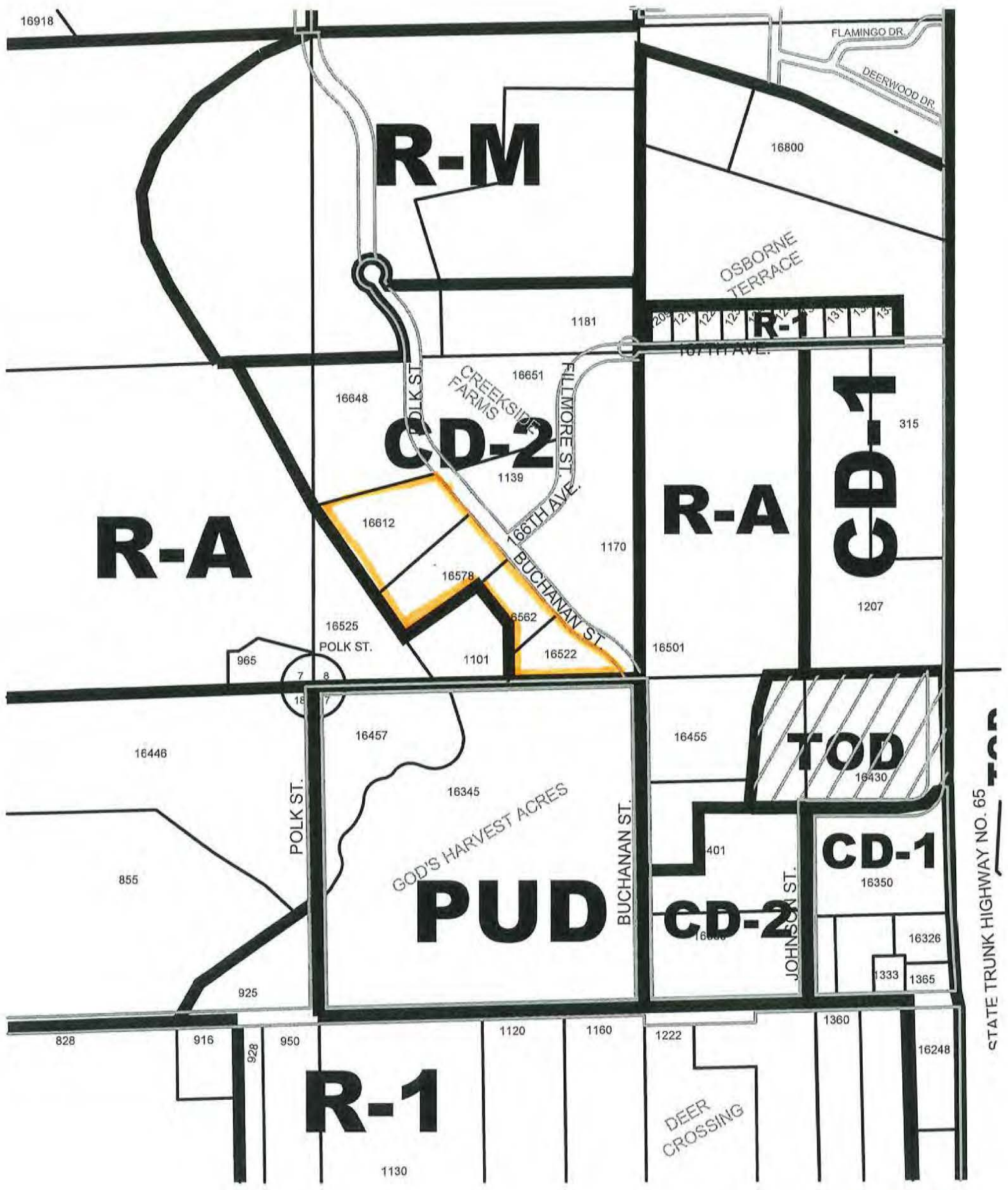
## LEGEND

- QUARTERS LOT 3601 BY 1/4 INCH 2004 PLS. SET, MARKED NLS NO. 4152R
  - ◊ DENOTES ANOKA COUNTY EAST IRON MONUMENT
  - C.B. = CHERRY BOOKING
  - SQUIGGLY LINE = WETLAND DELINEATED BY JACOBSON ENVIRONMENTAL IN JULY 2018
- FOR THE PURPOSES OF THIS PLAN, THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 32 NORTH, RANGE 23 WEST, COUNTY OF ANOKA, MINNESOTA IS BEARING N 0° 00' 00" W AND THE NORTH LINE OF SECTION 8, TOWNSHIP 32 NORTH, RANGE 23 WEST, COUNTY OF ANOKA, MINNESOTA IS BEARING S 89° 59' 57" W.





1" = 300'

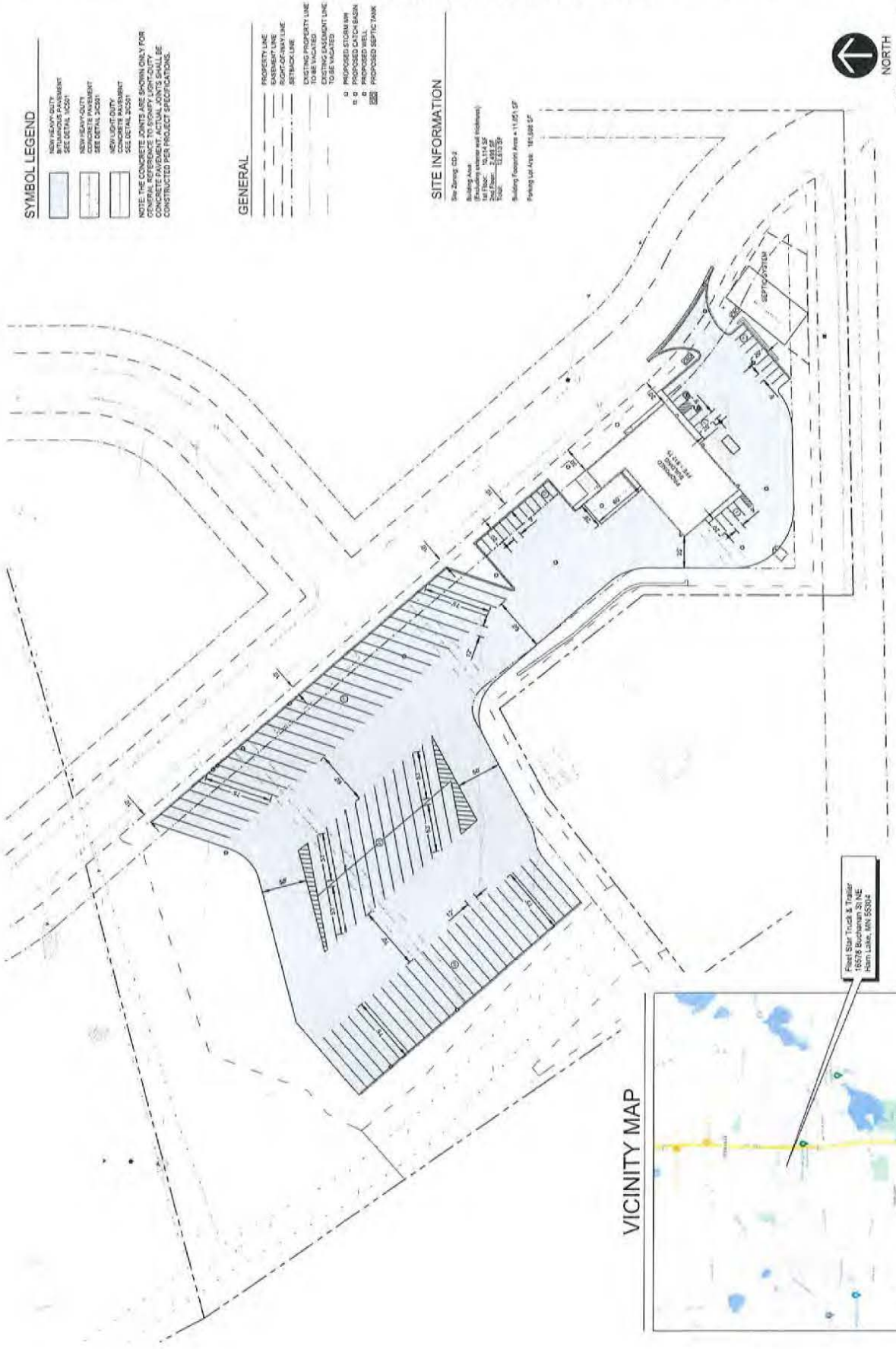


STATE TRUNK HIGHWAY NO. 65

1" = 500'

<p>© 2021 Larson Engineering, Inc. All rights reserved. www.larsoneng.com 3254 Lakeview Road 651 461 9120 (in MN 461 9201)</p> <p><b>Larson Engineering, Inc.</b></p>	<p><b>CLASSIC CONSTRUCTION</b> 18542 NE ULYSES ST EAST BETHEL, MN 55011</p>	<p><b>FLEET STAR TRUCK &amp; TRAILER</b> HAML LAKE, MN</p>	<p>1. I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.</p> <p><i>Thomas A. Haveland, P.E.</i> Thomas A. Haveland, P.E. State: 01-28-22 Lic. No.: 25202</p>	<p>Project # 22020102 Project Name: Fleet Star Checked By: T.A.H. Issue Date: 01-28-22 Sheet Title:</p>	<p><b>SITE PLAN</b></p> <p>Sheet <b>C000</b></p>
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PRELIMINARY NOT FOR CONSTRUCTION



**SYMBOL LEGEND**

- NEW HEAVY DUTY CONCRETE PAVEMENT SEE DETAIL A0021
- NEW HEAVY DUTY CONCRETE PAVING SEE DETAIL A0021
- NEW LIGHT DUTY CONCRETE PAVING SEE DETAIL A0021

NOTE: THE CONCRETE JOINTS ARE SHOWN ONLY FOR GENERAL REFERENCE TO SPACING, LIGHT DUTY CONCRETE JOINTS SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS.

**GENERAL**

- PROPERTY LINE
- BASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- EXISTING PROPERTY LINE
- EXISTING BASEMENT LINE
- TO BE VACATED
- PROPOSED STORM MP
- PROPOSED CATCH BASIN
- PROPOSED SEPTIC TANK

**SITE INFORMATION**

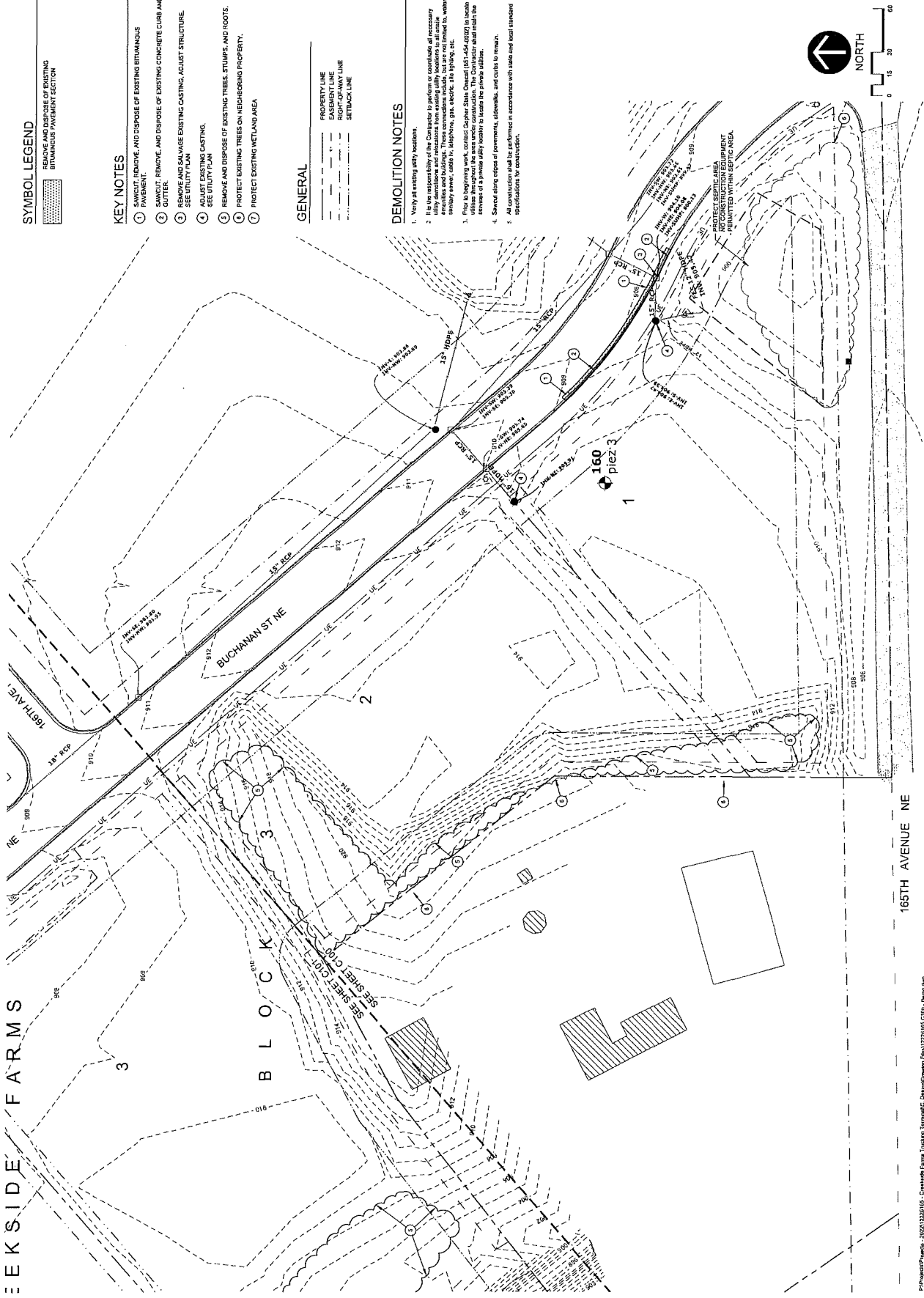
Site Zoning: CD-2  
Building Area:  
(Including Porch and Walkways)  
Total Area: 2,438 SF  
Total Floor: 2,438 SF  
Total: 4,876 SF  
Building Footprint Area = 11,251 SF  
Parking Lot Area: 18,188 SF

**VICINITY MAP**



Fleet Star Truck & Trailer  
18542 Buchanan St NE  
Ham Lake, MN 55034

EK SIDE FARMS



**SYMBOL LEGEND**

REMOVE AND REPAVE OF EXISTING BITUMINOUS PAVEMENT SECTION

BITUMINOUS PAVEMENT SECTION

**KEY NOTES**

1. SAWCUT, REMOVE, AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT.
2. SAWCUT, REMOVE, AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
3. REMOVE AND SALVAGE EXISTING CASTING, ADJUST STRUCTURE.
4. ADJUST EXISTING CASTING, SEE UTILITY PLAN.
5. REMOVE AND DISPOSE OF EXISTING TREE STUMPS, AND ROOTS.
6. PROTECT EXISTING TREES ON NEIGHBORING PROPERTY.
7. PROTECT EXISTING WETLAND AREA.

**GENERAL**

PROPERTY LINE

EASEMENT LINE

18" W

12" S

6" G

4" E

3" F

12" W

12" S

6" G

4" E

3" F

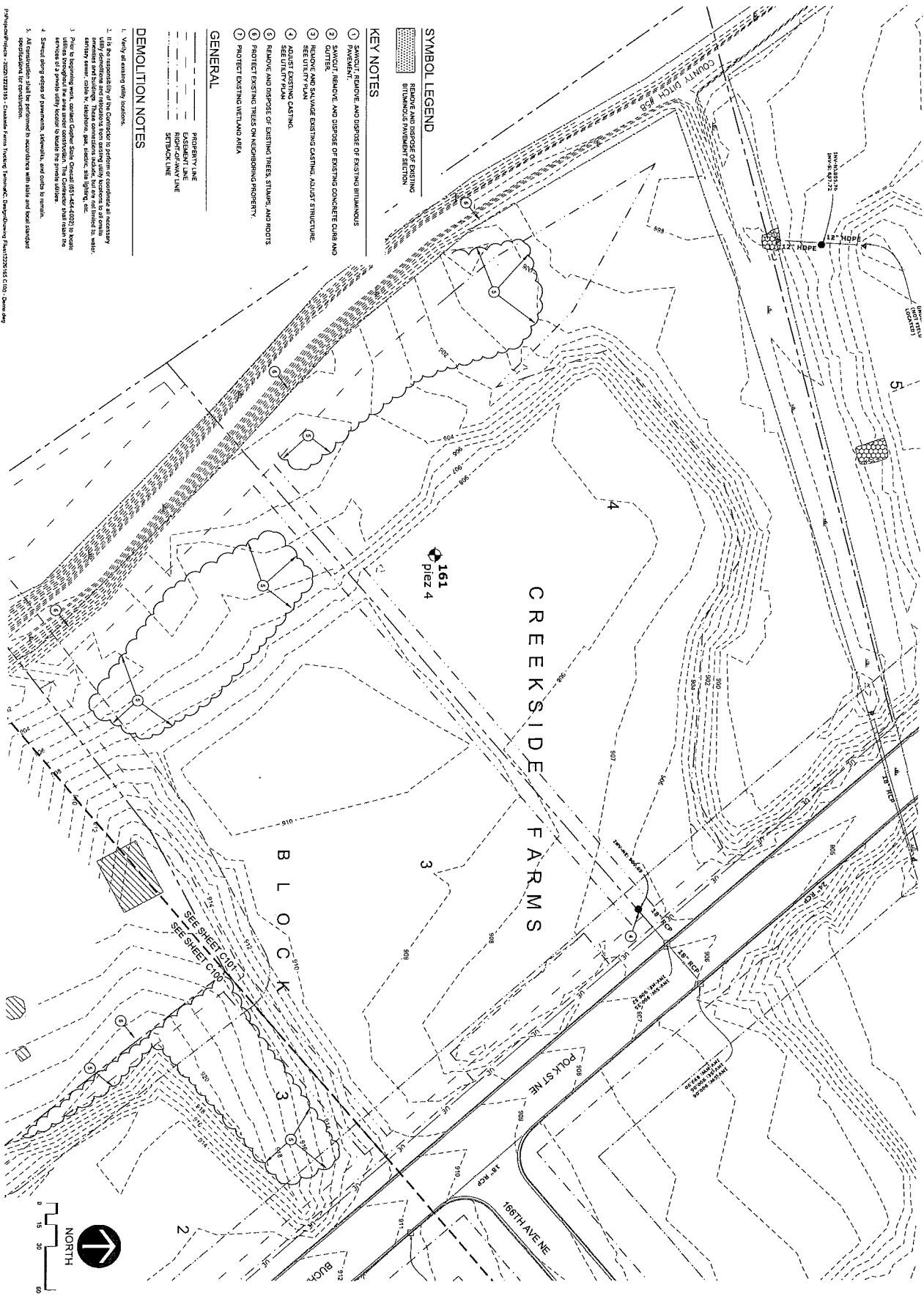
STITCH LINE

**DEMOLITION NOTES**

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demarcations and relocations from existing utility locations to all existing utility lines, including but not limited to water, sewer, gas, electric, fiber optic, and other utility lines.
3. Prior to beginning work, contact Central State Council (651-454-8200) to locate utility lines throughout the area under construction. The Contractor shall obtain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standards specifications for construction.

PRELIMINARY NOT FOR CONSTRUCTION

<p><b>Larson Engineering, Inc.</b>          3524 Laborer Road          White Bear Lake, MN 55110          651.481.9201          www.larsoneng.com          © 2023 Larson Engineering, Inc. All rights reserved.</p>	<p><b>CLASSIC CONSTRUCTION</b>          18542 NE ULYSSES ST.          EAST BETHEL, MN 55011</p>	<p><b>FLEET STAR TRUCK &amp; TRAILER</b>          HAM LAKE, MN</p>	<p>Project Title: _____          Date: _____          Status: _____          Designer: _____          Checker: _____          Issue Date: _____          Sheet Title: _____</p>	<p><b>DEMOLITION PLAN</b></p> <p>Project No: 22251905          Drawn By: TJH/REK          Checked By: TJH          Issue Date: 04/24/23          Sheet Title: _____</p> <p>Sheet: <b>C100</b></p>
---	---	--	---	---



Professional Engineer License No. 12281815 - Cassius Farms Tractor, Tractor, Engineering, Farm12281815 C101, June 2023

**SYMBOL LEGEND**

REMOVE AND REPAIR OF EXISTING BITUMINOUS PAVEMENT SECTION

**KEY NOTES**

- 1 SAWCUT, REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT
- 2 SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER
- 3 REMOVE AND SALVAGE EXISTING CASTING, ADJUST STRUCTURE, SEE UTILITY PLAN
- 4 ADJUST EXISTING CASTING, SEE UTILITY PLAN
- 5 REMOVE AND DISPOSE OF EXISTING TREES, STUMPS, AND ROOTS
- 6 PROJECT EXISTING TREES ON ADJACENT PROPERTY
- 7 PROJECT EXISTING WETLAND AREA

**GENERAL**

PROPERTY LINE  
 EASEMENT LINE  
 SETBACK LINE  
 SERVICE LINE

**DEMOLITION NOTES**

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to confirm or conduct all necessary utility investigations and excavations upon existing utility locations to all existing underground utilities. These conditions include, but are not limited to, water, sewer, gas, electric, and telecommunications.
3. Prior to beginning work, contact the local utility companies, such as Xcel Energy, to locate all underground utilities and obtain the appropriate permits. The Contractor shall obtain the services of a private utility locator to locate the private utilities.
4. Special utility areas of powerlines, stormwater, and other to remain.
5. All construction shall be performed in accordance with state and local standards and specifications for construction.

PRELIMINARY NOT FOR CONSTRUCTION

Sheet: **C101**

DEMOLITION PLAN

Project No. 15281815  
 Drawn By: T. BARKER  
 Checked By: J.M.  
 Date: 06/28/23  
 Sheet Title: DEMOLITION PLAN

Author: *[Signature]*

Checked: *[Signature]*

Date: 06/28/23

Project No. 15281815

Project Title: **FLEET STAR TRUCK & TRAILER**  
 HAM LAKE, MN

Client: **CLASSIC CONSTRUCTION**  
 18542 NE ULYSSES ST.  
 EAST BETHEL, MN 55011

**Larson Engineering, Inc.**  
 3524 Labors Road  
 White Bear Lake, MN 55110  
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**CLASSIC CONSTRUCTION**  
 18542 NE ULYSSES ST.  
 EAST BETHEL, MN 55011

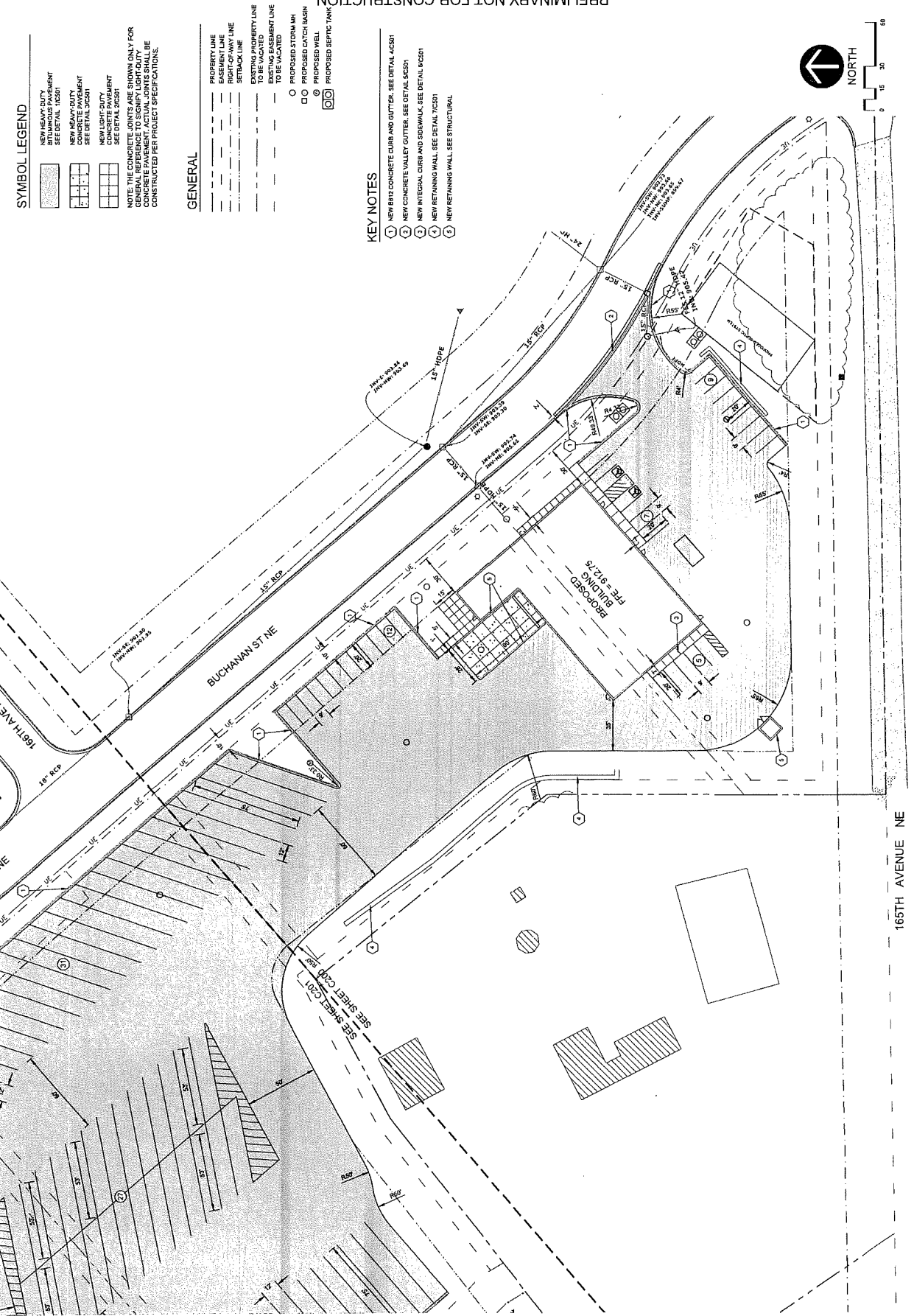
**FLEET STAR TRUCK & TRAILER**  
 HAMLAKE, MN

Project Title: \_\_\_\_\_  
 Date: 04/28/23 Lic. No.: 22320  
 Thomas J. Holmquist, P.E.  
 Rev. Date Description

Project #: 1222185  
 Drawn by: TJR/ROK  
 Check by: \_\_\_\_\_  
 Issue Date: 04/28/23  
 Sheet Title: \_\_\_\_\_

**PAVING PLAN**


**C200**









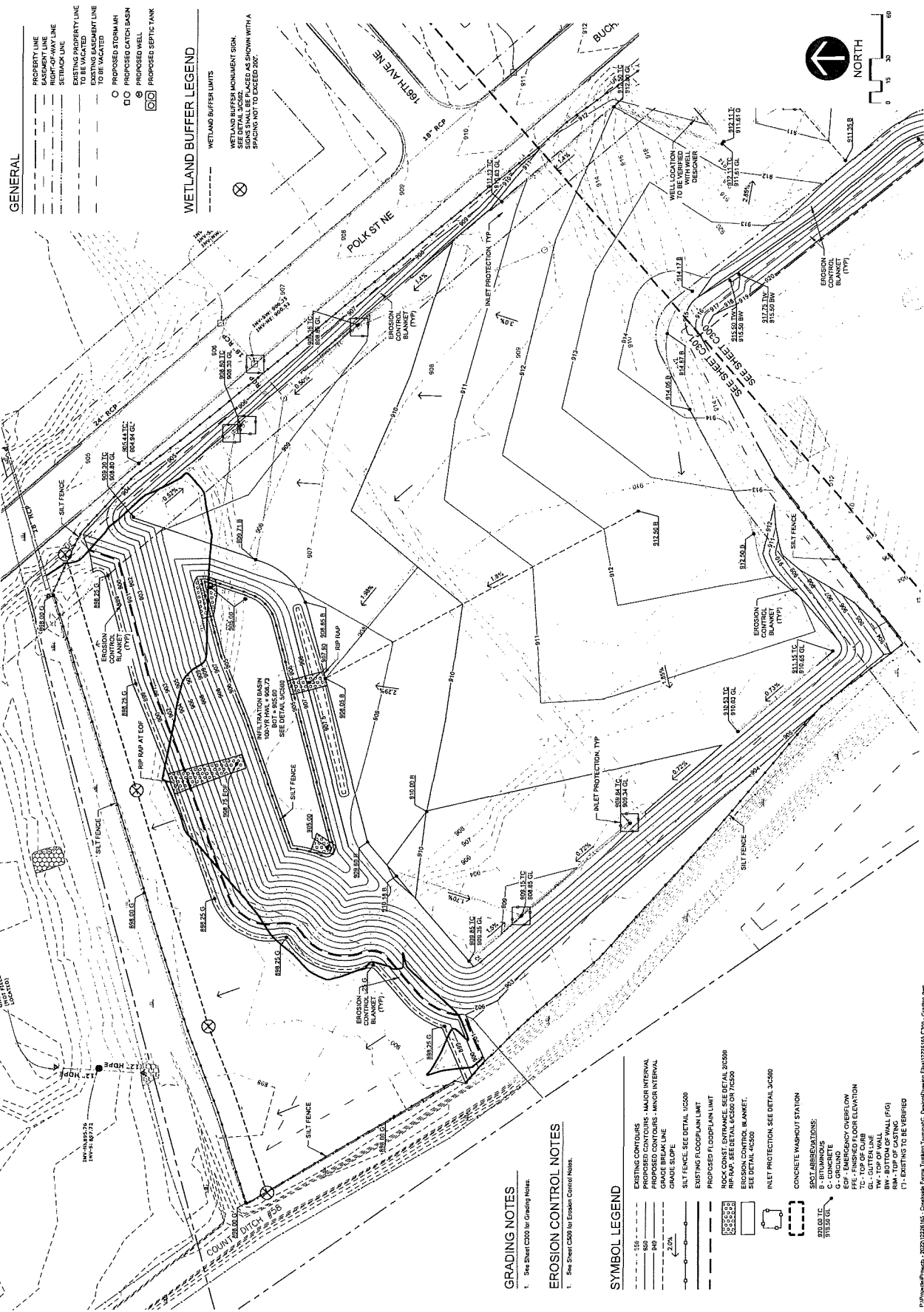

**Larson**  
 Engineering, Inc.  
 3524 Labore Road  
 White Bear Lake, MN 55110  
 651.481.9200 (F) 651.481.9201  
 WWW.LARSONENGINEERING.COM

**CLASSIC CONSTRUCTION**  
 18542 NE ULSES ST.  
 EAST BETHEL, MN 55011

**FLEET STAR TRUCK & TRAILER**  
 HAM LAKE, MN

Project Title:  
 Date: 04/23/23 Lt. No.: 23230  
 Project Engineer: *Thomas J. Hildebrand*  
 Designer: T.J.H.  
 Checker: T.J.H.  
 Sheet Title: GRADING PLAN

**GRADING PLAN**  
**C301**



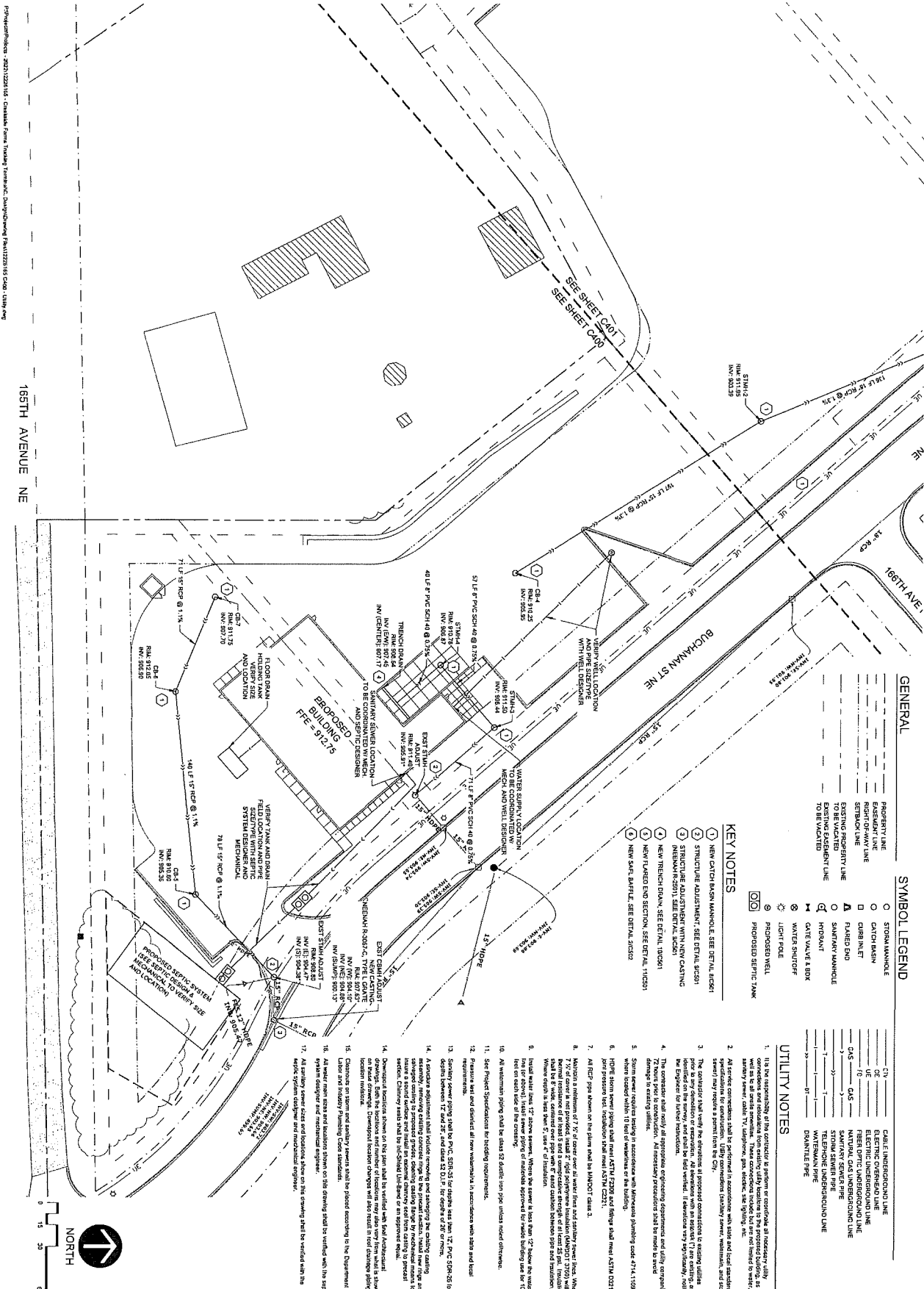
- GENERAL**
- PROPERTY LINE
  - EASEMENT LINE
  - RIGHT-OF-WAY LINE
  - SETBACK LINE
  - TO BE VACATED
  - EXISTING BASEMENT LINE
  - PROPOSED STORM MAIN
  - PROPOSED CATCH BASIN
  - PROPOSED WELL
  - PROPOSED SEPTIC TANK

- WETLAND BUFFER LEGEND**
- WETLAND BUFFER LIMITS
  - WETLAND BUFFER MONUMENT SIGN. THESE SIGNS SHALL BE PLACED AS SHOWN WITH A SPACING NOT TO EXCEED 200'.

**GRADING NOTES**  
 1. See Sheet C300 for Grading Notes.

**EROSION CONTROL NOTES**  
 1. See Sheet C300 for Erosion Control Notes.

- SYMBOL LEGEND**
- EXISTING CONTOURS - MAJOR INTERVAL
  - PROPOSED CONTOURS - MAJOR INTERVAL
  - EXISTING CONTOURS - MINOR INTERVAL
  - PROPOSED CONTOURS - MINOR INTERVAL
  - GRADE SLOPE
  - 2.0%
  - 3.0%
  - EXISTING FLOODPLAIN LIMIT
  - PROPOSED FLOODPLAIN LIMIT
  - ROCK CONSTRAINTS - SEE DETAIL 30509
  - RIP RAMP - SEE DETAIL 30500 OR 75200
  - EROSION CONTROL BLANKET, SEE DETAIL 30500
  - INLET PROTECTION, SEE DETAIL 30500
  - CONCRETE WASHOUT STATION
  - SPOT ELEVATIONS:
  - B - BOTTOM OF
  - G - GROUND
  - TC - TOP OF CURB
  - GL - GUTTER LINE
  - RM - BOTTOM OF WALL (F4)
  - BM - TOP OF CASTING
  - (\*) - EXISTING TO BE VERIFIED



**GENERAL**

**SYMBOL LEGEND**

○	STORM MANHOLE
○	CATCH BASIN
○	PIPE INLET
△	FLARED END
○	STORM MANHOLE
□	HYDRANT
□	GATE VALVE & BOX
○	WATER SHUTOFF
○	LIGHT POLE
○	PROPOSED SEPTIC TANK

**KEY NOTES**

1. NEW CATCH BASIN/SHOULDER. SEE DETAIL 100251
2. STRUCTURE ADJUSTMENT. SEE DETAIL 100251
3. STRUCTURE ADJUSTMENT WITH NEW CASTING (REBAR/MS251). SEE DETAIL 100251
4. NEW TRENCH GRADE. SEE DETAIL 100251
5. NEW UNLOADED END SECTION. SEE DETAIL 100251
6. NEW SURF LAYOUT. SEE DETAIL 100251

**UTILITY NOTES**

1. It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocation from existing utility locations to the proposed building, as shown on this plan. Utility locations shown on this plan are based on records and field verification. Utility locations shall be confirmed in accordance with state and local codes and specifications for construction. Utility connections (sanitary sewer, storm, water, gas, electric, etc.) shall be made in accordance with applicable codes and specifications. Utility connections shall be made in accordance with applicable codes and specifications. Utility connections shall be made in accordance with applicable codes and specifications.
2. The contractor shall verify the existence of proposed connections to existing utilities (sanitary sewer, storm, water, gas, electric, etc.) and shall be responsible for any utility relocation or reconnection. Utility connections shall be made in accordance with applicable codes and specifications.
3. The contractor shall verify the existence of proposed connections to existing utilities (sanitary sewer, storm, water, gas, electric, etc.) and shall be responsible for any utility relocation or reconnection. Utility connections shall be made in accordance with applicable codes and specifications.
4. The contractor shall verify the existence of proposed connections to existing utilities (sanitary sewer, storm, water, gas, electric, etc.) and shall be responsible for any utility relocation or reconnection. Utility connections shall be made in accordance with applicable codes and specifications.
5. The contractor shall verify the existence of proposed connections to existing utilities (sanitary sewer, storm, water, gas, electric, etc.) and shall be responsible for any utility relocation or reconnection. Utility connections shall be made in accordance with applicable codes and specifications.
6. The contractor shall verify the existence of proposed connections to existing utilities (sanitary sewer, storm, water, gas, electric, etc.) and shall be responsible for any utility relocation or reconnection. Utility connections shall be made in accordance with applicable codes and specifications.
7. All fire pipe shown on this plan shall be UNDOCT CLASS 3.
8. Minimum depth of 4' for 4" gas and 6" for 6" gas and 8" for 8" gas. Minimum depth of 4' for 4" water and 6" for 6" water and 8" for 8" water. Minimum depth of 4' for 4" sewer and 6" for 6" sewer and 8" for 8" sewer. Minimum depth of 4' for 4" gas and 6" for 6" gas and 8" for 8" gas. Minimum depth of 4' for 4" water and 6" for 6" water and 8" for 8" water. Minimum depth of 4' for 4" sewer and 6" for 6" sewer and 8" for 8" sewer.
9. All utility lines shall be installed in accordance with applicable codes and specifications. Utility connections shall be made in accordance with applicable codes and specifications.
10. All watermain piping shall be ductile iron pipe unless noted otherwise.
11. See Project Specifications for bedding requirements.
12. Pressure test and disinfect all new watermain in accordance with state and local requirements.
13. Sanitary sewer piping shall be PVC, SCH-40 or ductile iron pipe, 12" PVC, SCH-40 for depths between 12' and 30' and ductile iron pipe, 12" for depths of 30' or more.
14. A structure adjustment shall include removing and replacing the existing casting assembly, removing existing concrete pipe to the proposed location, install new pipe and manhole at ground surface and install an existing chimney lead from existing to proposed location. Chimney leads shall be installed in the field or on approved manhole.
15. Downward fracture shown on this plan shall be installed with full depth adjustment on a full depth. Downward fracture shown on this plan shall be installed with full depth adjustment on a full depth.
16. Changes on storm and sanitary sewers shall be placed according to the Department of Public Works and Engineering Code standards.
17. All water main sizes and locations shown on this drawing shall be verified with the applicable codes and specifications.
18. All sanitary sewer sizes and locations shown on this drawing shall be verified with the applicable codes and specifications.
19. All utility lines shall be installed in accordance with applicable codes and specifications.
20. All utility lines shall be installed in accordance with applicable codes and specifications.
21. All utility lines shall be installed in accordance with applicable codes and specifications.
22. All utility lines shall be installed in accordance with applicable codes and specifications.
23. All utility lines shall be installed in accordance with applicable codes and specifications.
24. All utility lines shall be installed in accordance with applicable codes and specifications.
25. All utility lines shall be installed in accordance with applicable codes and specifications.

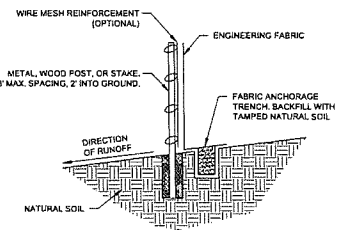
PRELIMINARY NOT FOR CONSTRUCTION

<p>Project Title:</p> <p><b>FLEET STAR TRUCK &amp; TRAILER</b></p> <p>HAM LAKE, MN</p>	<p>Client:</p> <p><b>CLASSIC CONSTRUCTION</b></p> <p>18542 NE ULYSSES ST.</p> <p>EAST BETHEL, MN 55011</p>	<p>Contractor:</p> <p><b>Larson Engineering, Inc.</b></p> <p>3524 Labore Road</p> <p>White Bear Lake, MN 55110</p> <p>651.481.9210 (D) 651.481.9201</p> <p>www.larsonengr.com</p>	<p>Sheet:</p> <p><b>C400</b></p> <p>Utility Plan</p> <p>Project #:</p> <p>12220105</p> <p>Drawn By:</p> <p>THOMAS J. HANCOCK</p> <p>Issue Date:</p> <p>04.28.23</p>
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### EROSION CONTROL NOTES

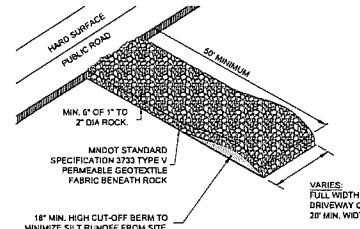
- Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (inlet protection, silt fence, and rack construction entrances) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, apron dikes or silt fences to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
- The toe of the silt fence shall be trench in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- Soils stockpiles shall be temporarily or permanently stabilized within 24 hours of inventory. Temporary stockpiles without soil, clay or organic components or clean aggregate stockpiles, demolition concrete stockpiles, same stockpiles are exempt from this requirement.
- The normal water parameter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 linear feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 linear feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditch or swales must be completed within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
- All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1% percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
- In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect these facilities from the concentrated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, 4-6 inch accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
- Temporary soil stockpiles must have silt fence or other effective sediment control, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or ditches and ditches unless there is a bypass in place for the stormwater.
- Collected sediment, asphalt and concrete millings, roofing debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, before or after discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine idling is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquid to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
- Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.



NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HCG RINGS, STEEL POSTS WITH WIRES, OR WOOD POSTS WITH STAPLES.

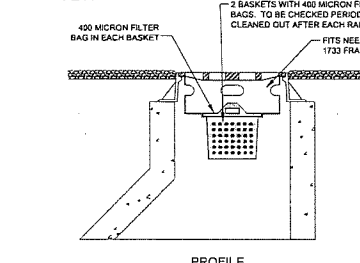
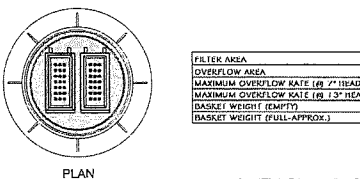
### SILT FENCE INSTALLATION DETAIL

NOT TO SCALE



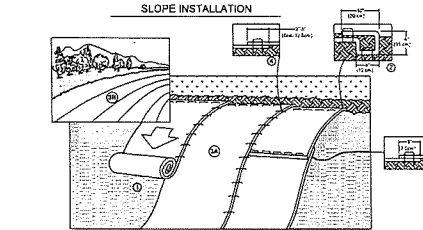
### ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE



### INFRSAFE INLET PROTECTION DEVICE (OR EQUAL)

NOT TO SCALE



- PREPARE SLOPE BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP), INCLUDING ANY NECESSARY APPLICATION OF FINE FERTILIZER AND SEED.
- NOTE: WHEN USING CELL-O-SEED DO NOT BEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP IN A 4" TO 6" GAP BEHIND A 1/2" TO 3/4" GAP WIDE TRENCH WITH APPROXIMATELY 12" SPACING OF RECP EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP WITH A ROW OF STAPLES (RECP APPROXIMATELY 12" TO 24" APART IN THE TRENCH). THE TRENCH BACKFILL AND COMPACT THE TRENCH AT 100% STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 1/2" TO 3/4" PORTION OF RECP BACK OVER SEED AND COMPACTED SOIL. SECURE RECP OVER COMPACTED SOIL WITH A ROW OF STAPLES (SPACE STAPLES APPROXIMATELY 12" TO 24" APART ACROSS THE WIDTH OF THE RECP).
- ROLL THE RECP DOWN OR UP HORIZONTALLY ACROSS THE SLOPE. RECP WILL UNROLL WITH APPROPRIATE BEEF AGAINST THE SOIL SURFACE. ALL RECP MUST BE SECURELY FASTENED TO THE SURFACE BY PLACING STAPLES (SPACE 12" TO 24" APART) THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- CONSECUTIVE RECP'S SHOULD BE PLACED END TO END OVERLAPPING BY 2" TO 4" IN THE DIRECTION OF SLOPE. CONSECUTIVE RECP'S SHOULD BE PLACED SIDE BY SIDE WITH AN APPROXIMATE 2" TO 4" OVERLAP. STAPLES THROUGH OVERLAP AREA, APPROXIMATELY 12" TO 24" APART ACROSS ENTIRE WIDTH OF OVERLAP.

\*LOSSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 4" (10 CM), MAY BE NECESSARY TO PROPERLY SECURE THE RECP.

**EROSION CONTROL BLANKET**

NOT TO SCALE

Category 4 Erosion Control Blanket:  
North American Green S150 erosion control blanket or approved equal.

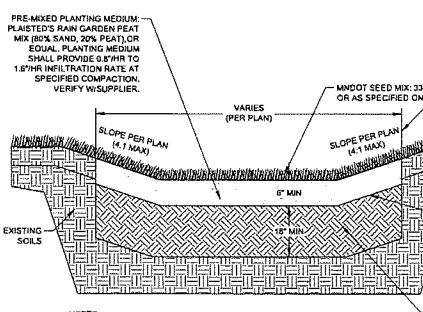
Top Net	Bottom Net
Polypropylene	Polypropylene
1.5 lbs/1,000 ft <sup>2</sup>	1.5 lbs/1,000 ft <sup>2</sup>
(0.73 kg/100 m <sup>2</sup> ) approx. wt.	(0.73 kg/100 m <sup>2</sup> ) approx. wt.
Straw Fiber	Thread
0.20 LB/500 FT	Photodegradable
(0.27 kg/152 M)	

Manufacturer: NORTH AMERICAN GREEN  
Erosion Control Products  
4800 Highway 41 North  
Dunnellon, FL 33528  
888-777-3467  
www.nagreen.com

Staple/Anchor:  
The type of anchors used to secure the blanket to the ground shall be Steel wire 11 Gauge 1" wide x 8" long.

### EROSION CONTROL BLANKET

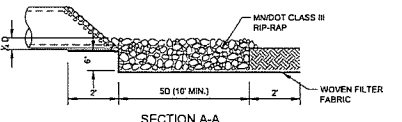
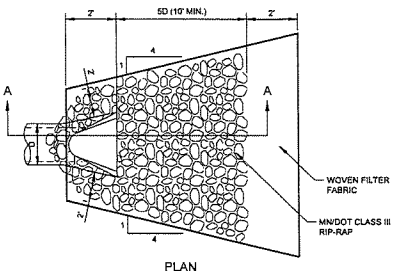
NOT TO SCALE



- NOTES:
- THE EXISTING SOILS SHALL BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION TRAFFIC. AREAS SHALL BE STAKED AND MARKED OFF, WITH ONLY LOW IMPACT EQUIPMENT (TRACKED OR SIMILAR) ALLOWED.

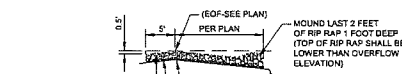
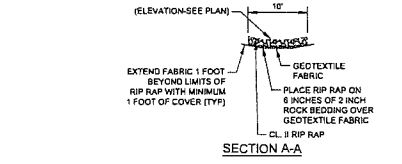
### INFILTRATION BASIN CROSS SECTION

NOT TO SCALE



### RIP-RAP AT OUTLETS

NOT TO SCALE



### RIP-RAP AT EMERGENCY OVERFLOW

NOT TO SCALE

**Larson Engineering, Inc.**  
3574 Labore Road  
White Bear Lake, MN 55110  
(612) 835-1111  
www.larsoneng.com

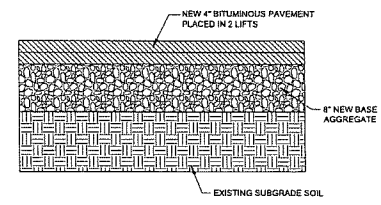
**CLASSIC CONSTRUCTION**  
18542 NE ULUSSES ST.  
EAST BETHEL, MN 55011

**FLEET STAR TRUCK & TRAILER**  
HAM LAKE, MN

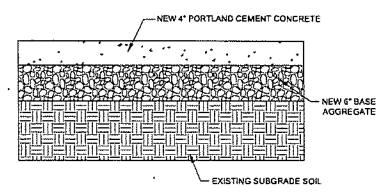
PRELIMINARY NOT FOR CONSTRUCTION

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Drawn By: TJR/RSK  
Checked By: TJH  
Issue Date: 04/28/23  
Sheet Title: DETAILS AND EROSION CONTROL NOTES

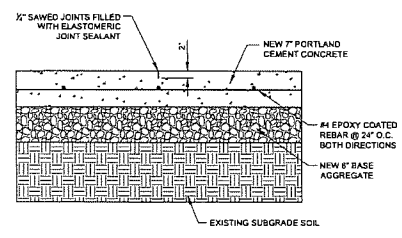
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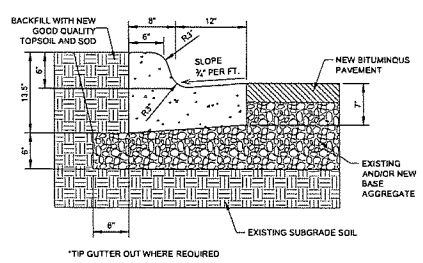
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NOT TO SCALE



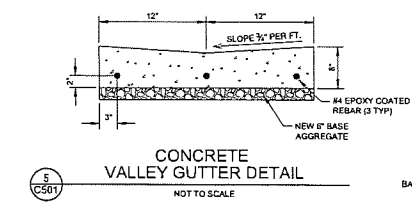
**CONCRETE SIDEWALK CONSTRUCTION DETAIL**  
NOT TO SCALE



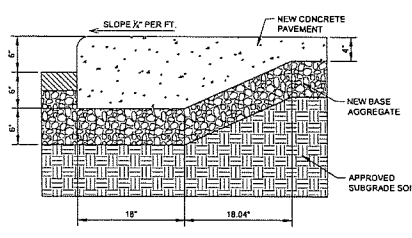
**HEAVY-DUTY CONCRETE CONSTRUCTION DETAIL**  
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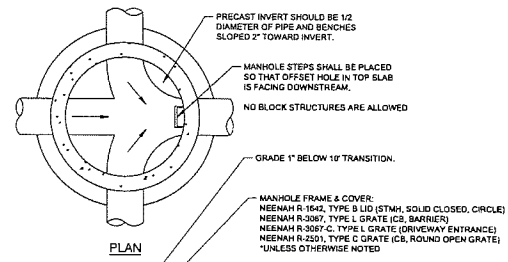
**B612 CONCRETE CURB & GUTTER DETAIL**  
NOT TO SCALE



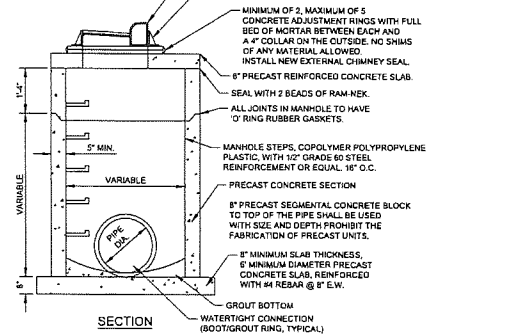
**CONCRETE VALLEY GUTTER DETAIL**  
NOT TO SCALE



**INTEGRAL CURB & SIDEWALK DETAIL**  
NOT TO SCALE

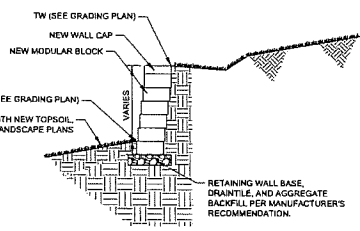


**PLAN**



**SECTION**

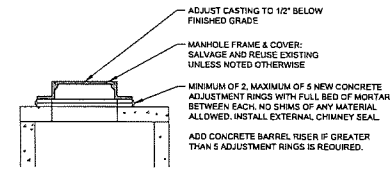
**CATCH BASIN MANHOLE DETAIL**  
NOT TO SCALE



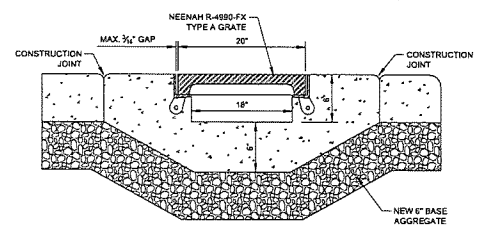
NOTES:  
1. WALL TO BE DESIGNED/INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.  
2. WALL TYPE, COLOR, TEXTURE TO BE SELECTED BY ARCHITECT.

**RETAINING WALL DETAIL**  
NOT TO SCALE

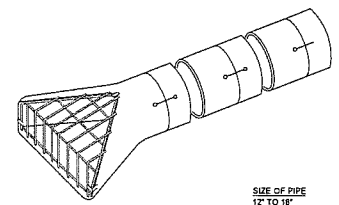
NOTE:  
A STRUCTURE ADJUSTMENT SHALL INCLUDE REMOVING AND SALVAGING THE EXISTING CASTING ASSEMBLY, REMOVING EXISTING CONCRETE RINGS TO THE PRECAST SECTION, INSTALLING NEW RINGS AND SALVAGED OR NEW CASTING TO PROPOSED GRADES, CLEANING CASTING FLANGE BY MECHANICAL MEANS TO INSURE A SOUND SURFACE, AND INSTALLING AN EXTERNAL CHIMNEY SEAL FROM CASTING TO PRECAST SECTION. CHIMNEY SEAL SHALL BE INFIL-SHIELD, LIN-BAND, OR AN APPROVED EQUAL.



**STRUCTURE ADJUSTMENT DETAIL**  
NOT TO SCALE



**TRENCH DRAIN DETAIL**  
NOT TO SCALE



THE LAST 3 JOINTS ON INLET AND OUTLET. IF NO APRON IS USED THE LAST 3 SECTIONS OF PIPE.

USE 2 THE BOLT FASTENERS PER JOINT INSTALLED AT 60 FROM TOP OR BOTTOM OF PIPE.

USE 5/8" TIE FOR PIPE SIZES 12" TO 27". USE 3/4" TIE FOR PIPE SIZES 30" TO 36". USE 1" TIE FOR PIPE SIZES OVER 36".

NUTS AND WASHERS ARE NOT REQUIRED ON PIPE SIZE LESS THAN 21". TRASH GUARDS WILL BE REQUIRED ON 18" OR LARGER PIPE.

SIZE OF PIPE	BAR	BOLTS	TIE
12" TO 18"	3/4"	5/8"	4"
21" TO 27"	1"	3/4"	5"
30" TO 36"	1-1/4"	1"	12"

**FLARED END SECTION DETAIL**  
NOT TO SCALE

**Larson Engineering, Inc.**  
3524 Lahoma Road  
White Bear Lake, MN 55110  
Tel: 651.380.1100  
www.larsoneng.com

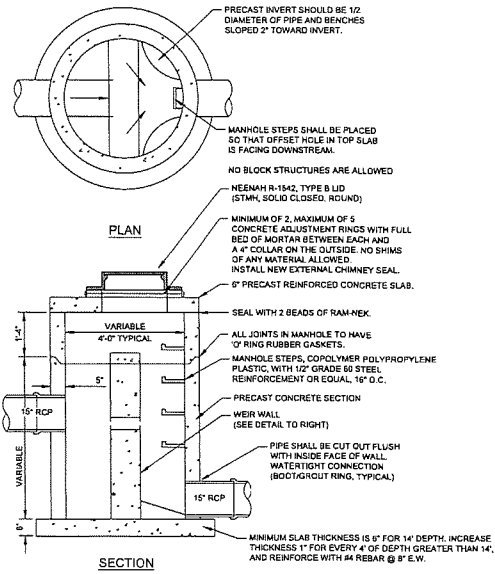
**CLASSIC CONSTRUCTION**  
18542 NE ULYSES ST.  
EAST BETHEL, MN 55011

**FLEET STAR TRUCK & TRAILER**  
HAM LAKE, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.  
*Thomas J. Heinenhoff, P.E.*  
Date: 04.28.23 Lic. No.: 25529

Rev.	Date	Description

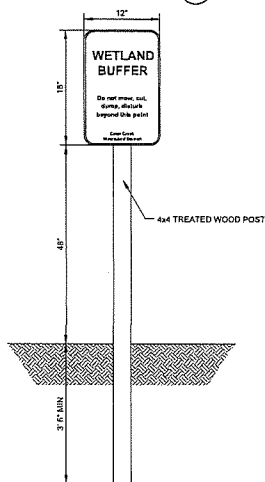
Project #: 12226165  
Drawn By: JAR/RSK  
Checked By: JAH  
Issue Date: 04.28.23  
Sheet Title: DETAILS  
Sheet: **C501**



**OUTLET CONTROL STRUCTURE MANHOLE DETAIL**

NOT TO SCALE

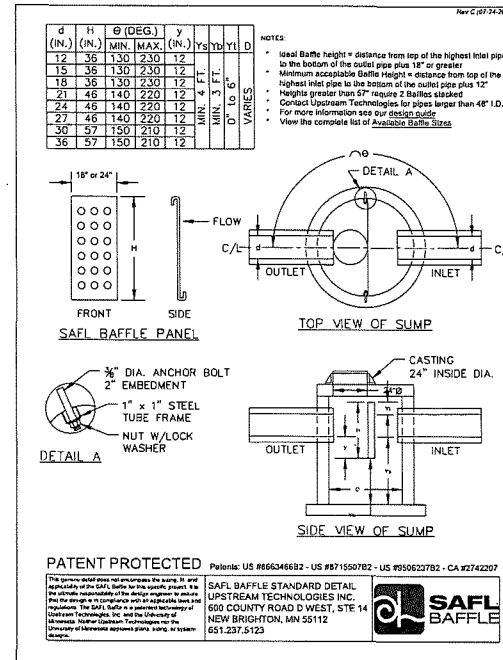
1  
C502



**PARKING SIGN AND POST DETAIL**

NOT TO SCALE

3  
C502



**SAFL BAFFLE DETAIL**

NOT TO SCALE

2  
C502

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3524 Labare Road  
White Bear Lake, MN 55110  
Tel: 651.6901  
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18542 NE ULYSSES ST.  
EAST BETHEL, MN 55011

**FLEET STAR TRUCK & TRAILER**  
HAM LAKE, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

*Thomas J. Harkeshell*  
Thomas J. Harkeshell, P.E.  
Date: 04.28.23 Lic. No.: 25529

Rev.	Date	Description

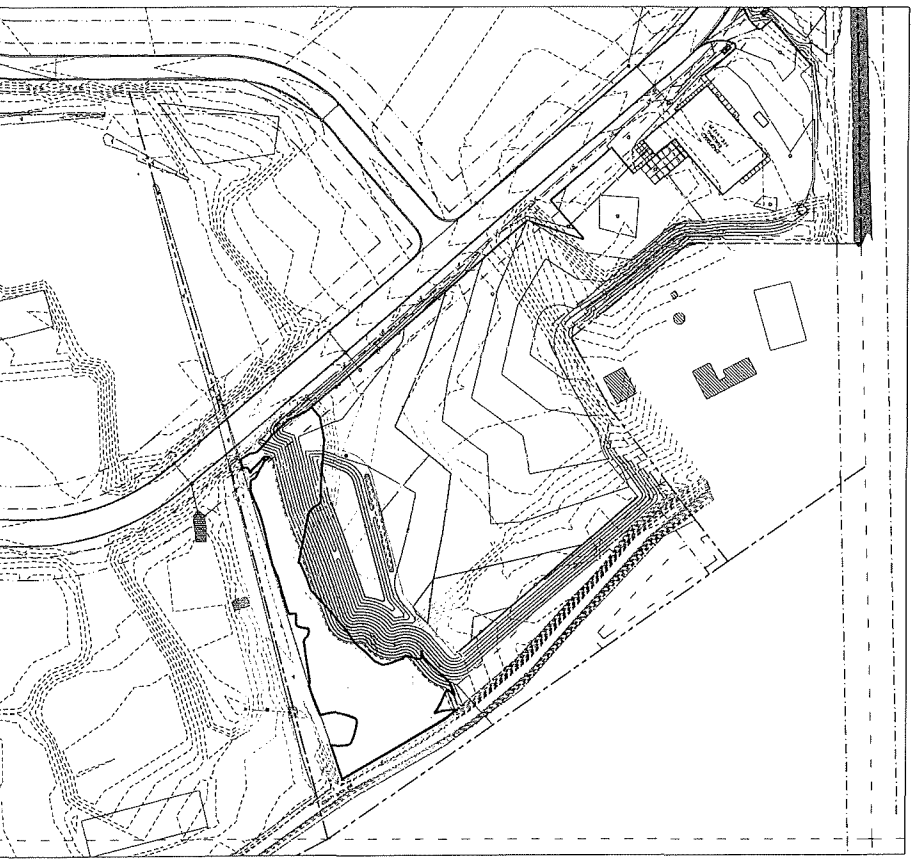
Project #: 12226165  
Drawn By: TJR/KBK  
Checked By: TJH  
Issue Date: 04.28.23  
Sheet Title:

DETAILS

Sheet:

**C502**



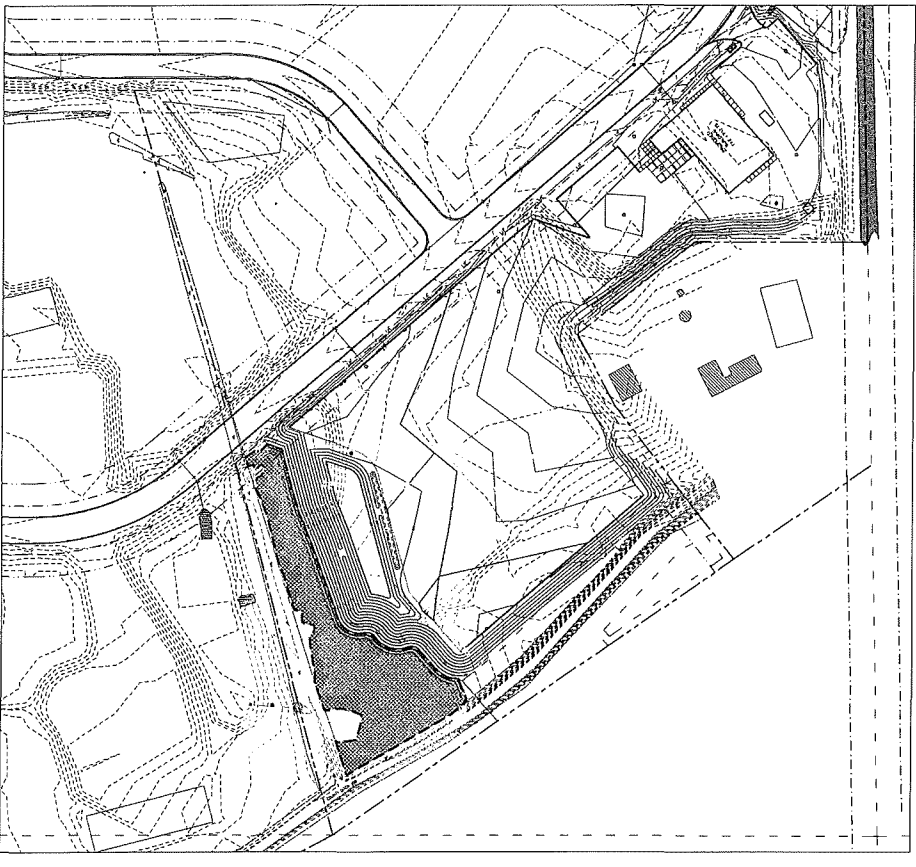


**FLOOD PLAIN IMPACT LEGEND**

FLOODPLAIN ELEVATION PER COON CREEK WATERSHED DISTRICT - 900.80

--- EXISTING FLOODPLAIN ELEVATION BOUNDARY LINE AT ELEV. 900.8

▨ FLOODPLAIN STORAGE VOLUME WITHIN IMPACT AREA - 3.842 CY



**FLOOD PLAIN MITIGATION LEGEND**

FLOODPLAIN ELEVATION PER COON CREEK WATERSHED DISTRICT - 900.80

--- PROPOSED FLOODPLAIN ELEVATION BOUNDARY LINE AT ELEV. 900.8

▨ FLOODPLAIN COMPENSATORY STORAGE VOLUME WITHIN MITIGATION AREA - 3.149 CY

PRELIMINARY NOT FOR CONSTRUCTION

**Larson Engineering, Inc.**  
 3524 Larson Road  
 White Bear Lake, MN 55110  
 651.481.8120 (P) 651.481.9201  
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**CLASSIC CONSTRUCTION**  
 18642 NE ULYSSES ST.  
 EAST BETHEL, MN 55011

**FLEET STAR TRUCK & TRAILER**  
 HAM LAKE, MN

Project Title: \_\_\_\_\_  
 Date: 04/26/23 U.S. No.: 253020  
 Title: 1. FLOODPLAIN F.E.  
 Drawn By: T.H.R.  
 Checked By: T.H.R.  
 Scale: \_\_\_\_\_  
 Sheet No.: 0422.23

**FLOOD PLAN MITIGATION PLAN**  
 Sheet: **C600**

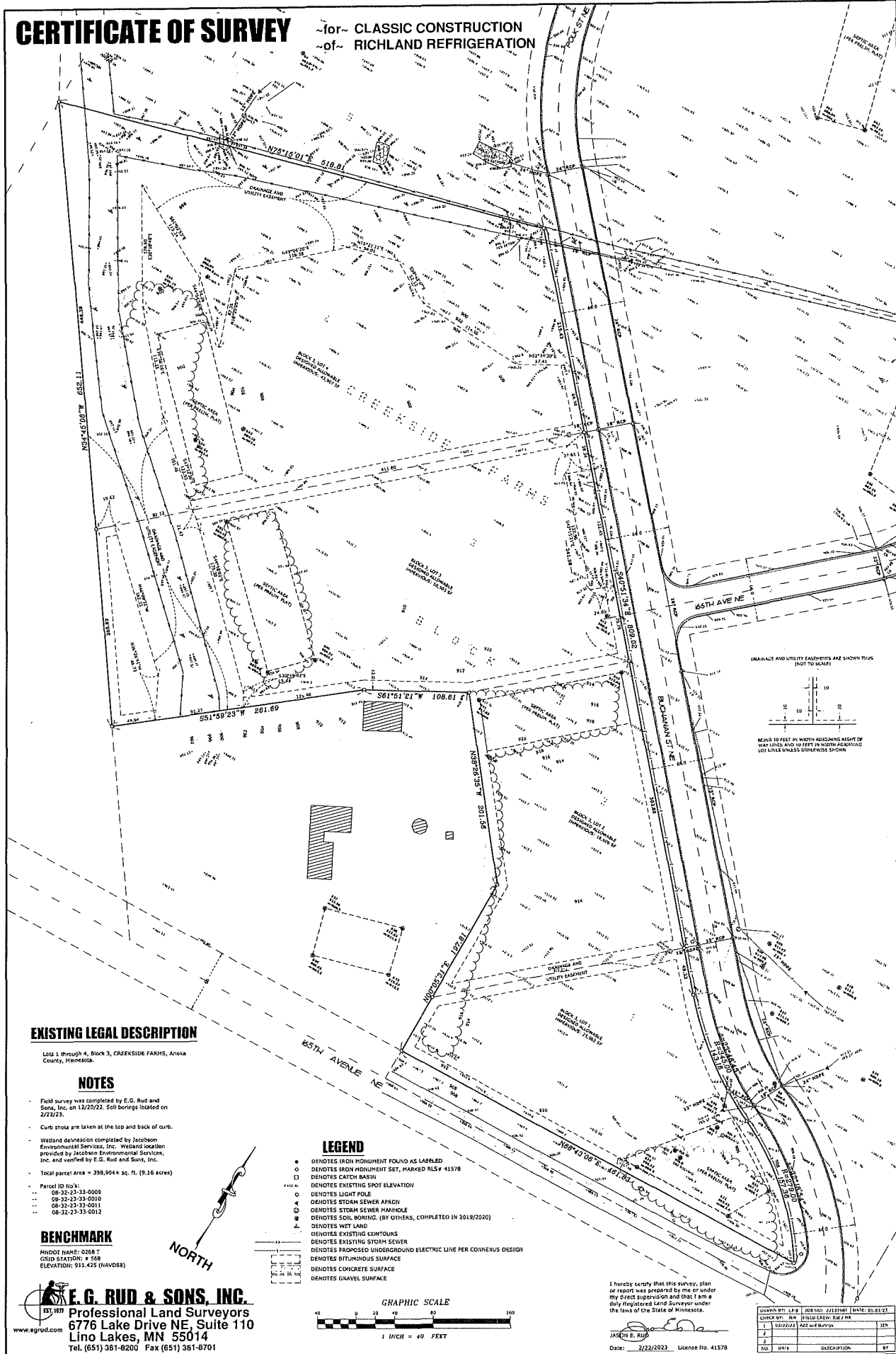






# CERTIFICATE OF SURVEY

for CLASSIC CONSTRUCTION  
of RICHLAND REFRIGERATION



IRRIAGATION AND UTILITY EASEMENTS ARE SHOWN THUS (NOT TO SCALE)

MEANS 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN

## EXISTING LEGAL DESCRIPTION

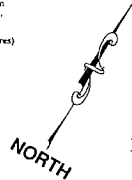
Lot 1 through 4, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota.

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 12/20/22. Soil borings located on 2/22/23.
- Curb shots are taken at the top and back of curb.
- Wetland delineation completed by Jacobson Environmental Services, Inc. Wetland location provided by Jacobson Environmental Services, Inc. and verified by E.G. Rud and Sons, Inc.
- Total parcel area = 399,904 ± sq. ft. (9.16 acres)
- Parcel ID No's:
  - 08-32-23-33-0009
  - 08-32-23-33-0010
  - 08-32-23-33-0011
  - 08-32-23-33-0012

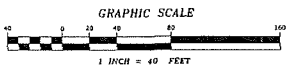
## BENCHMARK

MONUMENT NAME: 0208 T  
CSDO STATION: P 158  
ELEVATION: 913.435 (NAVD83)



## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS # 41578
- DENOTES CATCH BASIN
- DENOTES EXISTING SPOT ELEVATION
- DENOTES LIGHT POLE
- DENOTES STORM SEWER APRON
- DENOTES STORM SEWER MANHOLE
- DENOTES SOIL BORING. (BY OTHERS, COMPLETED IN 2019/2020)
- DENOTES WET LAND
- DENOTES EXISTING CORKTURNS
- DENOTES EXISTING STORM SEWER
- DENOTES PROPOSED UNDERGROUND ELECTRIC LINE PER CONNEXUS DESIGN
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES GRAVEL SURFACE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD  
Date: 2/22/2023 License No. 41578

QUANTITY	UNIT	DATE
1	SET	01-23-23
1	ASCE	01-23-23
1	DATE	01-23-23
1	DATE	01-23-23

**E.G. RUD & SONS, INC.**  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 381-8200 Fax (651) 381-8701

# PROPOSED BUILDING FOR FLEET STAR HAM LAKE, MINNESOTA



**PERSPECTIVE ELEVATION**

Rosa  
Architectural  
Group  
Inc.

1084 Sterling Street  
St. Paul, Minnesota 55119  
tel: 651-739-7988  
fax: 651-739-3165

PROPOSED  
BUILDING FOR  
FLEET STAR

18522 BUCHANAN ST. NE  
HAM LAKE, MN

CLASSIC  
CONSTRUCTION

## PROJECT TEAM

### APPLICANT

FLEET STAR TRUCK AND TRAILER  
OWNER: AKIL IBRAHIM  
PHONE: 763-571-4141

### CONTRACTOR

CLASSIC CONSTRUCTION  
PHONE: 763-434-8870  
18542 ULYSSES ST. NE  
EAST BETHEL, MN 55011

### ARCHITECT

ROSA ARCHITECTURAL GROUP, INC.  
PHONE: 651-739-7988  
1084 STERLING STREET N  
ST. PAUL, MN 55119

### CIVIL ENGINEER

LARSON ENGINEERING  
PHONE: 651-481-9120  
3524 LABORE ROAD  
WHITE BEAR LAKE, MN 55110

### SURVEYOR

E.G. RUD & SONS, INC.  
PHONE: 651-361-8200  
6776 LAKE DRIVE NE, SUITE 110  
LINO LAKES, MN 55014

## SHEET INDEX

### ARCHITECTURAL

- A1.1 TITLE SHEET & PROJECT INFORMATION
- A2.1 FLOOR PLANS
- A3.1 ELEVATIONS
- A3.2 COLOR ELEVATIONS

### L1.0 LANDSCAPE PLAN

### CIVIL

#### CERTIFICATE OF SURVEY

- C100 DEMOLITION PLAN
- C101 DEMOLITION PLAN
- C200 PAVING PLAN
- C201 PAVING PLAN
- C300 GRADING PLAN
- C301 GRADING PLAN
- C400 UTILITY PLAN
- C401 UTILITY PLAN

PH: 763-434-8870  
18542 ULYSSES ST. NE  
EAST BETHEL, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR  
REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT NUMBER: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_

PROJECT NUMBER: 22302  
DATE: APRIL 13, 2023  
DRAWN BY: KCF  
CHECKED BY: RR  
REVISIONS:

TITLE SHEET AND PROJECT  
INFORMATION

# A1.1

Rosa  
Architectural  
Group  
Inc.

1084 Sterling Street  
St. Paul, Minnesota 55119  
tel 651-739-7988  
fax: 651-739-3165

PROPOSED  
BUILDING FOR  
FLEET STAR

16522 BUCHANAN ST. NE  
HAM LAKE, MN

CLASSIC  
CONSTRUCTION

PH: 763-434-8870  
18542 ULYSSES ST. NE  
EAST BETHEL, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL UNDER THE LAWS OF THE STATE OF MINNESOTA.

PROJ. NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL UNDER THE LAWS OF THE STATE OF MINNESOTA.

PROJ. NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

DATE: 4/12/2023

SCALE: \_\_\_\_\_

PROJECT NUMBER: 22302

DATE: APRIL 13, 2023

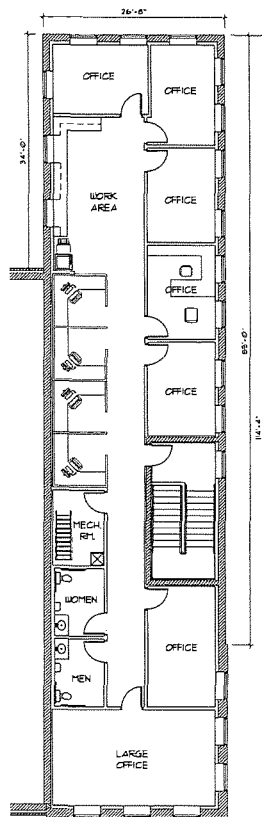
DRAWN BY: KF

CHECKED BY: RR

REVISIONS: 4/26/23

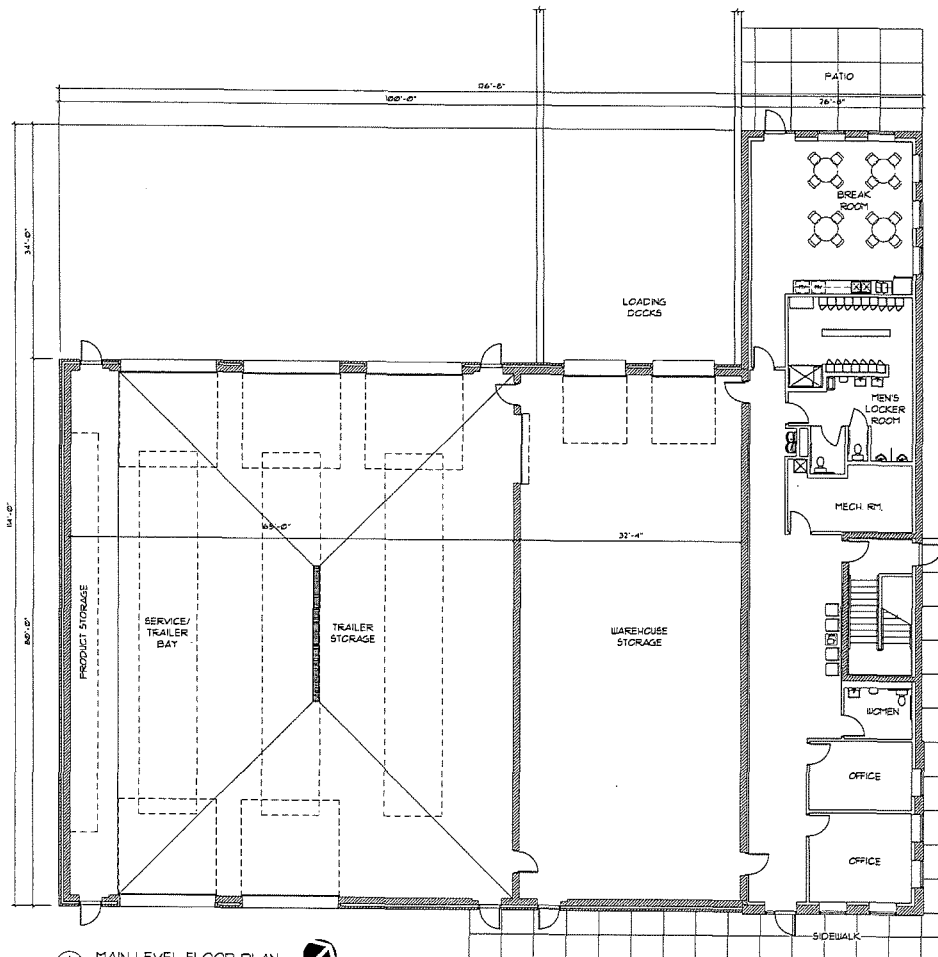
FLOOR PLANS

**A2.1**



UPPER LEVEL FLOOR PLAN  
1/8" = 1'-0"

UPPER LEVEL AREA: 2,498.6 SF.  
(THIS AREA DOES NOT INCLUDE THE THICKNESS OF THE EXTERIOR WALLS PER MSBC)



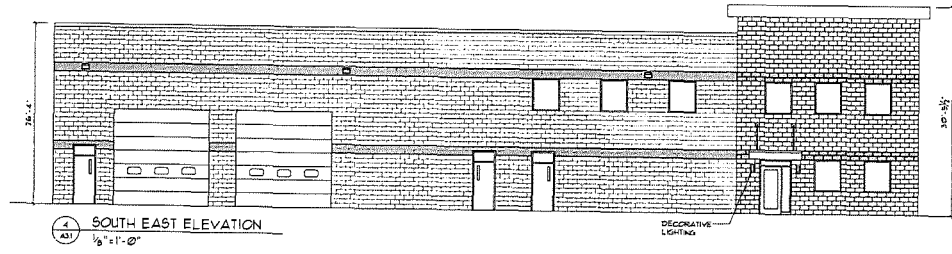
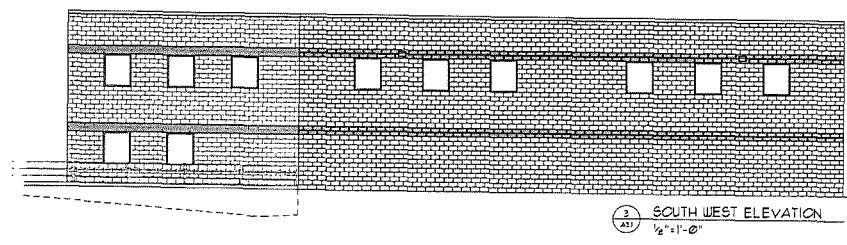
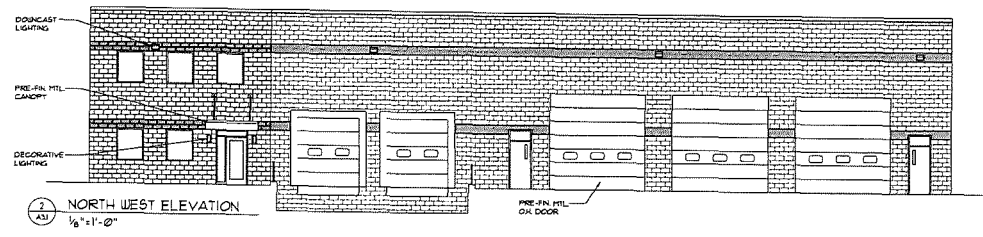
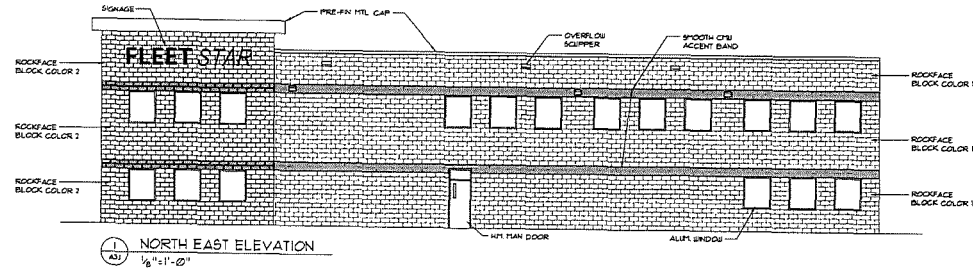
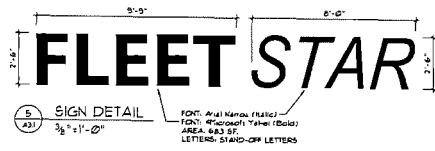
MAIN LEVEL FLOOR PLAN  
1/8" = 1'-0"

MAIN LEVEL AREA: 10,115.8 SF.  
(THIS AREA DOES NOT INCLUDE THE THICKNESS OF THE EXTERIOR WALLS PER MSBC)

PARKING SPACES REQUIRED:  
OFFICE: 5150.2 / 250 = 20.6  
WAREHOUSE: 5613.3 / 2000 = 2.8  
SERVICE: 1788.9 / 250 = 7.2  
TOTAL: 20.6 + 2.8 + 7.2 = 30.6 STALLS REQ'D

BUILDING FOOTPRINT AREA: 11,051 SF.  
(THIS AREA INCLUDES THE THICKNESS OF THE EXTERIOR WALLS)

PROPERTY DESCRIPTION:  
LOTS 1-4, BLOCK 3, CREEKSIDE FARMS



Rosa  
 Architectural  
 Group  
 Inc.

1084 Sterling Street  
 St. Paul, Minnesota 55119  
 tel: 651-739-7988  
 fax: 651-739-3165

PROPOSED  
 BUILDING FOR  
 FLEET STAR

16522 BUCHANAN ST. NE  
 HAM LAKE, MN

CLASSIC  
 CONSTRUCTION

PH: 763-434-8870  
 18542 ULYSSES ST. NE  
 EAST BETHEL, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 REG. NO.: \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: **RUSSELL R. ROSA**  
 TITLE: **ARCHITECT**  
 DATE: **4/13/2023**  
 REG. NO.: **18033**

PROJECT NUMBER: 22302  
 DATE: APRIL 13, 2023  
 DRAWN BY: KF  
 CHECKED BY: RR  
 REVISIONS: \_\_\_\_\_

ELEVATIONS

**A3.1**



1  
A3.2  
NORTHEAST ELEVATION  
NOT TO SCALE



2  
A3.2  
NORTHWEST ELEVATION  
NOT TO SCALE



3  
A3.2  
SOUTHWEST ELEVATION  
NOT TO SCALE



4  
A3.2  
SOUTHEAST ELEVATION  
NOT TO SCALE

Rosa  
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PROPOSED  
BUILDING FOR  
FLEET STAR

16522 BUCHANAN ST. NE  
HAM LAKE, MN

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CONSTRUCTION

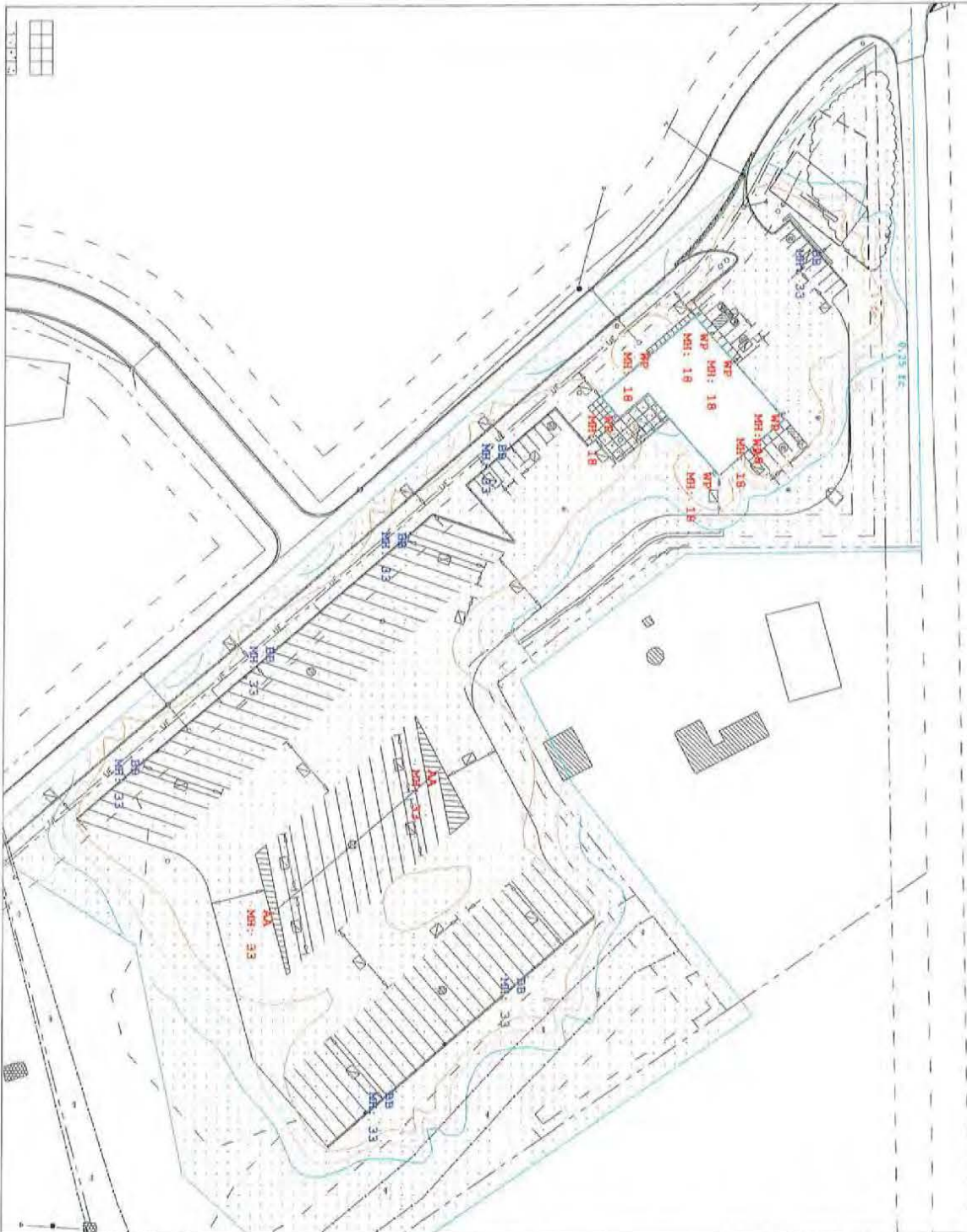
PH: 763-434-8870  
18542 ULYSSES ST. NE  
EAST BETHEL, MN

4/13/20  
18029  
SUBMITTAL  
NO FOR  
CONSTRUCTION

COLOR ELEVATIONS

A3.2





**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Planar	Illuminanc	Fc	1.48	11.5	0.0	N.A.	N.A.

**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
	2	AA	SINGLE	0.910	RSX4 LED P6 40K R5	545.6631
	7	BB	SINGLE	0.910	RSX4 LED P6 40K R4	545.6631
	7	WP	SINGLE	0.910	WPX3 LED 40K Mvolt	72.33

Page 14 of 1

Fleet Star Exterior

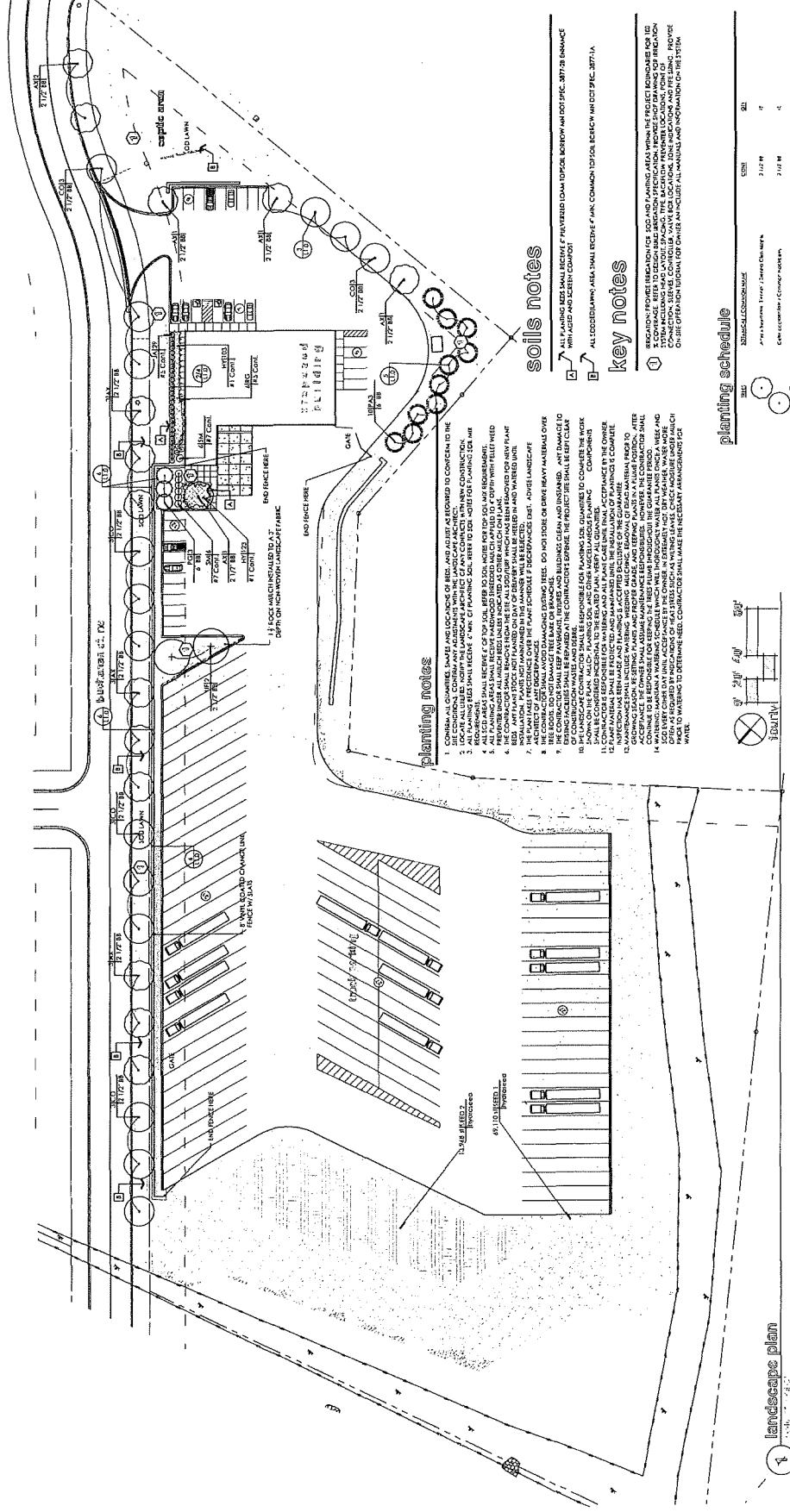
Drawn By: Daniel Budke  
Checked By:

Date: 4/14/2023

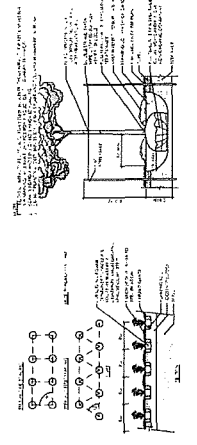
Scale:

#	Date	Comments

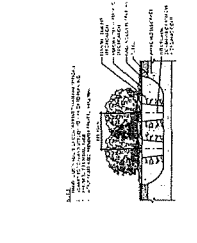




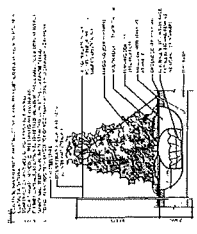
1 landscape plan



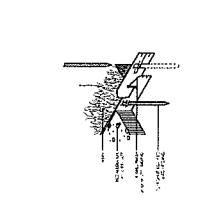
2 Perennial planting



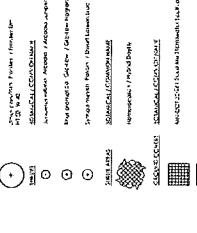
3 deciduous tree



4 shrub planting



5 coniferous tree



6 storm edge

**planting notes**

1. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
2. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
3. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
4. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
5. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
6. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
7. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
8. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
9. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
10. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
11. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
12. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
13. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.
14. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE PLANTING SCHEDULE.

**soils notes**

1. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE SOILS SCHEDULE.
2. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE SOILS SCHEDULE.

**key notes**

1. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE KEY SCHEDULE.
2. ALL PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS AND NOTES ON THE KEY SCHEDULE.

**planting schedule**

NO.	PLANTING	QUANTITY	SIZE	DATE
1	PERENNIAL PLANTING	15	15"	05/15/15
2	DECIDUOUS TREE	15	15"	05/15/15
3	SEMI-DECIDUOUS TREE	15	15"	05/15/15
4	CONIFEROUS TREE	15	15"	05/15/15
5	SHRUB PLANTING	15	15"	05/15/15
6	STORM EDGE	15	15"	05/15/15



## **11-1800 LANDSCAPING IN COMMERCIAL ZONED AREAS**

In all areas of the City zoned CD-1, CD-2, CD-3 or CD-4, the following conditions shall apply to landscaping and ground cover.

**11-1810 Landscape Plan Required** No building permit shall be issued for construction on a vacant lot, nor for any addition to an existing building involving the addition of 500 square feet or more of additional building space, unless the applicant shall have first submitted and obtained approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

**11-1820 Installation Required** No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

**11-1830 Time for Submission** The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

### **11-1840 Contents and Specifications**

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

- A. Perimeter of all buildings, signs or other structures;
- B. Parking lots and walkways, identifying pavement material;
- C. Areas of decorative rock, identifying type of rock;
- D. Areas of lawn;
- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

## **11-1850 MINIMUM LANDSCAPING REQUIREMENTS**

**11-1851 Paved Surfaces** All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

**11-1852 Ground Cover** On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

**11-1853 Tree Plantings** Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;
- C. The use of conifers shall be encouraged and preferred.
- D. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

**11-1860 Case by Case Evaluation**

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

other than a personal computer, copy machine, fax machine and/or small personal printer.

**b. Conditional Uses**

- o Public Utility Structures
- o Accessory Buildings

**9-220 Mercantile Districts** The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

**9-220.1 Standards Common to All Mercantile Districts**

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

- a) **Paving** All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;
- b) **Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;
- c) **Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;
- d) **Setbacks for Paved Areas** There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;
- \* e) **Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;
- f) **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;
- g) **Parking Lots and Lighting** Off-street parking shall be provided for the general public and employees.

## 11-200 FENCES AND HEDGES

### 11-210 Definitions

For the purposes of this Code, the following terms shall have the meanings herein stated:

- A. **Fence.** Any structure which is 36 inches or more in height, and a length of 6 feet or more, which is composed on non-living materials which cover the entire area bounded by said height and length criteria;
- B. **Hedge.** Any grouping of vegetation which creates a visual barrier of a substantially opaque nature for a length of 6 feet or more and for a height of from ground level to 36 inches above ground level;
- C. **Front Yard.** The area between the public street right-of-way line and the minimum required building setback line, as measured along any side of a lot. Lakeshore properties shall be considered on both lakeside and roadside to be front yards.
- D. **Side Yard.** The area between the front yard and back yard of any lot;
- E. **Back Yard.** The area lying to the rear of the rear building line of the principal structure on any lot;
- F. **Principal Structure.** In the case of property used wholly or partially for residential purposes, the principal structure shall be the structure housing any dwelling unit. In all other cases, the principal structure shall be the structure located closest to any adjacent street, or, in the case of more than one building equidistant from such street, the building containing the greater square footage shall be deemed the principal structure.

### 11-220 Height

Fences and hedges shall not exceed the following heights unless a variance from this ordinance is granted by the City Council.

#### 11-220.1 Varied Height Requirements

The above fence height requirements may be varied by resolution of the City Council, where the following conditions are met:

- a) The fence will not present any public safety problems;
- b) The height requested will not deprive adjoining properties of air, light, or ventilation, sight lines or create aesthetic problems.


<b>Zoning Classification</b>	<b>Front Yard</b>	<b>Side yard</b>	<b>Back Yard</b>
R-1, R-2, RS-1, RS-2, ML-PUD, PUD	4 feet	6 feet	6 feet
R-A, C-A	4 feet	6 feet	6 feet
CD-1-2-3 & 4, B-1, B-2	• 6-12 feet	• 6-12 feet	• 6-12 feet
I-1, I-2	• 6-12 feet	• 6-12 feet	• 6- 12 feet

- Height marked with an asterisk may be increased by two feet to accommodate a barbed wire security arm top.

**11-230 Permit Required.** No person, firm, or corporation shall hereafter construct or erect or cause to be constructed or erected within any Commercial or Industrial Zoning District any fence which is intended to be a permanent structure on the premises, without first securing a building permit.

**11-240 Construction and Maintenance of Fences Generally.** Every fence shall be constructed in a substantial, workmanlike manner and of substantial material reasonably suited for the purpose for which the fence is proposed to be used. Fences shall be constructed so that their more attractive side faces neighboring property. Every fence shall be maintained in a condition of reasonable repair and shall not be allowed to become and remain in a condition of disrepair or danger, or constitute a nuisance, public or private. Any such fence which is, or has become dangerous to the public safety, health or welfare, is a public nuisance and the Ham Lake Building Inspector shall commence proper proceedings for the abatement thereof. Link fences, wherever permitted, shall be constructed in such a manner that no barbed ends shall be at the top except in Industrial and Commercial Districts. Electric and barbed wire fences shall be permitted only on agriculturally zoned property (R-A), and shall be permitted only when necessary to further so bona fide agricultural purpose.

...

 **11-260 Commercial and Industrial Fences.**

Fences in all Commercial and Industrial Zoning shall not be less than 6 (six) feet and not exceed twelve (12) feet in height and may be increased to accommodate a barbed wire security arm top except that:

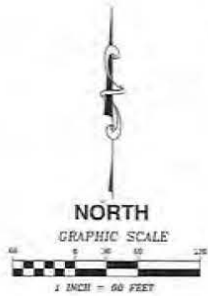
- (1) Special Purpose Fences. Fences for special purposes and fences differing in construction, height or length may be permitted in any district in the City of Ham Lake with approval by the Planning and Zoning Commission and City Council. Findings shall be made that the fence is necessary to protect, buffer or improve the premises for which the fence is intended.
- (2) Metal panel and chain link fencing are not appropriate in Commercial Development Tier 1 (CD-1) zoning. Fencing is not appropriate in front yard area facing Highway 65.

# SKETCH AND DESCRIPTION

~for~ CLASSIC CONSTRUCTION  
 ~of~ FLEET STAR TRUCK AND TRAILER

## EASEMENT TO BE VACATED (POND 1)

All of the drainage and utility easements lying over, under, and across that part of Lot 4, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, described as follows:  
 Commencing at the most northerly corner of said Lot 4; thence South 46 degrees 51 minutes 34 seconds East, assumed bearing, along the northeasterly line of said Lot 4, a distance of 21.15 feet to the point of beginning of said easement to be vacated; thence continuing South 40 degrees 51 minutes 34 seconds East, along said northeasterly line of Lot 4, a distance of 124.70 feet; thence South 62 degrees 34 minutes 20 seconds West, a distance of 57.41 feet; thence North 88 degrees 24 minutes 50 seconds West, a distance of 234.56 feet; thence North 58 degrees 43 minutes 47 seconds West, a distance of 53.12 feet; thence South 75 degrees 21 minutes 11 seconds West, a distance of 54.01 feet; thence South 49 degrees 06 minutes 20 seconds West, a distance of 118.58 feet; thence South 18 degrees 25 minutes 05 seconds East, a distance of 82.26 feet; thence North 44 degrees 54 minutes 56 seconds West, a distance of 74.28 feet; thence North 61 degrees 02 minutes 53 seconds West, a distance of 115.34 feet; thence North 30 degrees 18 minutes 48 seconds West, 20.43 feet; thence North 72 degrees 14 minutes 59 seconds East, 428.88 feet to said point of beginning.  
 EXCEPT that part embraced within the northeasterly 10.00 feet of said Lot 4.



## EASEMENT TO BE VACATED (LOTS 3 AND 4)

That part of the southeasterly 10 feet of Lot 4, Block 3, and the northeasterly 10 feet of Lot 3, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, which lies southeasterly of the northeasterly 10 feet of said Lots 3 and 4, and which lies northeasterly of the following described line:  
 Commencing at the most southerly corner of said Lot 3; thence North 51 degrees 59 minutes 23 seconds East, on an assumed bearing along the southeasterly line of said Lot 3, a distance of 136.22 feet to the point of beginning of the line to be described; thence North 30 degrees 59 minutes 02 seconds West, a distance of 15.49 feet; thence North 44 degrees 08 minutes 02 seconds West, a distance of 175.30 feet; thence North 47 degrees 32 minutes 36 seconds West, a distance of 122.93 feet and said line there terminating.

## EASEMENT TO BE VACATED (LOTS 2 AND 3)

That part of the southeasterly 10 feet of Lot 3, Block 3, and the northwesterly 10 feet of Lot 2, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, which lies southeasterly of the northeasterly 10 feet of said Lots 2 and 3, and which lies northeasterly of a line drawn parallel with and distant 10.00 feet northwesterly of the following described line and 43 northwesterly extension:  
 Commencing at the most southerly corner of said Lot 2; thence North 00 degrees 05 minutes 31 seconds East, assumed bearing, along a westerly line of said Lot 2, a distance of 124.27 feet to the point of beginning of said line to be described; thence North 38 degrees 24 minutes 25 seconds West, along a northwesterly line of said Lot 2, a distance of 261.56 feet to the most westerly corner of said Lot 2 and said line there terminating.

## EASEMENT TO BE VACATED (LOTS 1 AND 2)

That part of the southeasterly 10 feet of Lot 2, Block 3, and the northwesterly 10 feet of Lot 1, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, lying southeasterly of the northeasterly 10 feet of said Lots 1 and 2, and lying easterly of the west 10 feet of said Lots 1 and 2.

## EASEMENT TO BE VACATED (POND 2)

That part of Lot 3, Block 3, CREEKSIDE FARMS, Anoka County, Minnesota, described as follows:  
 Commencing at the most easterly corner of said Lot 3; thence on an assumed bearing along the northeasterly line of said Lot 3, North 46 degrees 51 minutes 34 seconds West, a distance of 79.79 feet, to the point of beginning of the easement to be vacated; thence continuing North 46 degrees 51 minutes 34 seconds West, a distance of 122.45 feet; thence South 51 degrees 01 minutes 08 seconds West, a distance of 27.61 feet; thence South 42 degrees 15 minutes 21 seconds East, a distance of 123.86 feet; thence North 50 degrees 08 minutes 48 seconds East, a distance of 24.66 feet to the point of beginning.  
 EXCEPT  
 That part embraced within the northeasterly 10.00 feet of said Lot 3.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.  
 JASON E. RUD  
 Date: 5/17/2022 License No. 41578

DATE: 5/17/2022	CAD: JLR/MSR	DATE: 6/16/22
CHECK BY: JR	TITLE: CHECK BY: JR	
1	65-1021	THOMAS CASCIOPTOLAS
2		
3		
NO. DATE	DESCRIPTION	BY

**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701





# Anoka County

## PROPERTY RECORDS & TAXATION DIVISION

Respectful, innovative, Fiscally Responsible

### DIVISION/COMBINATION REQUEST FORM

Date \_\_\_\_\_ Municipality \_\_\_\_\_

For Taxes Payable In \_\_\_\_\_ Taxes Certified \_\_\_\_\_

- Division
- Combination

Fee Owner	
Contract Purchaser	
Taxpayer Name	
Address	

Parcel IDs	Legal Description	TCA

Note:

- If request is for a Division of a tax parcel, without transferring title, the legal descriptions of the new parcels and copy of survey must be attached and stamped with city approval
- If request is by a Contract Purchase, the applicant must already appear as the contract purchaser in the county tax records or a copy of the contract for deed must be attached
- All delinquent taxes must be paid in full – Divisions must have current taxes paid per MN Statute 272.121

Is Combination required for a building permit?  Yes  No

Phone \_\_\_\_\_

Email \_\_\_\_\_

Signature \_\_\_\_\_

- Fee Owner
- Contract Purchaser

I:\PropTax\~DeptShare\Seg Merge\Divisions & Combinations\Division Combo Request Form.docx

**TO:** City of Ham Lake – Attn: David Krugler

**FROM:** Akil Ibrahim

**DATE:** April 28, 2023

**SUBJECT:** FLEET STAR Truck & Trailer, LLC City Memo

Fleet Star Truck & Trailer, LLC is a local trucking company owned solely by myself, Akil Ibrahim and has been in business for 10 years. We currently have a location in Ham Lake. We are looking to open a second location and build a truck terminal in the new Creekside Farms Development, specifically lots 1-4 in Block 3. The building footprint square footage will be 11,057 sf (see attached A2.1 for further details) and will have two loading docks for the warehousing of freight (excludes any hazardous materials), storage bays for trailers, and one maintenance bay for light duty repairs and preventative maintenance on trucks and trailers; the upper level square footage is 2,498 and will have offices and a work area along with restrooms (see plan page A2.1) We will operate from 7AM to 5 PM Monday- Friday and employ 15 office staff, 5 Shop employees, 20 drivers, and 60-70 independent drivers which are contracted by Fleet Star (Independent Contractor Agreement submitted; Drivers provide trucking services ((loading and unloading of goods for Fleet Star)). The total truck traffic per day would be 4-5 trucks. Storage needs will take place within the building for transferring goods to and from trailers.

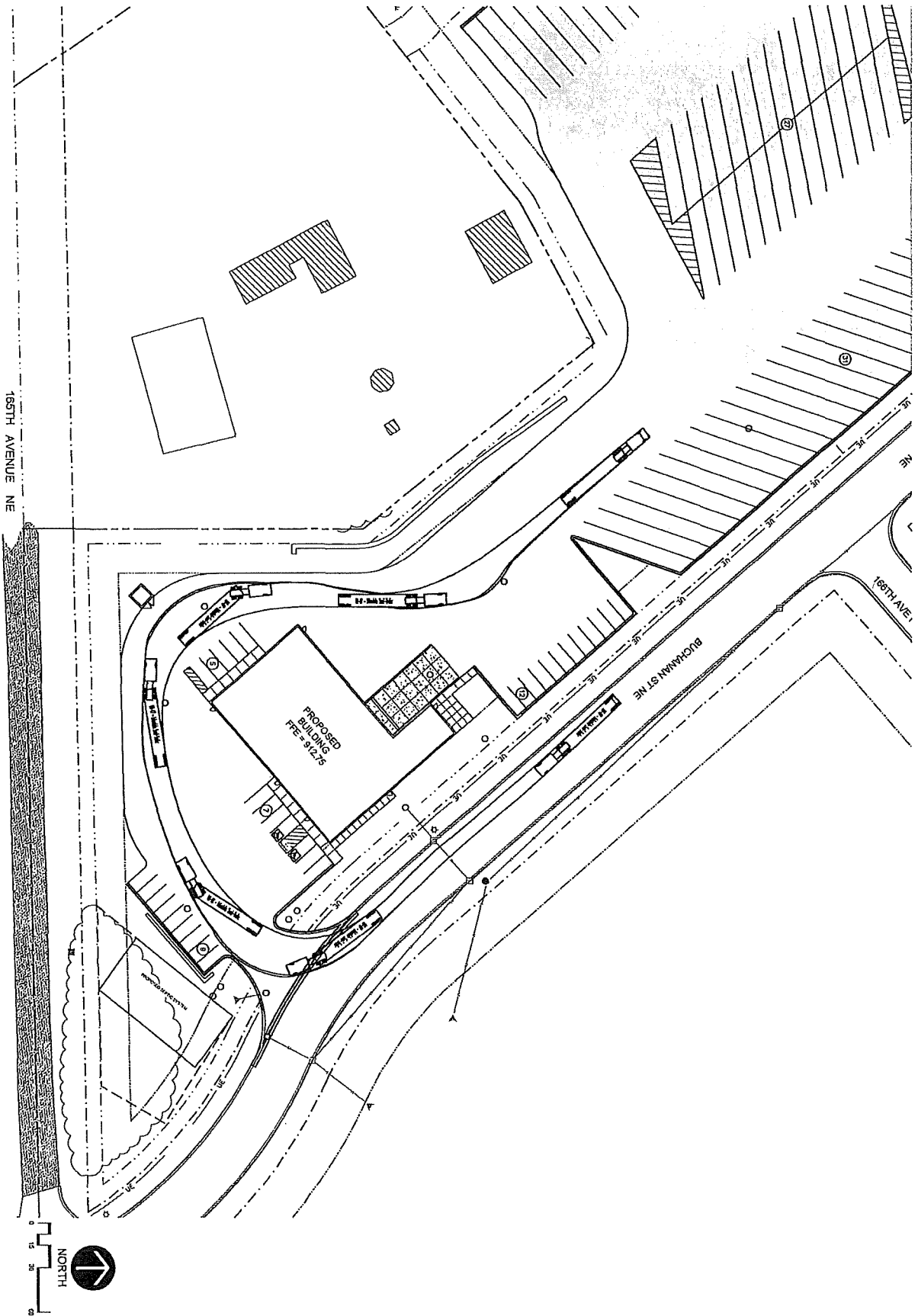
Please see attached X1 and X2 exhibits showing turning movements along with the 100 – year flood event of possible standing water for a short time that I find completely acceptable.

I would like to reiterate there will be no overnight parking (sleeping) allowed at this truck terminal.

Thank you and I look forward to continuing my business in Ham Lake,

*Akil A*

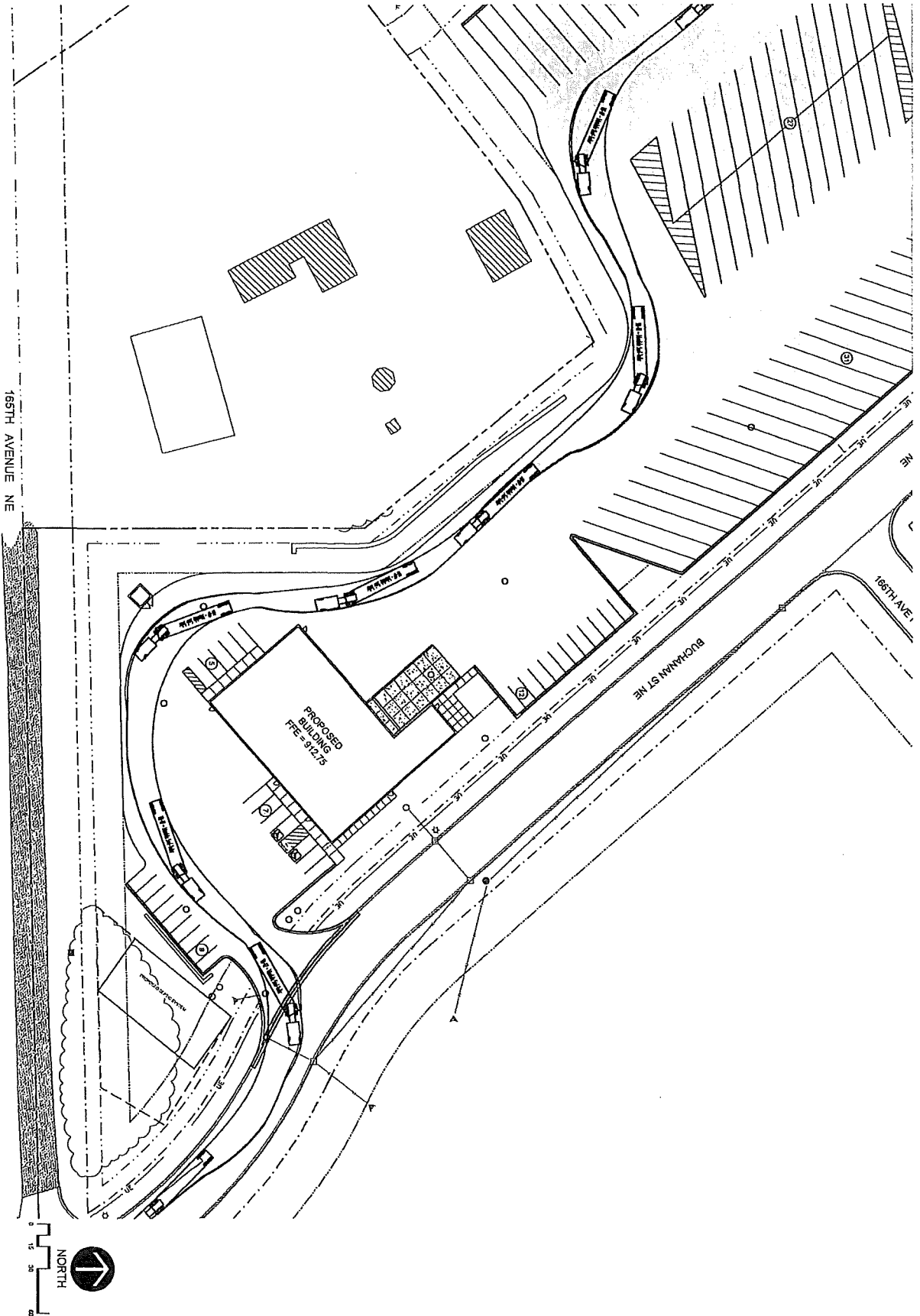
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PRELIMINARY NOT FOR CONSTRUCTION

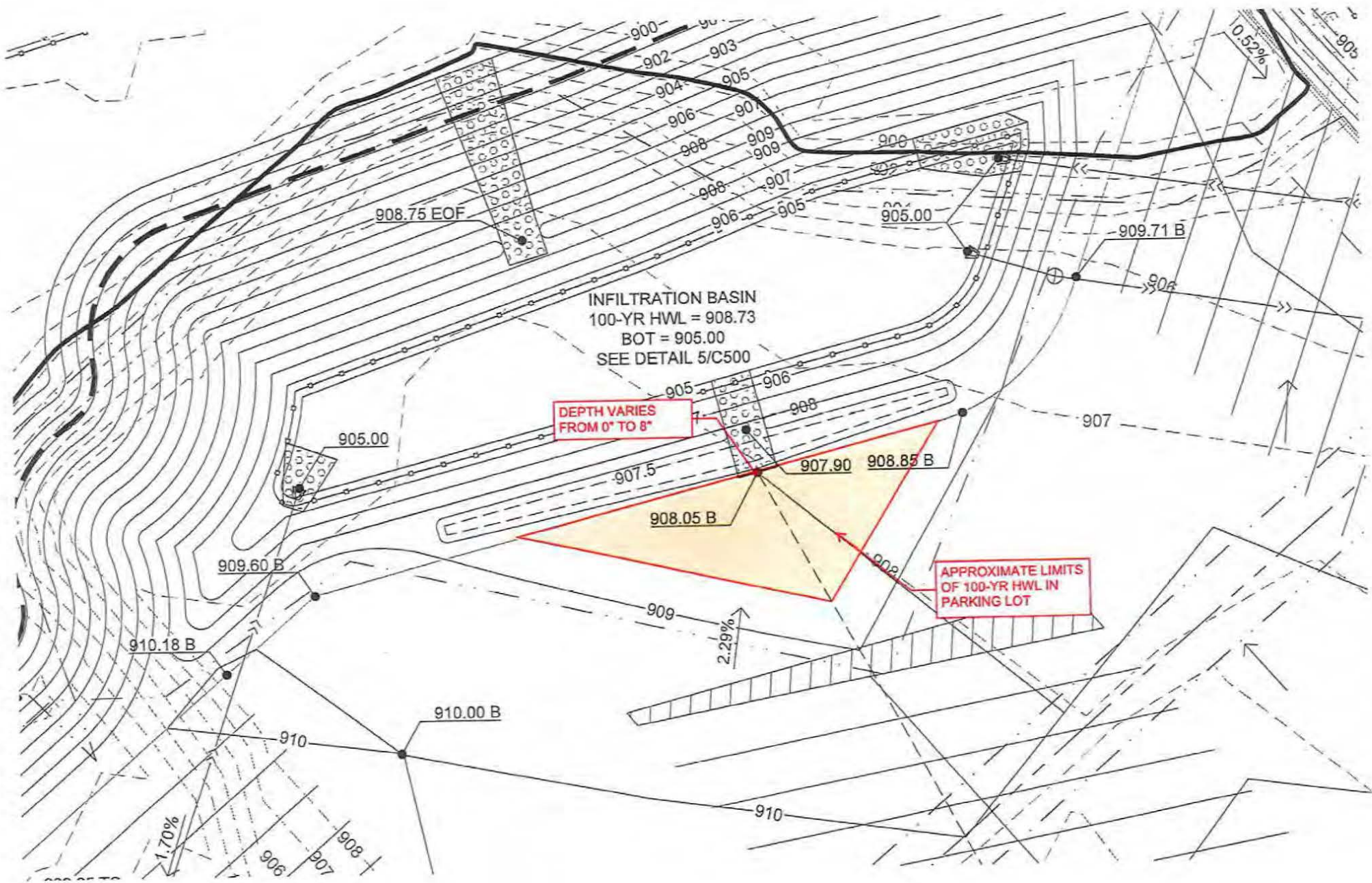
 NORTH 	<b>X1</b>	<b>TRUCK TURNING EXHIBIT</b>	<b>PROJECT INFORMATION</b> Project: 10542 NE Ulysses St., Ham Lake, MN 55011 Client: Fleet Star Truck & Trailer, Inc. Date: 10/12/10 Sheet: 1 of 1	10542 NE Ulysses St. Ham Lake, MN 55011	<b>Project Title</b> <b>FLEET STAR TRUCK &amp; TRAILER</b> HAM LAKE, MN	<b>Client</b> <b>CLASSIC CONSTRUCTION</b> 10542 NE ULYSSES ST. EAST BETHEL, MN 55011	 <b>Larson Engineering, Inc.</b> 3524 Labore Road White Bear Lake, MN 55110 651.491.9120 (F) 651.491.9201 www.larsonengr.com
	© 2010 Larson Engineering, Inc. All Rights Reserved.						

Project: 18542 NE Ulysses St., Ham Lake, MN 55011. Client: Larson Engineering, Inc. Date: 10/20/11. Scale: 1/8" = 1'-0".



PRELIMINARY NOT FOR CONSTRUCTION

	<b>TRUCK TURNING EXHIBIT</b>	Project # 18542 Client Larson Engineering, Inc. Date 10/20/11 Scale 1/8" = 1'-0"	Title, Date, Description _____ _____ _____	Prepared by: <i>[Signature]</i> Checked by: <i>[Signature]</i> Date: 10/20/11	Requestor <p style="text-align: center;"> <b>FLEET STAR TRUCK &amp; TRAILER</b>                      HAM LAKE, MN                 </p>	Client <p style="text-align: center;"> <b>CLASSIC CONSTRUCTION</b>                      18542 NE ULYSSES ST.                      EAST BETHEL, MN 55011                 </p>	<p> <b>Larson Engineering, Inc.</b>                      3324 Labore Road                      White Bear Lake, MN 55110                      651.491.9120 (F) 651.491.9201                      www.larsoneng.com                 </p>
	© 2011 Larson Engineering, Inc. All rights reserved.						



INFILTRATION BASIN  
100-YR HWL = 908.73  
BOT = 905.00  
SEE DETAIL 5/C500

DEPTH VARIES  
FROM 0" TO 8"

APPROXIMATE LIMITS  
OF 100-YR HWL IN  
PARKING LOT

910.18 B

909.60 B

905.00

910.00 B

908.05 B

907.5

907.90

908.85 B

907

909.71 B

905.00

908.75 EOF

1.70%

2.29%

0.52%

Rosa  
Architectural  
Group  
Inc.

1084 Sterling Street  
St. Paul, Minnesota 55119  
tel: 651-739-7988  
fax: 651-739-3185

PROPOSED  
BUILDING FOR  
FLEET STAR

16522 BUCHANAN ST. NE  
HAM LAKE, MN

CLASSIC  
CONSTRUCTION

PH: 763-434-8870  
18542 ULYSSES ST. NE  
EAST BETHEL, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly Licensed Professional UNDER THE LAWS OF THE STATE OF MINNESOTA.

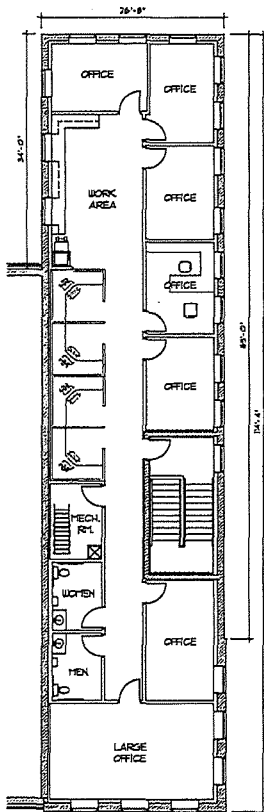
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
DATE: 4/13/2023  
BY: \_\_\_\_\_

PROJECT NUMBER: 22302  
DATE: APRIL 13, 2023  
DRAWN BY: KF  
CHECKED BY: RR  
REVISIONS: 4/28/23

FLOOR PLANS

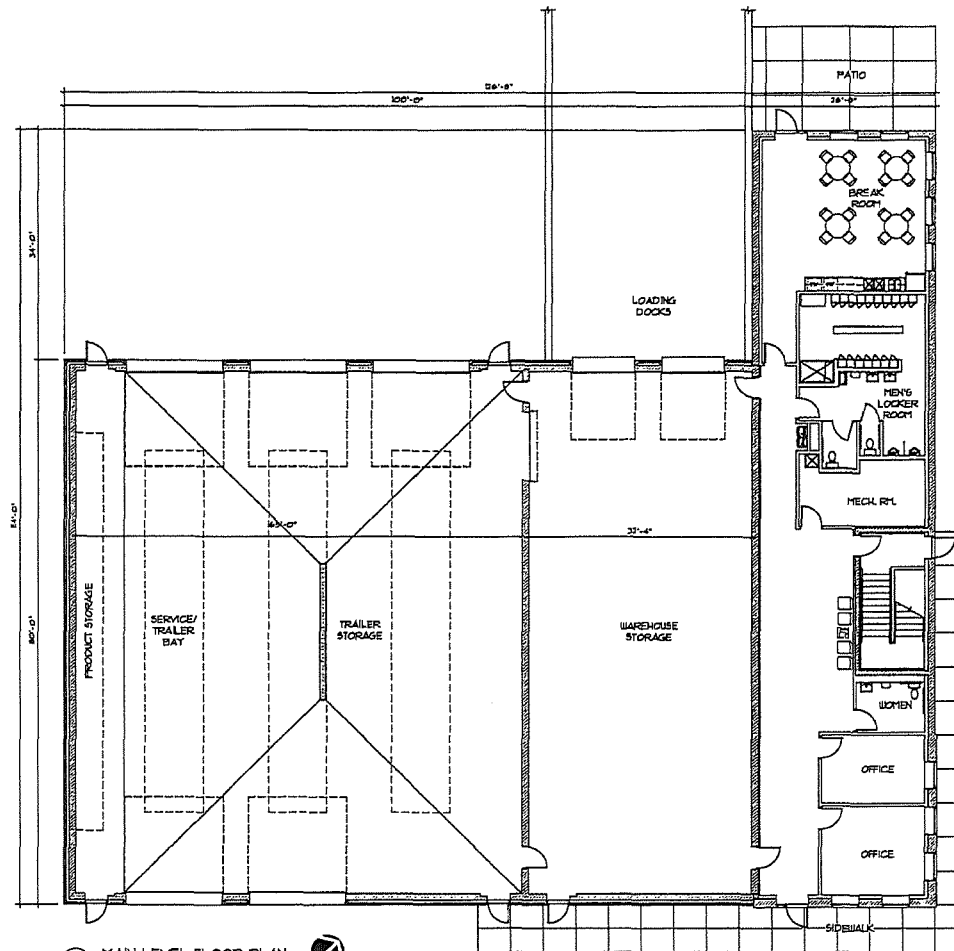
**A2.1**

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2 UPPER LEVEL FLOOR PLAN  
1/8" = 1'-0" NORTH

UPPER LEVEL AREA: 2,498.6 SF.  
(THIS AREA DOES NOT INCLUDE THE THICKNESS OF THE EXTERIOR WALLS PER MSBC)



1 MAIN LEVEL FLOOR PLAN  
1/8" = 1'-0" NORTH

MAIN LEVEL AREA: 10,133.9 SF.  
(THIS AREA DOES NOT INCLUDE THE THICKNESS OF THE EXTERIOR WALLS PER MSBC)

PARKING SPACES REQUIRED:  
OFFICE: 51502 / 250 = 206  
WAREHOUSE: 56133 / 10000 + 2B  
SERVICE: 11883 / 250 = 12  
TOTAL: 206 + 2B + 12 = 306 STALLS REQ'D

BUILDING FOOTPRINT AREA: 11,051 SF.  
(THIS AREA INCLUDES THE THICKNESS OF THE EXTERIOR WALLS)

PROPERTY DESCRIPTION:  
LOTS 1-4, BLOCK 3, CREEKSIDE FARMS

**PERMIT**  
**COON CREEK WATERSHED DISTRICT**  
13632 Van Buren St NE  
Ham Lake, MN 55304  
Permit Number: 2317

**Project:** Fleet Star Trucking & Trailer

**Issued to:** CSF Development LLC  
Attn: Jesse Osborne  
16800 HWY 65  
Ham Lake, MN 55304

**Location:** SW of the intersection of Buchanan St NE and 166th Ave NE, Ham Lake

**Permit Application #:** P23-033

**Purpose:** Construction of truck and trailer lot, office space, loading dock, repair garage, and associated stormwater treatment features

At its meeting on April 24, 2023, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Construction Plans (15 sheets); by Larson Engineering, dated 04/28/2023, received 04/28/2023.
2. Stormwater Management Report; by Larson Engineering, dated 04/28/2023, received 04/28/2023.
3. Geotechnical Report; by Haugo Geotechnical Services, dated 04/18/2023, received 04/19/2023.
4. Landscape Plans; by Aune Fernandez Landscape Architects, dated 03/30/2023, received 4/10/2023.

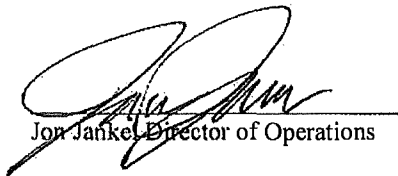
The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 3 stipulations.

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3 of staff report, including volume, critical elevations and proof of installation for hydrodynamic separators.
2. Completion of a post construction infiltration test on the Infiltration Basin by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: 5/1/2023  
Date of Expiration: 5/2/2024

  
Jon Jankel, Director of Operations

cc: File- P23-033  
Eileen Weigel, Stantec  
Danielle Tourtillott, Stantec  
Tom Collins, City of Ham Lake

**\*\*\*IMPORTANT PERMIT REQUIREMENTS OUTLINED ON REVERSE\*\*\***

**GENERAL PERMIT STIPULATIONS:**

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
  - a. You fail to comply with the terms and conditions of this permit.
  - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
  - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

**ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:**

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

**REFUNDING OF ESCROWS:** Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.