



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, APRIL 5, 2021

### **1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance**

### **2.0 PUBLIC COMMENT**

### **3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS**

- 3.1 Approval of a Resolution and acceptance of the retirement of Fred Trosvik after 44 active years of service to the Ham Lake Fire Department
- 3.2 Approval of a Resolution and acceptance of the retirement of Shane Puro after 25 active years of service to the Ham Lake Fire Department
- 3.3 Approval of a Resolution and acceptance of the retirement of Richard Graf after 13 active years of service to the Ham Lake Fire Department
- 3.4 Approval of a Resolution and acceptance of the retirement of Kevin Johnson after 13 active years of service to the Ham Lake Fire Department

### **4.0 CONSENT AGENDA**

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of March 15, 2021
- 4.2 Approval of claims
- 4.3 Approval of a Resolution scheduling a public hearing to vacate a portion of the drainage and utility easement on Lot 1, Block 1, Hidden Forest West 2<sup>nd</sup> Addition (3011 137<sup>th</sup> Avenue NE)
- 4.4 Approval of an Ordinance amending Article 9, Section 9-350 and Article 11, Section 11-340 regarding Home Occupation Permits of the Ham Lake City Code
- 4.5 Approval to award seal coating and striping/symbols to the low bidders, Pearson Bros., Sir Line-A-Lot
- 4.6 Approval of an Off-Site Gambling Permit for the Ham Lake Chamber of Commerce to conduct bingo and pull-tabs on May 1, 2021 at Acapulco Mexican Restaurant, 18015 Ulysses Street NE, Suite 1000

### **5.0 PLANNING COMMISSION RECOMMENDATIONS**

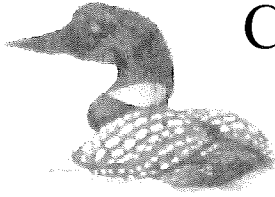
- 5.1 John Anderson, JDA Design Architects Inc., on behalf of Richland Refrigerated Solutions, LLC, requesting a Conditional Use Permit to operate Richland Refrigerated Solutions, LLC at 1305 159<sup>th</sup> Avenue NE
- 5.2 Gary Braastad requesting Commercial Site Plan approval for a proposed 11,622 square foot building on Outlot 1 of Marshall Manor (PIN# 29-32-23-42-0039)
- 5.3 Rick and Julie Braastad, J & R Acres, LLC, requesting Final Plat approval for Radisson Sunset Estates (7 single family residential lots) located in Section 21

### **6.0 ECONOMIC DEVELOPMENT AUTHORITY – None**

### **7.0 APPEARANCES**

- 7.1 Holly Fischer, Director of Operations at Davinci Academy – Discussion of reduced School Zone Speed Limit signage

- 8.0 CITY ATTORNEY
- 9.0 CITY ENGINEER
- 10.0 CITY ADMINISTRATOR
- 11.0 COUNCIL BUSINESS
  - 11.1 Committee Reports
  - 11.2 Announcements and future agenda items



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## RESOLUTION NO. 21-XX

**WHEREAS**, it is the privilege of the Ham Lake City Council to recognize the public service of the members of the Ham Lake Fire Department; and

**WHEREAS**, Firefighter Fred Trosvik began his service to the citizens of Ham Lake as a member of the Ham Lake Fire Department on January 10, 1977; and

**WHEREAS**, in addition to firefighter, he had served as the Assistant Fire Marshal, Fire Marshal, Fire Inspector, Fire Investigator, Emergency Medical Responder and FEMA National Response Team Member; and

**WHEREAS**, on March 31, 2021, Firefighter Fred Trosvik retired after 44 years of active service with the Ham Lake Fire Department; and

**WHEREAS**, during his tenure he has served the City and the residents in an excellent manner, performing his duties with the highest degree of professionalism, knowledge and proficiency.

**NOW THEREFORE, BE IT RESOLVED** that the City Council, Fire Department and City Staff extends its sincere gratitude and appreciation to Firefighter Fred Trosvik for his loyal years of service and their best wishes for good health, success, and prosperity for many years to come.

Adopted by a unanimous vote of the Ham Lake City Council this 5th day of April, 2021.

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Mike Van Kirk, Mayor

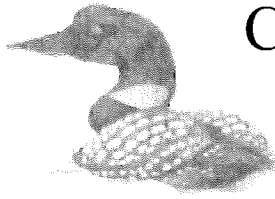
\_\_\_\_\_  
Jesse Wilken, Councilmember

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Brian Kirkham, Councilmember

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Gary Kirkeide, Councilmember

\_\_\_\_\_  
Jim Doyle, Councilmember

\_\_\_\_\_  
Denise Webster, Administrator



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## RESOLUTION NO. 21-XX

**WHEREAS**, it is the privilege of the Ham Lake City Council to recognize the public service of the members of the Ham Lake Fire Department; and

**WHEREAS**, Firefighter Shane Puro began his service to the citizens of Ham Lake as a member of the Ham Lake Fire Department on June 5, 1996; and

**WHEREAS**, in addition to firefighter, he had served as an Emergency Medical Responder and FEMA National Response Team Member; and

**WHEREAS**, he served as Treasurer of the Ham Lake Fire Relief Association; and

**WHEREAS**, on March 11, 2021, Firefighter Shane Puro retired after nearly 25 years of active service with the Ham Lake Fire Department; and

**WHEREAS**, during his tenure he has served the City and the residents in an excellent manner, performing his duties with the highest degree of professionalism, knowledge and proficiency.

**NOW THEREFORE, BE IT RESOLVED** that the City Council, Fire Department and City Staff extends its sincere gratitude and appreciation to Firefighter Shane Puro for his loyal years of service and their best wishes for good health, success, and prosperity for many years to come.

Adopted by a unanimous vote of the Ham Lake City Council this 5th day of April, 2021.

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Mike Van Kirk, Mayor

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Jesse Wilken, Councilmember

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Brian Kirkham, Councilmember

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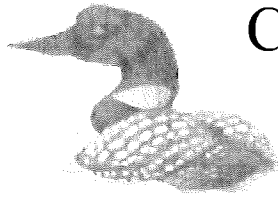
Gary Kirkeide, Councilmember

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Jim Doyle, Councilmember

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Denise Webster, Administrator



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## RESOLUTION NO. 21-XX

**WHEREAS**, it is the privilege of the Ham Lake City Council to recognize the public service of the members of the Ham Lake Fire Department; and

**WHEREAS**, Captain Richard Graf began his service to the citizens of Ham Lake as a member of the Ham Lake Fire Department on February 7, 2008; and

**WHEREAS**, in addition to firefighter, he had served as a Fire Captain, Emergency Medical Responder, FEMA National Response Team Member; and

**WHEREAS**, he regularly attended community events each year such as National Night Out – Night to Unite; and

**WHEREAS**, on February 15, 2021, Captain Richard Graf retired with 13 years of active service with the Ham Lake Fire Department; and

**WHEREAS**, during his tenure he has served the City and the residents in an excellent manner, performing his duties with the highest degree of professionalism, knowledge and proficiency.

**NOW THEREFORE, BE IT RESOLVED** that the City Council, Fire Department and City Staff extends its sincere gratitude and appreciation to Captain Richard Graf for his loyal years of service and their best wishes for good health, success, and prosperity for many years to come.

Adopted by a unanimous vote of the Ham Lake City Council this 5th day of April, 2021.

\_\_\_\_\_  
Mike Van Kirk, Mayor

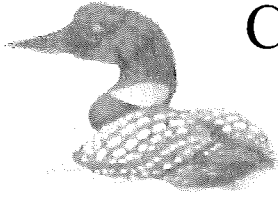
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Jesse Wilken, Councilmember

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Brian Kirkham, Councilmember

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Gary Kirkeide, Councilmember

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Jim Doyle, Councilmember

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Denise Webster, Administrator



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## RESOLUTION NO. 21-XX

**WHEREAS**, it is the privilege of the Ham Lake City Council to recognize the public service of the members of the Ham Lake Fire Department; and

**WHEREAS**, Firefighter Kevin Johnson began his service to the citizens of Ham Lake as a member of the Ham Lake Fire Department on February 11, 2007; and

**WHEREAS**, in addition to firefighter, he had served as an Emergency Medical Responder and FEMA National Response Team Member; and

**WHEREAS**, on March 15, 2021, Firefighter Kevin Johnson retired after more than 13 years of active service with the Ham Lake Fire Department; and

**WHEREAS**, during his tenure he has served the City and the residents in an excellent manner, performing his duties with the highest degree of professionalism, knowledge and proficiency.

**NOW THEREFORE, BE IT RESOLVED** that the City Council, Fire Department and City Staff extends its sincere gratitude and appreciation to Firefighter Kevin Johnson for his loyal years of service and their best wishes for good health, success, and prosperity for many years to come.

Adopted by a unanimous vote of the Ham Lake City Council this 5th day of April, 2021.

\_\_\_\_\_  
Mike Van Kirk, Mayor

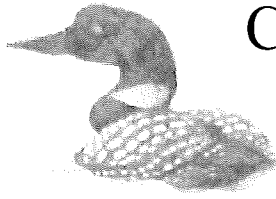
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Jesse Wilken, Councilmember

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Brian Kirkham, Councilmember

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Gary Kirkeide, Councilmember

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Jim Doyle, Councilmember

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Denise Webster, Administrator



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## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES MONDAY, MARCH 15, 2021

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, March 15, 2021 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Mayor Mike Van Kirk and Councilmembers Jim Doyle, Gary Kirkeide, Brian Kirkham and Jesse Wilken

**MEMBERS ABSENT:** None

**OTHERS PRESENT:** City Attorney, Joe Murphy; City Engineer, Tom Collins; and City Administrator, Denise Webster

### 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Mayor Van Kirk called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

### 2.0 PUBLIC COMMENT – None

### 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

#### 3.1 Lt. Schuldt, Anoka County Sheriff's Office Monthly Report

Lt. Schuldt gave the summary of the Sheriff's Report for the month of February 2021.

### 4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

4.1 Approval of minutes of March 1, 2021

4.2 Approval of claims in the amount of \$204,207.28

4.3 Approval of recommending to the Anoka County Board of Commissioners to reappoint Dwight McCullough to the Coon Creek Watershed Board of Managers

4.4 Approval of a New Tobacco License for Central Tobacco Inc. dba Central Tobacco at 13654 Highway 65 NE

4.5 Approval of a New Tobacco License for Celine Stop Ham Lake Inc. dba Little Wonder at 13660 Highway 65 NE

4.6 Approval of Elevator Preventative Maintenance Contract with All City Elevator, Inc.

4.7 Approval of appointing Fire Department Officers for 2021-2022

4.8 Approval of extending a conditional offer of employment as a paid-on-call firefighter to the following: Daniel Beane, Lindsay Daraitis, Brandon Hanson, Andrew Kuntz, Damon Lucas, Chandler Schahn, Alexandru Schillo and William Thorpe

4.9 Approval of the Arbor Day Proclamation for May 1, 2021

**Motion by Kirkham, seconded by Doyle, to approve the March 15, 2021 Consent Agenda, removing Item 4.7. All in favor, motion carried.**

**Motion by Kirkeide, seconded by Kirkham, to approve Item 4.7, approval of appointing Fire Department Officers for 2021-2022. Mayor Van Kirk and Councilmembers Doyle, Kirkeide and Kirkham voted yes. Councilmember Wilken abstained. Motion carried.**

**5.0 PLANNING COMMISSION RECOMMENDATIONS**

5.1 Consideration of an amendment to Article 9 of the Ham Lake City Code related to Home Occupation Permits (this is considered the First Reading of an Ordinance)

**This is considered the First Reading of an Ordinance amending Article 9, Section 9-350 and Article 11, Section 11-340 of the Ham Lake City Code.**

**6.0 ECONOMIC DEVELOPMENT AUTHORITY – None**

**7.0 APPEARANCES - None**

**8.0 CITY ATTORNEY – None**

**9.0 CITY ENGINEER – None**

**10.0 CITY ADMINISTRATOR – None**

**11.0 COUNCIL BUSINESS**

11.1 Committee Reports

Councilmembers Kirkeide and Doyle updated the Council on the Road Committee meeting that was held prior to the Council meeting.

11.2 Announcements and future agenda items - None

**Motion by Kirkeide, seconded by Kirkham, to adjourn the meeting at 6:12 p.m. All in favor, motion carried.**

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Denise Webster, City Administrator



**CITY OF HAM LAKE  
CLAIMS SUBMITTED TO COUNCIL  
April 5, 2021**

**CITY OF HAM LAKE**

<b>EFTS, CHECKS, AND BANK DRAFTS</b>	<b>3/18/21 - 4/7/21</b>	
<b>EFT</b>	<b># 1416 - 1426</b>	<b>\$ 12,267.00</b>
<b>CHECKS</b>	<b># 62752 - 62794</b>	<b>\$ 53,907.92</b>
<b>BANK DRAFTS</b>	<b>DFT0002193 - DFT0002196</b>	<b>\$ 24,044.89</b>
<b>TOTAL EFTS, CHECKS, AND BANK DRAFTS</b>		<b>\$ 90,219.81</b>
<b>PAYROLL CHECKS</b>		
<b>03/26/21</b>		<b>\$ 43,883.38</b>
		<b>\$ -</b>
<b>TOTAL PAYROLL CHECKS</b>		<b>\$ 43,883.38</b>
<b>TRUST CHECKS</b>	<b>#5643 - 5544</b>	<b>\$ 5,100.00</b>
<b>TOTAL OF ALL PAYMENTS</b>		<b>\$ 139,203.19</b>

**VOID CHECKS**  
    **EFT**  
    **CHECKS**  
    **TRUST CHECKS**

**APPROVED BY THE HAM LAKE CITY COUNCIL THIS 5TH DAY OF APRIL 2021**

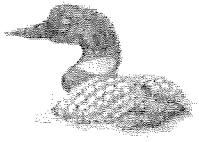
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MAYOR

\_\_\_\_\_  
COUNCILMEMBER

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COUNCILMEMBER

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COUNCILMEMBER

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COUNCILMEMBER



Payment Dates 3/18/2021 - 4/7/2021

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1416	OPTUM BANK - 6011	Health Savings Account-6011	Flexible spending	100-21705	54.17
1417	WELLS FARGO - 6003	Health Savings Account-6003	Flexible spending	100-21705	125.00
1418	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	73.26
1418	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1418	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	73.26
1418	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1418	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	73.26
1418	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1418	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	73.26
1418	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1419	BRODIN PRESS	APRIL HAM LAKER	Editing	211-41704-3125	900.00
1420	DELTA DENTAL PLAN OF MINN	APRIL DK COBRA	COBRA receivable	100-11502	42.00
1420	DELTA DENTAL PLAN OF MINN	APRIL DENTAL	Flexible spending	100-21705	915.90
1421	GREEN LIGHTS RECYCLING IN	3/27/21 RECYCLING EVENT	Waste management & recycli	231-43601-3630	9,053.60
1422	JOHN WITKOWSKI	MENARD'S REBATE SUBMITTE	Refunds & reimbursements	100-37601	5.61
1423	LEADER PRINTING	APRIL HAM LAKER	Printing	211-41704-3970	575.00
1424	O'REILLY AUTOMOTIVE STORE	#78 STARTER	Vehicle parts & supplies	100-43101-2340	158.52
1424	O'REILLY AUTOMOTIVE STORE	#68 & #94 OIL FILTERS	Equipment parts & supplies	100-43101-2320	23.98
1424	O'REILLY AUTOMOTIVE STORE	#68 & #94 FUEL & OIL FILTERS	Equipment parts & supplies	100-43101-2320	36.64
1425	SUSAN KNOUSE	JAN - MAR 21ST CENTURY BA	Mileage	100-41401-3960	10.64
1426	TERI MCMAHON	MAILING SUPPLIES - HLF	Office supplies	100-42201-2110	24.90
62752	BUREAU OF CRIMINAL APPRE	CHILD PROTECTION BACKGRO	Personnel testing & recruitme	100-42201-3150	15.00
62753	ADVANCED FIRST-AID INC	AED REPLACEMENT ELECTRO	Operating supplies	100-42201-2290	802.86
62753	ADVANCED FIRST-AID INC	U-1 AED	Controllable assets	100-42201-5120	1,968.75
62754	ANOKA COUNTY TREASURY D	APRIL BROADBAND FIRE #2	Internet & website	100-41301-3220	75.00
62754	ANOKA COUNTY TREASURY D	APRIL BROADBAND	Internet & website	100-41301-3220	37.50
62755	BASSING ELECTRIC INC	SHERIFF'S OFFICE ELECTRICAL	Capital assets	412-41702-5110	1,545.00
62756	CARSON, CLELLAND, & SCHRE	COUNCIL MEETINGS	Attorney	100-41101-3110	180.00
62756	CARSON, CLELLAND, & SCHRE	153RD AVE SEPTIC LICENSE	Attorney	100-41101-3110	70.00
62756	CARSON, CLELLAND, & SCHRE	PROSECUTIONS	Attorney	100-41501-3110	6,500.00
62756	CARSON, CLELLAND, & SCHRE	ZONING - OFFICE/WAREHOUS	Attorney	100-41601-3110	70.00
62756	CARSON, CLELLAND, & SCHRE	TOWNHOMES	Attorney	100-41601-3110	52.50
62756	CARSON, CLELLAND, & SCHRE	HIDDEN FOREST EAST	Attorney	890-90001-3110	122.50
62756	CARSON, CLELLAND, & SCHRE	CONSTANCE BLVD TERRACE -	Attorney	890-90001-3110	35.00
62756	CARSON, CLELLAND, & SCHRE	RICHLAND REFRIGERATION	Attorney	890-90001-3110	70.00
62757	CENTERPOINT ENERGY	CITY HALL PIPELINE REFUND	Natural gas	100-41702-3620	-45.60
62757	CENTERPOINT ENERGY	CITY HALL	Natural gas	100-41702-3620	780.62
62757	CENTERPOINT ENERGY	FIRE #2	Natural gas	100-42202-3620	732.00
62757	CENTERPOINT ENERGY	FIRE #2 PIPELINE REFUND	Natural gas	100-42202-3620	-40.04
62757	CENTERPOINT ENERGY	FIRE #1	Natural gas	100-42202-3620	23.88
62757	CENTERPOINT ENERGY	FIRE #1 PIPELINE REFUND	Natural gas	100-42202-3620	-21.18
62757	CENTERPOINT ENERGY	PW	Natural gas	100-43104-3620	54.01
62757	CENTERPOINT ENERGY	PW PIPELINE REFUND	Natural gas	100-43104-3620	-86.52
62757	CENTERPOINT ENERGY	H.L. PARK PAVILION	Natural gas	100-44102-3620	146.38
62757	CENTERPOINT ENERGY	H.L. PARK PAVILION PIPELINE	Natural gas	100-44102-3620	-5.35
62757	CENTERPOINT ENERGY	PARK BLDG PIPELINE REFUND	Natural gas	100-44102-3620	-31.87
62757	CENTERPOINT ENERGY	H.L. PARK BUILDING	Natural gas	100-44102-3620	524.89
62757	CENTERPOINT ENERGY	SR CTR PIPELINE REFUND	Natural gas	100-44202-3620	-24.56
62757	CENTERPOINT ENERGY	SR CENTER	Natural gas	100-44202-3620	420.34
62758	CENTURY COLLEGE	ICE RESCUE TRAINING	Grant expenditures	100-42201-3930	1,750.00
62759	COMMISSIONER OF TRANSP	155TH, NAPLES - LEXINGTON	Other professional services	431-43301-3190	306.71
62759	COMMISSIONER OF TRANSP	CONSTANCE & 65 SIGNAL REP	Equipment repair & maintena	100-43401-3440	1,793.97
62759	COMMISSIONER OF TRANSP	155TH, NAPLES - LEXINGTON,	Other professional services	431-43301-3190	479.37
62759	COMMISSIONER OF TRANSP	SIGNAL REPAIR @ CONSTANC	Equipment repair & maintena	100-43401-3440	1,885.73

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
62759	COMMISSIONER OF TRANSP	SIGNAL REPAIR @ CONSTANC	Equipment repair & maintena	100-43401-3440	454.80
62759	COMMISSIONER OF TRANSP	ABERDEEN, 144TH - 145TH C	Other professional services	431-43301-3190	362.74
62759	COMMISSIONER OF TRANSP	ABERDEEN, 144TH - 145TH BI	Other professional services	431-43301-3190	230.71
62760	COMPENSATION CONSULTAN	1ST QTR FLEX ADMINISTRATI	Other professional services	100-41701-3190	75.00
62761	CONNEXUS ENERGY	GARAGE	Electricity	100-41702-3610	31.38
62761	CONNEXUS ENERGY	CITY HALL	Electricity	100-41702-3610	656.92
62761	CONNEXUS ENERGY	SOUTH WELCOME	Electricity	100-41703-3610	14.59
62761	CONNEXUS ENERGY	CITY SIGN	Electricity	100-41703-3610	96.43
62761	CONNEXUS ENERGY	FIRE #2	Electricity	100-42202-3610	194.61
62761	CONNEXUS ENERGY	FIRE #1	Electricity	100-42202-3610	455.95
62761	CONNEXUS ENERGY	SIRENS	Electricity	100-42302-3610	65.00
62761	CONNEXUS ENERGY	PW	Electricity	100-43104-3610	888.35
62761	CONNEXUS ENERGY	HWY 65/ANDOVER BLVD SIGN	Electricity	100-43401-3610	72.82
62761	CONNEXUS ENERGY	RADISSON/BUNKER SIGNALS	Electricity	100-43401-3610	74.65
62761	CONNEXUS ENERGY	STREET LIGHTS #1	Electricity	100-43401-3610	25.13
62761	CONNEXUS ENERGY	CROSSTOWN/HWY 65 SIGNAL	Electricity	100-43401-3610	75.74
62761	CONNEXUS ENERGY	HWY 65/BUNKER SIGNALS	Electricity	100-43401-3610	82.79
62761	CONNEXUS ENERGY	LEXINGTON/CROSSTOWN SIG	Electricity	100-43401-3610	48.89
62761	CONNEXUS ENERGY	HWY 65/CONSTANCE SIGNALS	Electricity	100-43401-3610	117.02
62761	CONNEXUS ENERGY	STREET LIGHTS #2	Electricity	100-43401-3610	277.36
62761	CONNEXUS ENERGY	BUNKER/LEXINGTON SIGNALS	Electricity	100-43401-3610	65.28
62761	CONNEXUS ENERGY	BUNKER/JEFFERSON SIGNALS	Electricity	100-43401-3610	63.36
62761	CONNEXUS ENERGY	SODERVILLE PARK	Electricity	100-44101-3610	37.42
62761	CONNEXUS ENERGY	SODERVILLE PARK WELL	Electricity	100-44101-3610	13.50
62761	CONNEXUS ENERGY	HAM LAKE PARK	Electricity	100-44101-3610	179.01
62761	CONNEXUS ENERGY	HAM LAKE PARK BUILDING	Electricity	100-44102-3610	233.11
62761	CONNEXUS ENERGY	LION'S PARK PAVILION	Electricity	100-44102-3610	126.57
62761	CONNEXUS ENERGY	LION'S PARK CONCESSION	Electricity	100-44102-3610	33.81
62761	CONNEXUS ENERGY	HAM LAKE PARK SHELTER	Electricity	100-44102-3610	28.70
62761	CONNEXUS ENERGY	HAM LAKE PARK CONCESSION	Electricity	100-44102-3610	13.50
62761	CONNEXUS ENERGY	SR CENTER	Electricity	100-44202-3610	353.73
62761	CONNEXUS ENERGY	STREET LIGHTS	Electricity	232-43701-3610	4,412.30
62763	DEARBORN LIFE INS CO	APRIL VOL LIFE	Other payroll deductions	100-21706	147.00
62763	DEARBORN LIFE INS CO	APRIL LIFE	Other payroll deductions	100-21706	51.20
62764	DO ALL PRINTING	APRIL HAM LAKER DELIVERY	Other services and charges	211-41704-3990	130.00
62765	ECM PUBLISHERS INC	PW SEASONAL HELP WANTED	Advertising for employment	100-43101-3910	143.60
62765	ECM PUBLISHERS INC	PW SEASONAL HELP WANTED	Advertising for employment	100-43101-3910	123.60
62765	ECM PUBLISHERS INC	TEMP BUILDING INSPECTOR	Advertising for employment	100-42401-3910	166.60
62766	EMERGENCY APPARATUS MTC	A1	Fire apparatus repair & maint	100-42201-3450	325.00
62766	EMERGENCY APPARATUS MTC	E1	Fire apparatus repair & maint	100-42201-3450	265.00
62766	EMERGENCY APPARATUS MTC	E2	Fire apparatus repair & maint	100-42201-3450	265.00
62766	EMERGENCY APPARATUS MTC	T1	Fire apparatus repair & maint	100-42201-3450	265.00
62766	EMERGENCY APPARATUS MTC	T2	Fire apparatus repair & maint	100-42201-3450	265.00
62766	EMERGENCY APPARATUS MTC	R2	Fire apparatus repair & maint	100-42201-3450	3,998.24
62766	EMERGENCY APPARATUS MTC	FIRE #2 GENERATOR BATTERY	Building repair & maintenanc	100-42202-3420	323.46
62766	EMERGENCY APPARATUS MTC	T1	Fire apparatus repair & maint	100-42201-3450	292.59
62766	EMERGENCY APPARATUS MTC	T2	Fire apparatus repair & maint	100-42201-3450	297.97
62767	FELICE SCHILLING	06/16/21 HAM LAKE OVERPAY	Sales tax	100-21801	3.00
62768	FIRST ADVANTAGE LNS OCC H	DRUG TESTING	Personnel testing & recruitme	100-42201-3150	37.38
62769	FLEETPRIDE	#68 & #94 FILTERS	Equipment parts & supplies	100-43101-2320	78.44
62769	FLEETPRIDE	#68 & #94 FILTERS	Equipment parts & supplies	100-43101-2320	19.98
62769	FLEETPRIDE	#68 & #94 FILTERS	Equipment parts & supplies	100-43101-2320	13.28
62769	FLEETPRIDE	#68 & #94 FILTERS	Equipment parts & supplies	100-43101-2320	10.88
62769	FLEETPRIDE	#68 & #94 FILTERS	Equipment parts & supplies	100-43101-2320	55.36
62769	FLEETPRIDE	#68 & #94 FILTERS	Equipment parts & supplies	100-43101-2320	10.58
62769	FLEETPRIDE	#68 & #94 FILTERS	Equipment parts & supplies	100-43101-2320	16.00
62770	H & L MESABI INC	#57 GRADER BLADE	Equipment parts & supplies	100-43101-2320	364.00
62770	H & L MESABI INC	PLOW BLADES	Operating supplies	100-43102-2290	1,250.00
62771	HAM LAKE HARDWARE INC	SHERIFF'S OFFICE	Capital assets	412-41702-5110	0.59
62771	HAM LAKE HARDWARE INC	SHERIFF'S OFFICE	Capital assets	412-41702-5110	15.30

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
62772	JEFFERSON FIRE & SAFETY	FIRE SUPPRESS	Operating supplies	100-42201-2290	1,168.85
62773	JIM KAPPELHOFF	HOME DEPOT - SHERIFF'S OFF	Capital assets	412-41702-5110	468.20
62774	MENARDS	SHERIFF'S OFFICE	Capital assets	412-41702-5110	198.76
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	31.47
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	1,397.54
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	172.63
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	13.75
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	201.11
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	132.97
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	-9.65
62775	MENARDS-BLAINE	REBATE	Misc receivables	100-11501	-52.25
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	300.59
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	123.17
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	88.71
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	14.90
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	52.06
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	66.47
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	274.85
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	62.72
62775	MENARDS-BLAINE	SHERIFF'S OFFICE	Capital assets	412-41702-5110	310.55
62777	NCBERS GROUP LIFE INSURAN	APRIL LIFE	Other payroll deductions	100-21706	96.00
62778	NORTH METRO MAINTENANC	CLEANING	Cleaning service	100-41702-3430	500.00
62778	NORTH METRO MAINTENANC	CLEANING-FIRE #2	Cleaning service	100-42202-3430	115.00
62778	NORTH METRO MAINTENANC	CLEANING-FIRE #1	Cleaning service	100-42202-3430	130.00
62778	NORTH METRO MAINTENANC	CLEANING	Cleaning service	100-43104-3430	100.00
62778	NORTH METRO MAINTENANC	CLEANING	Cleaning service	100-44202-3430	230.00
62779	QUADIENT FINANCE USA INC	POSTAGE	Postage	100-41701-2120	500.00
62780	RYAN KETTERLING	06/19/21 LION'S PARK CANCE	Sales tax	100-21801	12.47
62780	RYAN KETTERLING	06/19/21 LION'S PARK CANCE	Park/pavilion rentals	100-34702	175.00
62781	SABRE PLUMBING, HEATING,	CANCELED PERMIT #2021-154	Surcharge	100-22801	1.00
62781	SABRE PLUMBING, HEATING,	CANCELED PERMIT #2021-153	Surcharge	100-22801	1.00
62781	SABRE PLUMBING, HEATING,	CANCELED PERMIT #2021-153	Other construction permits	100-32202	260.00
62781	SABRE PLUMBING, HEATING,	CANCELED PERMIT #2021-154	Other construction permits	100-32202	300.00
62782	ST CLOUD STATE UNIVERSITY	2021 MMCI CONFERENCE - D	Training/conferences/schools	100-41301-3510	445.00
62783	SUMMIT COMPANIES	ANNUAL FIRE EXTINGUISHER I	Equipment repair & maintena	100-42201-3440	476.00
62783	SUMMIT COMPANIES	ANNUAL FIRE EXTINGUISHER I	Equipment repair & maintena	100-43101-3440	1,020.00
62783	SUMMIT COMPANIES	ANNUAL FIRE EXTINGUISHER I	Equipment repair & maintena	100-41701-3440	135.50
62784	TASC	MAY COBRA ADMINISTRATIO	Other professional services	100-41701-3190	15.00
62785	TENNANT SALES & SERVICE C	SCRUBBER REPAIR	Equipment repair & maintena	100-42201-3440	212.30
62786	TYLER TECHNOLOGIES INC	OUTPUT DIRECTOR SUPPORT	Computer & software support	100-41401-3120	833.49
62787	US POSTMASTER	POSTAGE 6184 x .164	Postage	211-41704-2120	1,014.18
62788	VERIZON WIRELESS	763-286-3481 DON	Phones/radios/pagers	100-42201-3210	41.50
62788	VERIZON WIRELESS	763-286-3483 BLDG EXTRA	Phones/radios/pagers	100-42401-3210	41.50
62788	VERIZON WIRELESS	612-268-9943 TOM D	Phones/radios/pagers	100-42401-3210	41.50
62788	VERIZON WIRELESS	763-286-3479 MARK J	Phones/radios/pagers	100-42401-3210	41.50
62788	VERIZON WIRELESS	651-368-1000 MJ LAPTOP	Phones/radios/pagers	100-42401-3210	40.01
62788	VERIZON WIRELESS	651-368-0172 TD LAPTOP	Phones/radios/pagers	100-42401-3210	40.01
62788	VERIZON WIRELESS	763-238-5343 CORY	Phones/radios/pagers	100-43101-3210	41.50
62788	VERIZON WIRELESS	763-238-5342 JOHN	Phones/radios/pagers	100-43101-3210	41.50
62788	VERIZON WIRELESS	651-368-0763 JK LAPTOP	Phones/radios/pagers	100-43101-3210	40.01
62788	VERIZON WIRELESS	651-368-0489 JW LAPTOP	Phones/radios/pagers	100-43101-3210	40.01
62788	VERIZON WIRELESS	763-286-3489 JIM K	Phones/radios/pagers	100-43101-3210	41.50
62788	VERIZON WIRELESS	763-477-8284 ERIK	Phones/radios/pagers	100-43101-3210	41.50
62788	VERIZON WIRELESS	763-285-1095 CHUCK	Phones/radios/pagers	100-43101-3210	41.50
62788	VERIZON WIRELESS	763-238-1735 DAVID HANSO	Phones/radios/pagers	100-44101-3210	41.50
62788	VERIZON WIRELESS	763-238-5344 AARON	Phones/radios/pagers	100-44101-3210	41.50
62788	VERIZON WIRELESS	763-238-5341 PARK EXTRA	Phones/radios/pagers	100-44101-3210	41.50
62790	VERIZON WIRELESS	612-916-1358 SR CTR	Phones/radios/pagers	100-44201-3210	8.89
62791	WIPERS AND WIPES, INC.	GLOVES & PAPER TOWELS	Operating supplies	100-43101-2290	322.29
62792	WRIGHT-HENNEPIN COOPERA	MAY SECURITY MONITORING	Monitoring	100-41702-3145	32.95

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
62792	WRIGHT-HENNEPIN COOPERA	MAY ELEVATOR MONITORING	Monitoring	100-41702-3145	10.00
62792	WRIGHT-HENNEPIN COOPERA	SECURITY REPAIR	Building repair & maintenanc	100-41702-3420	112.50
62792	WRIGHT-HENNEPIN COOPERA	MAY PW FIRE PANEL MONITO	Monitoring	100-43104-3145	52.95
62793	ZIEGLER, INC	#57 HOSE	Equipment parts & supplies	100-43101-2320	61.64
62793	ZIEGLER, INC	#57 SEAL REPAIR	Equipment repair & maintena	100-43101-3440	577.25
62794	US BANK CORPORATE PAYME	GOOD CUSTOMER REBATE	Refunds & reimbursements	100-37601	-95.20
62794	US BANK CORPORATE PAYME	MNGFOA-MNGFOA DUES - A	Dues & subscriptions	100-41401-3920	95.00
62794	US BANK CORPORATE PAYME	IOS-MOUSE JB, POST ITS, COR	Office supplies	100-41701-2110	119.06
62794	US BANK CORPORATE PAYME	AMZN-ANTI FATIGUE MATS-D	Office supplies	100-41701-2110	129.94
62794	US BANK CORPORATE PAYME	AMZN-IT SURGE PROTECTER-	Operating supplies	100-41701-2290	154.95
62794	US BANK CORPORATE PAYME	IOS-PAPER TOWELS, KLEENEX-	Operating supplies	100-41701-2290	37.68
62794	US BANK CORPORATE PAYME	ZOOM-MARCH ZOOM-DW	Covid 19	100-41701-4153	12.84
62794	US BANK CORPORATE PAYME	IOS-INDEX BINDER, COLORED	Office supplies	100-42201-2110	10.78
62794	US BANK CORPORATE PAYME	DOMINOS-ICE RESCUE TRAINI	Emergency food & beverage	100-42201-2220	57.19
62794	US BANK CORPORATE PAYME	BRUEGGERS-ICE RESCUE TRAI	Emergency food & beverage	100-42201-2220	32.12
62794	US BANK CORPORATE PAYME	CARIBOU COFFEE-ICE RESCUE	Emergency food & beverage	100-42201-2220	12.00
62794	US BANK CORPORATE PAYME	SAVE A LIFE-EMR HYBRID COU	Training/conferences/schools	100-42201-3510	595.00
62794	US BANK CORPORATE PAYME	HOME DEPOT-ICE RESCUE TR	Training supplies	100-42201-3530	8.66
62794	US BANK CORPORATE PAYME	U OF M-HYBRID SOILS - MJ-A	Training/conferences/schools	100-42401-3510	255.00
62794	US BANK CORPORATE PAYME	NORTHERN TOOL-SHERIFF'S O	Capital assets	412-41702-5110	52.47
62794	US BANK CORPORATE PAYME	LOWES-SHERIFF'S OFFICE-JW	Capital assets	412-41702-5110	22.47
DFT0002193	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	1,234.00
DFT0002193	EMPOWER	Roth IRA	Deferred compensation	100-21704	50.00
DFT0002194	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	4,566.81
DFT0002194	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,747.28
DFT0002194	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	6,927.66
DFT0002195	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,266.27
DFT0002196	PERA	Retirement-Coordinated	PERA	100-21703	6,040.18
DFT0002196	PERA	Retirement-Elected Officials	PERA	100-21703	40.84
DFT0002196	PERA	Retirement-Police & Fire	PERA	100-21703	1,171.85
<b>Grand Total:</b>					<b>90,219.81</b>

## Report Summary

## Fund Summary

Fund	Payment Amount
100 - GENERAL	66,991.07
211 - HAM LAKER	2,619.18
231 - RECYCLING	9,053.60
232 - STREET LIGHT	4,412.30
412 - BUILDING	5,536.63
431 - REVOLVING STREET	1,379.53
890 - TRUST FUND	227.50
<b>Grand Total:</b>	<b>90,219.81</b>

## Account Summary

Account Number	Account Name	Payment Amount
100-11501	Misc receivables	-52.25
100-11502	COBRA receivable	42.00
100-21701	Federal WH/FICA/MC	13,241.75
100-21702	State W/H	2,266.27
100-21703	PERA	7,252.87
100-21704	Deferred compensation	1,284.00
100-21705	Flexible spending	1,095.07
100-21706	Other payroll deductions	294.20
100-21801	Sales tax	15.47
100-22801	Surcharge	2.00
100-32202	Other construction per	560.00
100-34702	Park/pavilion rentals	175.00
100-37601	Refunds & reimburseme	-89.59
100-41101-3110	Attorney	250.00
100-41301-3220	Internet & website	112.50
100-41301-3510	Training/conferences/sc	445.00
100-41401-3120	Computer & software su	833.49
100-41401-3920	Dues & subscriptions	95.00
100-41401-3960	Mileage	10.64
100-41501-3110	Attorney	6,500.00
100-41601-3110	Attorney	122.50
100-41701-2110	Office supplies	249.00
100-41701-2120	Postage	500.00
100-41701-2290	Operating supplies	192.63
100-41701-3190	Other professional servi	90.00
100-41701-3440	Equipment repair & mai	135.50
100-41701-4153	Covid 19	12.84
100-41702-3145	Monitoring	42.95
100-41702-3420	Building repair & mainte	112.50
100-41702-3430	Cleaning service	500.00
100-41702-3610	Electricity	688.30
100-41702-3620	Natural gas	735.02
100-41703-3610	Electricity	111.02
100-42201-2110	Office supplies	35.68
100-42201-2220	Emergency food & bever	101.31
100-42201-2290	Operating supplies	1,971.71
100-42201-3150	Personnel testing & recr	52.38
100-42201-3210	Phones/radios/pagers	41.50
100-42201-3440	Equipment repair & mai	688.30
100-42201-3450	Fire apparatus repair &	5,973.80
100-42201-3510	Training/conferences/sc	595.00
100-42201-3530	Training supplies	8.66
100-42201-3930	Grant expenditures	1,750.00
100-42201-5120	Controllable assets	1,968.75
100-42202-3420	Building repair & mainte	323.46
100-42202-3430	Cleaning service	245.00

**Account Summary**

Account Number	Account Name	Payment Amount
100-42202-3610	Electricity	650.56
100-42202-3620	Natural gas	694.66
100-42302-3610	Electricity	65.00
100-42401-3210	Phones/radios/pagers	204.52
100-42401-3510	Training/conferences/sc	255.00
100-42401-3910	Advertising for employm	166.60
100-43101-2210	Clothing & personal prot	293.04
100-43101-2240	Safety supplies	48.00
100-43101-2290	Operating supplies	322.29
100-43101-2320	Equipment parts & suppl	690.78
100-43101-2340	Vehicle parts & supplies	158.52
100-43101-3210	Phones/radios/pagers	287.52
100-43101-3440	Equipment repair & mai	1,597.25
100-43101-3910	Advertising for employm	267.20
100-43102-2290	Operating supplies	1,250.00
100-43104-3145	Monitoring	52.95
100-43104-3430	Cleaning service	100.00
100-43104-3610	Electricity	888.35
100-43104-3620	Natural gas	-32.51
100-43401-3440	Equipment repair & mai	4,134.50
100-43401-3610	Electricity	903.04
100-44101-3210	Phones/radios/pagers	124.50
100-44101-3610	Electricity	229.93
100-44102-3610	Electricity	435.69
100-44102-3620	Natural gas	634.05
100-44201-3210	Phones/radios/pagers	8.89
100-44202-3430	Cleaning service	230.00
100-44202-3610	Electricity	353.73
100-44202-3620	Natural gas	395.78
211-41704-2120	Postage	1,014.18
211-41704-3125	Editing	900.00
211-41704-3970	Printing	575.00
211-41704-3990	Other services and charg	130.00
231-43601-3630	Waste management & r	9,053.60
232-43701-3610	Electricity	4,412.30
412-41702-5110	Capital assets	5,536.63
431-43301-3190	Other professional servi	1,379.53
890-90001-3110	Attorney	227.50
	<b>Grand Total:</b>	<b>90,219.81</b>

**Project Account Summary**

Project Account Key	Payment Amount
**None**	88,612.78
200912-150	593.45
201302.089-150	786.08
Trust-200	70.00
Trust-210	157.50
	<b>Grand Total:</b>
	<b>90,219.81</b>



City of Ham Lake, MN

# EFT Payroll Check Register

## Report Summary

Pay Period: 3/7/2021-3/20/2021

Packet: PYPKT01138 - PPE 3/20/21 PAID 3/26/21

Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	67	43,883.38
<b>Total</b>	<b>67</b>	<b>43,883.38</b>



10:14 AM  
03/26/21  
Accrual Basis

CITY OF HAM LAKE-TRUST  
**MONTHLY CHECK REGISTER**  
March 18 through April 7, 2021

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Type	Date	Num	Name Contact	Memo	Amount
<b>Mar 18 - Apr 7, 21</b>					
Check	03/26/2021	5643	PRICE CUSTOM HOMES	DRIVEWAY ESCROW 17661 NATIONAL STREET	-2,600.00
Check	03/26/2021	5644	PRICE CUSTOM HOMES	TURF ESCROW 17661 NATIONAL STREET	-2,500.00
					<hr/>
<b>Mar 18 - Apr 7, 21</b>					<b>-5,100.00</b>
					<hr/> <hr/>

Meeting Date: April 5, 2021



**CITY OF HAM LAKE  
STAFF REPORT**

**To: Mayor and Councilmembers**

**From: Dawnette Shimek, Deputy City Clerk**

**Item/Title/Subject: Vacation of a portion of the Drainage and Utility Easement on Lot 1, Block 1, Hidden Forest West 2<sup>nd</sup> Addition (3011 137<sup>th</sup> Avenue NE)**

**Introduction/Discussion:**

Jeff Young is requesting to vacate a portion of the Drainage and Utility Easement on Lot 1, Block 1, Hidden Forest West 2<sup>nd</sup> Addition, in order to construct an accessory building. Engineer Collins has reviewed the legal description and has no issue with this vacation being there is no public need for the easement.

**Recommendation:**

I recommend approval of the Resolution scheduling a Public Hearing for April 19, 2021 to vacate a portion of the drainage and utility easement on Lot 1, Block 1, Hidden Forest West 2<sup>nd</sup> Addition.

RESOLUTION NO. 21-12

WHEREAS, the Ham Lake City Council, on its own motion, wishes to consider the vacation of the following described land in the City of Ham Lake, pursuant to Minnesota Statutes Chapter 412.851:

PROPOSED EASEMENT VACATION DESCRIPTION:

That part of drainage and utility easement as depicted on Lot 1, Block 1, HIDDEN FOREST WEST 2ND ADDITION, Anoka County, Minnesota described as follows:

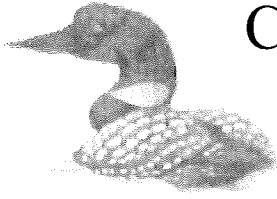
Commencing at the southeast corner of said Lot 1; thence North 02 degrees 03 minutes 10 seconds West along the east line of said Lot 1 a distance of 201.32 feet; thence South 78 degrees 05 minutes 16 seconds West along the drainage and utility easement line as shown on said recorded plat of HIDDEN FOREST WEST 2ND ADDITION a distance of 10.15 feet to the point of beginning; thence continuing along said drainage and utility easement line South 78 degrees 05 minutes 16 seconds West a distance of 33.13 feet; thence continuing along said drainage and utility easement line North 48 degrees 38 minutes 05 seconds West a distance of 20.07 feet; thence continuing along said drainage and utility easement line North 87 degrees 32 minutes 16 seconds West a distance of 92.27 feet; thence continuing along said drainage and utility easement line North 51 degrees 01 minutes 08 seconds West a distance of 41.89 feet to the intersection with a line lying parallel with and 10.00 feet east of the west line of said Lot 1; thence North 00 degrees 09 minutes 11 seconds East along said line being parallel with and 10.00 feet east of the west of Lot 1 a distance of 14.36 feet; thence South 89 degrees 50 minutes 49 seconds East a distance of 52.17 feet; thence South 54 degrees 33 minutes 07 seconds East a distance of 24.01 feet; thence South 69 degrees 45 minutes 40 seconds East a distance of 107.07 feet to the point of beginning.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, that the City Clerk is directed to post in a conspicuous place in the City Hall between the dates of April 6, 2021 and April 19, 2021, and to cause publication of a NOTICE OF PUBLIC HEARING, a copy of which is attached to this Resolution, for a public hearing to be held on April 19, 2021, with publication to occur in the Star Tribune on April 8 and April 15, 2021.

Adopted by the City Council of the City of Ham Lake this 5th day of April, 2021.

\_\_\_\_\_  
Michael G. Van Kirk, Mayor

\_\_\_\_\_  
Denise Webster, City Clerk



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## NOTICE OF PUBLIC HEARING VACATION OF PUBLIC LAND

NOTICE IS HEREBY GIVEN, that a Public Hearing will be held before the Ham Lake City Council April 19, 2021 at 6:01 p.m. in the City Council Chambers, City Hall, 15544 Central Avenue N.E. Ham Lake, Minnesota 55304, to hear comments and questions concerning the proposed vacation of the following described land within the City of Ham Lake, Minnesota:

### PROPOSED EASEMENT VACATION DESCRIPTION:

That part of drainage and utility easement as depicted on Lot 1, Block 1, HIDDEN FOREST WEST 2ND ADDITION, Anoka County, Minnesota described as follows:

Commencing at the southeast corner of said Lot 1; thence North 02 degrees 03 minutes 10 seconds West along the east line of said Lot 1 a distance of 201.32 feet; thence South 78 degrees 05 minutes 16 seconds West along the drainage and utility easement line as shown on said recorded plat of HIDDEN FOREST WEST 2ND ADDITION a distance of 10.15 feet to the point of beginning; thence continuing along said drainage and utility easement line South 78 degrees 05 minutes 16 seconds West a distance of 33.13 feet; thence continuing along said drainage and utility easement line North 48 degrees 38 minutes 05 seconds West a distance of 20.07 feet; thence continuing along said drainage and utility easement line North 87 degrees 32 minutes 16 seconds West a distance of 92.27 feet; thence continuing along said drainage and utility easement line North 51 degrees 01 minutes 08 seconds West a distance of 41.89 feet to the intersection with a line lying parallel with and 10.00 feet east of the west line of said Lot 1; thence North 00 degrees 09 minutes 11 seconds East along said line being parallel with and 10.00 feet east of the west of Lot 1 a distance of 14.36 feet; thence South 89 degrees 50 minutes 49 seconds East a distance of 52.17 feet; thence South 54 degrees 33 minutes 07 seconds East a distance of 24.01 feet; thence South 69 degrees 45 minutes 40 seconds East a distance of 107.07 feet to the point of beginning.

Said hearing is conducted pursuant to Minnesota Statutes Chapter 412.851.

Dated: April 8, 2021

\_\_\_\_\_  
Dawnette Shimek, Deputy City Clerk

Posted at City Hall between the dates of April 6, 2021 and April 19, 2021

Published in the Star Tribune on April 8 and April 15, 2021.

pd. \$200<sup>00</sup>



# CITY OF HAM LAKE

**REQUEST FOR  
AN APPEARANCE  
BEFORE THE  
CITY COUNCIL**

**15544 Central Avenue NE  
Ham Lake, MN 55304  
Phone (763) 434-9555  
Fax (763) 434-9599**

Date of Application March 23, 2021  
Date of City Council appearance 4/19/2021  
60-day review deadline \_\_\_\_\_

APPLICANT'S  
NAME Jeffrey Young

STREET  
ADDRESS 3011 137th Ave NE

CITY, STATE  
ZIP Ham Lake, MN 55304

PHONE (daytime) \_\_\_\_\_

**NATURE OF REQUEST**

To vacate an area of drainage and  
utility easement (defined in the attachments)  
in order to construct an out-building.

**You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.**

Jeffrey Young 3/23/21  
**Signature of Applicant** **Date**

**Please attach any relevant information including maps, diagrams, and/or a descriptive narrative.**

**This form must be submitted to the City staff by 4:00 p.m. on the Monday prior to the Council meeting at which you will be appearing.**



**NOTICE TO ALL APPLICANTS FOR MUNICIPAL  
PERMITS, LICENSES,  
OR OTHER MUNICIPAL ACTION**

- 1. If you are requesting municipal action on any request for any of the above, you will be required to furnish certain information about yourself, the project you are involved in, or other matters pertaining to the subject. Some of the information you are asked to provide is classified by state law as either private or confidential. Private data is information which generally cannot be given to the public but can be given to the subject of the data. Confidential data is information which generally cannot be given to either the public or the subject of the data.**
- 2. The purpose of this information is to enable the City Staff, Commissions, Council or other government agencies to evaluate relevant factors in considering your request. You are not legally required to provide this information. If you do not provide the requested information, the City may not act upon your request.**
- 3. The information you supply will be public and available to any entity requesting to inspect the information.**

**DATA PRACTICES ADVISORY  
TENNESSEN WARNING**

**REQUIRED BY MINNESOTA STATUTES CHAPTER 13.04**

**SIGNED BY**

*Jillay Young*

**COMPANY/TITLE:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

*3/23/21*

**CITY OF HAM LAKE  
ACKNOWLEDGMENT OF RESPONSIBILITY  
TO REIMBURSE EXPENSES**

The undersigned, Jeffrey Young, having applied to the City of Ham Lake for consideration of a planning and zoning request, or any other permit, license, or action requiring review and/or approval of the City, as follows:

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*Type of Application*

acknowledges that the sum of \$ 200.00, has been deposited with the City of Ham Lake to reimburse the City of Ham Lake for any out of pocket expenses incurred by the City in reviewing the proposal, including but not limited to a staff review fee, any signage required by ordinance, and City Engineer and City Attorney's fees for their review, in amounts which are not known to the City at this time. The applicant acknowledges that it is the responsibility of the undersigned to reimburse the City for any such engineering or attorney's fees incurred in review of the applicant's request, or any other expenses incurred by the City in connection with this requires, and further acknowledges that in the event that the undersigned fails to promptly remit any amounts incurred by the City in excess of the deposit, the City shall have the right to discontinue further consideration or action upon the undersigned's request, shall have the right to rescind any approvals, withdraw any permits, licenses or other consents, shall have the right to vacate any street or road, plat or other dedication, and the undersigned waives the right to claim damages arising out of any such act by the City. Furthermore, the applicant agrees that in the event that the City is required to take legal action in order to effect recovery of any of the expenses incurred by the City from the undersigned, the City shall be entitled, in addition to principle and interest, to recover its reasonable attorney's fees incurred in collecting said sums from the undersigned.

Applicant Signature Jeffrey Young Dated 3/23/21

The following statement must be signed if the applicant is not the property owner:

\_\_\_\_\_, as owner of the property involved in the foregoing application, agrees to be jointly and severally liable for payment of the foregoing fees.

Property Owner Signature \_\_\_\_\_ Dated \_\_\_\_\_

PROPOSED EASEMENT VACATION DESCRIPTION:

That part of drainage and utility easement as depicted on Lot 1, Block 1, HIDDEN FOREST WEST 2ND ADDITION, Anoka County, Minnesota described as follows:

Commencing at the southeast corner of said Lot 1; thence North 02 degrees 03 minutes 10 seconds West along the east line of said Lot 1 a distance of 201.32 feet; thence South 78 degrees 05 minutes 16 seconds West along the drainage and utility easement line as shown on said recorded plat of HIDDEN FOREST WEST 2ND ADDITION a distance of 10.15 feet to the point of beginning; thence continuing along said drainage and utility easement line South 78 degrees 05 minutes 16 seconds West a distance of 33.13 feet; thence continuing along said drainage and utility easement line North 48 degrees 38 minutes 05 seconds West a distance of 20.07 feet; thence continuing along said drainage and utility easement line North 87 degrees 32 minutes 16 seconds West a distance of 92.27 feet; thence continuing along said drainage and utility easement line North 51 degrees 01 minutes 08 seconds West a distance of 41.89 feet to the intersection with a line lying parallel with and 10.00 feet east of the west line of said Lot 1; thence North 00 degrees 09 minutes 11 seconds East along said line being parallel with and 10.00 feet east of the west of Lot 1 a distance of 14.36 feet; thence South 89 degrees 50 minutes 49 seconds East a distance of 52.17 feet; thence South 54 degrees 33 minutes 07 seconds East a distance of 24.01 feet; thence South 69 degrees 45 minutes 40 seconds East a distance of 107.07 feet to the point of beginning.

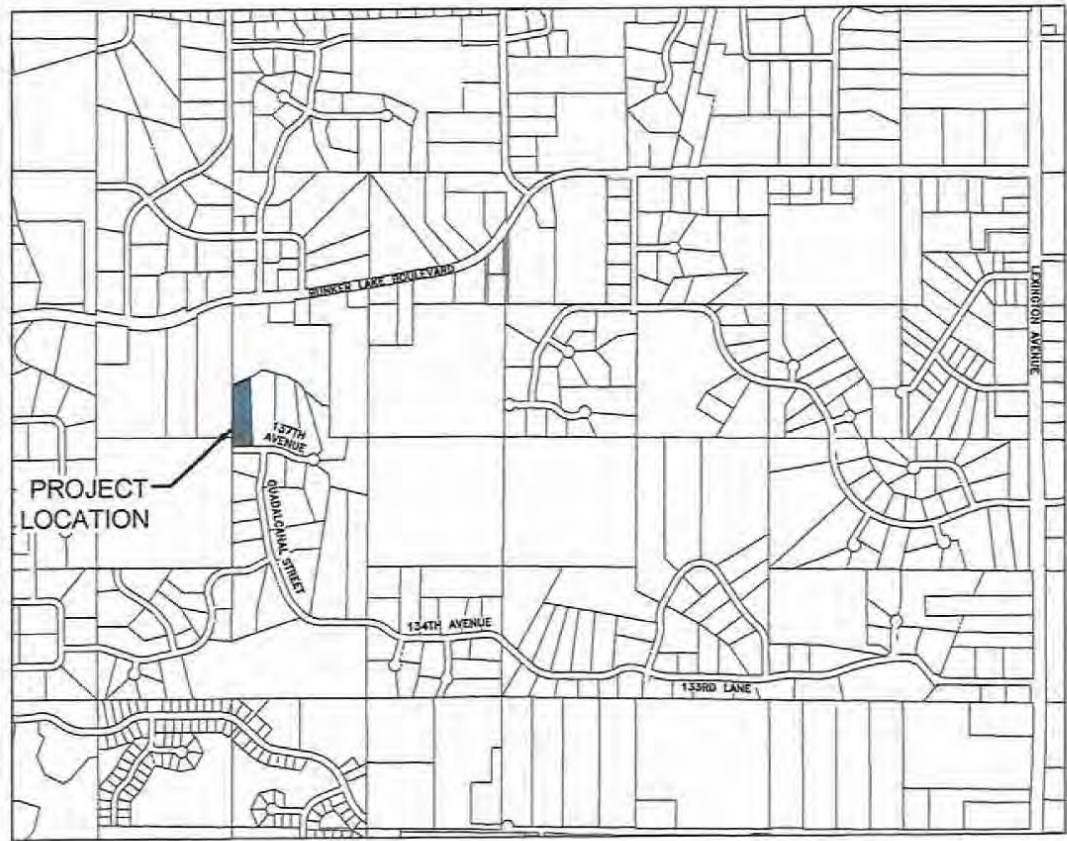


**STORAGE BUILDING AT 3011 137TH AVENUE**  
**CONSTRUCTION PLANS FOR SITE GRADING AND MISCELLANEOUS CONSTRUCTION**  
**FOR JEFF YOUNG**  
**IN THE CITY OF HAM LAKE**

**GOVERNING SPECIFICATIONS**  
 THE 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION  
 "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.  
 ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES  
 SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

**SHEET INDEX**  
 THIS PLAN CONTAINS 3 SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING TOPOGRAPHY AND REMOVALS PLAN
3	GRADING AND EROSION CONTROL PLAN



THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

**Hakanson Anderson**  
 Civil Engineers and Land Surveyors  
 5601 Thurston Ave., Anoka, Minnesota 55303  
 763-427-5860 FAX 763-427-0520



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Tim Eggerich*  
 TIMOTHY A. EGGERICH, P.E.  
 HAKANSON ANDERSON  
 DESIGN ENGINEER

45562 DATE 2/15/21  
 LIC. NO.

DATE	REVISION

Nov 14, 2021 - 10:44am  
 R:\Projects\4338.03\p101\101.dwg\433803\_01.dwg



DATE	1/27/21	REVISION	PROPOSED BUILDING AND IMPROVEMENT CONSTRUCTION ELEVATIONS
PROJECT	STORAGE BUILDING AT 3011 137TH AVENUE	DESIGNED BY	HOKANSON ANDERSON
CHECKED BY	CEP	DATE	1/27/21
SCALE	AS SHOWN	PROJECT NO.	4338.03
CITY	CITY OF HAN LAKE, MINNESOTA	PROJECT	3

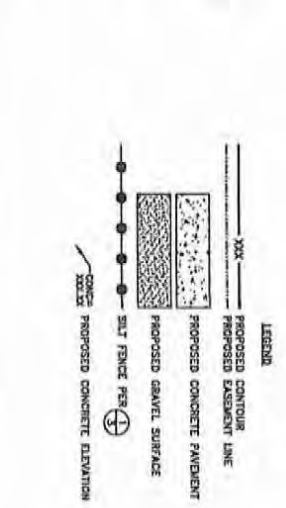
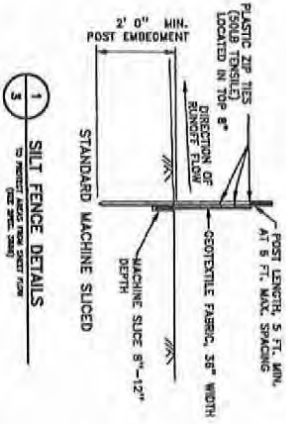


**Hokanson Anderson**  
 3801 Thurston Ave. Maple, Minnesota 55303  
 763-427-5888 FAX 763-427-0520  
 www.hokanson-anderson.com

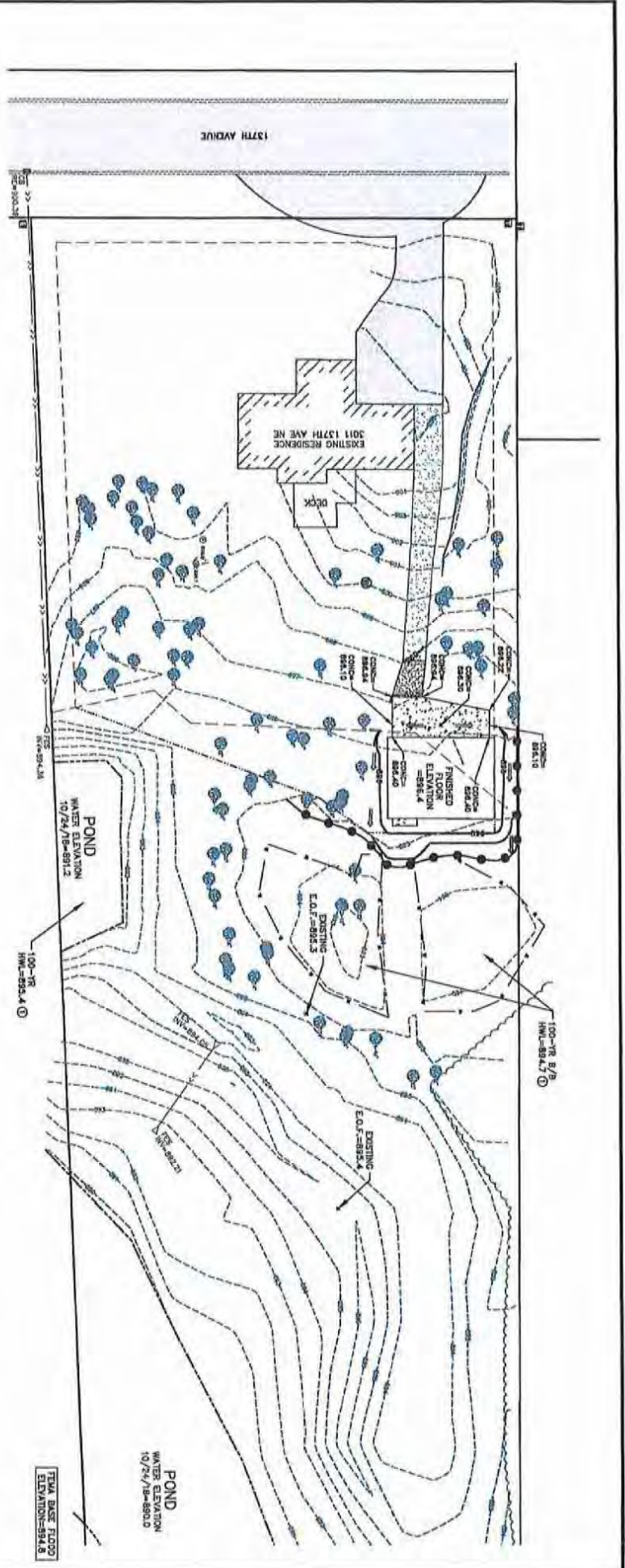
**STORAGE BUILDING AT  
 3011 137TH AVENUE**

**GRADING AND EROSION CONTROL PLAN**

PROJECT 3 SHEET 3



**GENERAL NOTES:**  
 1. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.  
 2. PREVIOUS AREAS SHALL BE STABILIZED WITH EITHER SEED AND EROSION CONTROL BLANKET OR SOIL.  
 REFERENCE NOTES PROVIDED BY THE COON CREEK WATERSHED DISTRICT.





Scale  
1" = 40'

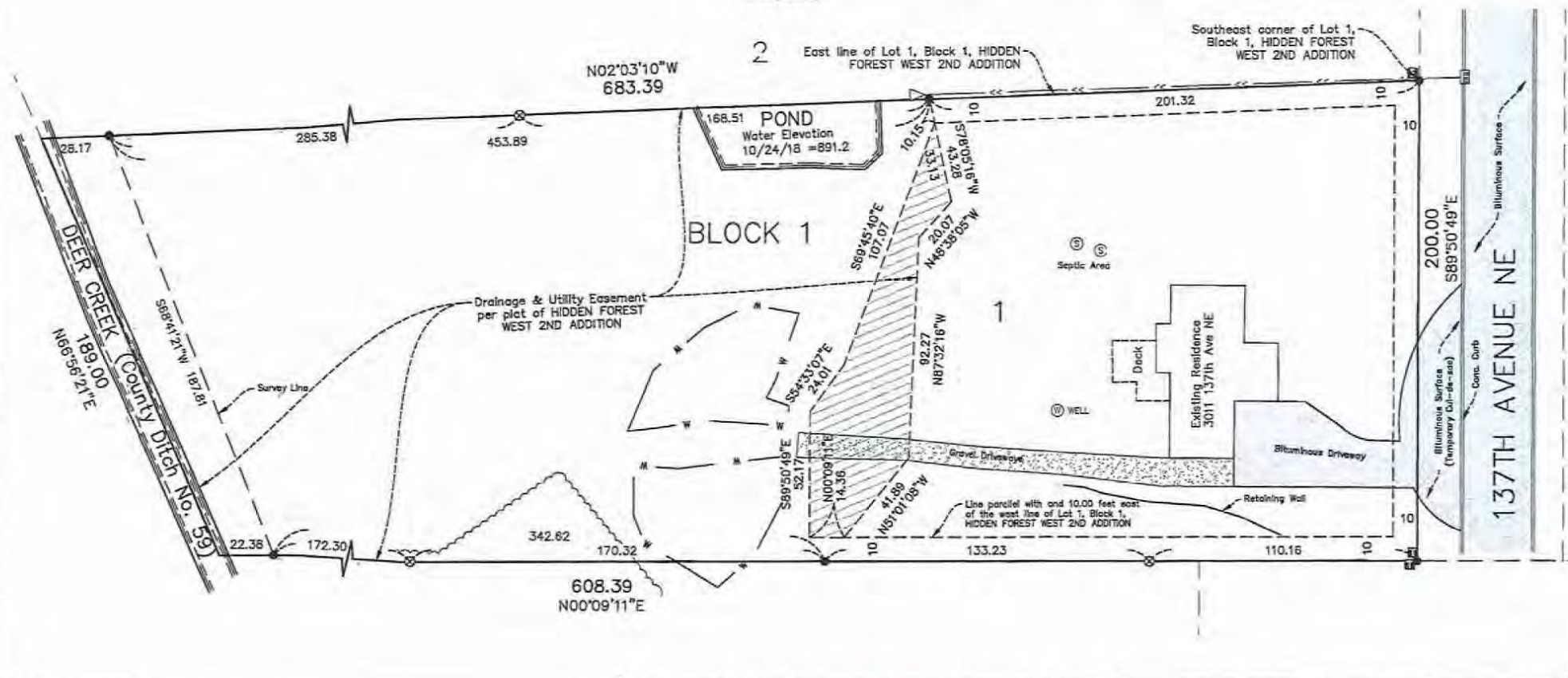
**LEGEND**

- = DENOTES FOUND IRON MONUMENT
  - W- = DENOTES DELINEATED WETLAND
  - [Hatched Box] = DENOTES PROPOSED EASEMENT VACATION
- Vacation Area = 3957 sq. ft. or 0.09 acres

**PROPOSED EASEMENT VACATION DESCRIPTION:**

That part of drainage and utility easement as depicted on Lot 1, Block 1, HIDDEN FOREST WEST 2ND ADDITION, Anoka County, Minnesota described as follows:

Commencing at the southeast corner of said Lot 1; thence North 02 degrees 03 minutes 10 seconds West along the east line of said Lot 1 a distance of 201.32 feet; thence South 78 degrees 05 minutes 16 seconds West along the drainage and utility easement line as shown on said recorded plat of HIDDEN FOREST WEST 2ND ADDITION a distance of 10.15 feet to the point of beginning; thence continuing along said drainage and utility easement line South 78 degrees 05 minutes 16 seconds West a distance of 33.13 feet; thence continuing along said drainage and utility easement line North 45 degrees 38 minutes 05 seconds West a distance of 20.07 feet; thence continuing along said drainage and utility easement line North 67 degrees 32 minutes 16 seconds West a distance of 92.27 feet; thence continuing along said drainage and utility easement line North 51 degrees 01 minutes 08 seconds West a distance of 41.89 feet to the intersection with a line lying parallel with and 10.00 feet east of the west line of said Lot 1; thence North 00 degrees 09 minutes 11 seconds East along said line being parallel with and 10.00 feet east of the west line of Lot 1 a distance of 14.36 feet; thence South 89 degrees 50 minutes 49 seconds East a distance of 52.17 feet; thence South 54 degrees 33 minutes 07 seconds East a distance of 24.01 feet; thence South 69 degrees 45 minutes 40 seconds East a distance of 107.07 feet to the point of beginning.



Date	Revision

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

*Jeff Young* 02/23/21  
Date

Dion Pearson, MN License No. 40136

**Hakanson Anderson Assoc., Inc.**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota  
65303 763-427-5860 FAX  
763-427-0520 www.haac-inc.com



Easement Exhibit  
for  
**Jeff and Sara Young**

DATE 02/23/21 FILE NO. 4338.03

SHEET  
1  
OF  
1  
SHEETS

**COON CREEK WATERSHED DISTRICT  
PERMIT REVIEW**

**MEETING DATE:** March 22, 2021  
**AGENDA NUMBER:** 18  
**FILE NUMBER:** 21-041  
**ITEM:** Young Outbuilding

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**RECOMMENDATION:** Approve with 3 Conditions and 0 Stipulations

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**APPLICANT:** Jeff Young  
3011 137<sup>th</sup> Ave NE  
Ham Lake, MN 55304

**PURPOSE:** Construction of a 34x44 foot outbuilding

**LOCATION:** 3011 137<sup>th</sup> Ave NE, Ham Lake, MN 55304

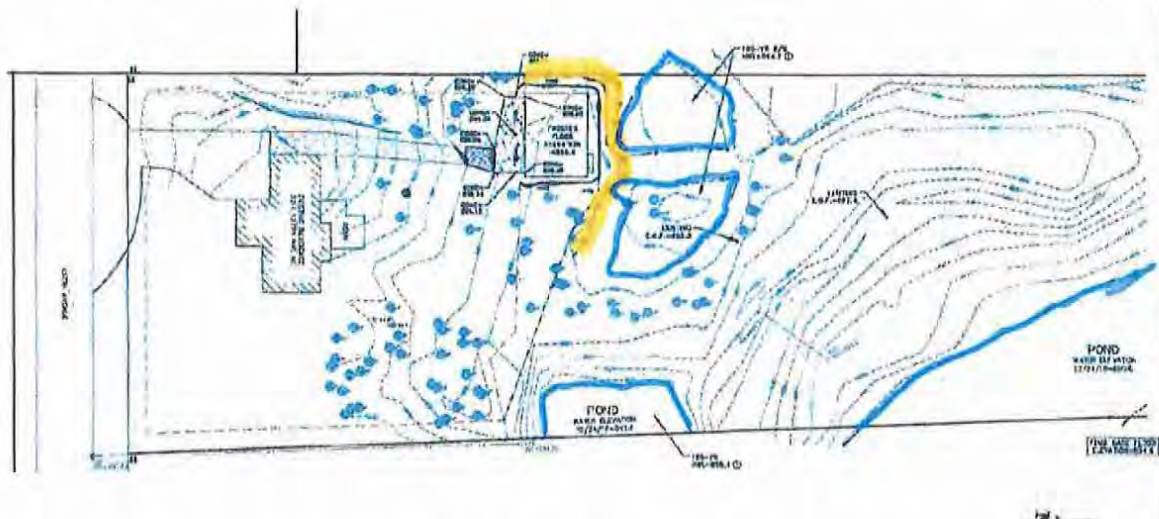


**APPLICABILITY:**

1. Within 1 mile of an impaired waters.
2. Any work in or adjacent to wetlands, lakes or water courses
3. The lands and waters that have been, or may be covered by the regional flood.
4. High infiltration soils
5. Highly erodible soils

**EXHIBITS:**

1. Construction Plan set (4 sheets); by Hakanson Anderson, dated 3/4/2021, received 3/8/2021.



**PREVIOUS ACTION TAKEN:** This is a new application. This project was proposed in 2018 by the same applicant, but withdrawn. This project references the wetland delineation from PAN 18-161.

**FINDINGS:**

**Pre-application Meeting:** The project as submitted has not received a general review during a pre-application meeting.

**Ditches:** There is a public ditch on the property. The public ditch is County Ditch 59-4 according to the public drainage map. The approved elevations through this property are 887.8 ft MSL at the downstream end and 887.9 ft MSL at the upstream end. Existing elevations are 887.9 ft MSL at the downstream end and 887.9 ft MSL at the upstream end. Existing elevations and condition of the ditch are good and represent a <1% variance from the as-built elevations.

The ditch is a 4th order stream. The ditch serves the primary role of agricultural drainage and storm water conveyance. The ditch serves approximately 100 acres of agricultural land. Land use in the area is toward rural residential. There are no flooding concerns upstream and/or downstream.

The ditch has been inspected. Existing elevations, slopes and condition of ditch are good. The ditch is not in need of repair. Alternatives to repair and additional drainage have been considered and reviewed.

**Ditch Hydraulics:** A crossing of a ditch is not proposed.

**Erosion and Sediment Control:** Soil affected by the proposal is Zimmerman.

- Stabilizing vegetation is not proposed for disturbed areas within seven (7) days of rough grading.
- Soil stockpiles have not been proposed to be fitted with sediment-trapping measures to prevent soil loss and do not have a note to stabilize within seven (7) days of inactivity.
- Adjacent properties and stormwater ponds are not protected from sediment deposition. Double row of perimeter control at wetlands is not provided.
- Construction schedules detailing when sediment trapping measures will occur; stabilization of earthen structures and the general timing of construction phases have been provided.
- Stormwater runoff does not pass through a sediment basin or other sediment trapping BMP with equal or greater storage capacity and is not required.
- Stabilization adequate to prevent erosion has not been provided at the outlets of all storm sewer pipes and does not need to
- All storm sewer inlets are not protected from sediment-laden water during construction and do not need to be.
- All work adjacent to water or related resource has not taken precautions to contain sediment, and stabilize the work area during construction. There are no proposed basins or swales as a part of this project.
- Provisions have not been made to minimize transport of sediment (mud) by runoff or vehicle tracking onto the paved surface.
- Provisions have not been made for cleaning road surfaces where sediment is transported by the end of the day.
- Construction entrance points are clearly located on the erosion and sediment control plan.
- The erosion and sediment control plan does not provide for the repair and maintenance of all temporary and permanent erosion and sediment control practices.
- Details have been provided for ESC (riprap, perimeter control, concrete washout, inlet protection, etc.)

Dewatering: Shallow ground water does not exist on site. The project does not require dewatering.

An assessment of risks to other water and related resources has not been conducted.

**Floodplain:** There is floodplain on the property according to the District model and FEMA. The District's floodplain elevation is at 893.6 feet. The project does not propose to place fill within the floodplain.

High Water Flooding: Information has been provided to substantiate low floor elevations. Low floor elevations meet the criteria for the City of Ham Lake; 1 ft above mottled soil or 100 yr.

**Groundwater:** Geotechnical information is not required for this project.

The project site is not within the Emergency Response Area/10 Year Well Head Protection Area/Drinking Water Supply Management Area.

The proposal does not contain a land use discouraged or prohibited by the Safe Drinking Water Supply Act (SDSA).

**Historic Sites:** The proposed project does not include sites of historic or archeological significance.

**Local Planning & Zoning:** The applicant has not applied to the City. The City has not completed the review of the plans.

The City has no water resources concerns with the project at this time. The City will require the applicant to vacate a portion of a Drainage and Utility Easement.

**Maintenance:** There are no Stormwater Treatment Practices proposed as part of this project.

Easements: The proposed project does not include ditch maintenance easement. A ditch maintenance easement is not required.

**Stormwater & Hydrology:** Infiltration is allowed within the project area. The District's 1-inch infiltration requirement is achieved via overland flow.

Drainage sensitive uses do not exist downstream from the proposed site. The rate of post-development runoff from the site does not exceed predevelopment rates, or rates which would interfere with sensitive downstream land uses. Properties and waterways downstream from the project are protected from erosion due to increases in the volume, velocity and peak water flow rates of stormwater runoff. Concentrated storm water leaving a site is discharged directly into a well-defined natural or man-made off-site receiving channel or pipe.

**Water Quality:** The proposed project does not cause an exceedance of State water quality standards. The project does not contribute to the adverse impact of wetlands through inundation or volume of flow. All discharges into wetlands/stormwater basins are pretreated by overland flow. All work adjacent to wetlands, waterbodies and water conveyance systems are not protected from erosion. The proposal will not detrimentally affect the existing water quality of the receiving water. The proposal will not cause extreme fluctuations of water levels or temperature changes.

Impairments: This project is within one (1) mile of an Impaired Water. The Impaired Water is Coon Creek. Coon Creek is impaired for Aquatic Life (Macro-invertebrates)/ Aquatic Recreation (E. coli). The major stressors are Total Suspended Solids (TSS)/ Total Phosphorus (TP)/E.coli. There is an EPA approved Total Maximum Daily Load (TMDL) or Waste Load Allocation (WLA) for this water.



There are new impervious surfaces proposed as part of this project.

**Wetlands:** Wetlands do exist on-site according to the 1987 Federal manual, NWI, PWI and Soil Survey. Wetlands have been delineated. The most recent delineation was completed on October 5, 2018. The wetland boundary has been checked and approved on 12/6/2018.

The wetland is not a DNR protected water.

No wetland impacts are proposed as a part of this project.

**Wetland Replacement Plan:** A wetland replacement plan has not been submitted and is not required.

**Wildlife:** The proposed project does not include endangered or threatened species, rare natural communities, colonial waterbird nesting sites, migratory waterfowl concentration areas, deer wintering areas or wildlife travel corridors.

**Performance Escrow:** \$2,017.00

**Wetland Escrow:** \$N/A

There are not ditch liens on the property.

**ISSUES/CONCERNS:**

ISSUE	NEED
<b>Escrows:</b> $\$2,000 + (0.034\text{ac} * \$500/\text{ac} = \$2,017.00$	1. Receipt of escrows.
<b>Planning &amp; Zoning:</b> Out building is proposed within an existing Drainage & Utility Easement.	2. If vacation of the easement is required, provide proof of vacation or documentation from the City of Ham Lake that the proposed location is allowable.
<p><b>Soils &amp; Erosion Control:</b> District requires all stabilization vegetation be within seven (7) days of rough grading or inactivity.</p> <p>Soil stockpiles have not been proposed to be fitted with sediment-trapping measures to prevent soil loss and do not have a note to stabilize within seven (7) days of inactivity.</p> <p>Adjacent properties and stormwater ponds are not protected from sediment deposition.</p>	<p>3. Update construction plans to include the following:</p> <ul style="list-style-type: none"> <li>a. Update construction plans to stabilize vegetation within 7 days of rough grading or inactivity.</li> <li>b. Update construction plans to stabilize soil stock piles within 7 days of rough grading or inactivity.</li> <li>c. Provide double row of silt fence at wetlands.</li> </ul>

<p>Provisions have not been made to minimize transport of sediment (mud) by runoff or vehicle tracking onto the paved surface.</p> <p>Provisions have not been made for cleaning road surfaces where sediment is transported by the end of the day.</p> <p>The erosion and sediment control plan does not provide for the repair and maintenance of all temporary and permanent erosion and sediment control practices.</p>	<ul style="list-style-type: none"><li>d. Provide note on erosion control plan to minimize transport of sediment (mud) by runoff or vehicle tracking onto paved surfaces.</li><li>e. Provide note on erosion control plan that provisions have been made for cleaning road surfaces where sediment is transported by the end of the day.</li><li>f. Provide note on the erosion and sediment control plan to provide for the repair and maintenance of all temporary and permanent erosion and sediment control practices.</li></ul>
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**RECOMMENDATION:** Approve with 3 Conditions and no Stipulations.

**Conditions:**

1. Receipt of escrows.
2. If vacation of the easement is required, provide proof of vacation or documentation from the City of Ham Lake that the proposed location is allowable.
3. Update construction plans to include the following:
  - a. Update construction plans to stabilize vegetation within 7 days of rough grading or inactivity.
  - b. Update construction plans to stabilize soil stock piles within 7 days of rough grading or inactivity.
  - c. Provide double row of silt fence at wetlands.
  - d. Provide note on erosion control plan to minimize transport of sediment (mud) by runoff or vehicle tracking onto paved surfaces.
  - e. Provide note on erosion control plan that provisions have been made for cleaning road surfaces where sediment is transported by the end of the day.
  - f. Provide note on the erosion and sediment control plan to provide for the repair and maintenance of all temporary and permanent erosion and sediment control practices.

**Stipulations:** None

**ORDINANCE NO. 21-XX**

**An Ordinance Amending ARTICLE 9, COMPREHENSIVE ZONING, and ARTICLE 11, GENERAL ACTIVITY REGULATIONS, to allow signage under 6 square feet in size for residential lots with a home occupation permit and to eliminate the requirement that such lots have no outward indication of the use.**

**Be it Ordained by the City Council of the City of Ham Lake, Anoka County, Minnesota as follows:**

**ARTICLE 9, COMPREHENSIVE ZONING of the Ham Lake City Code is hereby amended as indicated in the following sections:**

**9-350 Home Occupation Permits**

*A Home Occupation* is a for-profit enterprise carried on in a residential dwelling, ~~under circumstances in which there is no outward indication of the existence of the enterprise visible or otherwise detectable from outside the premises, and which otherwise meets the criteria specified below.~~

...

**ARTICLE 11, GENERAL ACTIVITY REGULATIONS of the Ham Lake City Code is hereby amended as indicated in the following sections:**

**11-340 Standards in Specific Residential Districts**

No signs shall be permitted in any area zoned R-1, R-M, R-AH, PUD, RS-1 or RS-2 except for a) temporary signs that are no greater than six square feet in size, ~~except that~~ b) permanent signs no greater than six square feet in size on lots with a Home Occupation Permit under Article 9-350, and c) Neighborhood Monument Signs as defined in Article 11-350.4 of this code may be up to 40 square feet in size, as measured on the perimeter of the border of the message displayed (excluding structural components of the sign).

...

**Presented to the Ham Lake City Council on March 15, 2021 and adopted by a unanimous vote this 5th day of April, 2021.**

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**Michael G. Van Kirk, Mayor**

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**Denise Webster, City Clerk**

## Memorandum

Date: March 31, 2021  
To: Mayor and Councilmembers  
From: Tom Collins, City Engineer *TPC*  
Subject: 2021 Street Maintenance Program bids

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### **Introduction:**

The City of Ham Lake has entered into a Joint Powers Agreement with twelve other local cities to form the North Metro Regional Street Materials Regional Group. The group of cities has a Joint Powers Agreement to combine certain bid items to reduce the number of contracts needed and hopefully achieve lower bids from contractors.

### **Discussion:**

The results of the March 12<sup>th</sup> bid opening for the 2021 street maintenance are attached. The bid results and recommendation has been discussed with Superintendent John Witkowski.

Pearson Bros. Inc. is the low bidder for FA-1 1/8" seal coat aggregate and CRS-2P seal coat oil, with a bid of \$1.18 per square yard and \$0.28 per gallon respectively. The bid amounts to \$71,437.20 for the 60,540 square yards of seal coat aggregate and \$4,576.88 for the 16,346 gallons of polymer seal coat oil for a total of \$76,014.08. The total seal cost low bid is 9.05% under the estimated cost \$83,581.68.

Sir Lines-A-Lot is the low bidder for latex paint markings and symbols, with bids of \$26.00 and \$115.00 per gallon respectively. The 1,165 gallons is enough paint to re-stripe the existing striped MSA streets centerline, turn lanes and fog lines and the 18 gallons is enough paint for stop lines, single arrows, double arrows and crosswalks. The bid amounts to \$32,360.00. The striping low bid is 14.27% under the estimated cost of \$37,745.54.

Both Northwest Asphalt & Maintenance and Allied Blacktop Company were the low bidders for crack sealing, with a "route and seal" bid of \$0.44 per lineal foot. For the 39,837 lineal foot quantity, the bid amounts to \$17,528.28. The crack sealing low bid is 16.98% under the estimated cost of \$21,113.61. Per the attached Coon Rapids letter, Northwest Asphalt & Maintenance is not being considered as the lowest responsible bidder.

The total of the three low bids is \$125,902.36. This is 11.61% under the total estimated cost of \$142,440.83.

### **Recommendation:**

It is recommended that the City concur by motion to award to the low bidders for seal coating, striping/symbols and crack sealing to Pearson Bros. Inc., Sir Lines-A-Lot and Allied Blacktop Company respectively.

**2021 STREET MAINTENANCE PROGRAM  
SUMMARY OF BIDS**

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**Sealcoating – Bid Schedule 1**

	<b><u>Base Bid</u></b>	<b><u>Alternate</u></b>
Pearson Bros. Inc.	\$ 852,886.40	\$ 852,886.40
Allied Blacktop Company	\$ 922,688.04	\$ 916,504.56
Asphalt Surface Technologies	\$ 978,383.47	\$ 909,396.07

**Pavement Markings – Bid Schedule 2**

Sir Lines-A-Lot Inc.	\$ 194,773.00
Warning Lites	\$ 216,638.00
AAA Striping Service	\$ 223,190.00

**Crack Sealing – Bid Schedule 3**

Northwest Asphalt & Maintenance	\$ 484,901.56
Allied Blacktop Company	\$ 485,501.56
Fahrner Asphalt Sealers	\$ 586,793.97
American Pavement Solutions	\$ 822,981.94
Asphalt Surface Technologies	\$ 824,702.03

**Fog Sealing, Streets – Bid Schedule 4**

Allied Blacktop Company	\$ 219,276.90
Pearson Bros. Inc.	\$ 227,551.50
Asphalt Surface Technologies	\$ 245,939.50

**Fog Sealing, Trails & Parking Lots – Bid Schedule 5**

Allied Blacktop Company	\$ 42,734.64
Pearson Bros. Inc.	\$ 57,938.31
Asphalt Surface Technologies	\$ 85,606.25

CITY OF COON RAPIDS - BID TABULATION  
 2021 STREET MAINTENANCE PROGRAM - PROJECT 21-5  
 SEALCOATING, PAVEMENT MARKINGS,  
 CRACK SEALING AND FOG SEALING

BID OPENING: MARCH 12, 2021, 10:00 A.M.

NO.	DESCRIPTION	UNIT	QTY	AAA STRIPING SERVICE		ALLIED BLACKTOP COMPANY		AMERICAN PAVEMENT SOLUTIONS INC.		ASPHALT SURFACE TECHNOLOGIES CORP.		FARNER ASPHALT SEALERS LLC		NORTHWEST ASPHALT & MAINTENANCE		PEARSON BROS INC.		SIR LINES-A-LOT		WARNING LITES		
				UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE
BID SCHEDULE NO. 1 - SEAL COAT																						
1 AGGREGATE																						
	DRESSER TRAP ROCK (BASE BID)																					
	F&I FA-2 AGGREGATE	SY	309,174	0.00	0.96	296,907.04	0.00	0.00	0.73	225,697.02	0.00	0.00	0.00	0.00	1.15	355,550.10	0.00	0.00	0.00	0.00	0.00	
	F&I FA-1 1/8"	SY	380,700	0.00	1.02	388,314.00	0.00	0.00	0.83	315,981.00	0.00	0.00	0.00	0.00	1.18	449,226.00	0.00	0.00	0.00	0.00	0.00	
	TOTAL DRESSER TRAP ROCK		689,874			685,121.04				541,678.02					0.00	804,776.10						
GRANITE (ALTERNATE)																						
	F&I FA-2 AGGREGATE	SY	309,174	0.00	0.94	290,623.56	0.00	0.00	0.63	194,779.62	0.00	0.00	0.00	0.00	1.15	355,550.10	0.00	0.00	0.00	0.00	0.00	
	F&I FA-1 1/8"	SY	380,700	0.00	1.02	388,314.00	0.00	0.00	0.73	277,911.00	0.00	0.00	0.00	0.00	1.18	449,226.00	0.00	0.00	0.00	0.00	0.00	
	TOTAL GRANITE		689,874			678,937.56				472,690.62					0.00	804,776.10						
2 SEAL COAT OIL																						
	F&I CRS-2 SEAL COAT OIL	GAL	54,915	0.00	1.00	54,915.00	0.00	0.00	1.91	104,897.65	0.00	0.00	0.00	0.00	0.10	5,491.50	0.00	0.00	0.00	0.00	0.00	
	F&I CRS-2P (POLYMER MOD)	GAL	182,210	0.00	1.20	182,652.00	0.00	0.00	2.18	331,917.80	0.00	0.00	0.00	0.00	0.28	42,618.80	0.00	0.00	0.00	0.00	0.00	
	TOTAL SEAL COAT OIL		207,125			237,567.00				436,705.45					0.00	48,110.30						
	TOTAL BID SCHEDULE NO. 1 (BASE BID)				N/A	922,688.04		N/A		978,383.47		N/A		N/A		852,886.40		N/A		N/A		
	TOTAL BID SCHEDULE NO. 1 (ALTERNATE)				N/A	916,504.56		N/A		909,396.07		N/A		N/A		852,886.40		N/A		N/A		
BID SCHEDULE NO. 2 - PAVEMENT MARKINGS																						
	F&I STREET MARKINGS	GAL	4,948	30.00		148,440.00	0.00			0.00			0.00	0.00	0.00	0.00	0.00	0.00	25.00	128,648.00	31.00	153,388.00
	F&I STREET SYMBOLS	GAL	575	130.00		74,750.00	0.00			0.00			0.00	0.00	0.00	0.00	0.00	0.00	115.00	66,125.00	110.00	63,250.00
	TOTAL BID SCHEDULE NO. 2					223,190.00		N/A		N/A		N/A		N/A		N/A		N/A		194,773.00		216,638.00
BID SCHEDULE NO. 3 - CRACK SEALING																						
	F&I STREET ROUT & SEAL CRACK SEALING	LF	360,035	0.00	0.44	158,415.40	1.10	396,038.50	0.73	262,825.56	0.63	226,822.05	0.44	158,415.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	F&I STREET BLOW & GO CRACK SEALING	LF	834,144	0.00	0.39	325,316.16	0.51	425,413.44	0.67	558,876.48	0.43	358,681.92	0.39	325,316.16	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	F&I TRAIL ROUT & SEAL CRACK SEALING	LF	0	0.00	0.43	0.00	1.10	0.00	1.20	0.00	0.00	0.00	0.00	0.00	0.44	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	F&I TRAIL BLOW & GO CRACK SEALING	LF	3,000	0.00	0.59	1,770.00	0.51	1,530.00	1.00	3,000.00	0.43	1,290.00	0.39	1,170.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL BID SCHEDULE NO. 3				N/A	485,501.56		822,981.94		824,702.03		586,793.97		484,901.56	N/A	N/A		N/A		N/A		N/A
BID SCHEDULE NO. 4 - FOG SEALING - STREETS																						
	F&I STREET FOG SEALING	GAL	45,970	0.00	4.77	219,276.90	0.00	0.00	5.35	245,939.50	0.00	0.00	0.00	0.00	4.95	227,551.50	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL BID SCHEDULE NO. 4				N/A	219,276.90		N/A		245,939.50		N/A		N/A		227,551.50		N/A		N/A		N/A
BID SCHEDULE NO. 5 - FOG SEALING - TRAILS & PARKING LOTS																						
	F&I TRAIL FOG SEALING	GAL	9,657	0.00	3.12	30,129.84	0.00	0.00	6.25	60,356.25	0.00	0.00	0.00	0.00	4.23	40,849.31	0.00	0.00	0.00	0.00	0.00	0.00
	F&I PARKING LOT FOG SEALING	GAL	4,940	0.00	3.12	12,604.80	0.00	0.00	6.25	25,250.00	0.00	0.00	0.00	0.00	4.23	17,089.20	0.00	0.00	0.00	0.00	0.00	0.00
	TOTAL BID SCHEDULE NO. 5				N/A	42,734.64		N/A		85,606.25		N/A		N/A		57,938.31		N/A		N/A		N/A
SUMMARY OF BIDS																						
	TOTAL SEALCOATING (BASE BID)				N/A	922,688.04		N/A		978,383.47		N/A		N/A		852,886.40		N/A		N/A		N/A
	TOTAL SEALCOATING (ALTERNATE)				N/A	916,504.56		N/A		909,396.07		N/A		N/A		852,886.40		N/A		N/A		N/A
	TOTAL PAVEMENT MARKINGS					223,190.00		N/A		N/A		N/A		N/A		N/A		N/A		194,773.00		216,638.00
	TOTAL CRACK SEALING				N/A	485,501.56		822,981.94		824,702.03		586,793.97		484,901.56	N/A	N/A		N/A		N/A		N/A
	TOTAL FOG SEALING - STREETS				N/A	219,276.90		N/A		245,939.50		N/A		N/A		227,551.50		N/A		N/A		N/A
	TOTAL FOG SEALING - TRAILS & PARKING LOTS				N/A	42,734.64		N/A		85,606.25		N/A		N/A		57,938.31		N/A		N/A		N/A

March 29, 2021

Northwest Asphalt & Maintenance  
Jared D. Peterick, President  
11560 190<sup>th</sup> Street NE  
Thief River Falls, MN 56701

Subject: Project 21-5, 2021 Street Maintenance Program – Crack Seal Contract

Dear Mr. Peterick:

Thank you for the recent bid submittal for the solicitation referenced above. Based on the City's investigation of Northwest Asphalt & Maintenance's bid, City staff is recommending to the City Council that Northwest Asphalt & Maintenance not be considered as the lowest responsible bidder. City staff has concluded that Northwest Asphalt & Maintenance does not have the ability and skill to perform the contracted work in a faithful and satisfactory basis. This conclusion is based on the reference check feedback received from numerous agencies, including the following comments:

- Lack of communication on scheduled arrival and last-minute changes to agreed-upon schedules critical to the successful completion of other contracts.
- Rushed performance/poor workmanship exhibited to complete work within scheduled/allotted time.
- Lack of advance notice to the general public for road/parking lot impacts; inadequate traffic control during operations.
- Unprofessional interactions with City staff and project consultants.
- Unfamiliarity with project specification language/contract documents.
- Faulty workmanship and lack of follow-through on warranty repair items.
- Inflexibility with necessary plan changes/decisions made in the field.

Your bid will be retained in the City's project file. If you have any questions, please feel free to contact me at 763-767-6494 or [thimmer@coonrapidsmn.gov](mailto:thimmer@coonrapidsmn.gov).

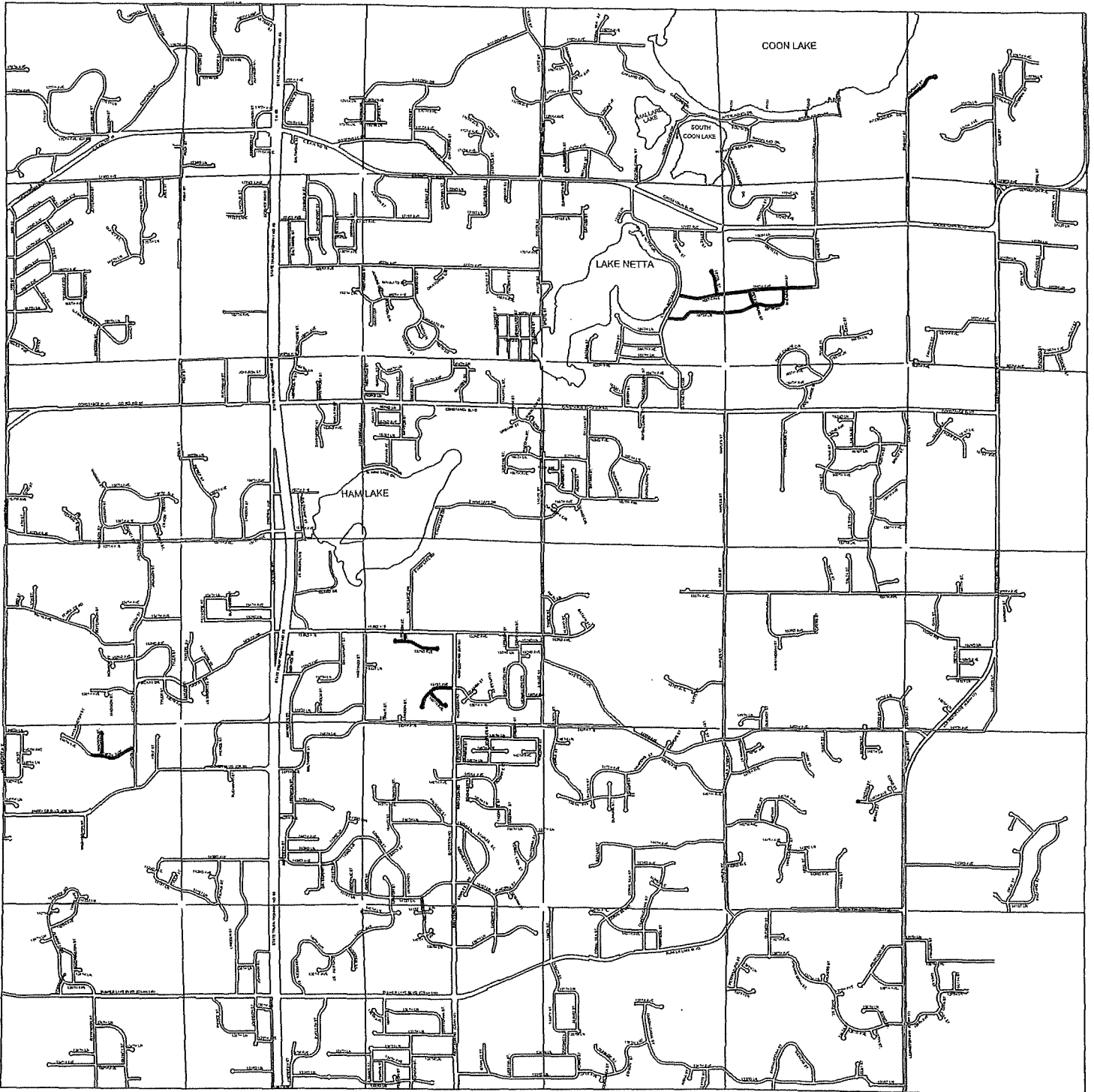
Sincerely,



Tim Himmer  
Public Works Director

cc: David Brodie, City Attorney





Sheet Title:  
CITY OF HAM LAKE 2021 SEAL COAT LOCATIONS

Date  
2/4/2021

Scale  
1" = 4,200'

Locations:  
OVERALL 2021 SEAL COAT LOCATIONS

**RFC ENGINEERING, INC.**  
**Consulting Engineers**

13635 Johnson Street  
Ham Lake, MN 55304  
Telephone (763) 862-8000  
Fax (763) 862-8042



Sheet Title:  
CITY OF HAM LAKE 2021 SEAL COAT LOCATIONS

Date  
2/4/2021

Scale  
1" = 750'

Locations:  
FOX RUN 2ND, 3RD AND 4TH ADDITIONS

**RFC ENGINEERING, INC.**  
**Consulting Engineers**

13635 Johnson Street  
Ham Lake, MN 55304  
Telephone (763) 862-8000  
Fax (763) 862-8042



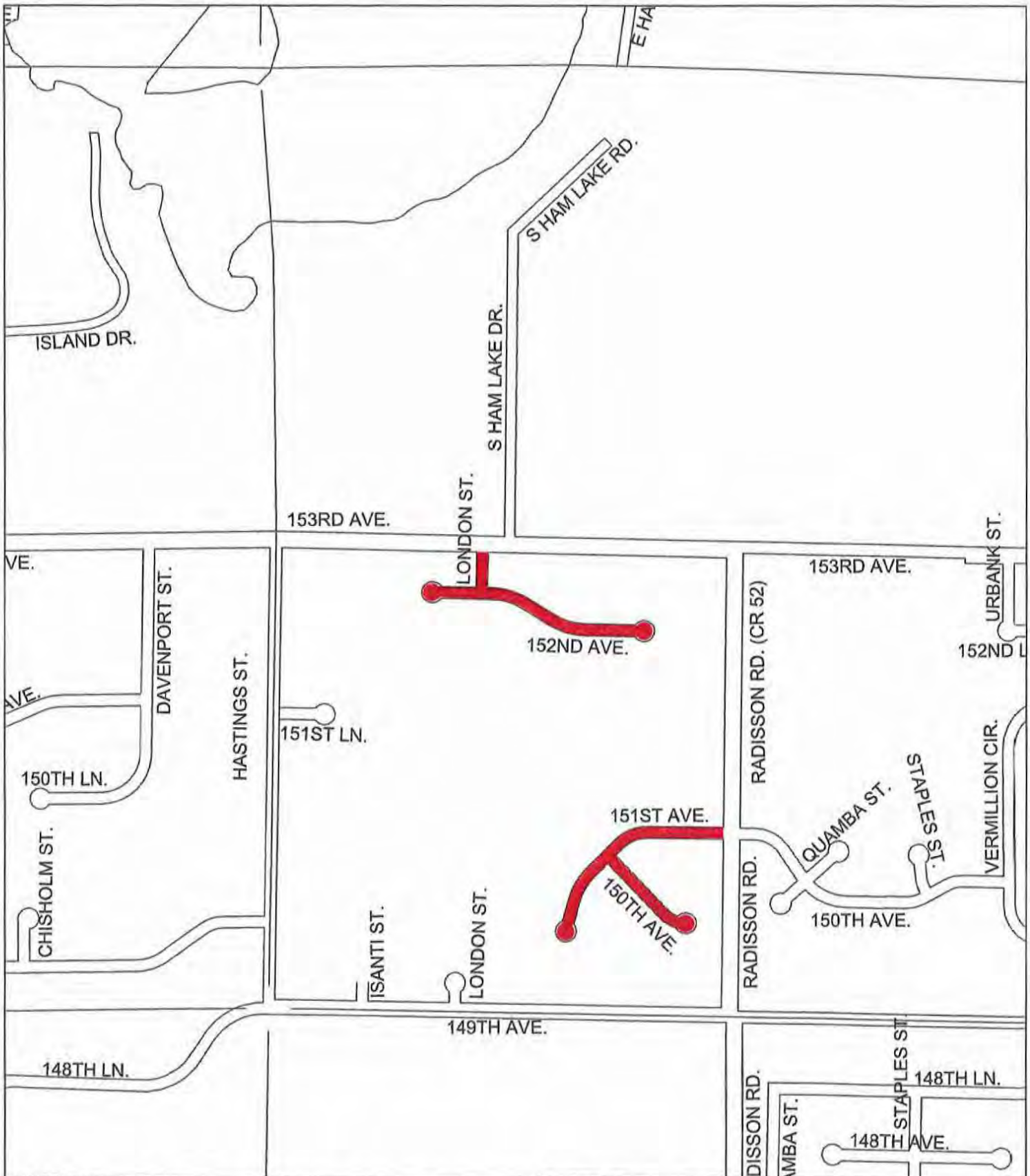
Sheet Title: CITY OF HAM LAKE 2021 SEAL COAT LOCATIONS	Date 2/4/2021	Scale 1" = 750'
Locations: OAKLEAF SHORES AND INDEPENDENT SHORES	<b>RFC ENGINEERING, INC.</b> <b>Consulting Engineers</b> 13635 Johnson Street Ham Lake, MN 55304 Telephone (763) 862-8000 Fax (763) 862-8042	



Sheet Title: CITY OF HAM LAKE 2021 SEAL COAT LOCATIONS	Date 2/4/2021	Scale 1" = 750'
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Locations:  
 146TH AVENUE TEMPORARY CUL-DE-SAC  
 OF KNOLLWOOD ESTATES

**RFC ENGINEERING, INC.**  
**Consulting Engineers**  
 13635 Johnson Street  
 Ham Lake, MN 55304  
 Telephone (763) 862-8000  
 Fax (763) 862-8042



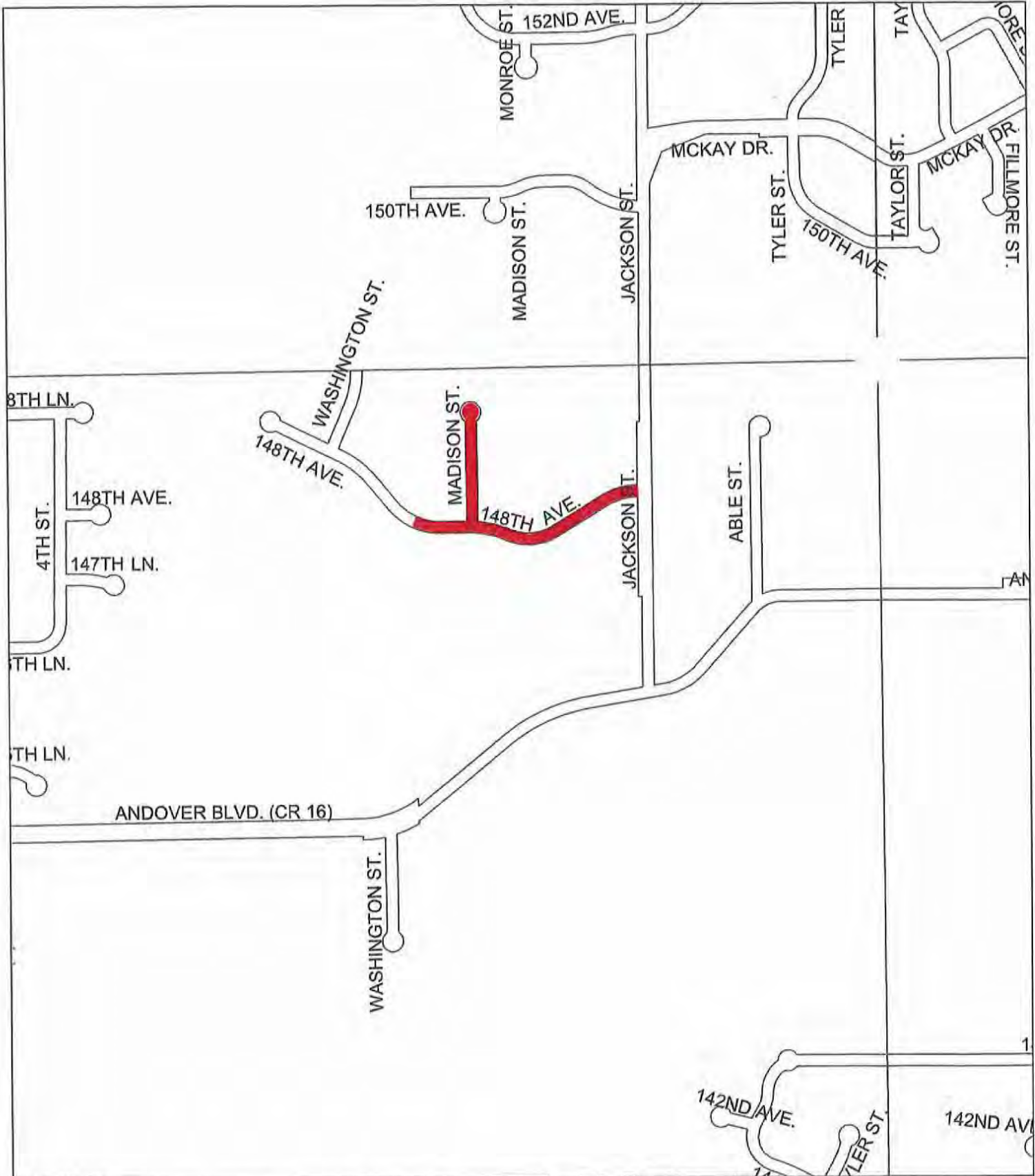
Sheet Title:  
CITY OF HAM LAKE 2021 SEAL COAT LOCATIONS

Date  
2/4/2021

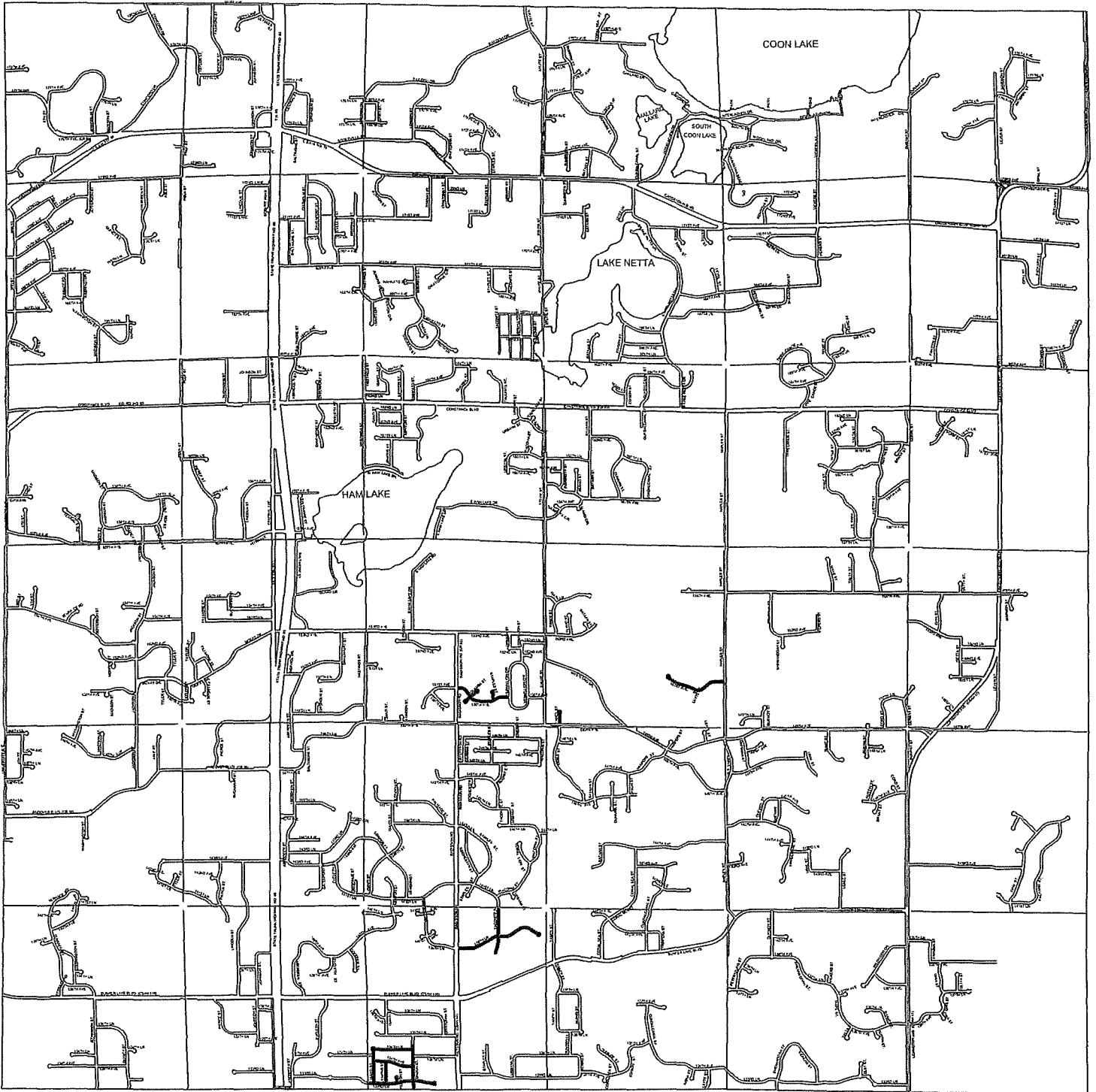
Scale  
1" = 750'

Locations:  
HOMESTEAD ESTATES

**RFC ENGINEERING, INC.**  
**Consulting Engineers**  
13635 Johnson Street  
Ham Lake, MN 55304  
Telephone (763) 862-8000  
Fax (763) 862-8042



Sheet Title: CITY OF HAM LAKE 2021 SEAL COAT LOCATIONS	Date 2/4/2021	Scale 1" = 750'
Locations: NORTH RIDGE ESTATES	<b>RFC ENGINEERING, INC.</b> <b>Consulting Engineers</b> 13635 Johnson Street Ham Lake, MN 55304 Telephone (763) 862-8000 Fax (763) 862-8042	



Sheet Title:  
CITY OF HAM LAKE 2021 CRACK SEAL LOCATIONS

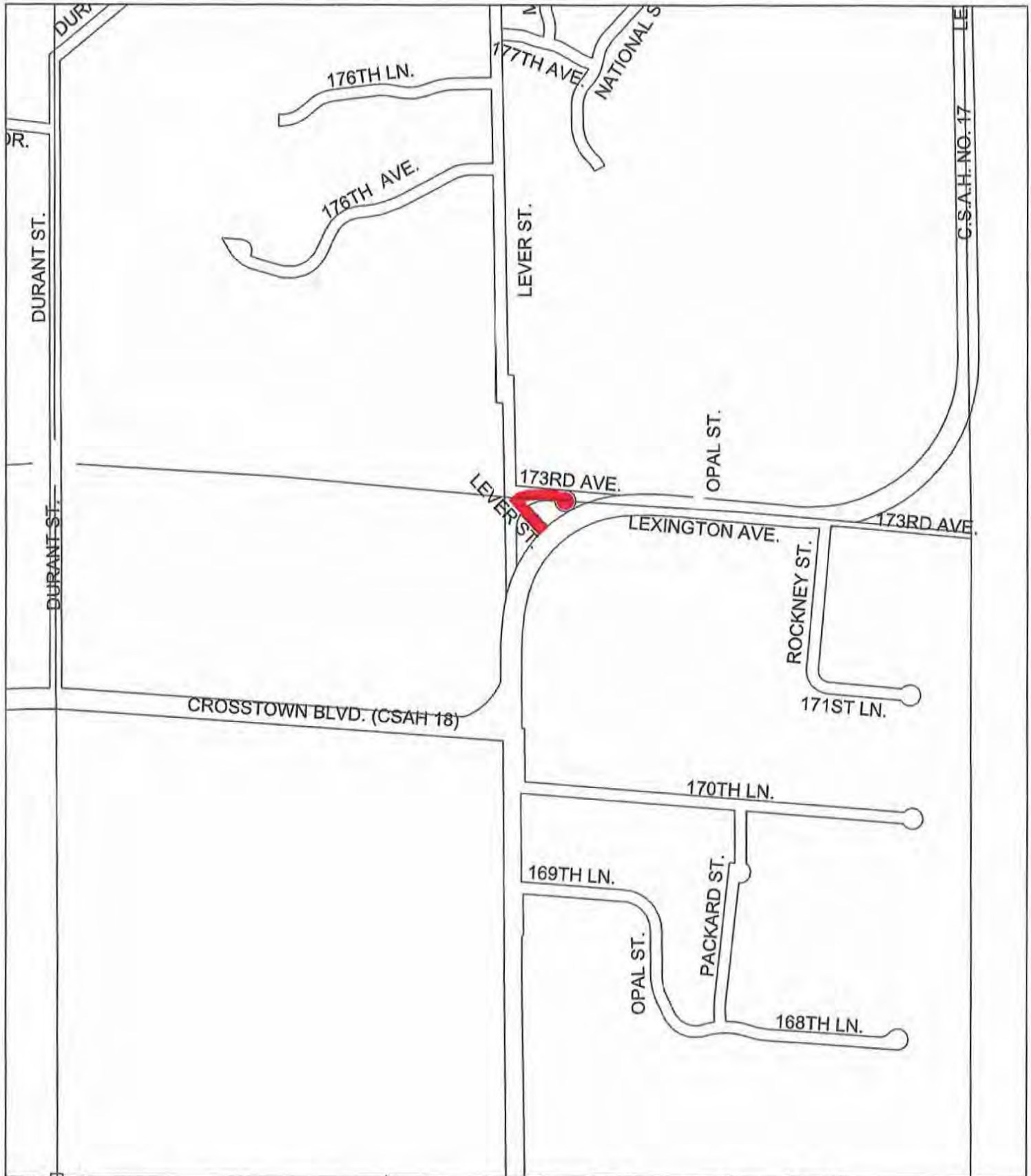
Date  
2/4/2021

Scale  
1" = 4,200'

Locations:  
OVERALL 2021 CRACK SEAL LOCATIONS

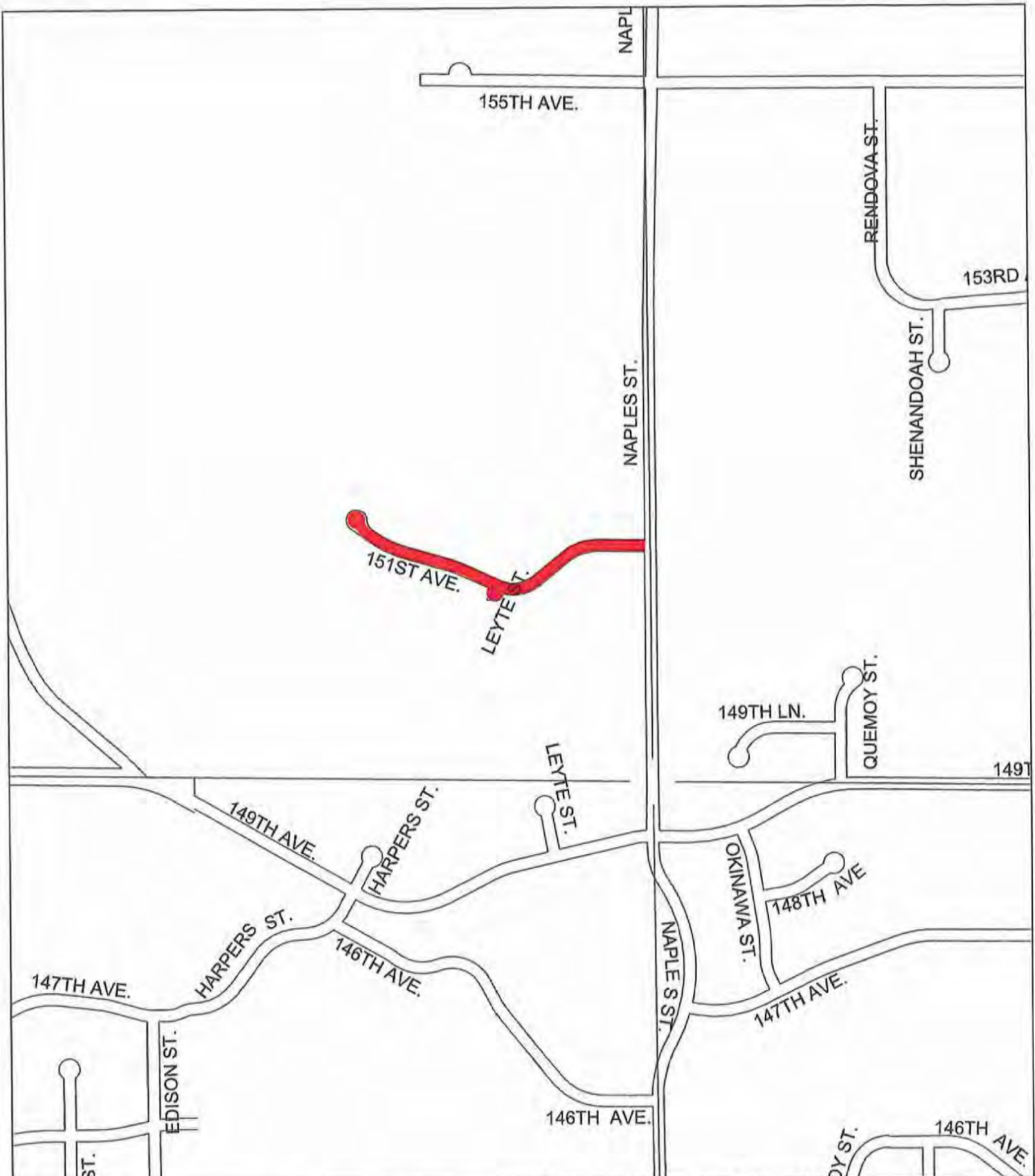
**RFC ENGINEERING, INC.**  
**Consulting Engineers**

13635 Johnson Street  
Ham Lake, MN 55304  
Telephone (763) 862-8000  
Fax (763) 862-8042



Sheet Title: CITY OF HAM LAKE 2021 CRACK SEAL LOCATIONS	Date: 2/4/2021	Scale: 1" = 750'
Locations: 173RD AVENUE AND LEVER STREET	<p align="center"> <b>RFC ENGINEERING, INC.</b>  <b>Consulting Engineers</b>          13635 Johnson Street          Ham Lake, MN 55304          Telephone (763) 862-8000          Fax (763) 862-8042       </p>	





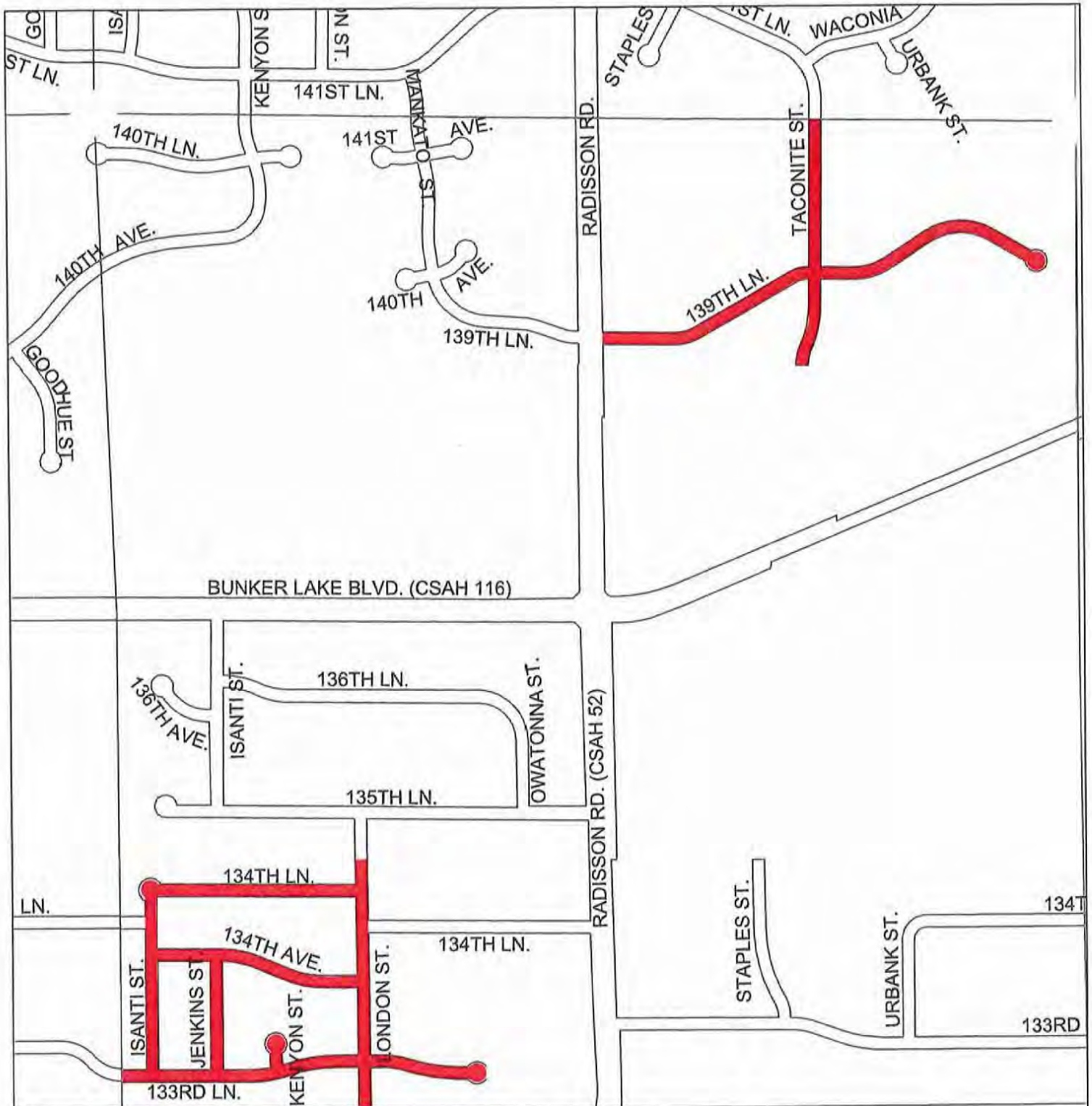
Sheet Title:  
CITY OF HAM LAKE 2021 CRACK SEAL LOCATIONS

Date  
2/4/2021

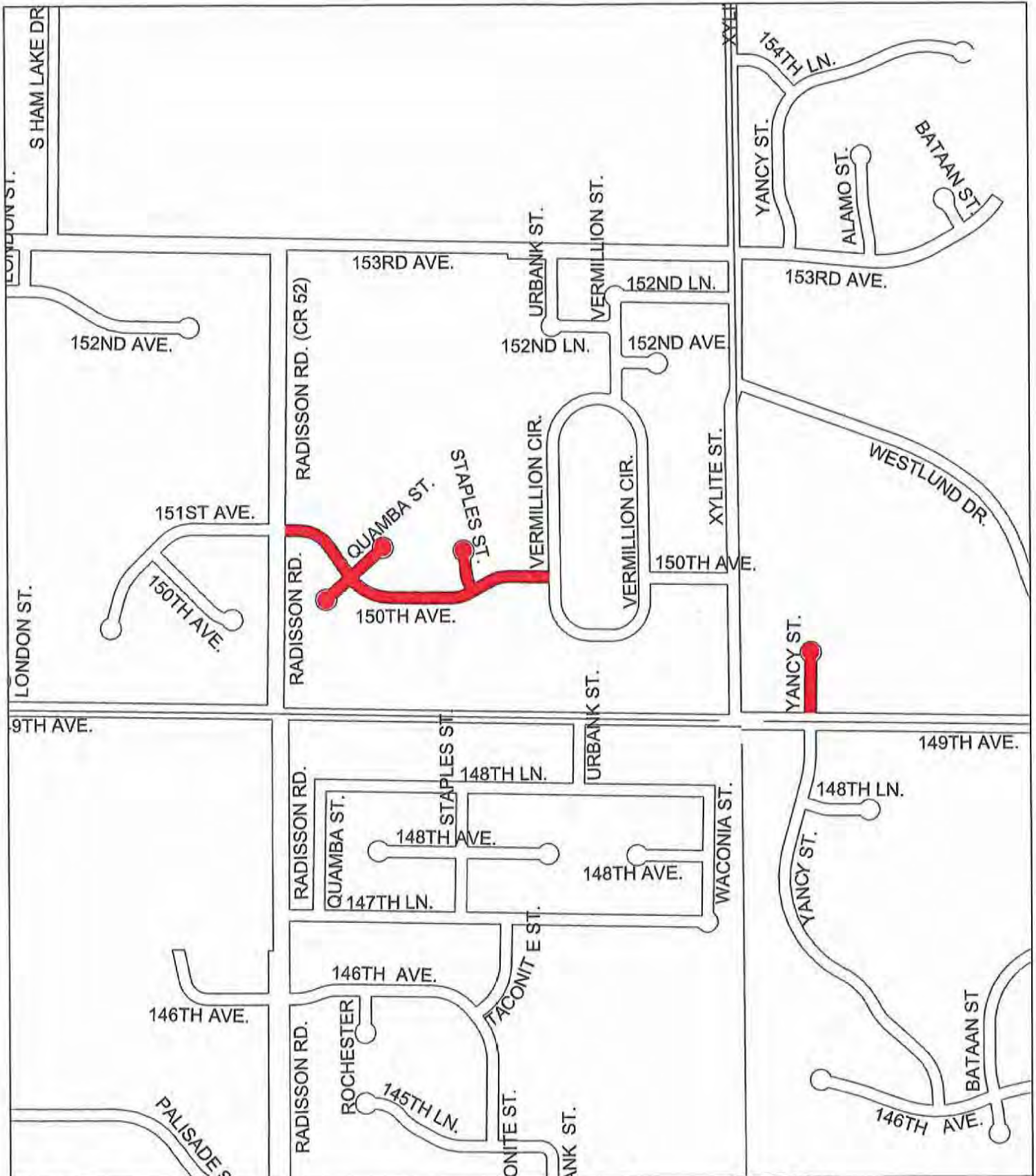
Scale  
1" = 750'

Locations:  
WHITE OAK RIDGE

**RFC ENGINEERING, INC.**  
**Consulting Engineers**  
13635 Johnson Street  
Ham Lake, MN 55304  
Telephone (763) 862-8000  
Fax (763) 862-8042



Sheet Title: CITY OF HAM LAKE 2021 CRACK SEAL LOCATIONS	Date 2/4/2021	Scale 1" = 750'
Locations: CHATEAU MEADOWS, LONDON MEADOWS RASMUSSEN 1ST, 2ND AND 4TH ADDITIONS	<b>RFC ENGINEERING, INC.</b> <b>Consulting Engineers</b> 13635 Johnson Street Ham Lake, MN 55304 Telephone (763) 862-8000 Fax (763) 862-8042	



Sheet Title:  
CITY OF HAM LAKE 2021 CRACK SEAL LOCATIONS

Date  
2/4/2021

Scale  
1" = 750'

Locations:  
HOGDAL ESTATES AND HOMESTEAD ESTATES EAST

**RFC ENGINEERING, INC.**  
**Consulting Engineers**  
13635 Johnson Street  
Ham Lake, MN 55304  
Telephone (763) 862-8000  
Fax (763) 862-8042

**ORGANIZATION INFORMATION**

Organization Name: Ham Lake Chamber of Commerce License Number: 02948  
Address: 15544 Central Ave. NE City: Ham Lake, MN Zip: 55304  
Chief Executive Officer (CEO) Name: Scott Summerbell Daytime Phone: 612-414-3116  
Gambling Manager Name: Shana Schmitz Daytime Phone: 612-599-9688

**GAMBLING ACTIVITY**

Twelve off-site events are allowed each calendar year not to exceed a total of 36 days.

From 05 / 01 / 21 to 05 / 02 / 21

Check the type of games that will be conducted:

Raffle  Pull-Tabs  Bingo  Tipboards  Paddlewheel

**GAMBLING PREMISES**

Name of location where gambling activity will be conducted: Acapulco Mexican Restaurant

Street address and City (or township): 18015 Ulysses St. NE #1000 Ham Lake, MN Zip: 55304 County: Anoka

- Do not use a post office box.
- If no street address, write in road designations (example: 3 miles east of Hwy. 63 on County Road 42).

Does your organization own the gambling premises?

**Yes** If yes, a lease is not required.  
 **No** If no, the lease agreement below must be completed, and signed by the lessor.

**LEASE AGREEMENT FOR OFF-SITE ACTIVITY (a lease agreement is not required for raffles)**

Rent to be paid for the leased area: \$0 (if none, write "0")

All obligations and agreements between the organization and the lessor are listed below or attached.

- Any attachments must be dated and signed by both the lessor and lessee.
- This lease and any attachments is the total and only agreement between the lessor and the organization conducting lawful gambling activities.
- Other terms, if any:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Lessor's Signature:  Date: 3/31/21

Print Lessor's Name: Rob Lund


**Acknowledgment by Local Unit of Government: Approval by Resolution**

CITY APPROVAL for a gambling premises located within city limits	COUNTY APPROVAL for a gambling premises located in a township
City Name: _____	County Name: _____
Date Approved by City Council: _____	Date Approved by County Board: _____
Resolution Number: _____ (If none, attach meeting minutes.)	Resolution Number: _____ (If none, attach meeting minutes.)
Signature of City Personnel: _____	Signature of County Personnel: _____
Title: _____ Date Signed: _____	Title: _____ Date Signed: _____
<p><b>Local unit of government must sign.</b></p>	<p><b>Complete below only if required by the county.</b> On behalf of the township, I acknowledge that the organization is applying to conduct gambling activity within the township limits. (A township has no statutory authority to approve or deny an application, per Minnesota Statutes 349.213, Subd. 2.)</p> <p>TOWNSHIP NAME: _____</p> <p>Print Township Name: _____</p> <p>Signature of Township Officer: _____</p> <p>Title: _____ Date Signed: _____</p>

**CHIEF EXECUTIVE OFFICER (CEO) ACKNOWLEDGMENT**

The person signing this application must be your organization's CEO and have their name on file with the Gambling Control Board. If the CEO has changed and the current CEO has not filed a LG200B Organization Officers Affidavit with the Gambling Control Board, he or she must do so at this time.

I have read this application, and all information is true, accurate, and complete and, if applicable, agree to the lease terms as stated in this application.

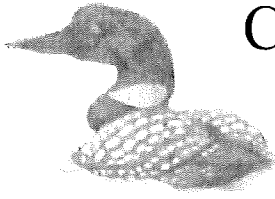

3-31-2021

\_\_\_\_\_  
 Signature of CEO (must be CEO's signature; designee may not sign) Date

<p><b>Mail or fax to:</b></p> <p>Minnesota Gambling Control Board Suite 300 South 1711 West County Road B Roseville, MN 55113 <b>Fax: 651-639-4032</b></p>	<p><b>No attachments required.</b></p> <p>Questions? Contact a Licensing Specialist at 651-539-1900.</p>
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This publication will be made available in alternative format (i.e. large print, braille) upon request.

<p><b>Data privacy notice:</b> The information requested on this form (and any attachments) will be used by the Gambling Control Board (Board) to determine your organization's qualifications to be involved in lawful gambling activities in Minnesota. Your organization has the right to refuse to supply the information; however, if your organization refuses to supply this information, the Board may not be able to determine your organization's qualifications and, as a consequence, may refuse to issue a permit. If your organization supplies the information requested, the Board will be able to process your organization's application.</p> <p>Your organization's name and address will be public information when received by the Board. All other information provided will be private data about your organization until the Board issues the permit. When the Board issues the permit, all information provided will become public.</p>	<p>If the Board does not issue a permit, all information provided remains private, with the exception of your organization's name and address which will remain public.</p> <p>Private data about your organization are available to: Board members, Board staff whose work requires access to the information; Minnesota's Department of Public Safety; Attorney General; commissioners of Administration, Minnesota Management &amp; Budget, and Revenue; Legislative Auditor; national and international gambling regulatory agencies; anyone pursuant to court order; other individuals and agencies specifically authorized by state or federal law to have access to the information; individuals and agencies for which law or legal order authorizes a new use or sharing of information after this notice was given; and anyone with your written consent.</p>
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# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, MARCH 22, 2021

The Ham Lake Planning Commission met for its regular meeting on Monday, March 22, 2021 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Commissioners Brian Pogalz, Kyle Lejonvarn, Scott Heaton, Jonathan Fisher, Jeff Entsminger and Erin Dixson

**MEMBERS ABSENT:** Commissioner Dave Ringler

**OTHERS PRESENT:** City Engineer, Tom Collins, Building and Zoning Official, Mark Jones and Building and Zoning Clerk, Jennifer Bohr

**CALL TO ORDER:** Chair Pogalz called the meeting to order at 6:00 p.m.

**PLEDGE OF ALLEGIANCE:**

The pledge of allegiance was recited by all in attendance.

**APPROVAL OF MINUTES:**

**Motion by Dixson, seconded by Entsminger, to approve the minutes of the March 8, 2021 Planning Commission meeting as written. All present in favor, motion carried.**

**PUBLIC HEARING:**

John Anderson, JDA Design Architects Inc., on behalf of Richland Refrigerated Solutions, LLC, requesting a Conditional Use Permit to operate Richland Refrigerated Solutions, LLC at 1305 159<sup>th</sup> Avenue NE

John Anderson from JDA Design Architects Inc. and Akil Ibrahim, CEO of Richland Refrigerated Solutions, LLC (RRS) were present. Mr. Anderson stated RRS is a trucking terminal business and the 1305 159<sup>th</sup> Avenue NE site is a perfect setup for his client as it has been used as a trucking terminal in the past. Mr. Anderson stated the property has been surveyed; there is flood plain area on the property that they will work around when parking semi-trucks. Mr. Anderson stated during the site inspection, it was determined the five employee parking spaces shown on the southerly property line needed to be relocated so they will be moved to a hard surface area behind the building. Commissioner Lejonvarn completed the inspection, a copy which is on file. Commissioner Lejonvarn stated there is no Class 5 material on the south side of the property hence the decision to move the employee parking spaces to the back of the building where there is currently a hard surface. Commissioner Lejonvarn stated the applicant will be providing an

updated site plan to reflect this. Commissioner Lejonvarn stated to the west of the truck parking area, at the edge of the Class 5 or gravel area noted on the site plan, there is sand and grass; if RRS wants to expand the parking area in the future the applicant will need to contact the Coon Creek Watershed District (CCWD) to determine if expansion is possible and if a permit is required from CCWD; no parking is allowed in the sand or grass area. Commissioner Lejonvarn stated there is room to park 18 semi-tractor trailers as noted on the site plan. Commissioner Lejonvarn also noted the south end of the driveway or entrance off of 159<sup>th</sup> Avenue NE is breaking up and needs to be repaired, the parking lot needs to be striped, handicap signs need to be put in place by designated handicap parking spaces, a license agreement will need to be signed with the City for two parking spaces on the east side of the property that are within a drainage and utility easement, screening on the front gate needs to be repaired and RRS needs to make sure all exterior lights are in working order. The Commissioners discussed hours of operation and times trucks would begin idling in the morning, especially in the winter. Mr. Anderson stated Mr. Ibrahim would be happy to observe the City's daytime hours and have trucks start idling in the winter at 7:00 a.m. Commissioner Lejonvarn stated RRS will do truck repair and maintenance on their trucks as well as the general public. Chair Pogalz asked who owns the 159<sup>th</sup> Ave NE cul-de-sac as there is a fence in the middle of it and the right-of-way (ROW) is being used by property owners on each side of it, it is not being used as a cul-de-sac. Engineer Collins stated the cul-de-sac was dedicated with Ham Lake Industrial Park 4<sup>th</sup> Addition plat; there have been encroachments into the ROW for many years. Engineer Collins stated vacating the ROW was discussed; it would require the three parcels of the 1305 159<sup>th</sup> Avenue NE property to be combined so it was not required as a condition of approval for this application.

**Chair Pogalz opened the public hearing at 6:13 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 6:14 p.m.**

Chair Pogalz asked the Commissioners if they had questions or required further discussion on this application; there were no additional questions or comments. **Motion by Lejonvarn, seconded by Heaton, to recommend approval of a Conditional Use Permit as requested by John Anderson, JDA Design Architects Inc., on behalf of Richland Refrigerated Solutions, LLC, to operate Richland Refrigerated Solutions, LLC at 1305 159<sup>th</sup> Avenue NE subject to submitting an updated site plan by end of business on March 23, 2021 showing employee parking spaces at the rear of the building on a paved surface as required by Article 9-220.6a.iii, striping the parking lot including painting hash marks for the handicap parking area for van accessibility, installing handicap parking signs, parking no more than 18 semi-tractor trailers at the site, no parking on the grass or sand areas, repairing the driveway apron, signing a license agreement with the City for parking spaces encroaching into the drainage and utility easement near 159<sup>th</sup> Avenue NE, repairing the screening on the front gate, making sure all exterior lighting is in working order and complies with Article 9-220.1g, business hours of 7:00 a.m. to 6:00 p.m. Monday through Saturday, no idling of trucks before 7:00 a.m., limiting maintenance and repair services to truck and trailer repair only for RRS's fleet and the general public, no outside storage of liquids, oil, contaminants, tires or truck parts, no storage of inoperable trucks or trailers, completing all site maintenance**

**and repairs noted within 60 days of City Council approval of the Conditional Use Permit, and meeting all City, State and County requirements.** Commissioner Dixson asked if a condition needed to be added related to paving the employee parking area as noted in the Staff Memo. Commissioner Lejonvarn said the applicant has decided to move employee parking to a hard surface area behind the building so no additional paving is needed; the only paving needed is that to repair the drive into the property. **All present in favor, motion carried.** *This item will be placed on the April 5, 2021 City Council Agenda.*

**NEW BUSINESS:**

Gary Braastad requesting Commercial Site Plan approval for a proposed 11,622 square foot building on Outlot 1 of Marshall Manor (PIN# 29-32-23-42-0039)

Mr. Gary Braastad was present. Mr. Braastad stated he has been working with Coon Creek Watershed District (CCWD) and Tom Collins, the City Engineer, to relocate the ditch on this parcel to create a building pad site to sell. Mr. Braastad stated that if selling the pad site does not prove to be viable, he will construct a commercial building to sell. Chair Pogalz asked Engineer Collins to comment on past approvals from CCWD, the stockpiling of dirt on the parcel as well as to review the comments in his memo dated March 4, 2021. Engineer Collins stated excess material from grading done at the North Metro Storage site just south of 143<sup>rd</sup> Avenue NE was stockpiled on this parcel in 2017. Engineer Collins stated the County Ditch that traverses from the southeast corner to the northwest corner of the parcel makes it a difficult lot to develop. Engineer Collins stated the City extended Aberdeen Street NE from 144<sup>th</sup> Avenue NE to 145<sup>th</sup> Avenue NE last year; at the NE corner of the outlot the City stubbed a 36-inch culvert, to CCWD's approval, so Mr. Braastad can relocate the County Ditch to the east side of his property, connect to the 36-inch culvert and develop the lot as proposed. (The open channel will be converted to a 36-inch culvert located in the Aberdeen Street NE right-of-way.) Engineer Collins stated the City's extension of Aberdeen Street NE was done via a cooperative agreement with MnDOT and a condition in the agreement was that the City remove the 144<sup>th</sup> Avenue NE and 145<sup>th</sup> Avenue NE connections to Highway 65; the 144<sup>th</sup> Avenue NE connection has been completely removed and public right-of-way (ROW) was vacated and a 20-foot drainage and utility easement was dedicated at the very northerly portion of the 66-feet of the vacated 144<sup>th</sup> Avenue NE right-of-way; all proposed improvements are outside of the 20-foot drainage and utility easement. Engineer Collins stated he received the CCWD approved permit for this site today. Engineer Collins stated there is a 37-foot wide Great River Energy (GRE) easement on west side of the parcel for overhead power; GRE has approved the proposed encroachments within their easement conditioned on all grading being 25-feet away from the existing electric poles. Chair Pogalz completed the inspection, a copy which is one file. Chair Pogalz stated it is a site ready for commercial development after some minor improvements. Chair Pogalz confirmed with Engineer Collins that the CCWD had issued a permit for this project. Engineer Collins stated the permit had been issued. **Motion by Pogalz, seconded by Fisher, to recommend approval of the application by Gary Braastad, requesting Commercial Site Plan approval for a proposed 11,622 square foot building on Outlot 1 of Marshall Manor, PID# 29-32-23-42-0039, as presented, subject to meeting all site, building and usage standards for Mercantile Districts/Commercial Development (CD-1) zoning district as outlined in Articles 9-220 through 9-220.2**



**and meeting all City, State and County requirements. All present in favor, motion carried. This item will be placed on the April 5, 2021 City Council Agenda.**

Rick and Julie Braastad, J & R Acres, LLC, requesting Final Plat approval for Radisson Sunset Estates (7 single family residential lots) located in Section 21

Rick and Julie Braastad were present. Ms. Braastad stated they are creating a seven-lot development which includes their current lot (Lot 3) at the corner of 153<sup>rd</sup> Avenue NE and Radisson Road NE; the final plat is very similar to the preliminary plat. Ms. Braastad stated they have completed permitting processes with Coon Creek Watershed District & Anoka County Highway Department (ACHD). Chair Pogalz asked Engineer Collins to comment on the plat. Engineer Collins stated slight revisions, specific to ACHD requirements, have been made to the plans; due to low traffic volume, ACHD is not going to require the construction of an eastbound turn lane into the development but will require widening of the shoulder of 153<sup>rd</sup> Avenue NE by eight feet between Radisson Road NE and Quamba Street NE so the shoulder can be utilized as a turn lane; ACHD is also requiring the dedication of a 10-foot easement along a portion of Lot 3 on the easterly side of Radisson Road NE. Engineer Collins stated there will be a 20-foot trail easement dedication abutting the 10-foot drainage and utility easement adjacent to 153<sup>rd</sup> Avenue NE which is similar to what was dedicated to the east of this development with the B&T Acres plat approved in 2019. Engineer Collins stated the Minnesota Pipeline Company has approved the crossing of Quamba Street NE and the septic line for Lot 6 across their 66-foot-wide easement; the development agreement will stipulate that the builder for Lot 6 must expose pipelines at the proposed septic site with a representative of Flint Hills Resources present to verify a minimum of 2' of separation between the proposed septic pipe and the pipelines; the septic system for Lot 6 will need to be a pressurized system. **Motion by Entsminger, seconded by Fisher, to recommend Final Plat approval of Radisson Sunset Estates (7 single family residential lots) located in Section 21 (15203 Radisson Road NE) subject to meeting the requirements of the Anoka County Highway Department, Coon Creek Watershed District, the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. This item will be placed on the April 5, 2021 City Council Agenda.**

**COMMISSION BUSINESS:**

City Council Update

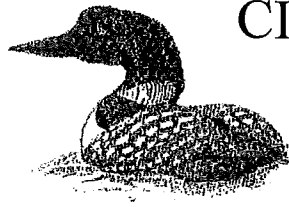
No commissioners attended the March 15, 2021 City Council meeting. Commissioner Entsminger will be attending the April 5, 2021 City Council meeting.

**ADJOURNMENT:**

**Motion by Heaton, seconded by Fisher, to adjourn the Planning Commission meeting at 6:36 p.m. All present in favor, motion carried.**

---

Jennifer Bohr  
Building and Zoning Clerk



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, MARCH 22, 2021

**CALL TO ORDER:** 6:00 p.m.

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF MINUTES:** March 8, 2021

**PUBLIC HEARINGS:**

**6:01 p.m.** John Anderson, JDA Design Architects Inc., on behalf of Richland Refrigerated Solutions, LLC, requesting a Conditional Use Permit to operate Richland Refrigerated Solutions, LLC at 1305 159<sup>th</sup> Avenue NE

**NEW BUSINESS:**

1. Gary Braastad requesting Commercial Site Plan approval for a proposed 11,622 square foot building on Outlot 1 of Marshall Manor (PIN# 29-32-23-42-0039)
2. Rick and Julie Braastad, J & R Acres, LLC, requesting Final Plat approval for Radisson Sunset Estates (7 single family residential lots) located in Section 21.

**COMMISSION BUSINESS:**

1. City Council Update



# CITY OF HAM LAKE

## PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 3/9/21

Date of Receipt 3-10-2021  
Receipt # 89385

Meeting Appearance Dates:  
Planning Commission 3-22-2021 City Council \_\_\_\_\_

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval\*
- Final Plat Approval
- Rezoning\*
- Multiple Dog License\*
- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)\*
- Conditional Use Permit (Renewal)
- Other \_\_\_\_\_

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: RICHLAND REFRIGERATED SOLUTIONS LLC

Address/Location of property: 1305 159TH AVE N.E. HAM LAKE, MN.

Legal Description of property: HAMLAKE INDUSTRIAL PARK 4TH ADD.

PIN # 17-32-23-31-0008 Current Zoning I-P Proposed Zoning ---

Notes: NO LAND DISTURBANCE OR CONSTRUCTION PLANNED

Applicant's Name: JOHN ANDERSON

Business Name: JDA DESIGN ARCHITECTS INC

Address 901 4TH ST. N.

City HOPKINS State MN Zip Code 55343

Phone 612.817.0050 Cell Phone SAME Fax ---

Email address JOHN@JDADESIGN.COM

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

SIGNATURE [Signature] DATE 3/9/21

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission \_\_\_\_\_  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT YES NO

Meeting Date: 03/22/2021

**CITY OF HAM LAKE**  
**STAFF REPORT**

**To: Planning Commission**

**From: Mark Jones, Zoning & Building Official**

**Subject: Conditional Use Permit for Richland Refrigerated Solutions, LLC at 1305 159<sup>th</sup> Avenue NE**

**Introduction:**

Richland Refrigerated Solutions, LLC (RRS) is requesting a Conditional Use Permit (CUP) to operate a trucking terminal at 1305 159<sup>th</sup> Avenue NE. Trucking operations, truck parking, truck repair and maintenance (for RRS's fleet and the general public) and office activity will occur at the site.

The parcel is zoned I-P. Consideration will need to be given to the type of conditions that will need to be recommended related to physical requirements and usage limitations as defined in Article 9, Section 9-220.6a and 9-220.6b.

Parking areas are to be hard-surfaced per Section 9-220.6a.iii. Equipment storage areas may be surfaced with Class V or other material if the area so surfaced is not to be open to the public. All drives, parking lots or sidewalks which will be utilized by the general public or employees of the business shall be paved in accord with standards established by the City's Engineer. The paved driveway's apron area is eroding on the southerly side and will need to be repaired. The area inside the fenced area for employee parking is currently gravel and will also need to be paved within 60 days of City Council approval of the CUP. A portion of the parking area near 159<sup>th</sup> Avenue NE is within a City drainage and utility easement. The City Attorney recommends RRS sign a license agreement for this encroachment.

The Coon Creek Watershed District has reviewed the site and building plans and has determined they do not need to issue a permit to RRS as long as the parking area remains as is which means no earth disturbing activities such as grading, paving, filling, etc. will be occurring onsite.

**Discussion:** This information is provided for commission consideration and discussion.

## License Agreement

**Agreement**, made this \_\_\_\_ day of \_\_\_\_\_, 2021 between the City of Ham Lake, a Political Subdivision under the laws of the State of Minnesota (“City”) and Richland Refrigerated Solutions, LLC (“Owner”).

### Recitals

Owner is the current owner of the Benefitted Parcel located at 1305 159th Ave, Ham Lake, Minnesota (PID 17-32-23-31-0008 - Lot 4, Block 1, Ham Lake Industrial Park Fourth Addition, Anoka County, Minnesota). City is the owner of a drainage and utility easement across said Benefitted Parcel.

**It is therefore agreed as follows:**

### Grant of License

The City of Ham Lake, does hereby grant unto Owner and successors in title, a license to construct and maintain a paved parking lot that crosses within the City’s drainage and utility easement.

This grant of license is subject to the following conditions:

1. No usage of said drainage and utility easement shall be permitted which interferes with any drainage pattern, traffic pattern or other needed public usage;
2. If, in the future, the City, in its sole discretion, deems it necessary to utilize the licensed area for any lawful public purpose for which the land was dedicated, City may require that the licensees remove any object or structure, and may terminate any or all of this License at any time. Further, if licensees fail to remove any object or structure as directed, City retains the right to remove any such object or structure, and licensee accepts the risk of any loss.
3. The Benefitted Parcel to which this license applies is: **Lot 4, Block 1, Ham Lake Industrial Park Fourth Addition, Anoka County, Minnesota**, which may be used for the construction and maintenance of a paved parking lot that crosses within the City’s drainage and utility easement.

**Executed this \_\_\_\_ day of \_\_\_\_\_, 2021.**

*The following page contains signatures and acknowledgements.*

City of Ham Lake

Owner: Richland Refrigerated Solutions, LLC

\_\_\_\_\_  
Michael G. Van Kirk, Mayor

\_\_\_\_\_  
Ibrahim Akil, Manager

\_\_\_\_\_  
Denise Webster, City Clerk

State of Minnesota    )  
                                  ) ss Acknowledgment  
County of Anoka        )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2021, by Michael G. Van Kirk and Denise Webster, the Mayor and City Clerk, respectively, of the City of Ham Lake, a Political Subdivision, on behalf of the City.

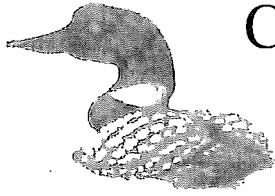
\_\_\_\_\_  
Notary Public

State of Minnesota    )  
                                  ) ss Acknowledgment  
County of \_\_\_\_\_ )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2021, by Ibrahim Akil, Manager, Richland Refrigerated Solutions, LLC.

\_\_\_\_\_  
Notary Public

Drafted by:  
City of Ham Lake  
15544 Central Ave. NE  
Ham Lake, MN 55304



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, March 22, 2021 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application submitted by John Anderson of JDA Design Architects Inc., on behalf of Richland Refrigerated Solutions, LLC, for a Conditional Use Permit to operate Richland Refrigerated Solutions, LLC (a full-service trucking terminal business) at 1305 159<sup>th</sup> Avenue NE, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

### LEGAL DESCRIPTION:

PIN#'s 17-32-23-31-0008, 17-32-23-31-0009 and 17-32-23-31-0010

LOTS 4, 5 and 6, BLOCK 1 HAM LAKE INDUSTRIAL PARK 4<sup>TH</sup> ADD

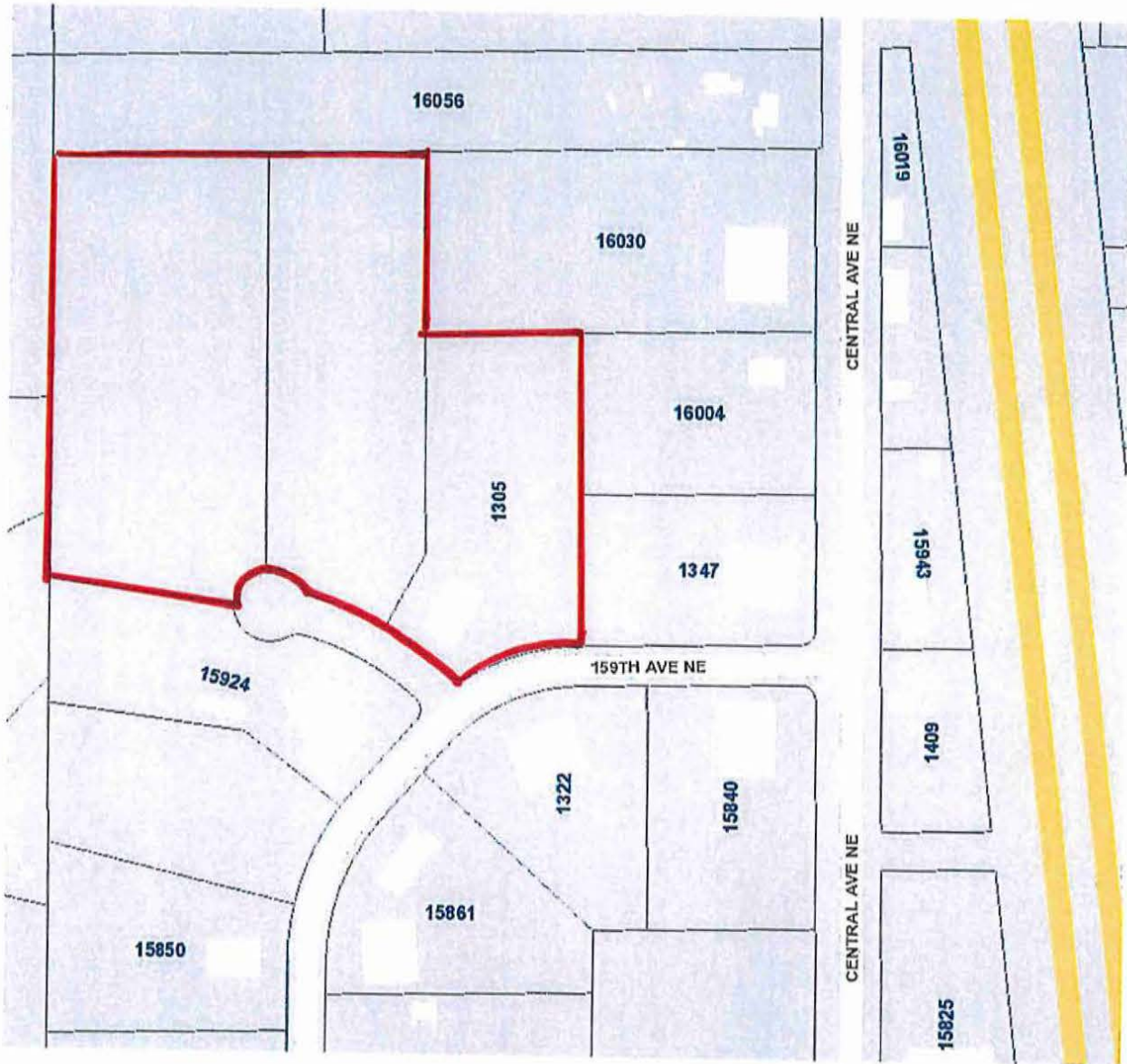
SUBJ TO EASE OF REC

At such hearing both written and oral comments will be heard.

DATED: March 12, 2021

Jennifer Bohr  
Zoning and Building Clerk  
City of Ham Lake

-PLEASE SEE REVERSE SIDE FOR SITE MAP-



1305 159<sup>th</sup> Avenue NE (Lots 4, 5 & 6, Block 1 Ham Lake Industrial Park 4<sup>th</sup> Addition



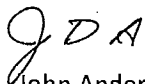


**Richland Refrigerated Solutions LLC: New site located at 1305 159<sup>th</sup> Ave NE, Ham Lake, MN 55304**

RRS has a signed purchase agreement with the current landowner and is completing the final steps to move to the site in late March or early April of 2021 pending approval of CUP with the City of Ham Lake. Below is a current summary:

1. RRS currently operates a **full-service trucking terminal business in Fridley Mn**, providing delivery of refrigerated product cross county. On a usual business day, approximately 15 to 20 trucks would arrive, load and depart typically between hours of 7 am and 6 pm Monday through Friday. RRS ships refrigerated goods (95% food items). RRS been operating for more than 8 years.
2. **Truck Parking** services will be offered for no more than **18** truck cabs and trailers per site plan. This includes temporary outside storage of client merchandise, RRS owned truck cabs and truck cab and truck/trailer leased parking for independent owner operators.
3. **Truck and Trailer Repair and Maintenance** services will be provided by up to 4 mechanics to maintain the existing fleet and to also provide repair services to the general public.
4. **Office Staff:** The existing office includes workspace for 6 people. In addition, RRS will hire a local driver for drop off and pick of trailers to the Transit Hub. The staffing plan for 2021 includes an onsite owner-manager plus 10 people. In 2021, RRS is expecting to hire 2 to 4 new positions and is an equal opportunity employer.
5. **Community:** RRG intends to become a member of the Ham Lake Area Chamber of Commerce and be engaged in the surrounding community once settled.
6. **Existing Facility:** There are no plans to remodel the existing 6,000 sq. ft concrete building currently on the site, nor are there any plans to disturb any existing soils through grading, paving or filling.

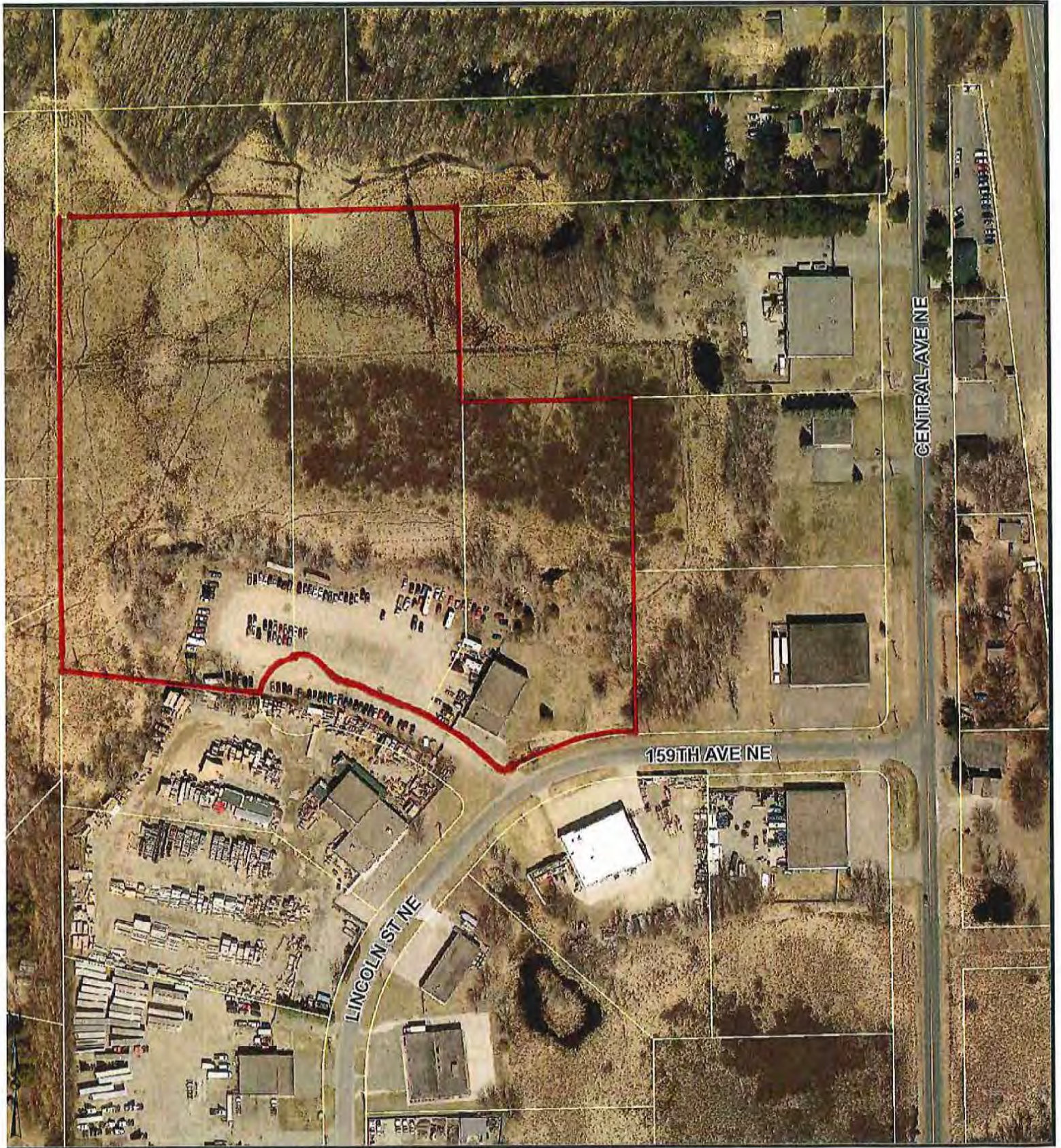
Please feel free to send additional questions to:



John Anderson, R.A NCARB  
JDA Design Architects Inc  
Email: [John@jdadesign.com](mailto:John@jdadesign.com)  
612 817 0050



# Anoka County Parcel Viewer



**Parcel Information:**

17-32-23-31-0008  
1305 159TH AVE NE  
HAM LAKE  
MN 55304

Plat: HAM LAKE INDUSTRIAL PARK FOURTH ADDITION

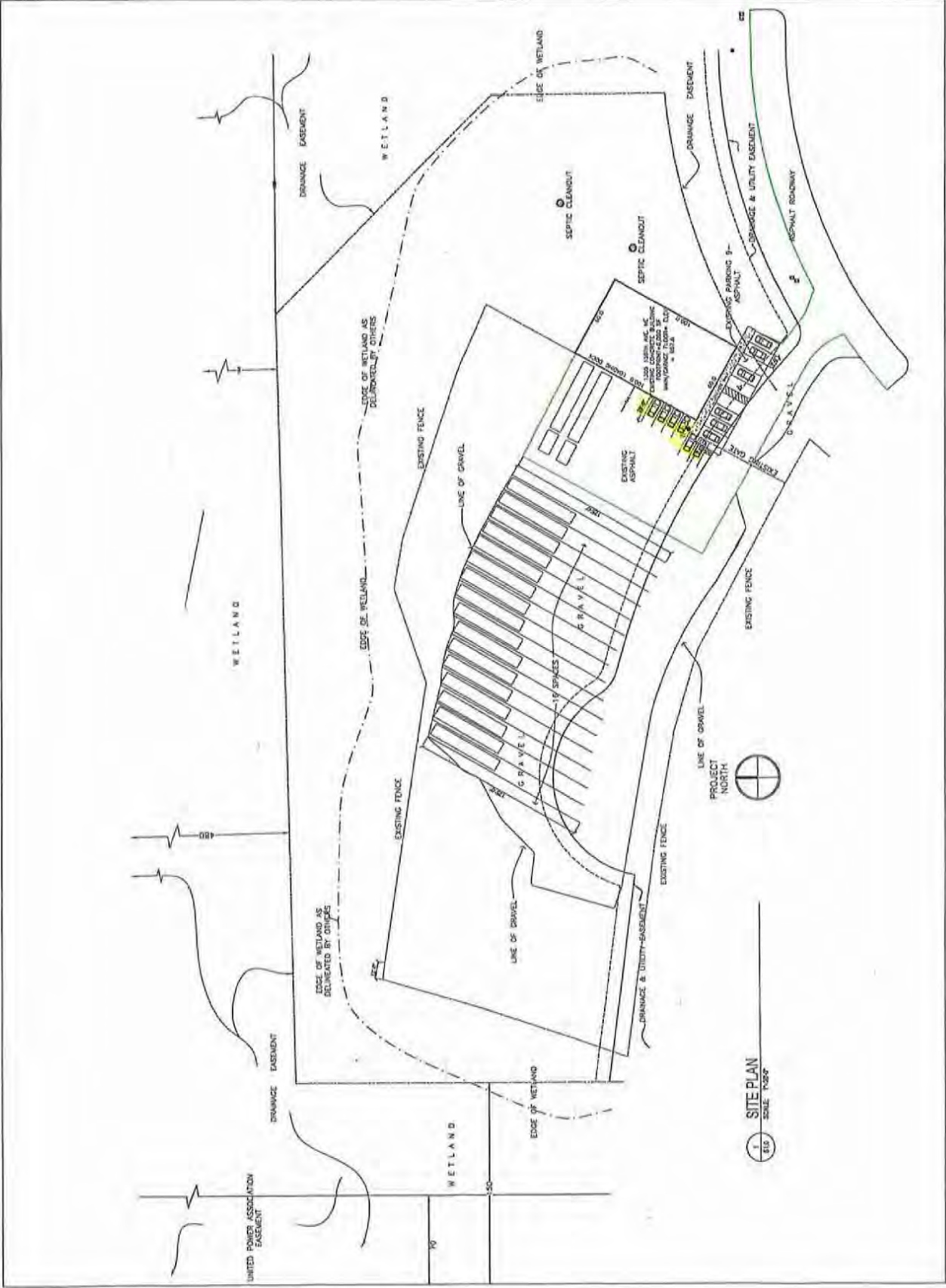
Approx. Acres: 3.32

Commissioner: JULIE BRAASTAD

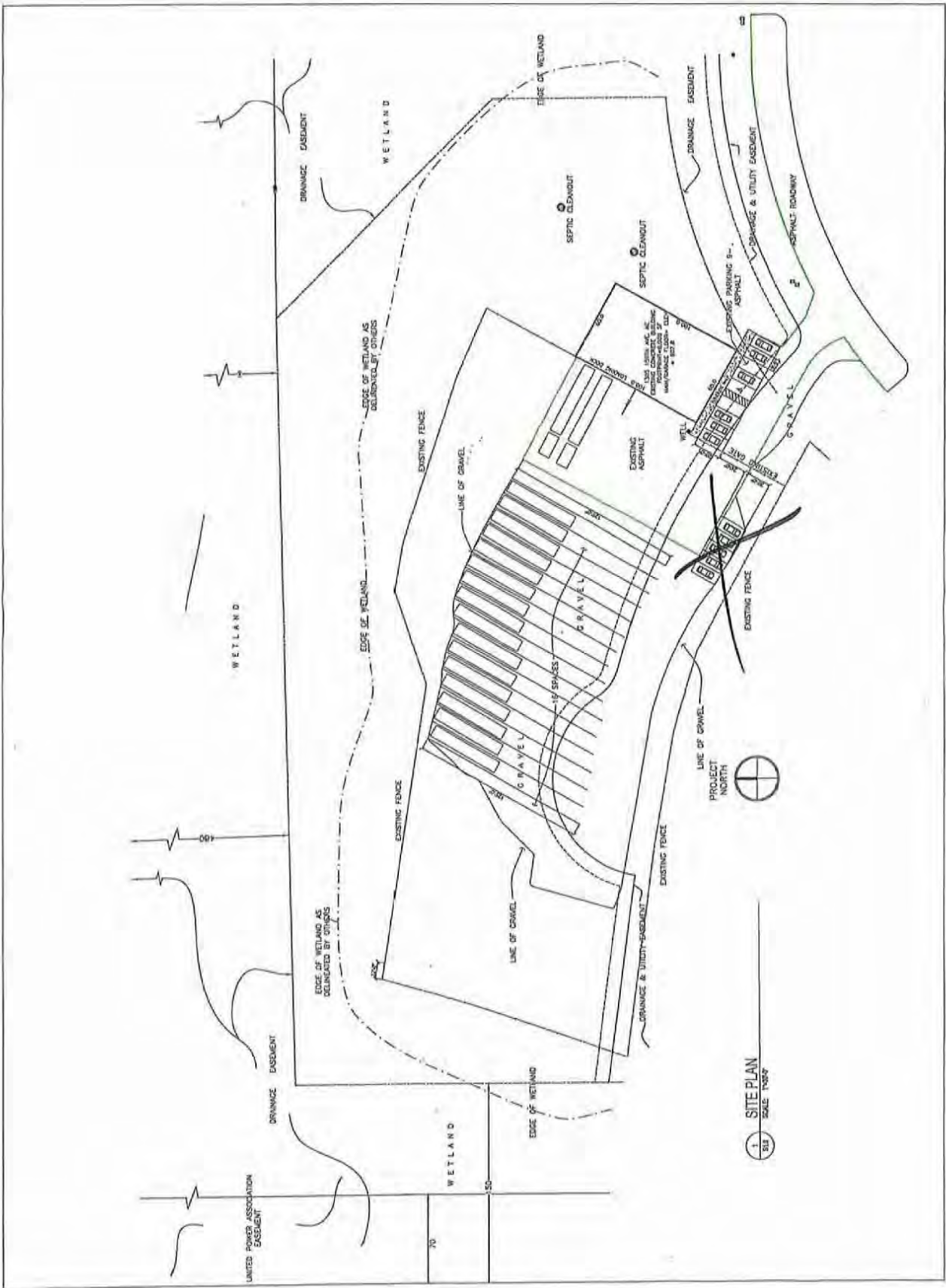
**Owner Information:**

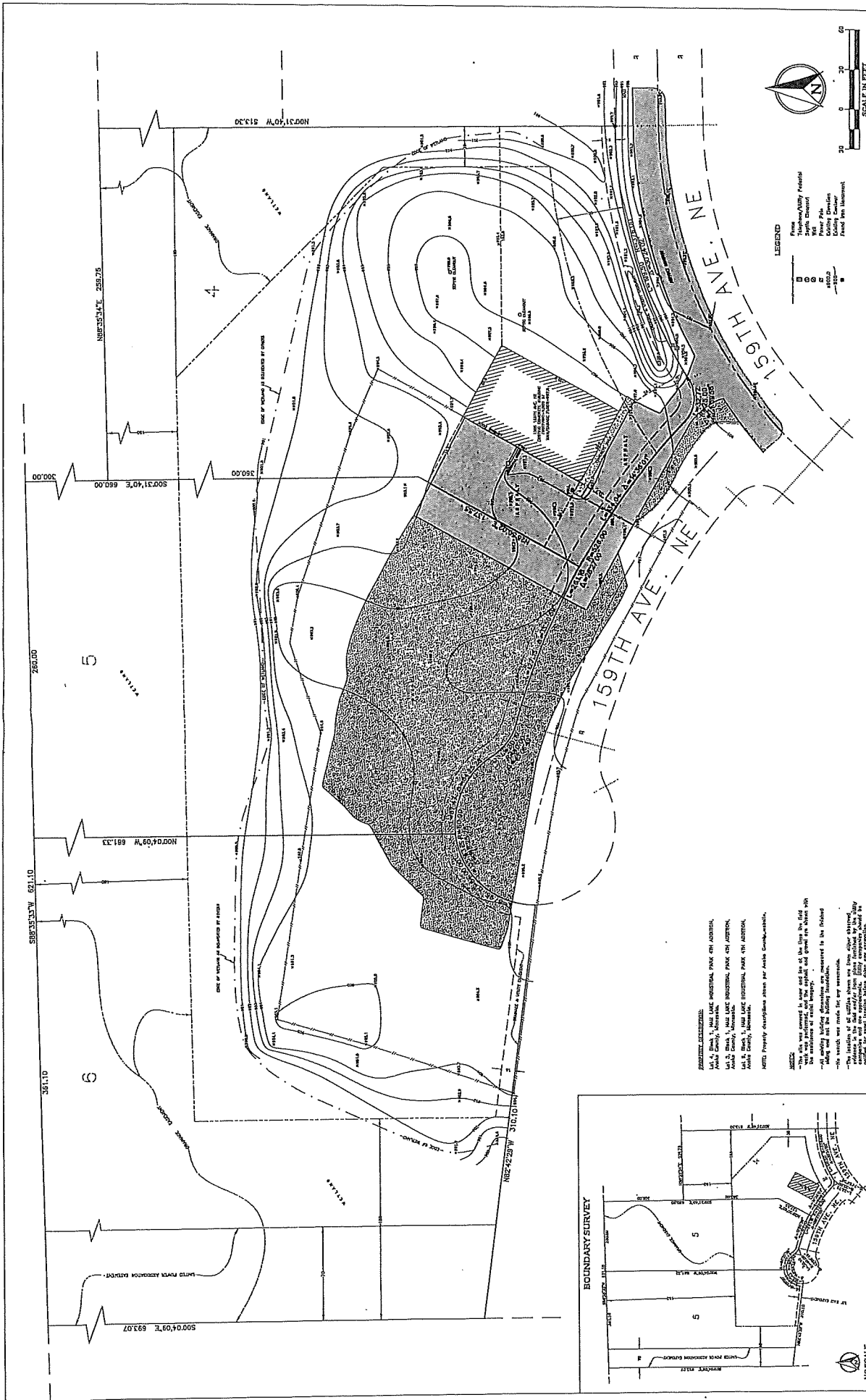
MONTAGE SOLUTIONS LLC  
14525 DRAKE ST NW  
ANDOVER  
MN  
55304



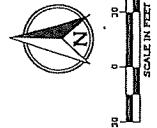


#3-23-2021 Site Plan Revision





**EXISTING CONDITION SURVEY FOR:  
JDA DESIGN**



LEGEND

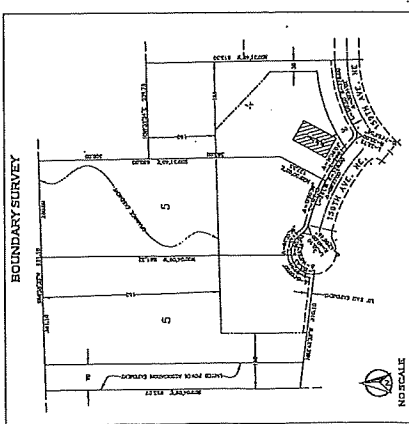
○	Property Boundary
○	Water Feature
○	Spot Elevation
○	Contour Interval
○	Utility Easement
○	Other Features

W. BROWN LAND SURVEYING, INC.  
15900 NE 159TH AVE., SUITE 100  
WILSONVILLE, OR 97148  
PH: 503.261.4400  
FAX: 503.261.4401  
WWW.WBLSURV.COM

**PROPOSED DEVELOPMENT:**  
Lot 4, Block 1, Lake Lure Industrial Park 4th Addition,  
Lake Lure, Multnomah County, Oregon.  
Lot 5, Block 1, Lake Lure Industrial Park 4th Addition,  
Lake Lure, Multnomah County, Oregon.  
Lot 6, Block 1, Lake Lure Industrial Park 4th Addition,  
Lake Lure, Multnomah County, Oregon.

**NOTES:** Property boundaries shown per title Commitments.

**ADDITIONAL NOTES:**  
-This survey was prepared by WBL and is based on the field notes of WBL.  
-This survey was prepared and the approval and ground was shown with  
the intention of establishing boundaries.  
-This survey was prepared and the approval and ground was shown with  
the intention of establishing boundaries.  
-This survey was prepared and the approval and ground was shown with  
the intention of establishing boundaries.



**BOUNDARY SURVEY:**  
DATE: 08/27/2013  
BY: [Name]  
CHECKED BY: [Name]

DATE:	08/27/2013
BY:	[Name]
CHECKED BY:	[Name]
TITLE:	EXISTING CONDITION SURVEY FOR JDA DESIGN
PROJECT:	LAKE LURE INDUSTRIAL PARK 4TH ADDITION
CLIENT:	JDA DESIGN
LOCATION:	LAKE LURE, MULTNOMAH COUNTY, OREGON
SCALE:	AS SHOWN

1 OF 1

CONSULTANT:

Richland Refrigerated  
 Solutions LLC

1305 159th Avenue NE  
 Farm Lake, MN Minnesota

CERTIFICATION:  
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a C

under the laws of the State of Minnesota.

signature date

name registration number

REVISION HISTORY:  
 description date

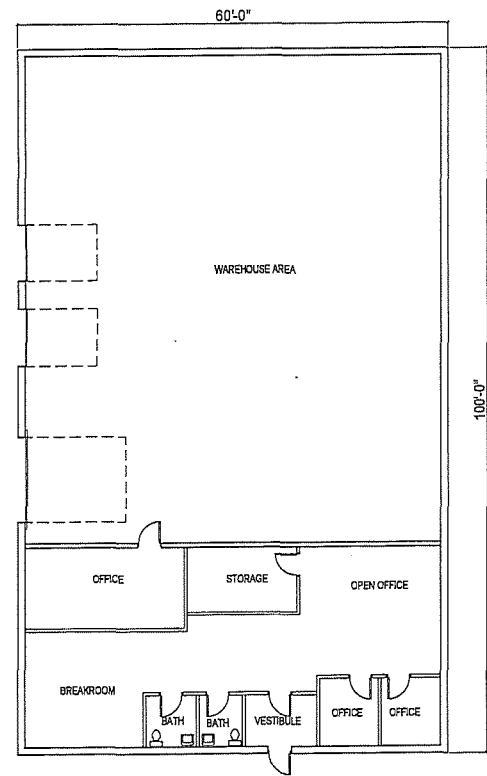
ISSUED FOR:  
 Conditional Use Permit

ISSUE DATE:  
 March 8 2021  
 DRAWN BY: CHECKED BY:

SHEET TITLE:  
 EXISTING  
 FLOOR PLAN

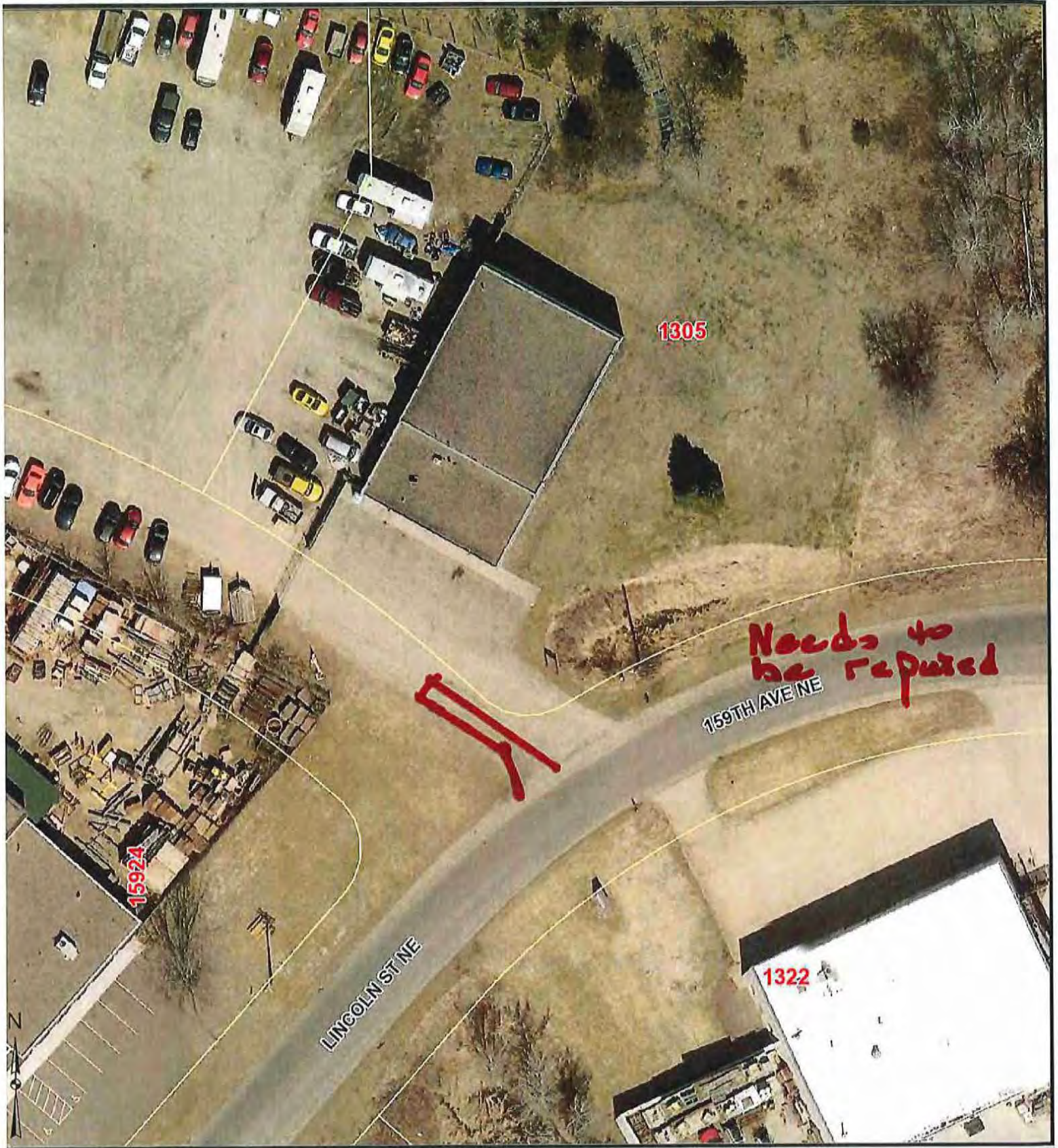
SHEET NUMBER:

A1.0



EXISTING FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

# Anoka County Parcel Viewer



**Parcel Information:**

25-32-23-13-0006  
4701 145TH AVE NE  
HAM LAKE  
MN 55304  
Plat: HIDDEN FOREST EAST SECOND ADDITION

Approx. Acres: 3.63102986  
Commissioner: JULIE BRAASTAD

**Owner Information:**





## Jennifer Bohr

---

**From:** Joseph Murphy <joseph.murphy@carsoncs.net>  
**Sent:** Thursday, December 10, 2020 8:08 AM  
**To:** Jennifer Bohr  
**Cc:** Denise Webster; Dawnette Shimek; Mark Jones  
**Subject:** RE: An opinion on permitted & conditional uses in I-P zoning

Hi Jennifer,

In my opinion, the proposed truck and trailer repair and maintenance activity would still fit reasonably within the fairly broad "trucking company" definition. So long as it is specifically limited to truck and trailer equipment repair and does not evolve into a full blown auto repair business, I do not see a problem, as this division would have the same outwardly visible activity of trucks arriving and departing. Moreover, unlike the category of equipment repair or service company, this would be a conditional use instead of a permitted use. Therefore, the planning commission and city council can attach specific conditions to this part of the business that they deem appropriate to address any potential concerns.

Thanks,

Joseph Murphy  
Carson, Clelland & Schreder  
6300 Shingle Creek Parkway, Suite 305  
Minneapolis, MN 55430  
(763)-561-2800

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**From:** Jennifer Bohr [mailto:[JBohr@ci.ham-lake.mn.us](mailto:JBohr@ci.ham-lake.mn.us)]  
**Sent:** Wednesday, December 09, 2020 8:49 AM  
**To:** Joseph Murphy <joseph.murphy@carsoncs.net>  
**Cc:** Denise Webster <[DWebster@ci.ham-lake.mn.us](mailto:DWebster@ci.ham-lake.mn.us)>; Dawnette Shimek <[DShimek@ci.ham-lake.mn.us](mailto:DShimek@ci.ham-lake.mn.us)>; Mark Jones <[MJones@ci.ham-lake.mn.us](mailto:MJones@ci.ham-lake.mn.us)>  
**Subject:** RE: An opinion on permitted & conditional uses in I-P zoning

Good Morning!

Thank you for providing your opinion on this request.

I have a question about the equipment repair part of the business. The narrative states the company's mechanics would maintain the company's existing fleet but would also provide repair services to the public.

**3. Truck and Trailer Repair and Maintenance** services will be provided by up to 5 mechanics to maintain the existing fleet and also provide repair services to the general public.

Does having a separate business division, that offers repair and maintenance services to the general public, still fit the intent of the code as written for equipment repair or service for a trucking company?

Jennifer

## License Agreement

**Agreement**, made this \_\_\_\_ day of \_\_\_\_\_, 2021 between the City of Ham Lake, a Political Subdivision under the laws of the State of Minnesota (“City”) and Richland Refrigerated Solutions, LLC (“Owner”).

### Recitals

Owner is the current owner of the Benefitted Parcel located at 1305 159th Ave, Ham Lake, Minnesota (PID 17-32-23-31-0008 - Lot 4, Block 1, Ham Lake Industrial Park Fourth Addition, Anoka County, Minnesota). City is the owner of a drainage and utility easement across said Benefitted Parcel.

**It is therefore agreed as follows:**

### Grant of License

The City of Ham Lake, does hereby grant unto Owner and successors in title, a license to construct and maintain a paved parking lot that crosses within the City’s drainage and utility easement.

This grant of license is subject to the following conditions:

1. No usage of said drainage and utility easement shall be permitted which interferes with any drainage pattern, traffic pattern or other needed public usage;
2. If, in the future, the City, in its sole discretion, deems it necessary to utilize the licensed area for any lawful public purpose for which the land was dedicated, City may require that the licensees remove any object or structure, and may terminate any or all of this License at any time. Further, if licensees fail to remove any object or structure as directed, City retains the right to remove any such object or structure, and licensee accepts the risk of any loss.
3. The Benefitted Parcel to which this license applies is: **Lot 4, Block 1, Ham Lake Industrial Park Fourth Addition, Anoka County, Minnesota**, which may be used for the construction and maintenance of a paved parking lot that crosses within the City’s drainage and utility easement.

**Executed this \_\_\_\_ day of \_\_\_\_\_, 2021.**

*The following page contains signatures and acknowledgements.*

**City of Ham Lake**

**Owner: Richland Refrigerated Solutions, LLC**

\_\_\_\_\_  
Michael G. Van Kirk, Mayor

\_\_\_\_\_  
Ibrahim Akil, Manager

\_\_\_\_\_  
Denise Webster, City Clerk

State of Minnesota    )  
                                  ) ss Acknowledgment  
County of Anoka        )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2021, by Michael G. Van Kirk and Denise Webster, the Mayor and City Clerk, respectively, of the City of Ham Lake, a Political Subdivision, on behalf of the City.

\_\_\_\_\_  
Notary Public

State of Minnesota    )  
                                  ) ss Acknowledgment  
County of \_\_\_\_\_ )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2021, by Ibrahim Akil, Manager, Richland Refrigerated Solutions, LLC.

\_\_\_\_\_  
Notary Public

Drafted by:  
City of Ham Lake  
15544 Central Ave. NE  
Ham Lake, MN 55304

## Jennifer Bohr

---

**From:** Tom Collins <TCollins@rfcengineering.com>  
**Sent:** Monday, March 22, 2021 2:06 PM  
**To:** Jennifer Bohr; Mark Jones  
**Subject:** RE: 03/22/21 Planning Commission Meeting

**Caution:** This email originated outside our organization; please use caution.

Per the CCWD they did not need to review because there was no paving. We are requiring paving per the memo, so the approval at tonight's meeting should be contingent on them submitting to the CCWD to determine whether a permit is required..

---

**From:** Jennifer Bohr <JBohr@ci.ham-lake.mn.us>  
**Sent:** Thursday, March 18, 2021 2:17 PM  
**To:** 'Brian Pogalz' <mnhockeyguy@gmail.com>; 'Erin Dixon' <dixsonerin@gmail.com>; 'Dave Ringler (drkr98@comcast.net)' <drkr98@comcast.net>; 'Kyle Lejonvarn (klejonvarn@yahoo.com)' <klejonvarn@yahoo.com>; 'Scott Heaton' <ScottMatthewHeaton@gmail.com>; 'Jonathan Fisher' <JonathanFisher@comcast.net>; 'Jeff Entsminger' <jeff@allseasonservices.com>; Tom Collins <TCollins@rfcengineering.com>  
**Cc:** Denise Webster <DWebster@ci.ham-lake.mn.us>; Dawnette Shimek <DShimek@ci.ham-lake.mn.us>; 'joseph.murphy@carsoncs.net' <joseph.murphy@carsoncs.net>; 'Michele Sylvester' <michele@northmetrotv.com>; Nicole Wheeler <NWheeler@ci.ham-lake.mn.us>; Susan Knouse <SKnouse@ci.ham-lake.mn.us>; 'harnson@northmetrotv.com' <harnson@northmetrotv.com>; 'Eric Houston' <eric@northmetrotv.com>; 'mr.pwillson@comcast.net' <mr.pwillson@comcast.net>; 'news@northmetrotv.com' <news@northmetrotv.com>; Mark Jones <MJones@ci.ham-lake.mn.us>  
**Subject:** RE: 03/22/21 Planning Commission Meeting

Good Afternoon!

Attached is the packet for Monday night's meeting. The zipped file is 11 MB; unzipped just over 13 MB. Please let me know if you don't receive it or have trouble opening it.

Brian and Kyle, the inspections have been assigned to you.

Please let me know if you are not able to attend.

Jennifer

### **Jennifer Bohr**

*Zoning & Building Clerk/Deputy City Clerk*

City of Ham Lake

763-434-9555

[www.ci.ham-lake.mn.us](http://www.ci.ham-lake.mn.us)



John D Anderson &lt;jdadesignarch@gmail.com&gt;

---

**1305 159th Ave NE, Ham Lake permitting requirements**

1 message

**Abbey Lee** <alee@cooncreekwd.org>

Thu, Mar 4, 2021 at 1:37 PM

To: "john@jdadesign.com" &lt;john@jdadesign.com&gt;

Hi John,

As discussed during our phone conversation on 3/2/21, if the owner/your client chooses to leave the parking area at the Richland Refrigeration Solutions site at 1305 159<sup>th</sup> Ave NE as is, no Coon Creek Watershed District permit is required. This means that no earth disturbing activities such as grading, paving, filling, etc. will be occurring on site. If in the future, the plan to leave as is changes, a permit would be required for the earth disturbing activity.

Please let me know if you have any questions.

Thanks,

**Abbey Lee** | Regulatory Affairs Assistant

Coon Creek Watershed District

13632 Van Buren St NE  
Ham Lake, MN 55304

O: 763.755.0975

C: 763.258.7928

**9-220.6 Industrial Park (I-P)** This zoning category shall apply to mercantile parcels which are intended for manufacturing, warehousing, machining, tooling, fabricating, assembly, processing, equipment storage, storage of raw materials or supplies, and the like, as opposed to mercantile parcels used primarily for office or retail activities. Limited office space activity may occur in an Industrial Park, but only as incidental to the main industrial usage of a given parcel.

**a) Physical Requirements**

**i) Building Materials** All building construction shall be of masonry or of products made from concrete or materials related to concrete. Metal framed with architectural panel shall be allowed, but no other metal buildings shall be allowed in any I-P District.

**ii) Screening** Any I-P area developed after the effective date of this ordinance which is adjacent to land which is now or which is intended to become a residential land use shall be completely fenced by attractive, opaque fencing of sufficient height to completely screen all future activities within I-P area. Opaque fencing shall be deemed to mean only solid wood or solid metal components. Fence height shall be as determined upon site plan review by the *Planning Commission*, which may also require different screening material, including earthen berming.

**iii) Paving** All drives, parking lots or sidewalks which will be utilized by the general public or by employees of the business shall be paved in accord with standards established by the City's engineer. Equipment storage areas may be surfaced with Class V or other material if the area so surfaced is not to be open to the general public.

**iv) Landscaping** Article 11-1800 of this code shall apply to landscaping in I-P areas.

**b) Usage Limitations** All uses in the I-P areas shall be subject to the same review procedures as are found in Article 9-220 for Mercantile Areas. The following specific usage limitations shall apply to the I-P areas:

**i) Outside Storage** All outside storage shall be fenced for security purposes. Trash containers or accumulations of waste or debris of any kind shall be completely screened from view from outside the lot. All waste and debris shall be properly and promptly disposed of, storage of such material being allowed only for the time interval reasonably necessary to arrange for regular disposal service. During hours in which the business activity within the main building is not being conducted, all storage areas shall be gated and locked. Machinery and vehicles stored on the premises shall be secured so as not to be readily operable or moveable during non-business hours. No unregistered motor vehicles or inoperable vehicle or machinery shall remain on the premises.

**ii) Semi-Trailers, Large Trucks and Truck-Tractors** Semi-trailers may be stored within the fenced area of an I-P lot, provided that each semi-trailer shall be fully licensed and road-worthy. The use of dilapidated, inoperable or otherwise non-functioning semi-trailers for warehousing or other purposes shall be prohibited. Large trucks and truck-tractors may likewise be stored within the fenced area, but shall likewise be fully and currently licensed and operable. Each semi-trailer shall have a parking stall with minimum dimensions of 12 feet by 125 feet.

**iii) Noise** Noise generated from lots in the I-P areas that are audible in *Residential Land Uses* shall not exceed standards as established by the Minnesota Pollution Control Agency.

**iv) Lighting** No light or combination of lights that cast light upon a *Residential Land Use* shall exceed 4 foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

**v) Fumes and Odor** Fumes and odors generated from lots in the I-P districts shall not exceed published standards as established by the United States Environmental Protection Agency, herein adopted by reference.

**(c) Permitted Uses**

- Assembly Businesses
- Cabinetry Assembly/Manufacturing Shops
- Construction Companies
- Electrical Companies
- Equipment Rental Businesses (large industrial equipment)
- Equipment Repair or Service Businesses
- Fabricating Companies
- Government Storage/Repair Centers
- Machine Shops
- Manufacturing Plants (Excepting Bituminous or Concrete)
- Motor Vehicle Sales - limited to the following:
  - ATV's (all-terrain vehicles)
  - Automobiles
  - Boats
  - Campers
  - Golf Carts
  - Motorcycles, Motorbikes and Scooters
  - Recreational Vehicles
  - Snowmobiles
  - Commercial Trucks
  - Pickup Trucks
  - Trailers less than 30 feet in length

- Plumbing and HVAC Companies
- Public Utilities (metal or pole type construction allowed)
- Textile Companies
- Tooling Companies
- Utility Companies
- Warehouses

**(d) Conditional Uses**

- Bituminous or Ready-Mix Concrete Plants
- Chemical/Paint Companies
- Uses which are normally permitted but which involve some retail sales
- Heavy Equipment Sales
- Trucking Companies
- Transfer Stations for Demolition Debris under the following conditions:
  - 1) The Transfer Station is fully licensed/permitted by appropriate county, state and federal agencies having jurisdiction over its activities;
  - 2) The term "Demolition Debris" refers only to concrete, stone, asphalt, wood, plastic, metal or composites. No shingles, putrescible items or hazardous materials shall be intentionally processed at the Transfer Station. Any putrescible items or hazardous materials found to be on the premise shall be handled and disposed of properly and legally.
  - 3) The location of the actual site within the I-P area is in a sufficiently remote and screened portion of the area so as to eliminate disturbance of nearby existing or possible future residential neighborhoods through noise, light, vibration, odor, fumes, unsightliness or dust.
  - 4) The activities at the Transfer Station shall be limited to the reception of Demolition Debris on roll-off containers or dump trucks, all contents of which are to be placed on the floor of a completely enclosed building, where the materials will be sorted and re-shipped to recyclers or landfills, in a manner consistent with all applicable regulations and codes. No outside storage of demolition debris will be permitted.



## **11-1800 LANDSCAPING IN COMMERCIAL ZONED AREAS**

In all areas of the City zoned CD-1, CD-2, CD-3 or CD-4, the following conditions shall apply to landscaping and ground cover.

**11-1810 Landscape Plan Required** No building permit shall be issued for construction on a vacant lot, nor for any addition to an existing building involving the addition of 500 square feet or more of additional building space, unless the applicant shall have first submitted and obtained approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

**11-1820 Installation Required** No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

**11-1830 Time for Submission** The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

### **11-1840 Contents and Specifications**

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

- A. Perimeter of all buildings, signs or other structures;
- B. Parking lots and walkways, identifying pavement material;
- C. Areas of decorative rock, identifying type of rock;
- D. Areas of lawn;
- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

## **11-1850 MINIMUM LANDSCAPING REQUIREMENTS**

**11-1851 Paved Surfaces** All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

**11-1852 Ground Cover** On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

**11-1853 Tree Plantings** Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A.** Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B.** Decorative trees shall be planted along the right of way lines of adjacent public roadways;
- B.** The use of conifers shall be encouraged and preferred.
- C.** Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.



**RECEIVED**  
 MAY 21 2020  
 BY: ..... am .....

**CITY OF HAM LAKE**

**PLANNING  
 REQUEST**

**15544 Central Avenue NE  
 Ham Lake, MN 55304**

**Phone (763) 434-9555 Fax (763) 235-1697**

Date of Application 5/21/20

Date of Receipt 7-2-2020  
 Receipt # 87820

Meeting Appearance Dates:  
 Planning Commission 3/22/21

City Council \_\_\_\_\_

**Please check request(s):**

- |   |   |
|---|---|
| <input type="checkbox"/> Metes & Bounds Conveyance  | <input checked="" type="checkbox"/> Commercial Building Permit      |
| <input type="checkbox"/> Sketch Plan                | <input type="checkbox"/> Certificate of Occupancy                   |
| <input type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit                     |
| <input type="checkbox"/> Final Plat Approval        | <input type="checkbox"/> Conditional Use Permit (New)*              |
| <input type="checkbox"/> Rezoning*                  | <input type="checkbox"/> Conditional Use Permit (Renewal)           |
| <input type="checkbox"/> Multiple Dog License*      | <input type="checkbox"/> Other <u>Site Plan For 11,900 SF Bldg.</u> |

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Braastad Commercial Bldg.

Address/Location of property: Aberdeen & 143rd Ave. N.E.

Legal Description of property: Marshall Manor Ham Lake Twp Marshall Outlot 1

PIN # 29-32-23-42-0039 Current Zoning CD-1 Proposed Zoning \_\_\_\_\_

Notes: \_\_\_\_\_

Applicant's Name: EADY BRAASTAD

Business Name: \_\_\_\_\_

Address 21490 UNIV. AVE.

City Cedar State MN Zip Code 55011

Phone 763439-6011 Cell Phone \_\_\_\_\_ Fax \_\_\_\_\_

Email address braastadland@hotmail.com

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

SIGNATURE Mary Braastad DATE 5/21/20

\*\*\*\*\*

**- FOR STAFF USE ONLY -**

ACTION BY: Planning Commission \_\_\_\_\_  
 City Council \_\_\_\_\_

PROPERTY TAXES CURRENT **YES** NO

## Memorandum

Date: March 4, 2021  
To: Planning Commissioners  
From: Tom Collins, City Engineer *TPC*  
Subject: Braastad Landscaping

---

**Introduction:**

The proposed 11,622 square foot building footprint is located on the 1.86-acre Outlot 1 of the 1963 plat of Marshall Manor (parcel ID 29-32-23-42-0039). The zoning is Commercial Development Tier 1 (CD-1), per the attached zoning map.

**Discussion:**

The Title Sheet, Legend & Existing Conditions Plan, Civil Site Plan, Grading, Drainage & Erosion Control Plan, Utility Plan, Details and Storm Water Pollution Prevention Plan were received February 1<sup>st</sup>. The Landscape Plan was received June 25, 2020. The Plans include improvements within the prior 144<sup>th</sup> Avenue right-of-way, which was approved for vacation at the February 16<sup>th</sup> City Council meeting. The Plans have been revised to address prior review comments.

The proposed building includes three potential individual units within the 11,622 square foot building, with an average size per unit of 3,874 square feet. The attached septic design assumes 700 square feet of office space per unit and 10 warehouse employees per unit. Per the septic design, there is adequate area for a primary and secondary septic areas within the 7,100 square foot septic area identified on the Plans. The septic design will be part of the review by the building department during the building permit review. The building department will need to track septic usage for each unit to assure that the septic system has capacity for ultimate development.

There is a 37-foot wide Great River Energy (aka Rural Cooperative Power Association) easement over the westerly portion of the parcel, as shown on the half-section map. Great River Energy has approved the proposed encroachments within their easement per the attached February 2<sup>nd</sup> email, conditioned on all grading being 25-feet away from the two overhead electric poles. The Plans comply with this condition.

The Plans were conditionally approved by the Coon Creek Watershed District (CCWD) at their July 27, 2020 Board of Managers meeting. The only remaining item to obtain a CCWD Permit is to execute an Operations and Maintenance Agreement between the building owner and the CCWD for maintenance of stormwater treatment facilities, per the attached February 18, 2021 Notice of Permit Application Status.

**Recommendation:**

It is recommended that the Braastad Landscaping Plans be recommended for approval. Approval is contingent on a CCWD Permit being obtained prior to commencement of construction.

City of Ham Lake  
15544 Central Ave. NE  
Ham Lake, MN 55304

To Whom it May Concern,

I am trying to get approval for a building up to 11,900 SF for a CD1 type business on this property.

I will be relocating ditch and adding pipe to bury.

I am hoping to sell property as a pad site ready to build or put up a building that meets all requirements for CD1 land.

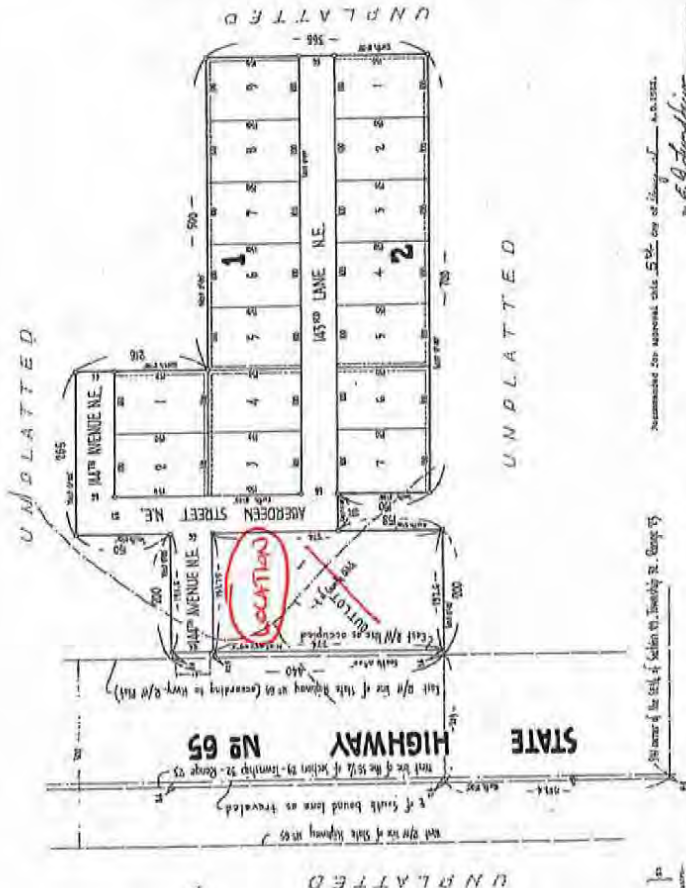
Thanks ,

Gary Braastad

7-18-1924

# MARSHALL MANOR

— Township of Ham Lake — County of Anoka —



• Details from Measurement  
Margins are omitted  
• Details of Utility and Drainage  
Exaggerated, being 5' on each side of the lot line.

Scale 1" = 100'  
June 1923



Wm. H. S. Jones  
State of Minnesota, County of Anoka  
I hereby certify that the above described plat is a correct representation of the original survey, that all documents are correctly shown on the plat in full and complete in all respects, that the same are in accordance with the laws of the State of Minnesota, and that the same are in accordance with the laws of the State of Minnesota, and that there are no other lands or public highways to be designated on said plat other than as shown thereon.

*Wm. H. S. Jones*  
Surveyor - Anoka County, Minnesota

Plat No. 100 of the 1st of July, 1923, Township of Ham Lake, County of Anoka, Minnesota.

*Wm. H. S. Jones*  
Surveyor - Anoka County, Minnesota

TAXES PAID  
to the  
County of Anoka, Minn.  
for the year 1923

Recommended for approval this 5th day of August, A.D. 1924.

*Wm. H. S. Jones*  
Surveyor - Anoka County, Minnesota

This plat was approved and accepted by the Board of County Commissioners of the County of Anoka, State of Minnesota, on the 5th day of August, A.D. 1924.

*Wm. H. S. Jones*  
Chairman  
County Auditor  
County Engineer

That the same be approved and accepted by the Board of County Commissioners of the County of Anoka, State of Minnesota, on the 5th day of August, A.D. 1924.

*Wm. H. S. Jones*  
Chairman  
County Auditor  
County Engineer

In witness whereof, I have hereunto set my hand and seal at Anoka, Minnesota, this 5th day of August, A.D. 1924.

*Wm. H. S. Jones*  
Surveyor - Anoka County, Minnesota

By Commission Expires  
Surveyor - Anoka County, Minnesota

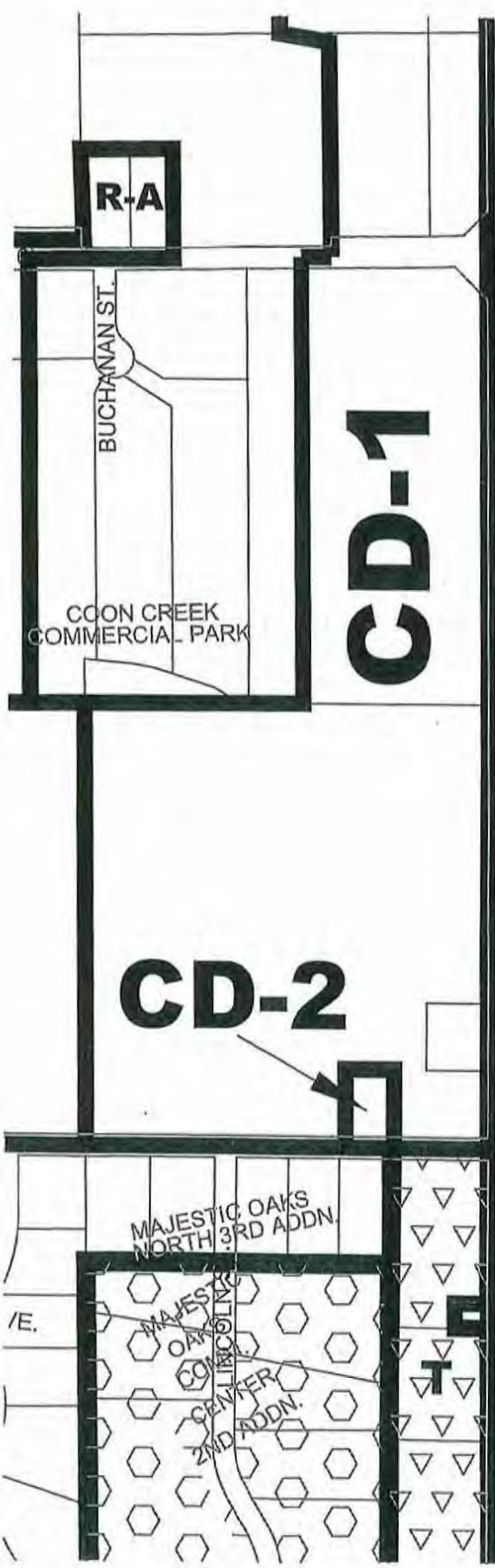
Scale of Minnesota  
County of Anoka

The unrecorded plat of Marshall Manor was approved by the Planning and Zoning Commission and by the Board of the County of Anoka at a regular meeting held this 5th day of August, A.D. 1924.

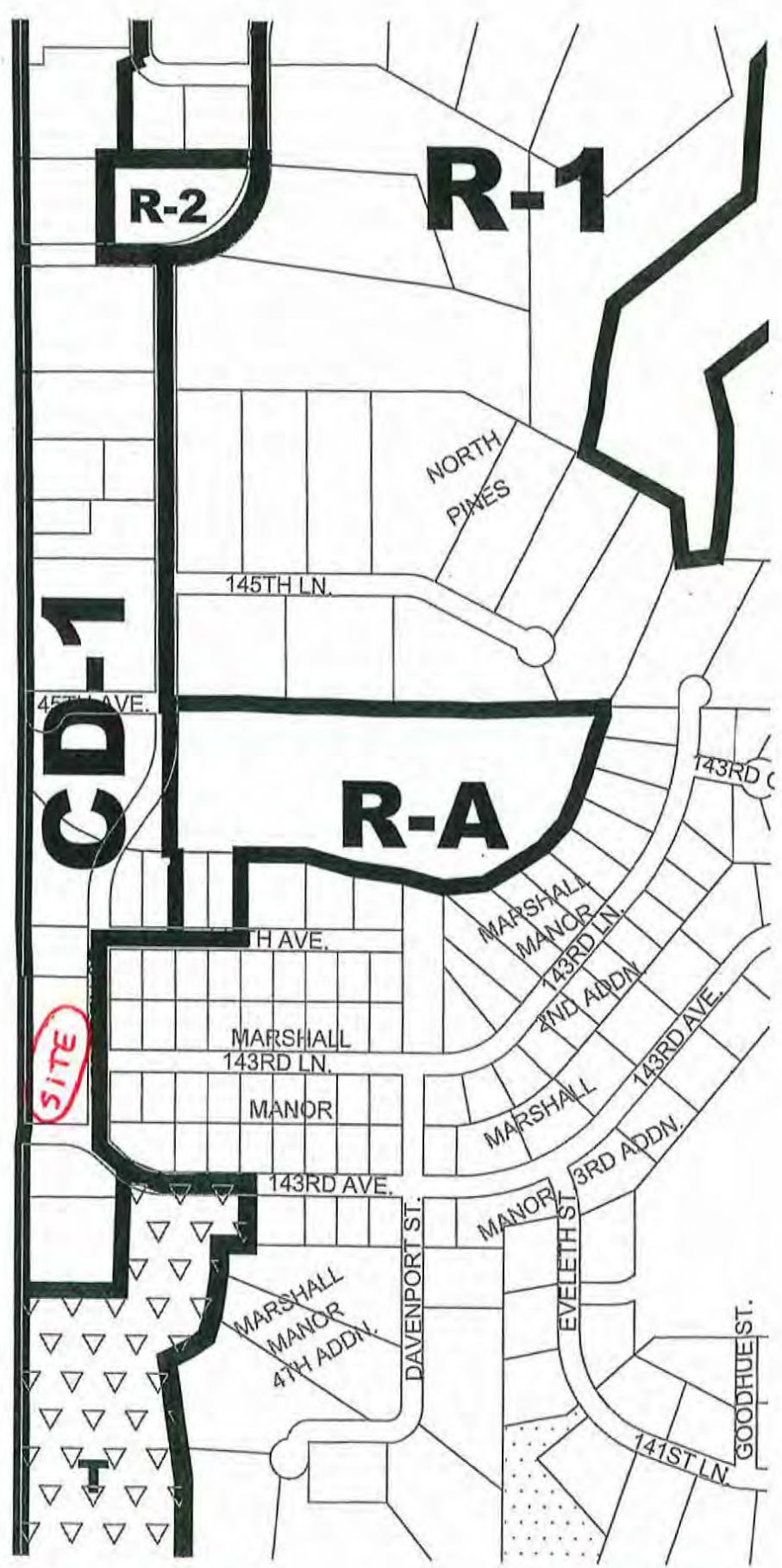
*Wm. H. S. Jones*  
Chairman  
County Auditor  
County Engineer

This plat was approved on the 5th day of August, A.D. 1924.

*Wm. H. S. Jones*  
Surveyor - Anoka County, Minnesota



STATE TRUNK HIGHWAY NO. 65



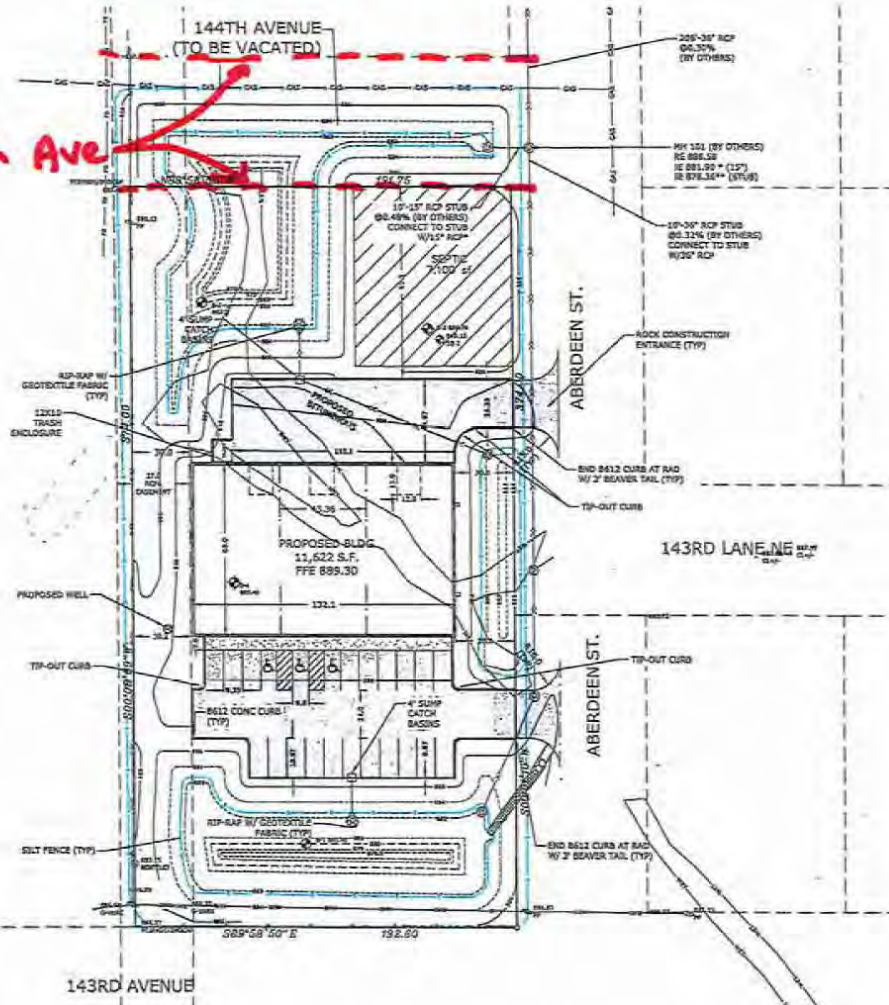
ZONING MAP

1" = 500'

STATE TRUNK HIGHWAY NO. 65

144TH AVENUE  
(TO BE VACATED)

144th Ave



**CURB & BITUMINOUS NOTES**

- REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
- SAFETY CUT EXISTING BITUMINOUS AND CONCRETE CURBS TO PROVIDE SUFFICIENT WIDTH FOR EXISTING STREET TO EXIST ON EITHER SECTION.
- BACKFILLING OF CURBS IS INCIDENTAL TO CURB INSTALLATION.
- FOUR INCHES OF CLASS 3 UNDER CURB IS NECESSARY TO CURB INSTALLATION.
- CURB DIPS SHALL TERMINATE IN A THREE-FOOT BEAVER TAIL.

**LEGAL DESCRIPTION**

OUTLOT I, MARSHALL MANOR, ANOKA COUNTY, MINNESOTA  
 LOCATION: 29-32-23-42-0039  
 ZONING CLASSIFICATION: CO-1 COMMERCIAL DEVELOPMENT TIER 1

**PARKING:**

24 EXTERIOR SURFACE PARKING STALLS PROPOSED  
 (3) OF WHICH ARE ADA ACCESSIBLE

PARKING AREA = 9,523 SF (INC. ENTRANCE)

**NOTES:**

- NO PUBLIC STREETS PROPOSED
- NO PUBLIC OPEN SPACE PROPOSED
- TRASH RECEPTACLE(S) SHALL BE LOCATED INSIDE THE BUILDING

ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

CIVIL SITE PLAN  
 BRAASTAD COMMERCIAL SITE

OWNER BY: M.C.A.	DESIGN BY: C.V.E.P.
CHD ID: M.C.A.	PROJ. NO. 17-000
ORIGINAL DATE: JUNE 2, 2017	
DATE   REVISION DESCRIPTION 01/18   ADDED 8612 CONC CURB TO PROPOSED DRIVEWAY 01/19   PASSED THROUGH CITY DEPARTMENT OF PUBLIC WORKS 02/08   144TH AVE UNDER CURB IS NECESSARY TO CURB INSTALLATION 02/08   ADJUSTED PARKING STALLS TO ACCOMMODATE DRIVEWAY	

This plan was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer in the State of Minnesota.  
 Gary Braastad  
 CIVIL ENGINEER, P.E.  
 DATE: 10.13.2016 10:10 AM

ERASTAD COMMERCIAL  
 SITE  
 1388 LANE, MINNESOTA  
 CIVIL SITE PLAN

PREPARED FOR:  
 GARY BRAASTAD

SITE PLANNING & ENGINEERING  
**PLOWE ENGINEERING, INC.**  
 2555 LAKE DRIVE  
 SUITE 110  
 LONG BEACH, MN 55004  
 PHONE: (952) 892-4010  
 FAX: (952) 892-4011

**NORTH**

1" CH = 20 FEET

**C2**





Soderville Septic Services  
17616 Hwy 65 NE  
Soderville, Mn 55304

Owner: Braastad Commercial Site  
Address: 143XX Aberdeen St., Ham Lake, Mn  
County: Anoka

The proposed building for this site is 88' x 132.1' (11,622 sf). The building is proposed to partition into (3) office / warehouse units (43.3' x 88') using M.P.C.A 7080-7083 we are using 700 sq. ft of office space per unit not to exceed 2100 sq. ft and the warehouse not to exceed 10 employees per unit. The maximum flow for this system must not exceed 900 gallons per day.

Using 900 gpd and the soil sizing factor of 1.2 we will need 725 sq ft of drain field. The boring in the drain field area has redox at 6" & 9". To get 36" of vertical separation a mound is needed, 2.5' to 3' washed sand lift is needed. Using 3:1 slope and 10' x 72.5' rock bed the total basil area is 34' x 96.5'

The proposed septic area is 73.5' x 96.5' (7,100 sq ft) so the primary site 34' x 96.8 and the secondary site 34' x 96.5' will fit in proposed septic area.

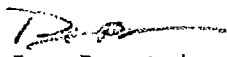
Using M.P.C.A. 7080 estimated design sewage flows from other establishment for offices is 18 gallon per employee or .18 per sq foot and for the warehouse 17.5 gallons per employee per 8 hour shift.

Office space: 700 sq ft per unit, 700 sq ft X 3 = 2100 sq ft, 2100 sq ft X .18 = 375 gpd

Warehouse: 10 employee per unit, 10 employees X 3 units = 30 employees, 30 X 17.5 gpd = 525 gpd

Office 375 gpd and Warehouse 525 gpd = 900 gpd

Sincerely,

 1-28-2021

Dave Braastad

C3388

Soderville Septic Service

**From:** MacMillan, Michelle GRE-MG <[mamacmillan@GREnergy.com](mailto:mamacmillan@GREnergy.com)>  
**Sent:** Tuesday, February 02, 2021 2:12 PM  
**To:** Mohammad Abughazleh <[moe@PLOWE.COM](mailto:moe@PLOWE.COM)>  
**Cc:** Gary Braastad <[braastadland@hotmail.com](mailto:braastadland@hotmail.com)>; Charles Plowe Sr <[chuck@plowe.com](mailto:chuck@plowe.com)>  
**Subject:** FW: PS Line Encroachment - Gary Braastad

**Michelle MacMillan**

Great River Energy  
Land Rights Department  
12300 Elm Creek Boulevard  
Maple Grove, MN 55369-4718

Direct: 763-445-5984  
Main: 763-445-5000  
Fax: 763-445-6784  
Cell: 612-845-1204  
[mamacmillan@GREnergy.com](mailto:mamacmillan@GREnergy.com)

**GREAT RIVER ENERGY**

A Renewable Energy Corporation



 *Please consider the environment before you print this e-mail.*

The review of the PS Line encroachment for Gary Braastad is approved as submitted. This is based on the latest layout being 25' away from our poles.

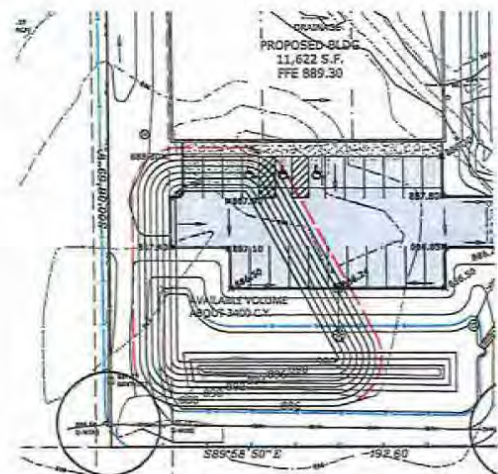
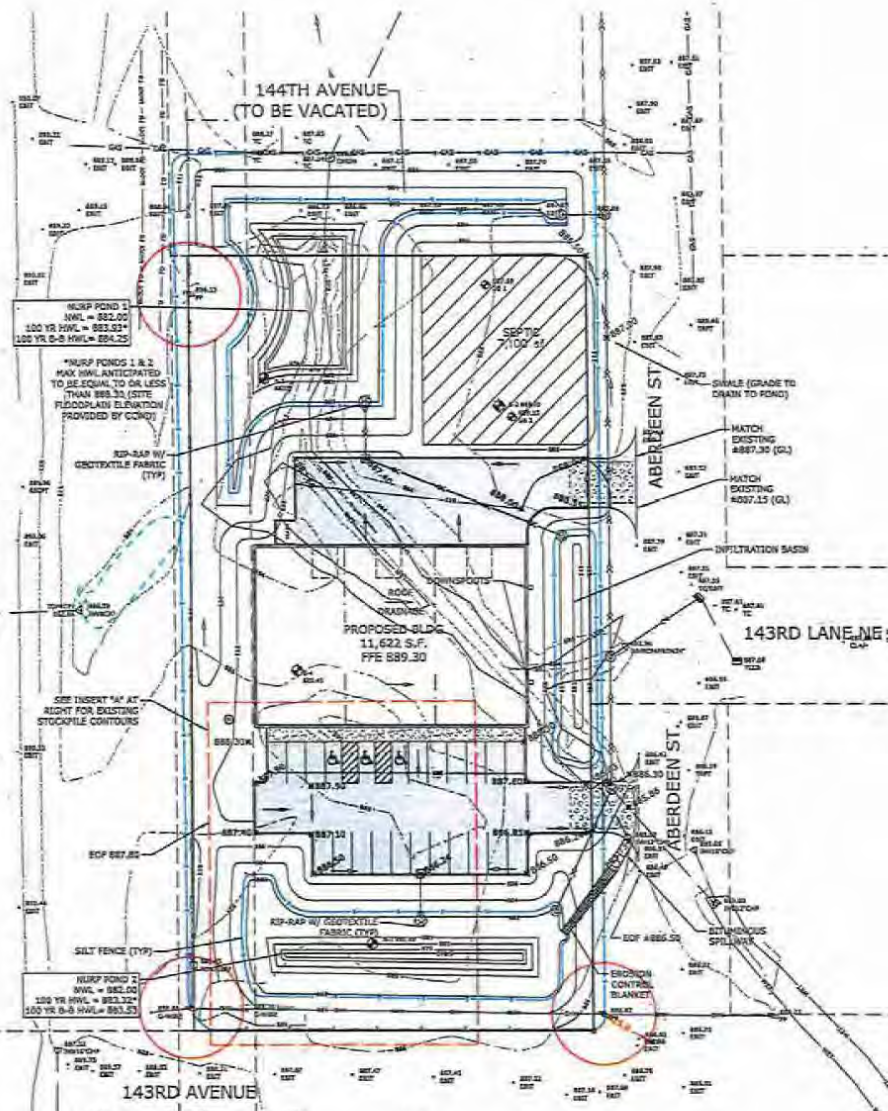
Attached is the Hazard form for a safe working distance for non-qualified workers and the distances to maintain from the poles.

Do you need a formal letter or will this email suffice?

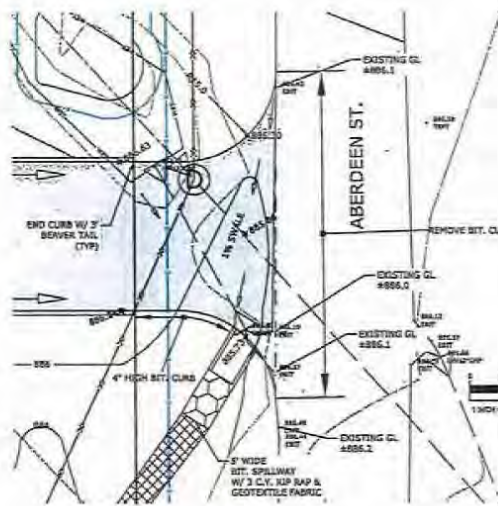
Let me know if you have any questions.

**NOTICE TO RECIPIENT:** The information contained in this message from Great River Energy and any attachments are confidential and intended only for the named recipient(s). If you have received this message in error, you are prohibited from copying, distributing or using the information. Please contact the sender immediately by return email and delete the original message.

STATE TRUNK HIGHWAY NO. 65



INSERT "A"  
EXISTING STOCKPILE



SOUTH ENTRANCE AT ABERDEEN ST.

PROVIDE SILENT SEDIMENT CONTROL FOR ALL STORM SEWER INLETS WITHIN 24 HOURS OF STRUCTURE INSTALLATION. PROVIDE ALSO FOR EXISTING STORM COVER INLETS THAT WILL RECEIVE RUN-OFF DURING SITE CONSTRUCTION. LEAVE IN PLACE UNTIL SITE HAS BEEN STABILIZED. (TYP)

NOTE: NEW LOCATION OF TELE (CONVERTING), ELECTRIC, AND ALL OTHER UTILITIES TO BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.

**GRADING, DRAINAGE & EROSION CONTROL NOTES**

PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL PROVIDE WOODEN SILENT PROTECTION FOR OTHER APPROVED EQUAL FOR ALL STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF FROM CONSTRUCTION ACTIVITIES.

CONTRACTOR TO PROVIDE SLOTTED STOCKPILES AT LOCATION DESIGNATED BY OWNER. PLACE STOCKPILES AS FAR FROM EXISTING INFRASTRUCTURE AS POSSIBLE. PROVIDE SILT FENCE AT DOWNSTREAM SIDE OF STOCKPILE LOCATIONS. IF STOCKPILE IS TO BE IN PLACE LONGER THAN 7 DAYS, PROVIDE SEEDS AND MULCH.

THE CONTRACTOR SHALL PROVIDE ALL SOIL, STEEL, WOOD AND POLYMERIZED WHICH SHALL CONFORM WITH THE FOLLOWING MINIMUM SPECIFICATIONS AS INDICATED BELOW.

ITEM	MINIMUM SPECIFICATION
SOIL	3076
SEED #1	3076
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	PROFIT MIX 20-20 (200 LBS/TON)
RESIDENTIAL TURF	PROFIT MIX 20-20 (200 LBS/TON)
TEMPORARY	
FALL COVER	PROFIT MIX 20-20 (200 LBS/TON)
SPRING COVER	PROFIT MIX 20-20 (200 LBS/TON)
SOIL-RETAINING COVER	PROFIT MIX 20-20 (200 LBS/TON)
6-8 YEAR COVER	PROFIT MIX 20-20 (200 LBS/TON)
8-12 YEAR COVER	PROFIT MIX 20-20 (200 LBS/TON)
MULCH	2M2 (TYPE 1 - 50% ANTIWIND)
POSTERIZED	3061
WOOD FIBER BERM*	3068 (CATEGORY 2)

\* NOW A MINIMUM OF 18" HEIGHT OF 18" DIA. PIPES SHALL BE USED FOR ALL STOCKPILES. \*\* SEEDING AREAS SHALL BE OTHER MULCHED OR COVERED BY FABRICUS BARRIERS TO PROTECT SEEDS AND LIGHT EXPOSURE.

ALL GRADING AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR OTHERWISE BY THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND WISCONSIN PHASE II BEST MANAGEMENT PRACTICES (BMP) AND THE WISCONSIN PROTECTIVE WATER QUALITY IN URBAN AREAS BEST MANAGEMENT PRACTICES FOR CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE DESIGNATED SEDIMENT TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 10' FROM STORM DRAINAGE, DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LOGS AND SOLID WASTE GENERATED BY CONTRACTOR WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE). AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSED OF PROPERLY.

THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGHOUT CONSTRUCTION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.

THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES SHOWN IN THESE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.

THE CONTRACTOR SHALL PROVIDE WOOD FIBER BERM FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES TO BE COVERED.

IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, POSTS AND EROSION CONTROL BARRIERS AS NEEDED.

THE CONTRACTOR SHALL FINAL GRADE SHALL BE MADE UPON STABILIZATION OF UPRAMP AREAS.

THE CONTRACTOR SHALL SOIL ALL BESTIATED DRAINAGE AREAS, INCLUDING CHANNELS, DITCHES, AND STORM SEWER FLOOD END CHANNELS, AND OFF-SITE DRAINAGE AREAS.

UPON GRADING COMPLETION THE CONTRACTOR SHALL INSURE NATIVE TOPSOIL, SEEDS, AND MULCH ARE COVERED WITH A STRAIGHT Silt CURB WITHIN 48 HOURS OF FINAL GRADING.

EXCESS SOIL SHOULD BE TRANSPORTED TO OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE Silt FENCE PLACES ON DOWNSTREAM SIDE AND SHALL NOT BE PLACED IN SURFACE WATERCOURSE.

ADJACENT STREETS SHALL BE KEPT CLEAN OF CONSTRUCTION MATERIALS, DIRT, AND OTHER UNDESIRABLE MATERIALS. THESE MATERIALS OR DIRT MUST BE WASHED/PLOWED ONTO ADJACENT STREETS. IF IS THE CONTRACTOR'S RESPONSIBILITY TO SWEEP/CLEAN STREETS AS NECESSARY AS IS INDICATED BY THE CITY.

DRAWN BY: M.C.A. CULVER  
CHECK BY: PRIN. NO. 17-1883  
M.C.A.  
ORIGINAL DATE: JUNE 2, 2017

REVISION DESCRIPTION  
DATE  
01/17/18  
02/14/18  
03/14/18  
04/14/18  
05/14/18

1. REVISED TO REFLECT CHANGES TO THE PLAN AND SPECIFICATIONS.  
2. REVISED TO REFLECT CHANGES TO THE PLAN AND SPECIFICATIONS.  
3. REVISED TO REFLECT CHANGES TO THE PLAN AND SPECIFICATIONS.  
4. REVISED TO REFLECT CHANGES TO THE PLAN AND SPECIFICATIONS.  
5. REVISED TO REFLECT CHANGES TO THE PLAN AND SPECIFICATIONS.

DATE: 01/14/18  
SCALE: AS SHOWN

BRAASTAD COMMERCIAL SITE  
1000 LAKE MINNESOTA  
GRANDS, MANAOK, AND EROSION CONTROL PLAN

PREPARED FOR:  
GARY BRAASTAD



1315 WISCONSIN DRIVE  
SUITE 110  
EAST LAKE, MINN. 55004  
PHONE: (952) 944-1818  
FAX: (952) 944-0791



C3



Know what's below.  
Call before you dig.

GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
BRAASTAD COMMERCIAL SITE



**Great River Energy  
Job Hazards Information Sharing**

<b>Project Number:</b>	ENCROACHMENT REVIEW - #35-35	<b>Date:</b>	FEBRUARY 2-2021
<b>Substation:</b>		<b>Line Section:</b>	PS LINE
<b>Substation Physical Address:</b>			

Minimum approach distances of energized lines or equipment from conductive equipment or materials for **qualified electrical workers.**

**AC Live Work Minimum Approach Distance**

Line Voltage(s)	Substation Voltage(s)	Voltage	Phase-to-Ground Exposure	Phase-to-Phase Exposure	Arc Rating PPE (Incident Energy cal/cm <sup>2</sup> )**	Number of 2/0 grounds In parallel*
<input type="checkbox"/>	<input type="checkbox"/>	0.301 – 0.75kV	1 ft 1 in	1 ft 1 in		
<input type="checkbox"/>	<input type="checkbox"/>	0.751 – 5.0 kV	2 ft 1 in	2 ft 1 in		
<input type="checkbox"/>	<input type="checkbox"/>	5.1 – 15.0 kV	2 ft 2 in	2 ft 3 in		
<input type="checkbox"/>	<input type="checkbox"/>	15.1 – 36 kV	2 ft 7 in	3 ft 0 in		
<input type="checkbox"/>	<input type="checkbox"/>	36.1 – 46 kV	2 ft 10 in	3 ft 3 in		
<input type="checkbox"/>	<input type="checkbox"/>	46.1 – 72.5 kV	3 ft 4 in	4 ft 0 in		
<input type="checkbox"/>	<input type="checkbox"/>	72.6 – 121 kV	3 ft 9 in	4 ft 9 in		
<input type="checkbox"/>	<input type="checkbox"/>	121.1 – 145 kV	4 ft 4 in	5 ft 5 in		
<input type="checkbox"/>	<input type="checkbox"/>	145.1 – 169 kV	4 ft 10 in	6 ft 5 in		
<input type="checkbox"/>	<input type="checkbox"/>	169.1 – 242 kV	6 ft 8 in	10 ft 2 in		
<input type="checkbox"/>	<input type="checkbox"/>	242.1 – 362 kV	11 ft 3 in	18 ft 2 in		
<input type="checkbox"/>	<input type="checkbox"/>	362.1 – 420 kV	13 ft 11 in	22 ft 4 in		
<input type="checkbox"/>	<input type="checkbox"/>	420.1 – 550 kV	16 ft 8 in	27 ft 0 in		
<input type="checkbox"/>	<input type="checkbox"/>	550.1 – 800 kV	22 ft 8 in	37 ft 4 in		
<input type="checkbox"/>	<input type="checkbox"/>	400 kV (DC)	8 ft 7 in			

\* GRE uses 2/0 protective grounds and installs them in parallel when necessary.

\*\*Hearing protection required if Arc Rating Incident Energy is between 2 and 9 cal/cm<sup>2</sup>

Minimum clearance distances of energized lines or equipment from conductive equipment or materials for **non-qualified electric workers** performing work near energized lines or equipment, such as crane work.

**Safe working distances when working near energized lines or equipment**

Check voltage(s)	Voltages (kV)	Minimum clearance distances non-qualified electric workers.	Arc Flash Hazard (Incident Energy cal/cm <sup>2</sup> )
<input type="checkbox"/>	22 - 41 kV (AC)	10 feet	
<input checked="" type="checkbox"/>	69kV	15 feet	0,0
<input type="checkbox"/>	230 - 345 kV (AC)	20 feet	
<input type="checkbox"/>	500 kV (AC)	35 feet	
<input type="checkbox"/>	400 kV (DC)	35 feet	

Induced voltage / accidental energization potential?

- Are there adjacent energized circuits running parallel to the line being worked on?
- Are there other energized lines crossing line being worked on?
- Did switch blades open properly?

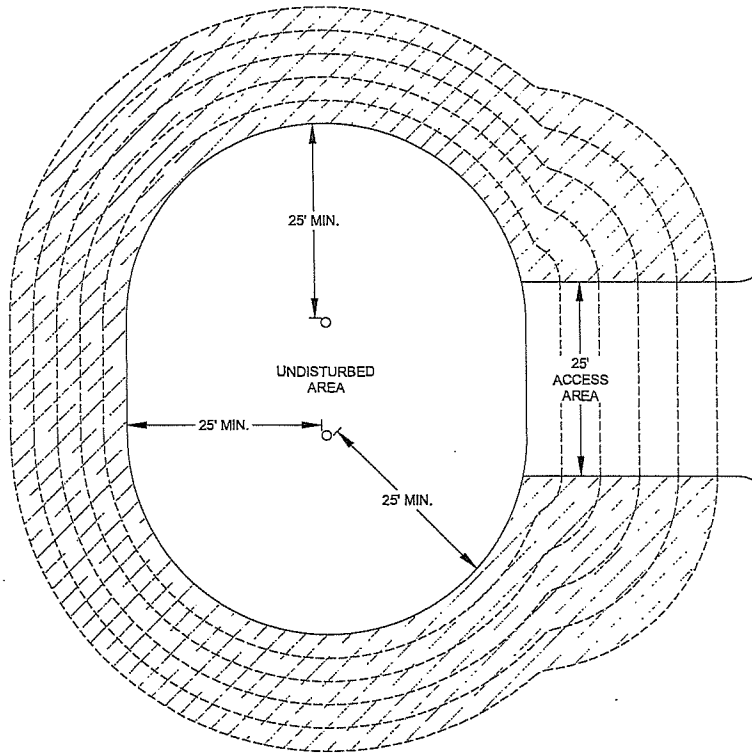
Describe:

Any relevant conditions that could affect safety for the work being performed?

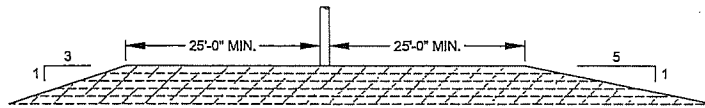
- Condition of protective grounds (if applicable);
- Are equipment grounds intact?
- Rejected poles or poles believed unsafe to climb (if known).
- Potential landowner concerns (if known).
- Asbestos
- Lead acid battery

Comments:

Questions on this form? Contact Melissa Phillips at 763-516-8034



PLAN VIEW



ELEVATION VIEW

**NOTES:**

1. UNDISTURBED AREA EXTENDS 25' RADIALLY AROUND EACH POLE, REGARDLESS OF HOW MANY POLES ARE USED PER STRUCTURE.
2. ACCESS AREA SLOPE SHALL NOT EXCEED 1:5 AND SHALL BE 25' WIDE MINIMUM.
3. EXCAVATION SLOPE OUTSIDE THE UNDISTURBED AND ACCESS AREAS SHALL NOT EXCEED 1:3.

NO.	REVISION	REVISION DESCRIPTION	BY	DATE
1	ASSEMBLY REVISED TITLE	JKH		
2	POLE FOUNDATION SETTING ASSEMBLY	FMS		
3	REVISED TEXT	RF		
4	POLE FOUNDATION SETTING ASSEMBLY	PS		
5	POLE FOUNDATION SETTING ASSEMBLY	GN		
6	NOTE ADDED	JAH		
7	POLE FOUNDATION SETTING ASSEMBLY	JAH		
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100	POLE FOUNDATION SETTING ASSEMBLY	JAH		

THIS ASSEMBLY HAS BEEN DESIGNED TO MEET THE TRANSMISSION ENGINEERING STANDARDS OF GREAT RIVER ENERGY. THE SUBSTITUTION OF ANY COMPONENT OR PART, CONTAINED IN THIS ASSEMBLY, REQUIRES THE PRIOR APPROVAL OF GREAT RIVER ENERGY'S TRANSMISSION ENGINEERING DEPARTMENT.



**POLE FOUNDATION SETTING ASSEMBLY  
GUIDE FOR EXCAVATION BY  
EXISTING STRUCTURES**

DRAWING NUMBER:	TM45A1	REVISION:	04
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SCALE: 1/8" = 1'-0" UNLESS OTHERWISE NOTED



**NOTICE OF PERMIT APPLICATION STATUS**

**Project:** Braastad Property

**Date:** February 18, 2021

**Applicant:** Gary Braastad  
14205 Hwy 65 NE  
Ham Lake, MN 55304

**Permit Application#:** 20-042

**Purpose:** Construction of commercial building, parking lot, and docking area. Existing ditch through property to be piped.

**Location:** Parcel between 143rd Ave NE and 144th Ave NE, East of Hwy 65, Ham Lake, MN

At their meeting on July 27, 2020 the Board of Managers of the Coon Creek Watershed District **conditionally approved** the above referenced project with 3 conditions and 3 stipulations: **This is NOT a permit.**

Since your last submittal on 1/29/2021, the following 1 condition remain which must be addressed before permit issuance (please see note below on how to address conditions).

1. Provide an O&M Agreement that meets District requirements.

Please note that there are also 3 stipulations. Additional details and findings can be found in the attached engineering memo.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rule 5.1. If you have any questions, please call 763-755-0975.

Sincerely,

Matt Danzi  
Water Resource Regulation Coordinator

cc: File 20-042  
Ed Matthiesen, Wenck  
Eileen Weigel, Wenck  
Danielle Tourtillott, Wenck  
Tom Collins, City of Ham Lake

**Note:** Please respond to each of these items in writing when resubmitting the revised

plans to the District. Resubmittals must include two hard copies and/or an electronic version sent to [permitsubmittals@cooncreekwd.org](mailto:permitsubmittals@cooncreekwd.org). **Please submit written responses below the original typed comments, using extra sheets as necessary, addressing comments from the District.** If you have any questions, feel free to contact Matt Danzl at (763) 755-0975. Pursuant to Coon Creek rule 7.3 deficiencies must be addressed and resubmitted within 60 days. Failure to do so shall be deemed a withdrawal of the permit application.

**Braastad Property**  
20-042  
2/18/21



Responsive partner.  
Exceptional outcomes.

**To:** Matt Danzl, Tim Kelly  
**Coon Creek Watershed District**

**From:** Russell Zimmerman, Wenck Associates, Inc.

**Copy:** Ed Matthiesen, P.E., Wenck Associates, Inc.

**Date:** February 18, 2021

**Subject:** Braastad Property Update

**PAN:** 20-042

**EXHIBITS:**

1. Construction Plans (9 sheets); by Plowe, dated 01/20/2021, received 01/29/2021.
2. Stormwater Management Report; by Plowe, dated 01/20/2021, received 01/29/2021.
3. Geotechnical Report; by American Engineering Testing, dated 2/20/2003, received 5/21/2020.
4. Floodplain Fill and Replacement Exhibit; by Plowe, dated 01/20/2021, received 01/29/2021.
5. City Review Comments and Plowe Responses; City Comments dated 01/05/2021, Responses by Plowe dated 01/29/2021, received 01/29/2021.
6. Wetland Replacement Plan, by Sambatek, dated 2/28/2020, received 3/9/2020.

In Response to the Coon Creek Watershed District "Notice of Permit Application Status" dated July 27,2020:

7. Receipt of escrows. YES
8. Provide an O&M Agreement that meets District requirements. NO
9. Provide proof of purchase for wetland credits. YES

**FINDINGS:**

- Updated plans were received that included changes from the approved plans. The following changes were identified:
  - o The grading for Pond 1 was updated.
  - o Rim elevation for O.C.S-1 and O.C.S.-2 were lowered.
- Updated stormwater report was received that included changes from the approved stormwater report. The following changes were identified:
  - o Design for Pond 1 was updated.
  - o Discharge rates and HWL's for the proposed conditions were updated.
- Updated Floodplain Fill and Replacement Exhibit included changes to compensatory storage volumes.

After reviewing these changes, District requirements are still met.

**RECOMMENDATION:** Approval with 1 Condition and 3 Stipulations:  
Conditions

1. Provide an O&M Agreement that meets District requirements.



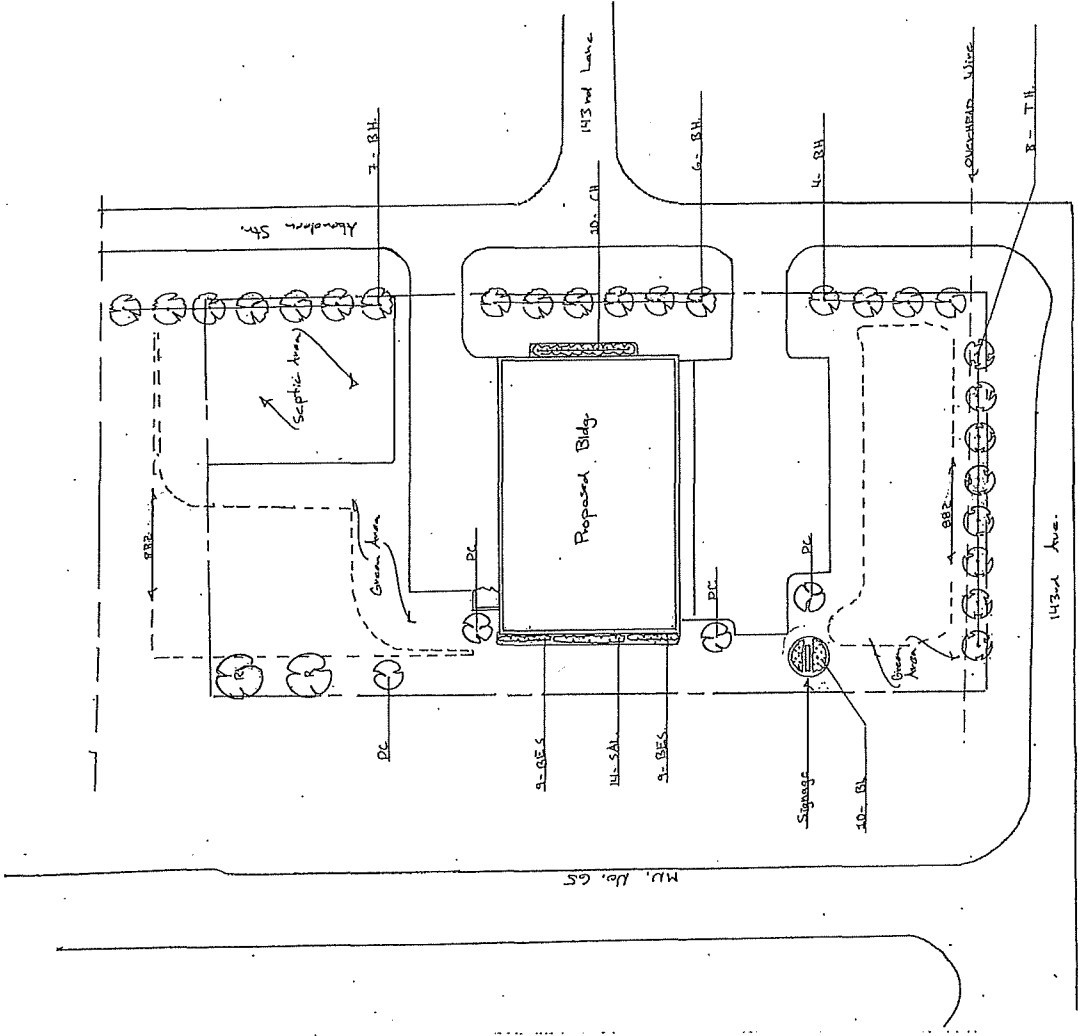
Stipulations

2. Submittal of as-builts for the following stormwater management practices, including invert elevations of sump manholes and pond outlet control structures, basin storage volumes below outlet, and proof of installation for "Snout" devices on pond outlet control structures:

<b>Stormwater Treatment Practices</b>	<b>Number</b>
NURP Basins	2
Infiltration Basins	1
Sumps	2

1. Completion of a post construction infiltration test on Infiltration Basin P3 by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
2. Submittal of as-built invert elevations for storm sewer pipes and structures designed to convey County Ditch 59-1.

Proposed Commercial Site  
 District 1 Marshall Manor  
 26-32-23-42-00 39  
 C.D. 1 Part 1  
 Scale 1" = 20'  
 6/9/20  
 Landscape Plan  
 Drawn by G.B.



SYM	TYPE	QTY	SIZE
CH	Glass Back Chalkboard	10	8'4"
RES	Black Vinyl Seals	18	1'4"
SA	May Light Seals	14	1'4"
BH	Barramung-Like	10	5'4"
BH	Blackbill Spine	13	5'4"
TH	Jobe Hawthorn	8	1'4"
PC	People Place Surf	4	1'4"
R	Rubens Myle	2	1'4"
Edging for Septic Tank Area, Green Areas... Should look to increase People Place over Fabric Green Area to increase 1" Depth All distributed areas to be sealed			

**9-220 Mercantile Districts** The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

**9-220.1 Standards Common to All Mercantile Districts** The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

- a) Paving** All parking lots, drives and surfaces upon which the public shall have access shall be paved according to specifications to be established by the city's engineer;
- b) Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;
- c) Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;
- d) Setbacks for Paved Areas** There shall be a ten foot setback between any lot line and the back of curb of any parking lot or driveway, and a six foot setback between the back of curb of any parking lot and any building;
- e) Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;
- f) Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;
- g) Parking Lots and Lighting** Off-street parking shall be provided for all patrons and employees. The *Zoning Officer* shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be directed away from adjacent properties. No light or combination of lights that cast light upon a Residential Land Use shall exceed 4 foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

**h) Off-Street Loading** All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.

**i) Signage** All signage shall conform to the provisions of Article 11-300.

**j) Special Considerations** Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.

**i)** The departure is not being requested for purely economic reasons;

**ii)** The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;

**iii)** The business is a permitted or conditional use in the zoning district;

**iv)** The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like;

**v)** The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;

**vi)** The property contains unusual accessibility problems to or from adjacent roadways;

**vii)** The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being permitted less stringent design limitations in other site plan features.

**k) Outside Storage** Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage,

excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. **Unless specifically permitted by this Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.**

1) **Definitions**

**aa) Outside Storage** – personal property (not fixtures) that are located within the Approved Property Lines of any parcel bearing a CD zoning classification, but which are found outside of an enclosed, roofed building (including temporary structures). Outside Storage does not include Refuse Containers, customer vehicles, employee vehicles parked while the employee is on duty, delivery vehicles while in the process of delivery or pickup, construction materials or vehicles being used in an active construction project on the parcel, legal signs or banners, or legal temporary structures. Except where specifically excepted, Outside Storage does include inventory of the business occupying the parcel.

**bb) Inventory** - goods, except Vehicle Inventory, that are offered for sale in the ordinary course of business of any business occupying the parcel. For auto repair shops, inventory shall also be deemed to mean passenger vehicles or pickup trucks awaiting repair services.

**cc) Vehicle Inventory** – Automobiles, Trucks, Trailers, Manufactured Homes, Recreational Vehicles, Campers, Camper Tops, Truck Toppers, Boats or other wheeled conveyances that are offered for retail sale at a legal business location whose primary business is the retail sale of one or more of the above items. Rental equipment that may be offered for sale is not Vehicle Inventory. Vehicle Inventory that bears obvious signs that the vehicle is not presently capable of being legally operated or conveyed on a public road is not Vehicle Inventory, including, but not limited to vehicles lacking wheels or inflated tires, operable drive train components, broken windows or lights, required current vehicle registration, missing body parts, such as fenders, doors, hood lids, trunk lids, bumpers, lights or trim.

**dd) Aesthetically Screened Outside Storage** - Inventory or Vehicle Inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building, and of sufficient height and design so as to give the appearance that the barrier is a part of the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Any gates through the barrier shall be opaque and of aesthetic design.

**ee) Limited Outdoor Displays** - Temporary displays of merchandise which are normally sold or displayed from within an enclosed retail store locations, but which are temporarily placed not

more than ten feet from an outside wall of the main retail sales building during business hours, and then returned to inside storage during non-business hours.”

**ff) Improvement Stores** – Businesses that have as their primary source of revenue the retail sale of plants, seeds, landscaping supplies, produce, or yard statuary.

**gg) 24-Hour Convenience Stores** – Businesses that sell gasoline at retail, and, from the same store location, also sell groceries, auto supplies, sundries, over-the-counter medications and personal products, sundries and other items for human consumption, and which remain open for business at all times of every day.

**hh) Approved Property Lines** – Are the outside perimeter of the real estate parcel or parcels which were shown on the site plan used for the initial municipal approval of a certificate of occupancy or conditional use permit for a particular operation.

**ii) Pool Stores** – retail stores that engage in the retail sales of above ground or below ground recreational swimming pools that contain electric filtration devices providing water circulation and filtration in the pool, and under conditions where an inventory of above ground or in ground swimming pools is maintained, connected by water and electricity to a source originating in a permanent retail building located on the same parcel. A Pool Store shall not be considered a retail store for the purposes of determining permitted uses under Article 9-220.2 (b) or 9-220.3(b).

**jj) Screened Outside Storage** – is Inventory or Vehicle Inventory behind an opaque barrier constructed of wood, metal, plastic, masonry, brick or earthen berm, or which is behind an opaque barrier composed of existing buildings or other structures on the property, or which is behind a semi-opaque barrier of vegetation that substantially conceals the storage from outside view.

## **2) Permitted Outside Storage**

**aa)** Vehicle Inventory is permitted Outside Storage on any CD-1 or CD-2 parcel in connection with a business that is legally permitted to sell Vehicle Inventory. If specifically permitted by the conditions of any Conditional Use Permit or Temporary Conditional Use Permit for any such parcel, vehicles that do not meet the definition of Vehicle Inventory may also be permitted Outside Storage.

**bb)** Aesthetically Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel.

**cc)** Limited Outdoor Displays are permitted Outside Storage in both the CD-1 and CD-2 districts. If the business is a 24-Hour Convenience Store, the Limited Outdoor Display need not be moved indoors, but the business shall at all times maintain a clear pedestrian path on sidewalks that is at least 36 inches in width.

**(dd)** Inventory is permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy or conditional use permit, and must be stored only in conformance with that site plan. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales as shall be other items necessarily incident to the storage, maintenance or protection of the Inventory.

**ee)** No Outside Storage shall be permitted for any business unless the storage is within the Approved Property Lines.

**ff)** Pool Stores may display above ground or below ground swimming pools as Permitted Outside Storage only on property under conditional use permit, subject to conditions to be established by the City Council, which must include, at a minimum, the following:

- 1) Pool water must be maintained in a sanitary condition;
- 2) Below ground pools must be surrounded by code-compliant fencing;
- 3) Above ground pools must be constructed in a code-compliant method relative to either fencing or sufficient elevation to prevent accidental entry into the pool;
- 4) Adequate security fencing around the storage display area must be installed to discourage after-hours entry into the pool storage area;
- 5) Reasonable screening from outside view shall be installed;
- 6) All sources of water and electricity shall be connected to the pools in a code-compliant manner;
- 7) Only pools that are intended for use with circulating filters shall be permitted outside; no "kiddy pools", wading pools or inflatable pools shall be permitted to be displayed outside.
- 8) Winter storage of outside pools shall be done in a manner that covers the pool surface and prevents the accidental entry into the pool;

**gg)** Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures that:

- 1) Historically utilized outside storage in connection with business operating on the property, and which uses were never abandoned;

- 2) Do not involve replacement or major remodeling of the existing structures, but utilizes the existing structures for the business to be operated;

Approval of Screened Outside Storage is discretionary with the City Council.

**i) Revocation** All permits and certificates of occupancy issued in the mercantile districts are subject to revocation under the provisions of Article 9-240.

**3) Office/Warehouses** Office/Warehouse is a term given to a structure that is designed to have office space in front, behind which is situated an open bay or bays, with the office and bay space to be occupied by a single business. The office space and the bay space may also include area for retail sales. The bay space may also be used for manufacturing, other industrial activity, or warehousing. Building Permits may be issued for Office/Warehouses in any Mercantile District as found in Article 9-220. However, specific uses within each Office/Warehouse are subject to the Permitted Use, Conditional Use and Temporary Conditional Use restrictions for the given zoning district in which the Office/Warehouse is constructed. The issuance of a building permit for an Office/Warehouse does not confer upon the property owner the right to use any portion of the structure in a manner inconsistent with the use restrictions for the zoning district in which the structure is located. All new tenants or occupants of any Office/Warehouse must observe the same conditions for site plan or other approval, as would any other occupant. Further, if the zoning district in which the Office/Warehouse is to be constructed contains restrictions on building materials or design, those restrictions must be followed.

**9-220.2 Commercial Development 1 (CD-1)**

The CD-1 zone is intended to apply to certain commercial uses on lands abutting the city's only major thoroughfare, Trunk Highway 65. In that these lands have high visibility to the traveling public, it is considered important to the preservation of land values in general, as well as important to the continuing ability of the city to generate the establishment of quality commercial development and the concomitant tax and employment base, that structures in the CD-1 zones observe specific construction and aesthetic standards, which are listed below. No usage shall be permitted in the CD-1 zone which does not observe the standards found in Article 9-220.2 (a) below.

**a) Standards for Site and Building Construction**

- i) Except for structures housing public utility feature, no metal or pole-type building shall be permitted;



- ii) Exterior wall surfaces shall be of brick, decorative masonry, stone, precast panel, architectural concrete, glass, stucco or wood framed with horizontal lap siding;
- iii) No galvanized surfaces shall be permitted, either on roofs or siding;
- iv) All roofs shall be colored and shall incorporate a minimum 18-inch soffit on the eave edge of the roof;
- v) All roofs shall have a minimum 12-inch overhang on the gable ends;
- vi) All roofs have a 9.5 inch fascia;
- vii) Standing metal seam roofing shall be permitted (Minimum 24 gauge, non-galvanized);

**b) Permitted Uses (Including uses that are ancillary to the main use)**

- Clubs and Lodges
- Medical Facilities
  - Assisted Living Facilities
  - Chiropractic
  - Clinics of all medical disciplines
  - Dental
  - Diagnostic Facilities
  - Hospitals
  - Laboratories
  - Nursing Homes
  - Treatment Rooms and Centers
  - Veterinary Clinics
- Hotels, Motels and Lodging Houses under Article 11-1100
- Offices and Office Buildings
- Park and Ride Lots
- Post Offices
- Public Utilities (metal or pole type construction allowed)
- Recreational Facilities (indoor unless noted)
  - Batting Cages
  - Billiard Parlors
  - Bowling Alleys
  - Dance/Gymnastic Studios
  - Health Clubs
  - Martial Arts Studios
  - Miniature Golf Courses (outdoor)
  - Paintball or Laser Tag Facilities
  - Parks (outdoor/publicly owned)
  - Roller Skating Facilities
  - Shooting Range
  - Skateboard Facilities
  - Virtual Golf Facilities

- Restaurants, including liquor service
- Retail Facilities - engaged in the sale of goods (Excluding Motor Vehicle/ Boat/RV/Camper Sales), from freestanding one-store locations, shopping centers, strip malls or enclosed malls, including, but not limited to:
  - Antique Stores
  - Appliance Stores
  - Automobile Parts Stores (new parts only)
  - Bakeries
  - Bicycle Stores
  - "Big Box" Stores (subject to Article 9-400)
  - Book Stores
  - Butcher Shops/Meat Markets
  - Camera Stores
  - Candy Stores
  - Carpet Stores
  - Clothing Stores
  - Coin Stores
  - Convenience Stores
  - Cosmetic Stores
  - Discount Stores
  - E-Cig Stores
  - Electrical, HVAC and Plumbing Equipment Stores
  - Electronics Stores
  - Fireworks (under Article 9-330.6)
  - Floral Stores
  - Furniture Stores
  - Gift Shop
  - Grocery Stores
  - Hardware Stores
  - Health Stores
  - Hobby/Game Stores
  - Housewares Stores
  - Improvement Stores (Lawn & Garden) as defined in Article 9-220.1 (k)(1)(ff)
  - Jewelry Stores
  - Liquor Stores
  - Luggage Stores
  - Music Stores
  - Office Supply Stores
  - Optical Supply Stores
  - Paint/Wallpaper Stores
  - Pet Stores

- Petroleum product sales (excluding vehicle repair)
- Pharmacies
- Shoe Stores
- Sporting Goods Stores
- Souvenir Stores
- Thrift Stores
- Tobacco Stores
- Video Stores
- Schools and Colleges
- Service Businesses
  - Appliance Repair Shops
  - Barber Shops
  - Beauty Shops
  - Car Washes
  - Day Cares (licensed)
  - Dry Cleaners
  - Electronics Repair Shops
  - Financial Institutions
  - Funeral Homes
  - Government Buildings
  - Insurance Agencies
  - Law Offices
  - Locksmiths
  - Manicure/Pedicure/Nail Care shops
  - Pet Grooming Shops
  - Photography Studios
  - Print Shops
  - Shoe Repair Shops
  - Specialty Retail Shops
  - Tailor Shops
  - Tanning Facilities
  - Travel Agencies
- Small Engine Sales and Repair
  - Air Compressors
  - Chain Saws
  - Garden Tractors
  - Lawn Mowers
  - Leaf Blowers
  - Other Motorized Gardening Equipment
  - Power Rakes
  - Power Washers
  - Rototillers
  - Shop Vacs

- Snowblowers
- Woodchippers
- Woodsplitters
- Theatres
- Worship Centers and ancillary features owned by the entity that owns the Worship Center, including classrooms, recreational features, residences for staff, offices and kitchen/dining.

**c) Conditional Uses**

- Automobile Repair Shops (Passenger Vehicles, Pickup Trucks, ATVs, Snowmobiles, Motorcycles, Jet-skis, Boats and other Marine Equipment)
- Equipment Rental Businesses
- Light Manufacturing, defined as follows:  
The fabrication or processing of goods for sale to retailers, wholesalers, other manufacturers or at retail that takes place entire within an enclosed building and that meets the following criteria:
  - a) The business does not generate any noise, odor or vibration detectable from adjoining properties, other than that which occurs in the normal course of business during shipping and receiving activities;
  - b) There is no outside storage of any item except Aesthetically Screened Outside Storage as defined in Article 9-220(k)(1)(dd) of this Code.
  - c) No outside cranes or booms are located on the site;
  - d) Retail sales of the business products can occur on the premises if the commodities are the commodities manufactured on site.
- Manufactured/Prefabricated Structure Sales (including, without limitation, housing units, gazebos, storage sheds, playhouses, screened porches, and shelters) together with incidental furnishings such as lawn chairs and picnic tables
- New Vehicle Sales (must have indoor showroom) limited to the following:
  - **Note:** Where the word "vehicle" is used, the term is hereby defined to exclude manufactured homes, busses, semi-tractors, semi-trailers over 30 feet in length, and heavy construction equipment, such as bulldozers, backhoes, road graders, earth moving equipment, cranes and excavators.
  - ATV's (all-terrain vehicles)
  - Automobiles
  - Boats
  - Campers

- Golf Carts
- Motorcycles, Motorbikes and Scooters
- Recreational Vehicles
- Snowmobiles
- Commercial Trucks
- Pickup Trucks
- Trailers less than 30 feet in length
- Office Warehouses
- Pool Stores
- Residential Treatment Centers
- Service Businesses
  - Landscaping
- Sexually Oriented Business under Article 9-330.3
- Self-Storage Facilities, limited to properties on which self-storage facilities were in existence as of January 1, 2014. "Properties" as used herein is intended to include "Expansion Parcels", which are tax parcels that were on said date contiguous to and in common ownership or control with the parcel on which self-storage facilities were in use on said date and which were lacking a permanent structure/usage and/or providing a parking area or driveway serving the parcel on which the self-storage units were located. Expansion Parcels do not include parcels that are separated by public roads from the parcel on which the self-storage units were located on said date. It is the intent of this language that the self-storage use be permitted to expand onto the Expansion Parcels if a Conditional Use Permit for such expansion is approved. Notwithstanding these provisions, all self-storage uses shall be considered non-conforming uses and if abandoned or damaged and unrepaired, are subject to the same criteria for termination of allowed usage status as for other non-conforming uses as provided in Article 9-150.1 of this Code.
- Temporary Commercial Structures under Article 9-330.7
- Therapeutic Massage under Article 9-330.5
- Transportation Facilities
- Used Vehicle Sales limited as follows
  - Collector Cars
  - Motor Homes and Recreational Vehicle Trailer Sales\*
    - \*(A "Trailer", for the purposes of this code, shall mean a conveyance which is primarily designed to be towed behind a motor vehicle on public highways for usage in camping at bona fide campgrounds or RV parks. The conveyance commonly known in the industry as a "Park Model" is not to be considered a Trailer.)

- Facilities that meet the following criteria:
- The lot on which the use is proposed is presently and lawfully used by a business whose primary business is in the automotive industry such as automobile specialty shop, auto repair or recreational vehicle sales lot; and
- The sales are limited to passenger cars and pickup trucks; and
- The primary business activity in the automotive industry that qualified the lot to be used for Used Vehicle Sales must continue to be the primary business activity on the lot; Used Vehicle Sales shall be an incidental use only, and shall not replace the primary business activity; or
- The used vehicle inventory is part of the overall inventory of a New Vehicle Sales operation, limited to vehicles that have been taken in trade by the owner

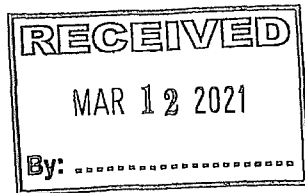
**d) Temporary Conditional Uses Only**

Certain modular housing sales lots may be allowed as Temporary Conditional Uses in the CD-1 areas under the following limited conditions:

- i)** The permit shall be for no longer than five years;
- ii)** No housing units shall be permitted which are manufactured homes, which were at one time manufactured homes, or which could become manufactured homes with the addition of wheels installed in a pre-engineered or pre-planned receptacle. It is the intention of this usage that the only housing units permitted for display in such areas are single family dwellings of wood frame construction, designed for placement on a permanent foundation in a typical single family residential neighborhood, and not designed for or commonly found in mobile home parks.
- iii)** A single housing unit may be used as a sales office.
- iv)** Marketing of housing units shall be only to consumer-homeowners, and not to retailers or wholesalers;
- v)** All units shall be placed on concrete blocks, at least two courses in height, giving the appearance of a full basement.
- vi)** All units shall be completely finished on the exterior to give the appearance that the unit is inhabited as a part of a quality single family neighborhood. Units may be assembled from pre-constructed component parts on site, but may not be constructed from scratch on the site. Assembly of any display unit shall be complete (weather permitting) within 14 days after commencement of assembly. Each display unit shall obtain a building permit from the City prior to commencement of assembly. A display unit, once in place, shall not be replaced for at least 24 months.
- vii)** All surfaces upon which the public is expected to drive, park or walk shall be paved with bituminous or concrete material according to specifications to be established by the City's engineer.
- viii)** All display units shall have an attached garage for two cars or more.

**ix)** A Site Plan shall be reviewed and approved by the City Council, after review and comment by the Planning Commission, which plan shall limit the number of units to be displayed, provide a landscaping plan, show the locations of all drives, walkways and parking areas, and provide photographic samples of the styles of units to be displayed.

**x)** The City Council may attach such other conditions to the Temporary Conditional Use Permit as are deemed appropriate or necessary to protect public safety, health or welfare, or to protect nearby property values.



# CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

## PLANNING REQUEST

Date of Application 3-12-21

Date of Receipt \_\_\_\_\_

Receipt # \_\_\_\_\_

### Meeting Appearance Dates:

Planning Commission 3-22-2021

City Council \_\_\_\_\_

### Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval\*
- Final Plat Approval
- Rezoning\*
- Private Kennel License\*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)\*
- Conditional Use Permit (Renewal)
- Other

**\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Radisson Sunset Estates

Address/Location of property: 15203 Radisson Road NE

Legal Description of property: See Preliminary Plat

PIN # 21-32-23-42-0004 Current Zoning R-A Proposed Zoning R-1

Notes: 1 lot residential development. Existing house on Lot 3.

Applicant's Name: Richard & Julie Braastad

Business Name: (J & R Acres LLC)

Address 15203 Radisson Road NE

City Ham Lake State MN Zip Code 55304

Phone 763-238-2355 Cell Phone \_\_\_\_\_ Fax \_\_\_\_\_

Email address jlbraastad@aol.com

**You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.**

SIGNATURE [Signature] DATE 3-12-21

\*\*\*\*\*

### - FOR STAFF USE ONLY -

ACTION BY: Planning Commission \_\_\_\_\_  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT YES NO



## Memorandum

Date: March 18, 2021  
To: Planning Commissioners  
From: Tom Collins, City Engineer *TPC*  
Subject: Radisson Sunset Estates

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### Introduction:

The proposed 7 lot residential development is located on the 26.19-acre area of parcel 21-32-23-42-0004 (15203 Radisson Road). The existing house is on the proposed Lot 3. The Final Plat, Grading Index, Grading, Drainage & Erosion Control Plan, Storm Sewer Plan, Street Construction Plan, Tree Preservation Plan, Details, Livability Plan and Construction Plans for Turn Lanes, which were received March 12<sup>th</sup>, address prior review comments. The current zoning is Rural Single Family Residential (R-A) and the proposed zoning is Single Family Residential (R-1).

### Discussion:

The Final Plat conforms to the Preliminary Plat and Plans that received approval at the October 19, 2020 City Council meeting. The Plans include a 20-foot-wide trail easement abutting the 10-foot-wide drainage and utility easement adjacent to 153<sup>rd</sup> Avenue. The Developer is to record the trail easement deed with Anoka County immediately after recording the Plat. Minnesota Pipe Line Company has approved the Quamba Street crossing of their 66-foot-wide easement, per the attached Encroachment Agreement, along with the Lot 6 septic line crossing. The Development Agreement will stipulate that the Lot 6 builder must expose the pipelines at the proposed septic pipe crossing location, with a representative of Flint Hills Resources present, to verify that there will be a minimum of 2-feet of separation between the proposed septic pipe and the pipelines.

The Anoka County Highway Department (ACHD) has approved the Plans, contingent on requiring the construction of an 8-foot-wide paved shoulder on the south side of 153<sup>rd</sup> Avenue between Radisson Road and Quamba Street per the attached September 24, 2020 letter. The ACHD is also requiring a 10-foot-wide Radisson Road highway easement along a portion of Lot 3, per the attached August 28, 2020 letter.

The Coon Creek Watershed District (CCWD) approved the Plans at the September 14<sup>th</sup> Board of Managers meeting, per the attached. The only remaining item is CCWD receipt of the \$6,250 escrow. Mark Tradewell has certified that the lots will support two standard septic systems in accordance with Minnesota Rules 7080.

The Minnesota DNR Natural Heritage review for potential impacts to state-listed species and other rare features found that Blanding's turtles have been reported in the vicinity of the proposed project and may be encountered on site. If during construction Blanding's turtles are encountered the contractor is to move them by hand out of harm's way. Otherwise, the turtles are to be left undisturbed.

### Recommendations:

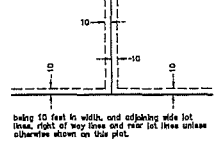
It is recommended that the Final Plat of Radisson Sunset Estates be recommended for approval.

# RADISSON SUNSET ESTATES

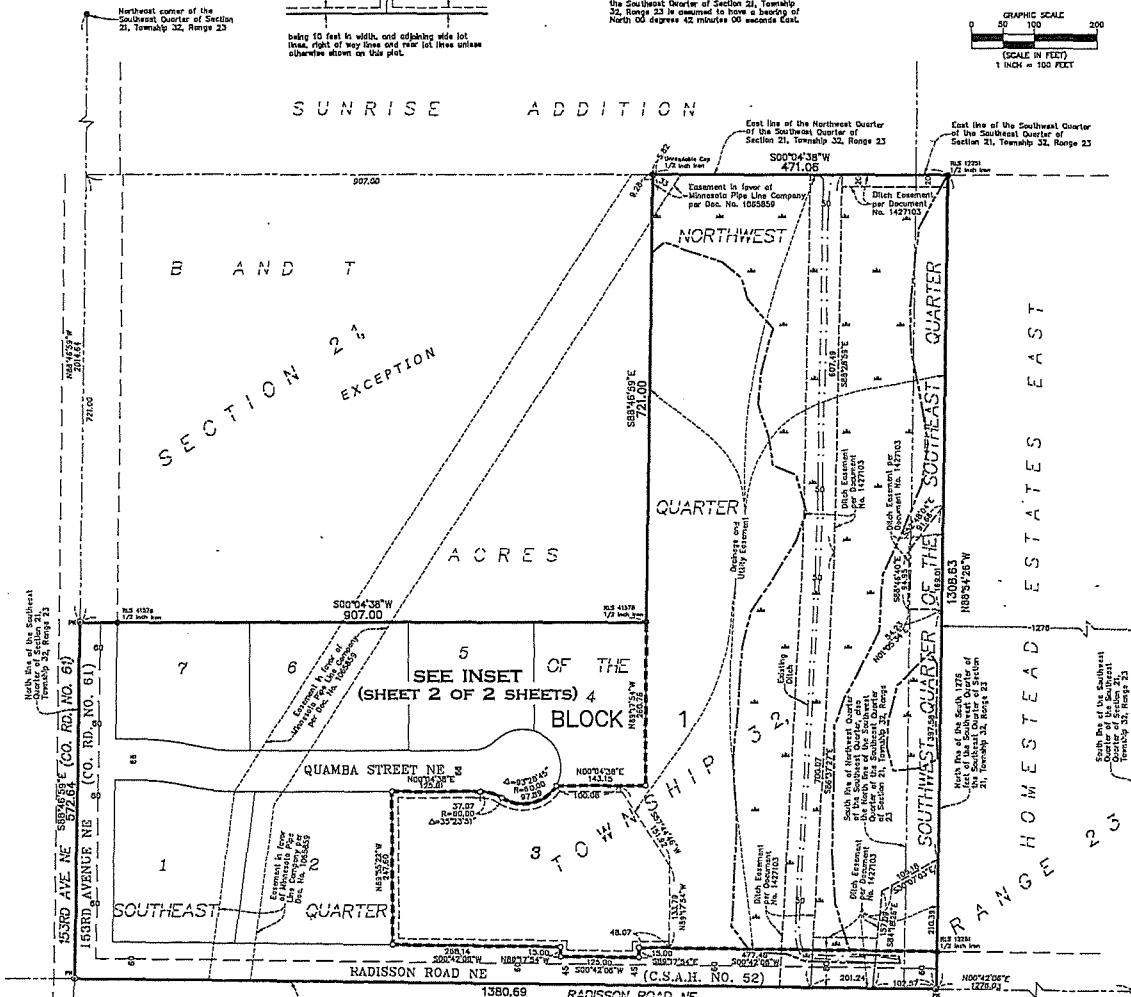
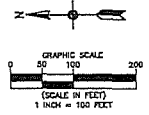
CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 21, TWP. 32, RGE. 23

- Densets 3/8 inch by 14 inch Rebar, set or to be set within one year of recording of this plat and marked with license number 45361
- Densets Found from Monument unless otherwise noted
- PK Densets Set PK Not
- Densets Found Anoka County East Iron Monument
- Densets Walzing defined by K&H Survey Environmental Services Company in 2018

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



For the purpose of this plat, the West line of the Southeast Quarter of Section 21, Township 32, Range 23 is assumed to have a bearing of North 00 degrees 42 minutes 00 seconds East.



KNOW ALL PERSONS BY THESE PRESENTS: That Richard A. Broested and Julie L. Broested, husband and wife, owners of the following described property:  
 The Northwest Quarter of the Southeast Quarter of Section 21, Township 32, Range 23 of the Fourth Principle Meridian, Anoka County, Minnesota.  
 EXCEPT for the following:  
 The North 297.00 feet of the East 721.00 feet of the Northwest Quarter of the Southeast Quarter of Section 21, Township 32, Range 23, Anoka County, Minnesota, as measured along the North and East lines respectively.  
 AND  
 That part of the Southwest Quarter of the Southeast Quarter of Section 21, Township 32, Range 23, lying North of the South 1270 feet thereof as measured at right angles to the South line of said Southwest Quarter of the Southeast Quarter, Anoka County, Minnesota.  
 Have caused the same to be surveyed and platted as RADISSON SUNSET ESTATES and do hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.  
 In witness whereof Richard A. Broested and Julie L. Broested, husband and wife, have hereunto set their hands this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Richard A. Broested \_\_\_\_\_ Julie L. Broested \_\_\_\_\_  
 STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_  
 This instrument was acknowledged before me on \_\_\_\_\_ by Richard A. Broested, \_\_\_\_\_ (Spced) \_\_\_\_\_ (Printed)  
 History Public: \_\_\_\_\_ My commission expires \_\_\_\_\_

STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_  
 This instrument was acknowledged before me on \_\_\_\_\_ by Julie L. Broested, \_\_\_\_\_ (Spced) \_\_\_\_\_ (Printed)  
 History Public: \_\_\_\_\_ My commission expires \_\_\_\_\_

I, Thomas R. Balfour do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey, that all mathematical data and angles are correctly depicted on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 305.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and located on this plat.  
 Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Thomas R. Balfour, Licensed Land Surveyor  
 Minnesota License No. 40351  
 STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_  
 This instrument was acknowledged before me on \_\_\_\_\_ by Thomas R. Balfour, \_\_\_\_\_ (Spced) \_\_\_\_\_ (Printed)  
 History Public: \_\_\_\_\_ My commission expires \_\_\_\_\_

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA  
 This plot of RADISSON SUNSET ESTATES was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ and said plat is in compliance with the provisions of Minnesota Statutes, Section 305.01, Subd. 2.

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA  
 By \_\_\_\_\_ Mayor \_\_\_\_\_ Clerk  
 COUNTY SURVEYOR  
 I hereby certify that in accordance with Minnesota Statutes, Section 305.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

By \_\_\_\_\_ Charles F. Clizen  
 Anoka County Surveyor  
 COUNTY AUDITOR/TREASURER  
 Pursuant to Minnesota Statutes, Section 305.021, Subd. 2, taxes payable in the year 20\_\_ on the land herebefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered on \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

By \_\_\_\_\_ Property Tax Administrator  
 COUNTY RECORDER/REGISTRAR OF TITLES  
 County of Anoka, State of Minnesota  
 I hereby certify that this plat of RADISSON SUNSET ESTATES was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and was duly recorded as Document Number \_\_\_\_\_.

By \_\_\_\_\_ Deputy  
 County Recorder/Registrar of Titles



# RADISSON SUNSET ESTATES

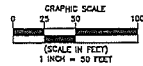
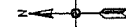
CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 21, TWP. 32, RGE. 23

INSET

DRAINAGE AND UTILITY  
EASEMENTS ARE SHOWN THUS:

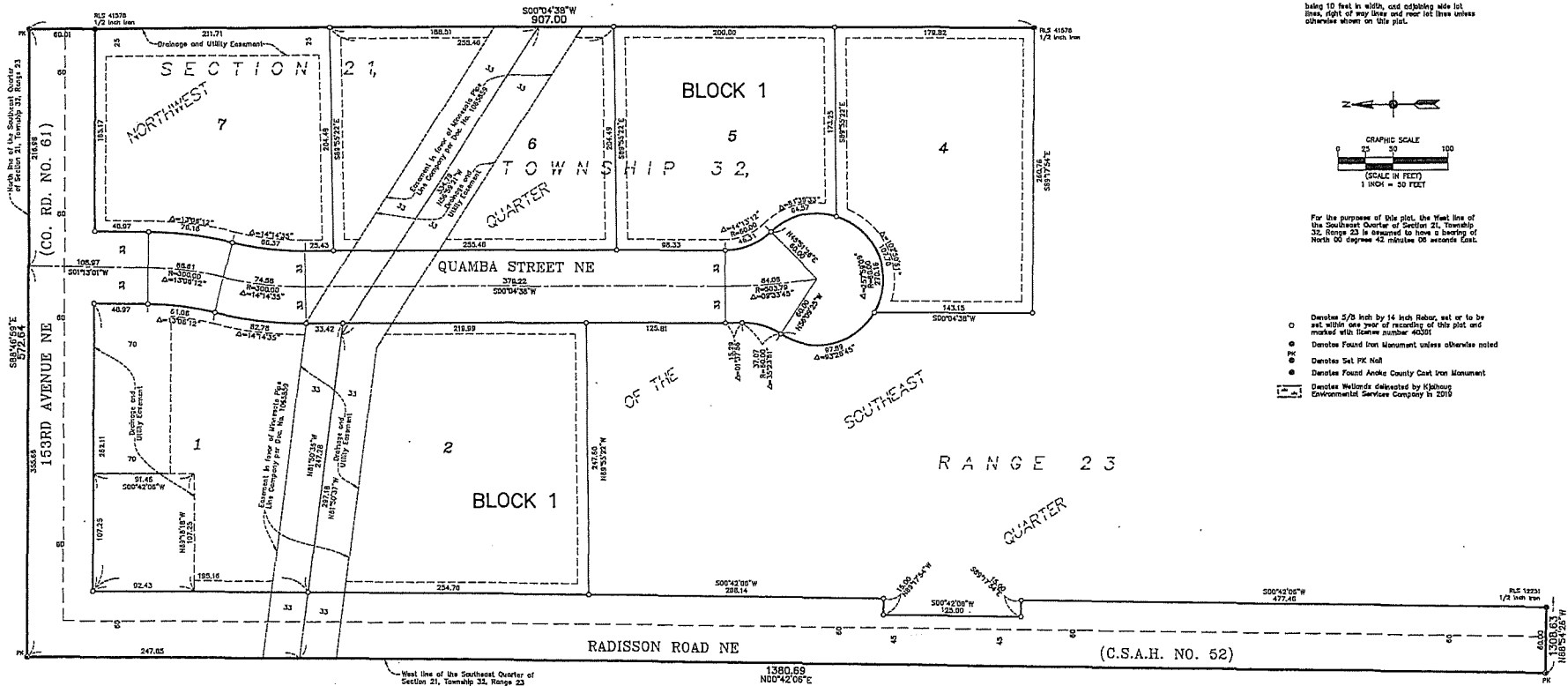


being 10 feet in width, and adjoining side lot lines, right of way lines and rear lot lines unless otherwise shown on this plot.



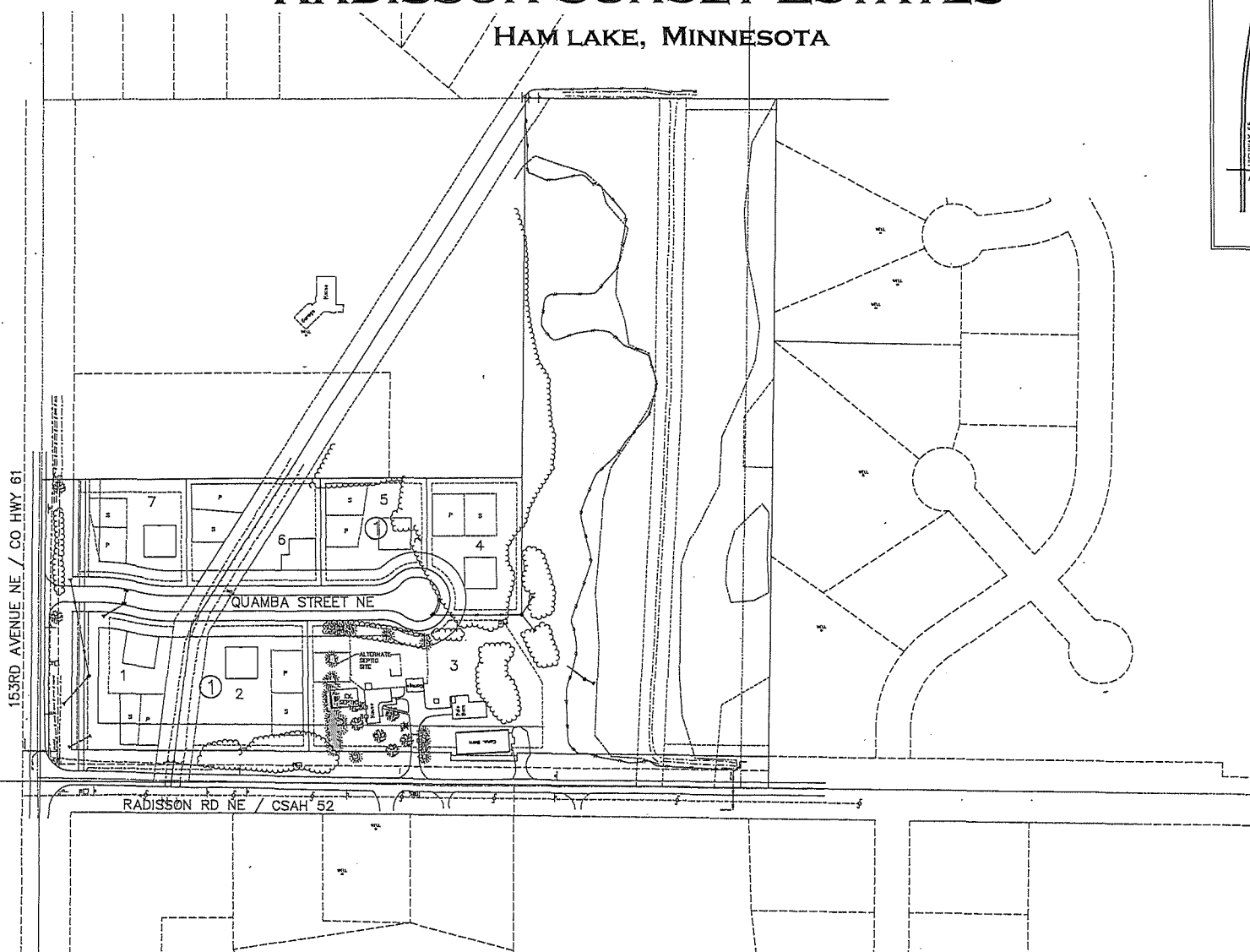
For the purpose of this plot, the West line of the Southwest Quarter of Section 21, Township 32, Range 23 is assumed to have a bearing of North 00 degree 42 minute 06 seconds East.

- Denotes 5/8 inch by 14 inch Rebar, set or to be set within one year of recording of this plot and marked with hammer number 4005.
- Denotes Found Iron Monument unless otherwise noted.
- PK Denotes Set. P.K. Nail.
- Denotes Found Anoka County Cast Iron Monument.
- Denotes Wellcords delineated by Kitchtop Environmental Services Company in 2019.

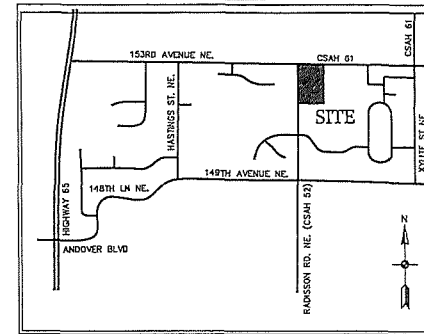


# RADISSON SUNSET ESTATES

HAM LAKE, MINNESOTA



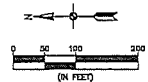
## VICINITY MAP



NOT TO SCALE

## SHEET INDEX

1. COVER
2. GRADING INDEX
- 3-4. GRADING, DRAINAGE & EROSION CONTROL PLAN
5. STORM SEWER
6. STREET CONSTRUCTION
7. TREE PRESERVATION PLAN
- 8-9. DETAILS
- 10-11. LIVABILITY PLAN
- T1-T4. TURN LANE PLANS



BENCHMARK	
1.	Anoka County Benchmark No. 3103. Elevation: 205.83
2.	Anoka County Benchmark No. 3095. Elevation: 205.52

CALL BEFORE YOU DIG

Know what's below.  
Call before you dig.

The subsurface utility information shown on this plan is utility quality level D. This quality level was determined according to the guidelines of C/ASCE 35-02, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data".

**CARLSON MCCAIN**  
ENGINEERING SURVEYING ENVIRONMENTAL  
3900 PHEASANT RIDGE DR NE  
SUITE 100  
SHANE, MN 55449  
TEL: 763-445-7000  
FAX: 763-445-7005  
CARLSONMCCAIN.COM

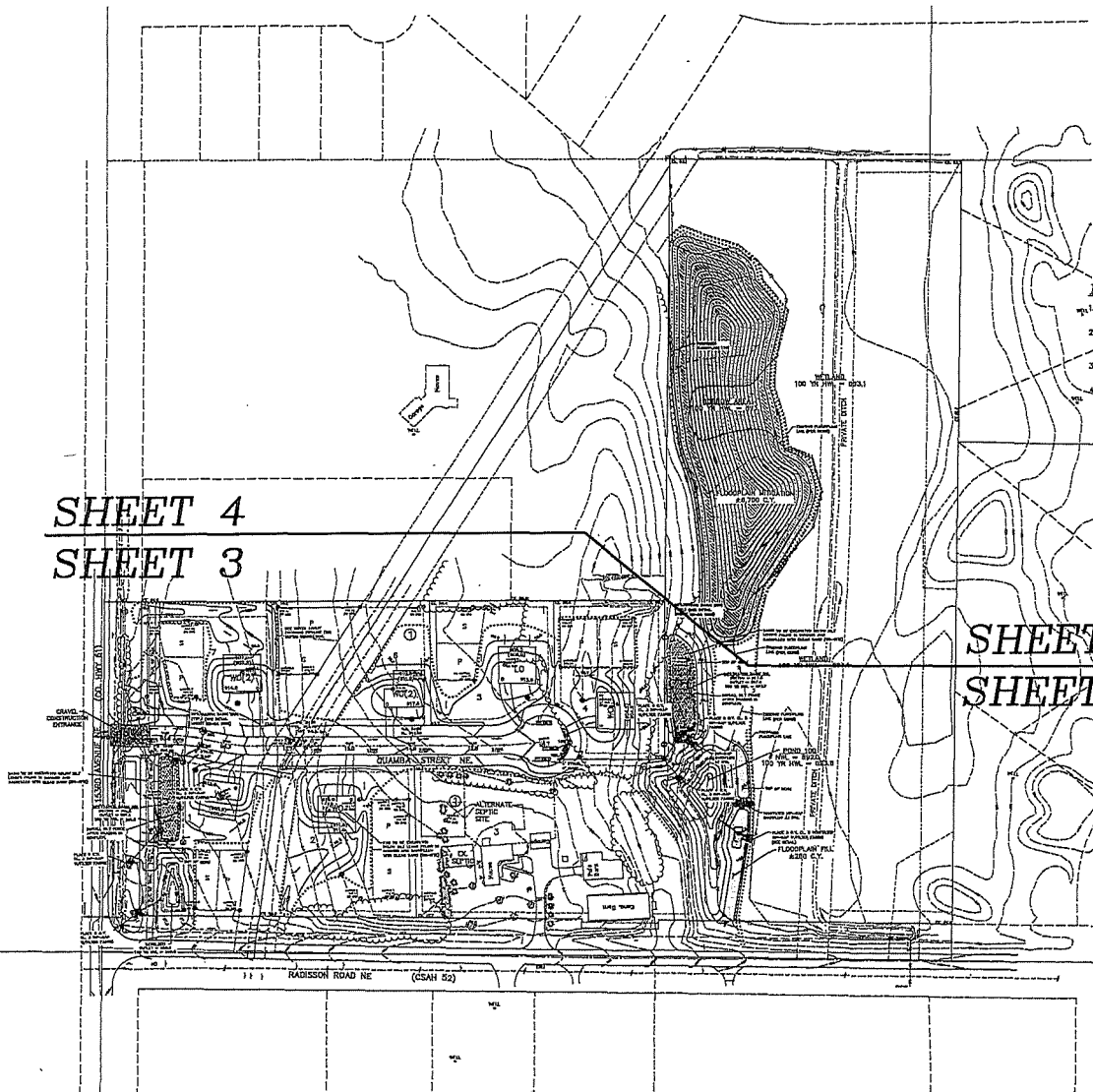
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Firm Name: Brian J. Kravitsch, P.E.  
Signature: *Brian J. Kravitsch*  
Date: 9/29/20 License #: 21263

Drawn: JJD  
Designed: BJC  
Revised:  
1. 10/1/20 Revise Sheet 3 Per City Comments  
2. 10/7/20 Revise Sheet 2-4 Per City Comments  
3. 3/10/21 Revise Sheet 2-4 Per City Comments  
Date: 9/29/20

**RICHARD & JULIE BRAASTAD**  
15203 Radisson Road NE  
Ham Lake, MN 55304

**RADISSON SUNSET ESTATES**  
Ham Lake, MN

COVER  
1 of 11



SHEET 4  
SHEET 3

SHEET 4  
SHEET 3

**NOTES**

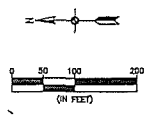
1. THE CONTRACTOR MUST OVER EXCAVATE THE INFILTRATION BASINS AND THE PIPES ON LOT 6 BLOCK 1 BELOW SUBMITTALS LATER. CONTRACTOR MUST BE ABLE TO NOTE A DIFFERENCE IN SOIL COMPOSITION CONSISTING OF A DRYER, LOANER SAND. THE OVER EXCAVATION AREA MUST THEN BE BACKFILLED WITH CLEAN SAND FROM ON-SITE.
2. CONSTRUCTION TESTS ON THE INFILTRATION BASINS SHALL BE PERFORMED BY EITHER A DOUBLE RING INFILTRATION TEST (ONE IN EACH BASIN), OR BY FILLING THE BASIN TO A MINIMUM DEPTH OF 8 INCHES AND MONITORING THE DRAINDOWN TIME. THE COON CREEK WATERSHED DISTRICT SHALL BE NOTIFIED PRIOR TO THE TEST TO WITNESS THE RESULTS.
  - 2.1. ONCE THE INFILTRATION BASINS HAVE BEEN BACKFILLED WITH SAND, AN INFILTRATION TEST MUST BE COMPLETED AT THE BOTTOM OF THE BASIN. THE CONTRACTOR MUST WAIT FOR VERIFICATION FROM THE ENGINEER PRIOR TO PLACING THE PLANTING MEDIUM.
  - 2.2. COON CREEK WATERSHED DISTRICT MUST BE NOTIFIED PRIOR TO TESTING THE BOTTOM OF THE BASINS AND SHALL BE PROVIDED THE TEST RESULTS PRIOR TO PLACING THE PLANTING MEDIUM.
  - 2.3. A POST CONSTRUCTION TEST MUST ALSO BE PERFORMED AFTER THE PLANTING MEDIUM HAS BEEN INSTALLED AND SEEDING ESTABLISHED.
3. ALL DISTURBED AREAS TO BE SEARCHED TO A DEPTH OF 8 INCHES AFTER GRADING IS COMPLETE.
4. ALL CONTRACTORS MUST FOLLOW BIRN RECOMMENDATIONS PER THE NATURAL HISTORY REVIEW OF THE SITE. BLANDINGS TURTLES HAVE BEEN FOUND IN THE VICINITY OF THE SITE. A FLYER WITH CONSTRUCTION RECOMMENDATIONS SHALL BE PROVIDED.

**PIPELINE SEPTIC CROSSING FOR LOT 6 BLOCK 1**

1. THE HOME BUILDER MUST EXPOSE THE EXISTING PIPELINES VIA HYDROVAC AT THE PROPOSED SEPTIC CROSSING TO DETERMINE DEPTHS.
2. A REPRESENTATIVE FROM FLINT HILLS RESOURCES MUST BE ON-SITE DURING THE CONSTRUCTION OF THE CROSSING. CONTACT ED TRAUT 24 HOURS PRIOR TO CONSTRUCTION. E-MAIL: ED.TRAUT@FHRS.COM CELL: (318) 428-9500
3. THE PIPE CROSSING MUST BE A MINIMUM OF A 2-FOOT SEPARATION FROM THE PIPELINES.
4. IF 2-FOOT OF SEPARATION CANNOT BE MET, IT MUST BE APPROVED BY FLINT HILLS RESOURCES PRIOR TO CONSTRUCTION.

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	---
CURB LINE	---
HETEROGENEOUS	-----
CONCRETE	-----
SANITARY SEWER	-----
STORM SEWER	-----
DRAINAGE	-----
WATER MAIN	-----
OVERHEAD UTILITY	-----
STORM CATCH BASIN	-----
STORM MANHOLE	-----
OUTLET CONTROL STRUCTURE	-----
MANHOLE	-----
HYDRANT	-----
GATE VALVE	-----
TELEVISION BOX	-----
TELEPHONE BOX	-----
UTILITY POLE	-----
RETAINING WALL	-----
FENCE	-----
10' CONTOUR	-----
2' CONTOUR	-----
FEMA FLOOD PLAIN	-----
WETLAND LINE	-----
SPOT ELEVATION	-----
EMERGENCY OVEFLOW	-----
SILT FENCE	-----
TREE FENCE	-----
GRADING LIMITS	-----
TREELINE	-----
INFILTRATION AREA	-----
MAINTENANCE ACCESS	-----
WETLAND SIGN	-----
WELL	-----
LIGHT POLE	-----
FLAG POLE	-----
ELECTRIC BOX	-----
TELEPHONE BOX	-----
TELEVISION CODE	-----
SIGN	-----
CLUTCH SOIL BORING	-----
SEPTIC SOIL BORING	-----

WETLAND SUMMARY	
WETLAND FILL	= 0 SF
TOTAL WETLAND IMPACT	= 0 SF
FLOODPLAIN SUMMARY	
FLOODPLAIN FILL	= 260 SF
FLOODPLAIN MITIGATION	= 6700 SF

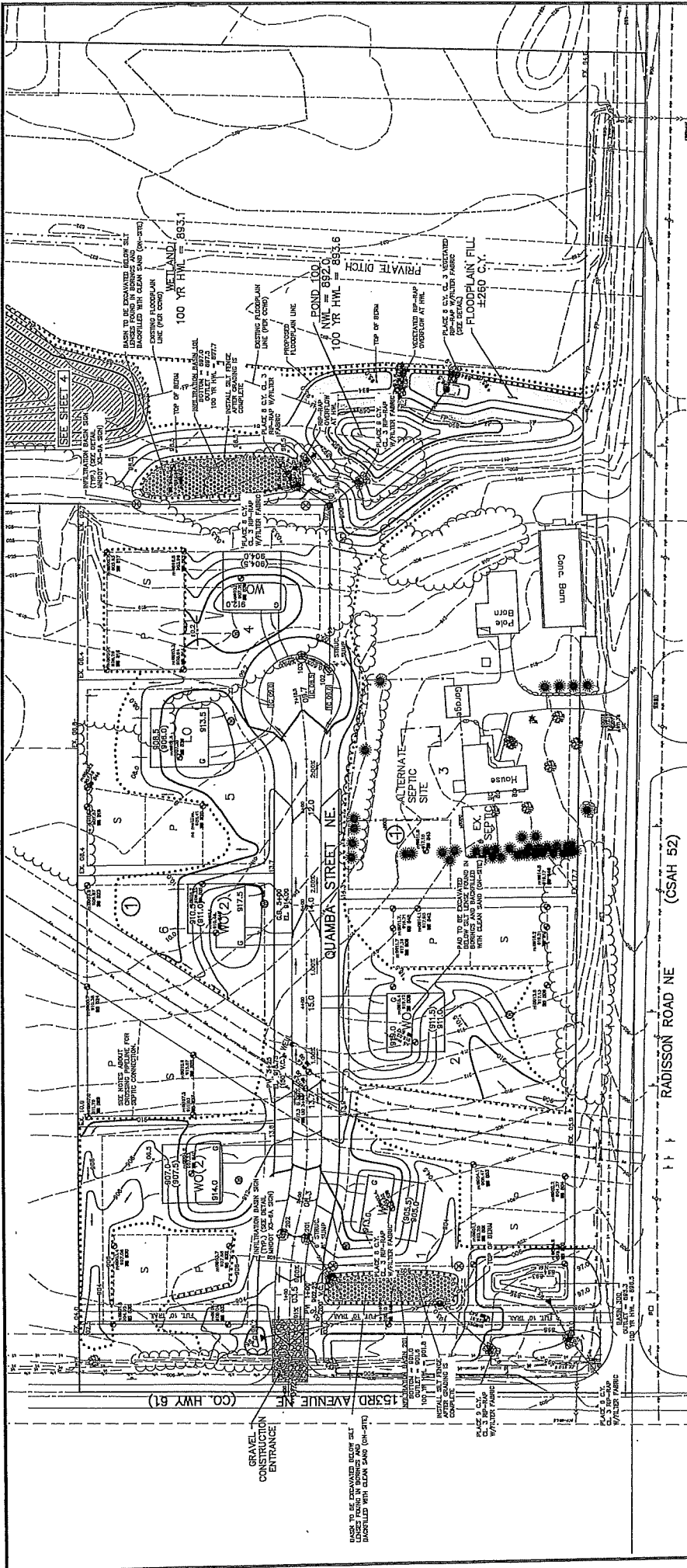


**BENCHMARK**  
 1. Anoka County Benchmark No. 3103. Elev. = 608.66  
 2. Anoka County Benchmark No. 3018. Elev. = 603.53

CALL BEFORE YOU DIG

Know what's below. Call before you dig.

The subsurface utility information shown on this plan is utility quality level 1. This quality level was determined according to the guidelines of C/A/SCE 35-02, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."



**GRADING PLAN LOT KEY**

- PROPERTY LINE
- EXISTING CURB LINE
- PROPOSED CURB LINE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BRICK
- PROPOSED BRICK
- EXISTING STONE
- PROPOSED STONE
- EXISTING WOOD
- PROPOSED WOOD
- EXISTING METAL
- PROPOSED METAL
- EXISTING OTHER
- PROPOSED OTHER
- EXISTING FLOOR ELEVATION
- PROPOSED FLOOR ELEVATION
- EXISTING GROUND ELEVATION
- PROPOSED GROUND ELEVATION
- EXISTING RECOMMENDED GRADE
- PROPOSED RECOMMENDED GRADE
- EXISTING FINISH GRADE
- PROPOSED FINISH GRADE
- EXISTING CONCRETE STEP CONDITION
- PROPOSED CONCRETE STEP CONDITION

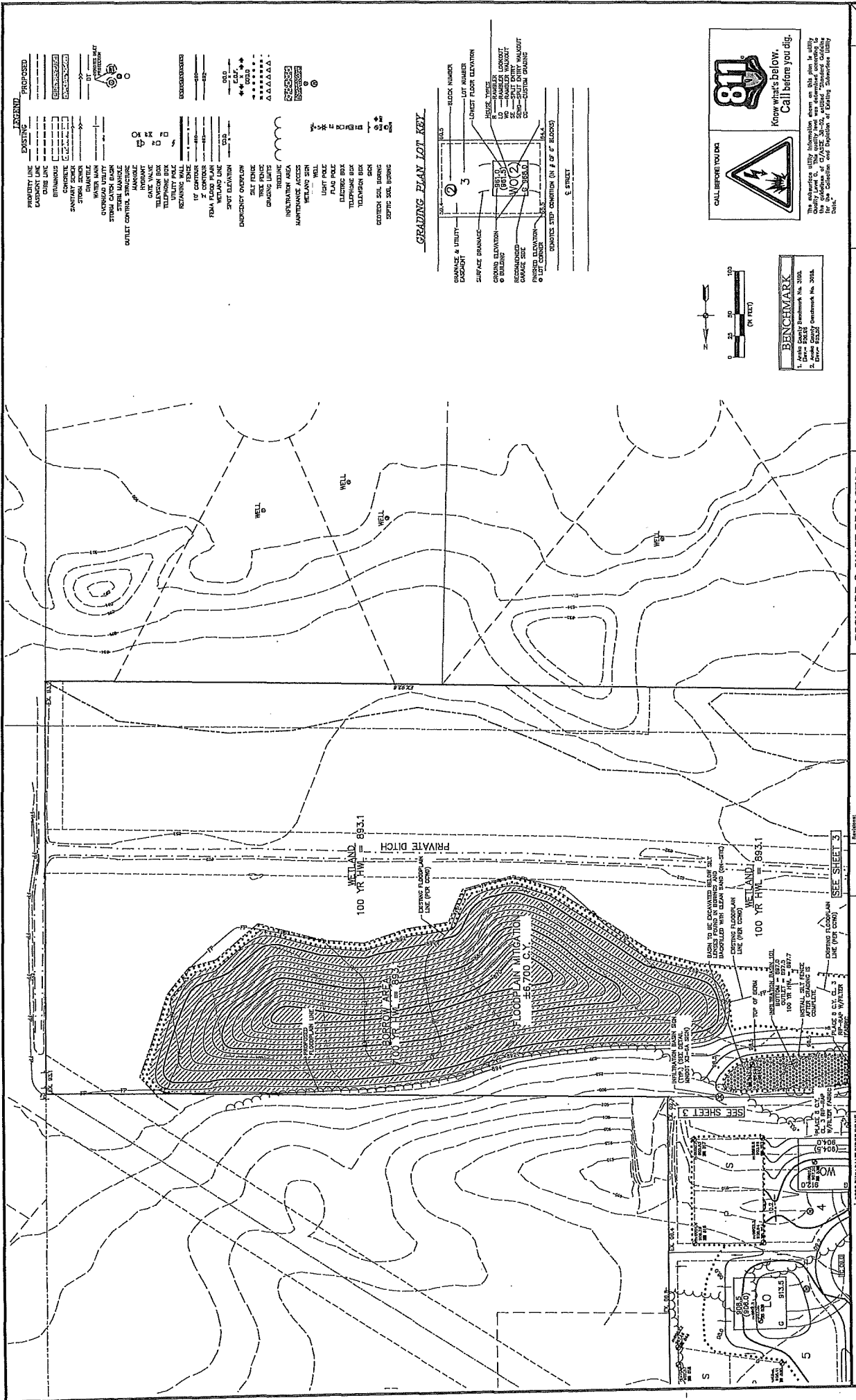
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- 4" CONTOUR
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- 9" CONTOUR
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- 98" CONTOUR
- 99" CONTOUR
- 100" CONTOUR

**BENCHMARK**

1. ELEVATION POINT BENCHMARK No. 3003  
 2. ELEVATION POINT BENCHMARK No. 3004  
 3. ELEVATION POINT BENCHMARK No. 3005

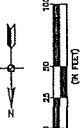
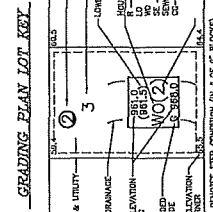
0 10 20 30 40 50 60 70 80 90 100  
 (IN FEET)

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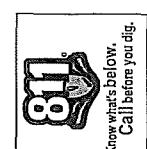


**LEGEND**

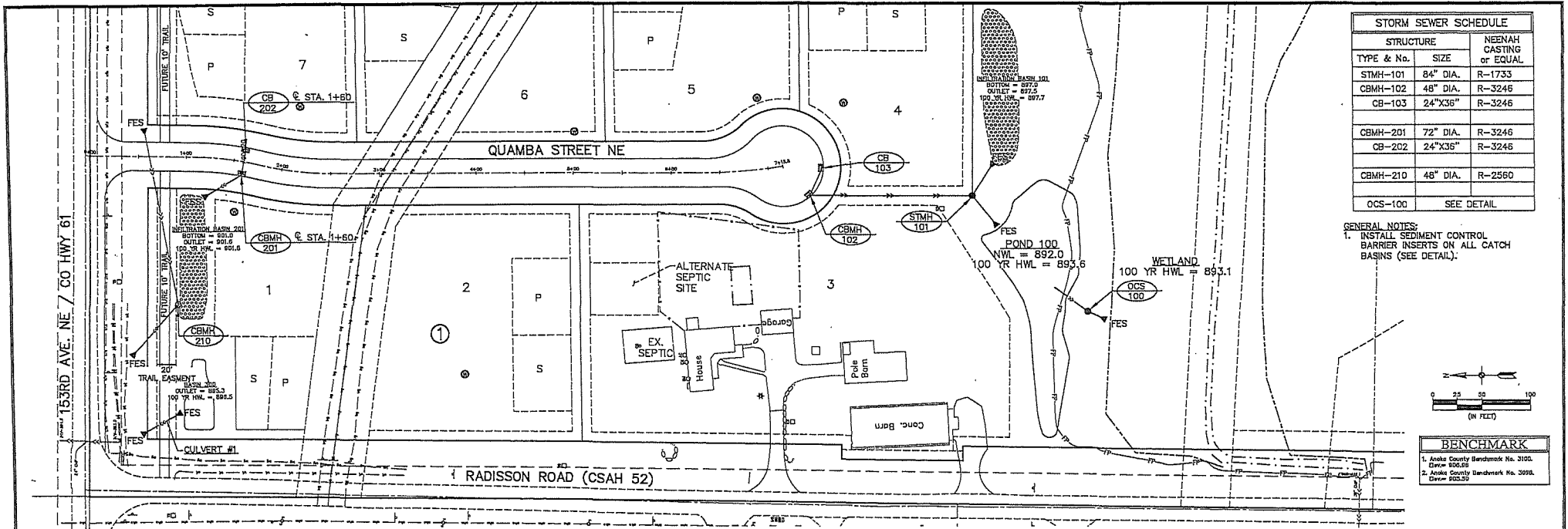
<b>EXISTING</b>	<b>PROPOSED</b>
PROPERTY LINE	PROPERTY LINE
EXISTING CONC. CURB	EXISTING CONC. CURB
EXISTING BRICKWORK	EXISTING BRICKWORK
EXISTING CONCRETE	EXISTING CONCRETE
EXISTING ASPHALT	EXISTING ASPHALT
EXISTING STONE	EXISTING STONE
EXISTING DRAINAGE	EXISTING DRAINAGE
EXISTING WATER MAIN	EXISTING WATER MAIN
EXISTING SEWER MAIN	EXISTING SEWER MAIN
EXISTING STORM CATCH BASIN	EXISTING STORM CATCH BASIN
EXISTING STORM MANHOLE	EXISTING STORM MANHOLE
EXISTING OUTLET CONTROL	EXISTING OUTLET CONTROL
EXISTING HYDRANT	EXISTING HYDRANT
EXISTING TELEPHONE BOX	EXISTING TELEPHONE BOX
EXISTING UTILITY POLE	EXISTING UTILITY POLE
EXISTING FENCE	EXISTING FENCE
EXISTING UTILITY	EXISTING UTILITY
EXISTING FEMA FLOOD PLAIN	EXISTING FEMA FLOOD PLAIN
EXISTING WETLAND LINE	EXISTING WETLAND LINE
EXISTING SPOT ELEVATION	EXISTING SPOT ELEVATION
EXISTING EROSION CONTROL	EXISTING EROSION CONTROL
EXISTING SALT FENCE	EXISTING SALT FENCE
EXISTING TREE	EXISTING TREE
EXISTING TRAILING	EXISTING TRAILING
EXISTING INSPIRATION AREA	EXISTING INSPIRATION AREA
EXISTING MAINTENANCE ACCESS	EXISTING MAINTENANCE ACCESS
EXISTING WETLAND SIGN	EXISTING WETLAND SIGN
EXISTING LIGHT POLE	EXISTING LIGHT POLE
EXISTING FLAG POLE	EXISTING FLAG POLE
EXISTING ELECTRIC BOX	EXISTING ELECTRIC BOX
EXISTING TELEPHONE BOX	EXISTING TELEPHONE BOX
EXISTING TELEPHONE POLE	EXISTING TELEPHONE POLE
EXISTING SEWER SOIL BORING	EXISTING SEWER SOIL BORING
EXISTING SEPTIC SOIL BORING	EXISTING SEPTIC SOIL BORING



**BENCHMARK**  
 1. Active Geodetic Benchmark No. 2104  
 2. Active CGO5 Benchmark No. 2024  
 Date: 05/20/20

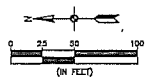


This engineering utility information shown on this plan is solely for the purpose of identifying the location of existing underground utility lines. It is not intended to be used as a collection and depiction of existing subsurface utility lines.

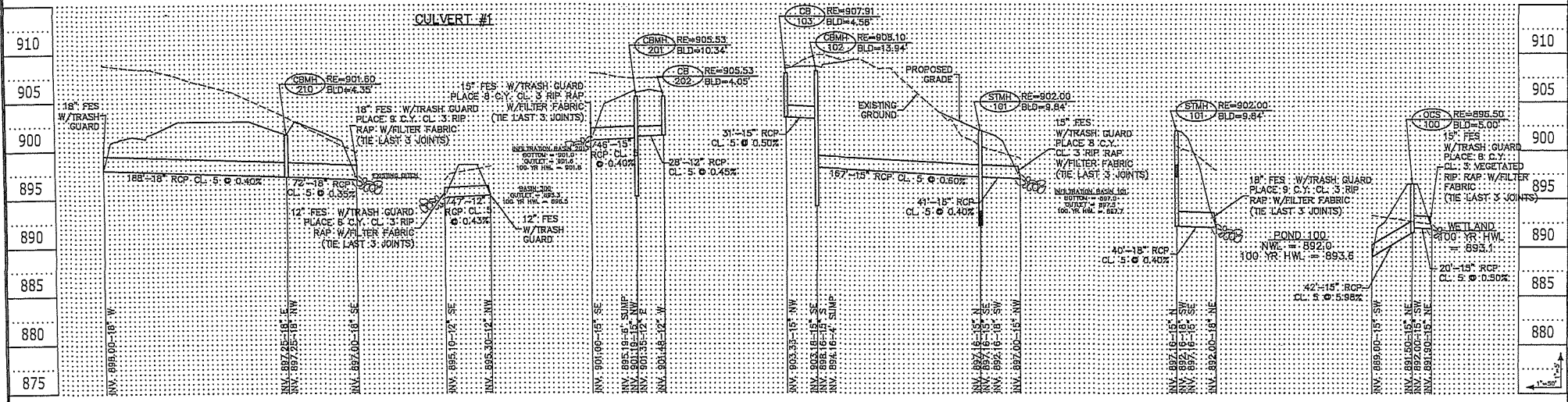


STORM SEWER SCHEDULE		
STRUCTURE TYPE & No.	SIZE	NEENAH CASTING OR EQUAL
STMH-101	84" DIA.	R-1733
CBMH-102	48" DIA.	R-3246
CB-103	24"x36"	R-3246
CBMH-201	72" DIA.	R-3246
CB-202	24"x36"	R-3246
CBMH-210	48" DIA.	R-2560
OCS-100		SEE DETAIL

GENERAL NOTES:  
 1. INSTALL SEDIMENT CONTROL BARRIER INSERTS ON ALL CATCH BASINS (SEE DETAIL).



**BENCHMARK**  
 1. Anoka County Benchmark No. 3100. Elev. 886.65'  
 2. Anoka County Benchmark No. 3099. Elev. 885.52'



**CARLSON MCCAIN**  
 ENGINEERING SURVEYING ENVIRONMENTAL  
 3090 PREBARTAN RIDGE DRIVE SUITE 100  
 BLAINE, MN 55448  
 TEL: 763-480-7900  
 FAX: 763-480-7905  
 CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Print Name: *John J. Krystofek, P.E.*  
 Signature: *[Signature]*  
 Date: 5/23/20 License #: 33863

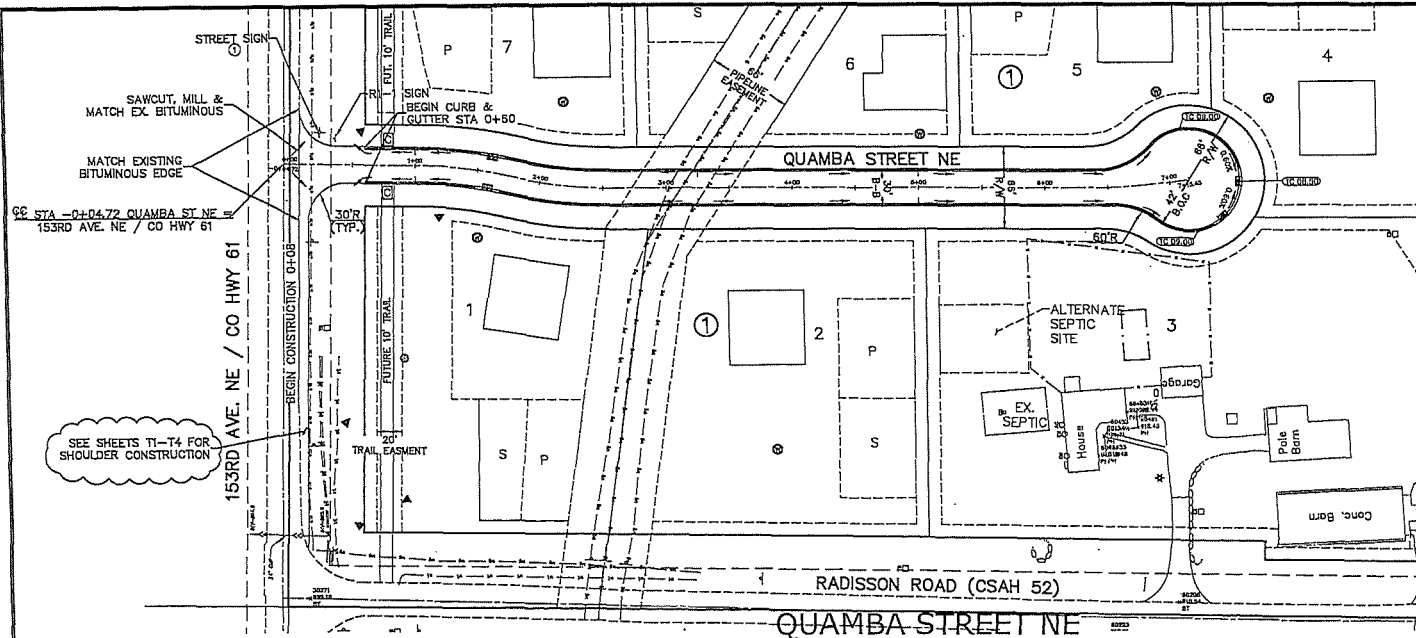
Drawn: *JD*  
 Date/Plotted: *BNK*  
 Date: 5/23/20

**RICHARD & JULIE BRAASTAD**  
 15203 Radisson Road NE  
 Ham Lake, MN 55304

**RADISSON SUNSET ESTATES**  
 Ham Lake, MN

**STORM SEWER**



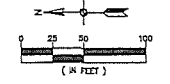


C CURVE DATA (QUAMBA STREET NE)		
PC = 1+08.97	PC = 1+77.58	PC = 6+31.37
PT = 1+77.58	PT = 2+52.15	PT = 7+15.45
Δ = 13.10	Δ = 14.24	Δ = 9.56
R = 300.00'	R = 300.00'	R = 503.79'
L = 68.6092'	L = 74.5763'	L = 84.0797'
T = 34.45'	T = 37.48'	T = 42.14'

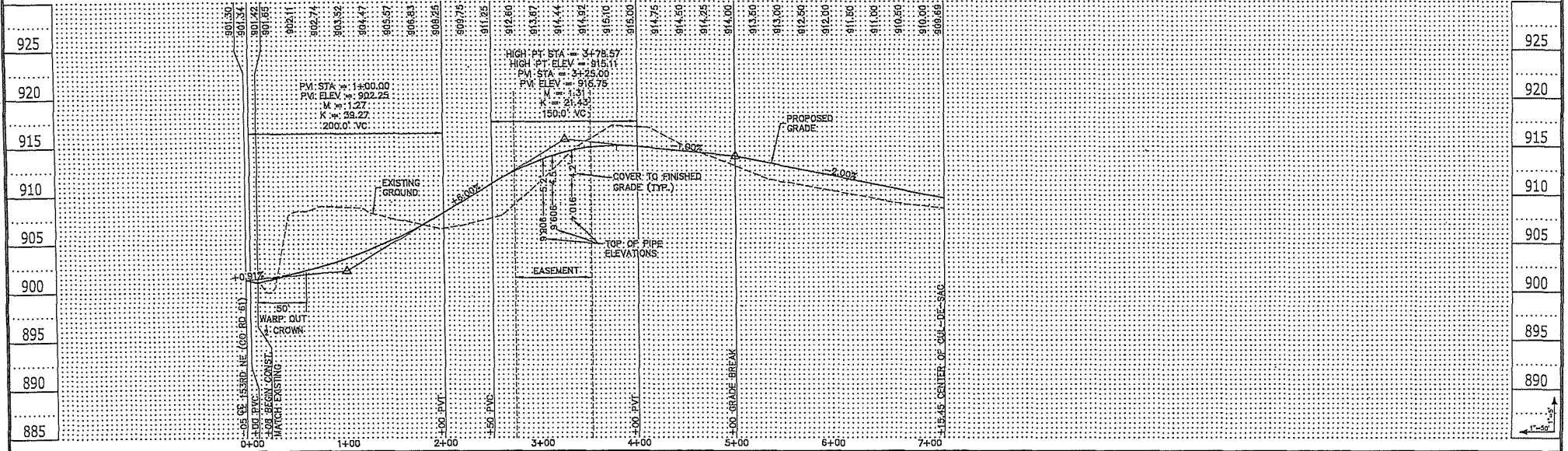
CURB TYPES LEGEND	
	B618 CONCRETE CURB & GUTTER
	0312 (MODIFIED) CONCRETE CURB & GUTTER
	BITUMINOUS EDGE
	DENOTES TOP OF CURB ELEVATION FOR THE TYPE OF CURB SHOWN.
	CURB CUT (FUTURE PEDESTRIAN RAMP)

SIGN SCHEDULE			
SIGN	SIGN NO.	SIZE	QUANTITY
	R1-1	30" x 30"	1
STREET SIGN			1

STREET NAME SIGNS	
NAMES	QUANTITY
QUAMBA ST NE 153RD AVE NE	1



BENCHMARK	
1. Anoka County Benchmark No. 3505.	Elev = 805.30
2. Anoka County Benchmark No. 3099.	Elev = 805.35



**CARLSON MCCAIN**  
ENGINEERING SURVEYING ENVIRONMENTAL

3830 PINEBANT RIDGE DRIVE  
SUITE 300  
HAM LAKE, MN 55304  
TEL: 763.482.3500  
FAX: 763.482.3500  
CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Richard J. Braastad, P.E.  
Signature: [Signature]  
Date: 02/27/20 License #: 20202

Drawn: 310  
Designed: 310  
Date: 02/25/20

**RICHARD & JULIE BRAASTAD**  
15203 Radisson Road NE  
Ham Lake, MN 55304

**RADISSON SUNSET ESTATES**  
Ham Lake, MN

**STREET CONSTRUCTION**

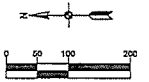
153RD AVENUE NE / CO HWY 61

QUAMBA STREET NE

RADISSON RD NE / CSAH 52

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
CURB	=====	=====
BUILDING SETBACK LINE	-----	-----
DITCH/ANOUS	-----	-----
GRAVEL	-----	-----
CONCRETE	-----	-----
10' CONTOUR	-----	-----
5' CONTOUR	-----	-----
SILT FENCE	-----	-----
TREE FENCE	-----	-----
TREE LINE	-----	-----
TREE SAVE AREA	-----	-----
EXISTING TREE	-----	-----
FILTRATION AREA	-----	-----



**BENCHMARK**  
 1. SHEET Control Measurement Manual (2008 & 2010)  
 2. Station 20, 201: Elevation = 800.211 (10/20/01)  
 3. 2007 Control Measurement Manual (2007 & 2010)  
 Station No. 201: Elevation = 811.12 (10/20/07)

**CARLSON MCCAIN**  
 ENGINEERING SURVEYING ENVIRONMENTAL  
 3800 PHEASANT RIDGE DR NE  
 SUITE 100  
 BLAINE, MN 55446  
 TEL 763.499.7900  
 FAX 763.499.7933  
 CARLSONMCCAIN.COM

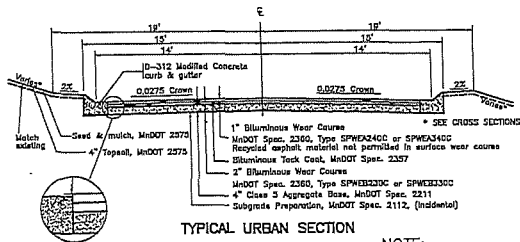
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Brian J. Kristofek, P.E. Drawn: BJD Revisions:  
 Signature: [Signature] Design: BJK  
 Date: 9/22/20 License #: 23263 Date: 9/23/20

**RICHARD & JULIE BRAASTAD**  
 15203 Radisson Road NE  
 Ham Lake, MN 55304

**RADISSON SUNSET ESTATES**  
 Ham Lake, MN

**TREE PRESERVATION PLAN**

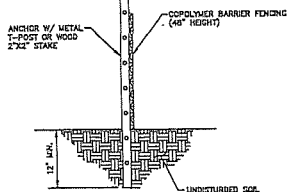


TYPICAL URBAN SECTION

NOTE:  
 $TC = \bar{C} - 0.19$  (D312M)  
 $TC = \bar{C} + 0.03$  (B618)

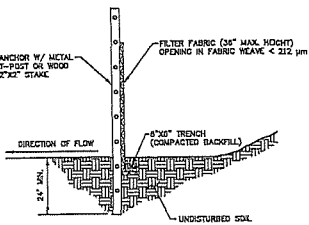
TYPICAL STREET SECTION HL-366E11  
 NOT TO SCALE

**TREE FENCE**



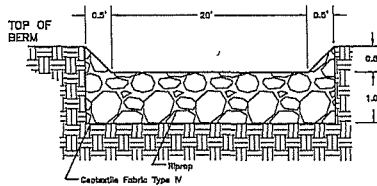
- NOTES:
1. TREE FENCING SHALL BE PLACED A MINIMUM OF 1 FOOT PER CALIPER INCH OF TREE DIAMETER FROM TREES THAT ARE TO BE SAVED.
  2. ANCHOR POSTS MAY BE SPACED UP TO 10 FEET APART.
  3. SECURELY ATTACH TREE FENCE TO ANCHOR POSTS W/ MINIMUM OF TWO ATTACHMENTS PER POST.
  4. SEE MNDOT SPECIFICATION 2572.

**SILT FENCE**



- NOTES:
1. DIG A 6\"/>

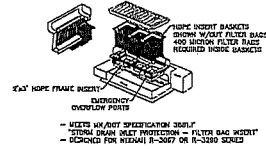
**BROAD CRESTED RECTANGULAR WEIR**



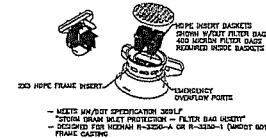
NOTE:  
 Permanent erosion control fabric to extend from WOL to 3' past toe of downstream slope.

**EMERGENCY OVERTLOW WEIR HL-852A1**  
 NOT TO SCALE

**INFRASAFE - 2'x3' DEBRIS COLLECTION DEVICE**  
 AS MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS



**INFRASAFE - 27\"/>
 AS MANUFACTURED BY ROYAL ENVIRONMENTAL SERVICES**



**TURF ESTABLISHMENT**

TURF ESTABLISHMENT SHALL APPLY TO ALL DISTURBED AREAS AND SHALL BE ACCORDING TO MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) EXCEPT AS NOTED BELOW.

TURF ESTABLISHMENT SHALL OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 7 DAYS.

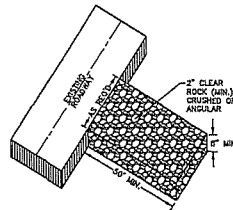
SEED: MNDOT MIXTURE 25-141 AT 80 POUNDS PER ACRE.

ORGANIC SOIL: SHALL BE APPLIED AT THREE THE NORMAL RATE AFTER NOVEMBER 1ST.

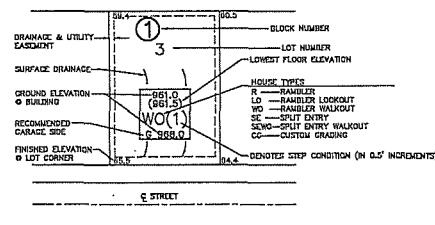
MULCH: TYPE 1 AT 2 TONS PER ACRE (SICK ANCHORED).

FERTILIZER: TYPE 1 10-10-10 AT 200 POUNDS PER ACRE.

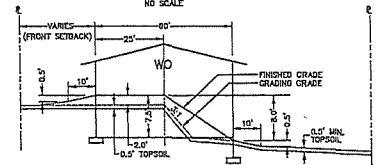
**ROCK CONSTRUCTION ENTRANCE**



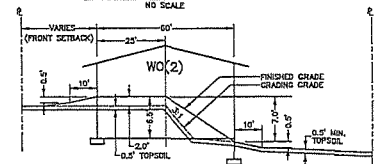
**GRADING PLAN LOT KEY**



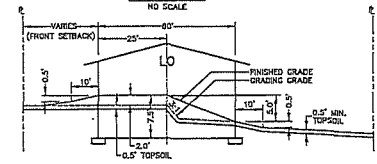
**WALKOUT**  
 NO SCALE



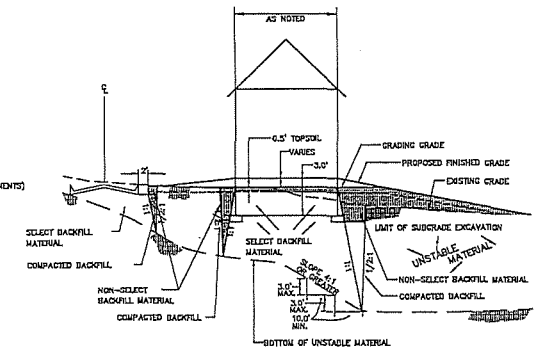
**MODIFIED WALKOUT**  
 NO SCALE

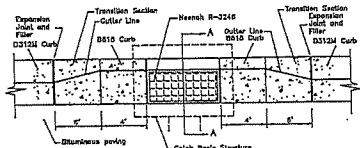


**LOOKOUT**  
 NO SCALE

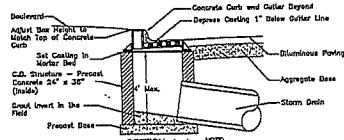


**SUBGRADE CORRECTION**



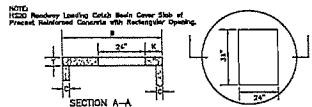


CATCH BASIN PLAN



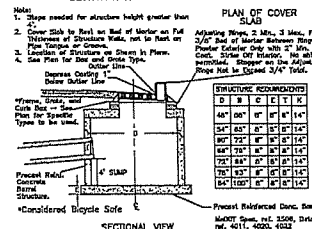
SECTION A-A

RECTANGULAR CATCH BASIN HL-459B  
NOT TO SCALE



SECTION A-A

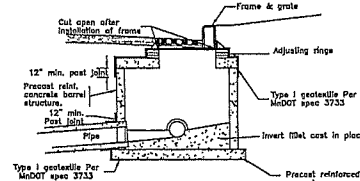
RECTANGULAR INLET FOR ROUND MANHOLE HL-465A2  
NOT TO SCALE



SECTIONAL VIEW

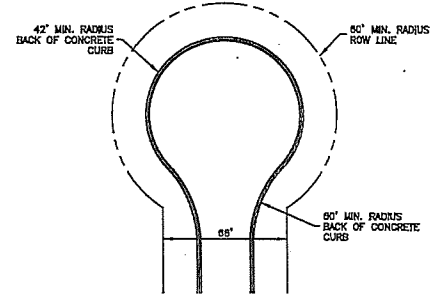
STRUCTURE RECOMMENDATIONS

D	R	E	C	T	K
48"	60"	72"	84"	96"	108"
12"	15"	18"	21"	24"	27"
12"	15"	18"	21"	24"	27"
12"	15"	18"	21"	24"	27"
12"	15"	18"	21"	24"	27"
12"	15"	18"	21"	24"	27"



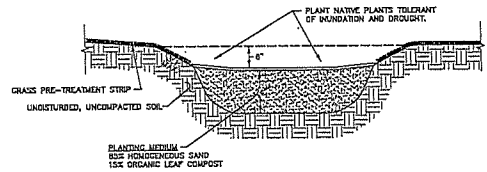
SECTIONAL VIEW

FABRIC AROUND CATCH BASIN HL-463A1  
NOT TO SCALE



TYPICAL RESIDENTIAL CUL-DE-SAC RFC-367A  
NOT TO SCALE

INFILTRATION BASIN



INFILTRATION BASIN 201

OUTLET SKIMMER STRUCTURE

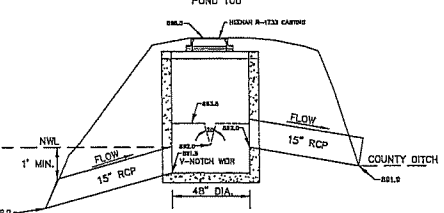
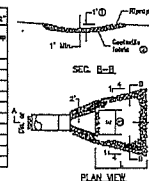


TABLE OF QUANTITIES

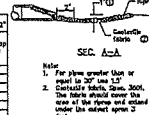
Flow Rate (GPM)	Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)
12	8	3.0	4.4	8.9
15	10	3.8	5.3	11.1
18	12	4.7	6.6	13.3
21	14	5.7	8.1	16.4
24	16	6.8	9.7	19.5
27	18	8.0	11.4	23.2
30	20	9.3	13.1	27.4
33	22	10.7	15.0	32.0
36	24	12.2	17.0	37.1
39	26	13.8	19.2	42.8
42	28	15.5	21.6	49.1
45	30	17.3	24.2	56.0



PLAN VIEW

RIPRAP AT RCP OUTLETS

Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)
12	15	18	21
12	15	18	21
12	15	18	21
12	15	18	21

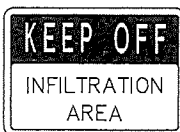


SECTIONAL VIEW

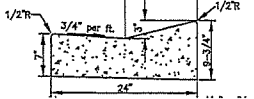
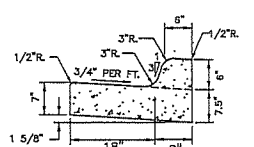
RIPRAP AT RCP OUTLETS HL-480A1  
NOT TO SCALE

\*VEGETATED RIPRAP TO BE PLACED SIMILAR TO HL-480A1. PLACE ENOUGH TOPSOIL IN THE VOIDS OF THE RIPRAP TO ALLOW FOR VEGETATION TO GROW WITHIN THE RIPRAP. SEEDING TO BE AS SHOWN ON THE LANDSCAPE PLANS.

MnDOT X3-6a SIGN

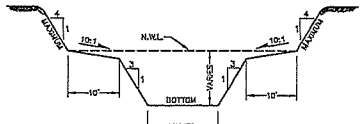


B618 CURB & GUTTER



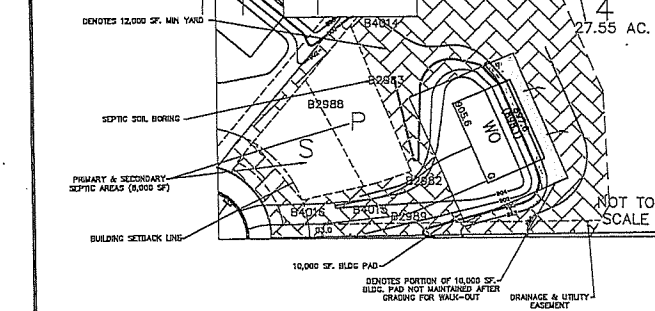
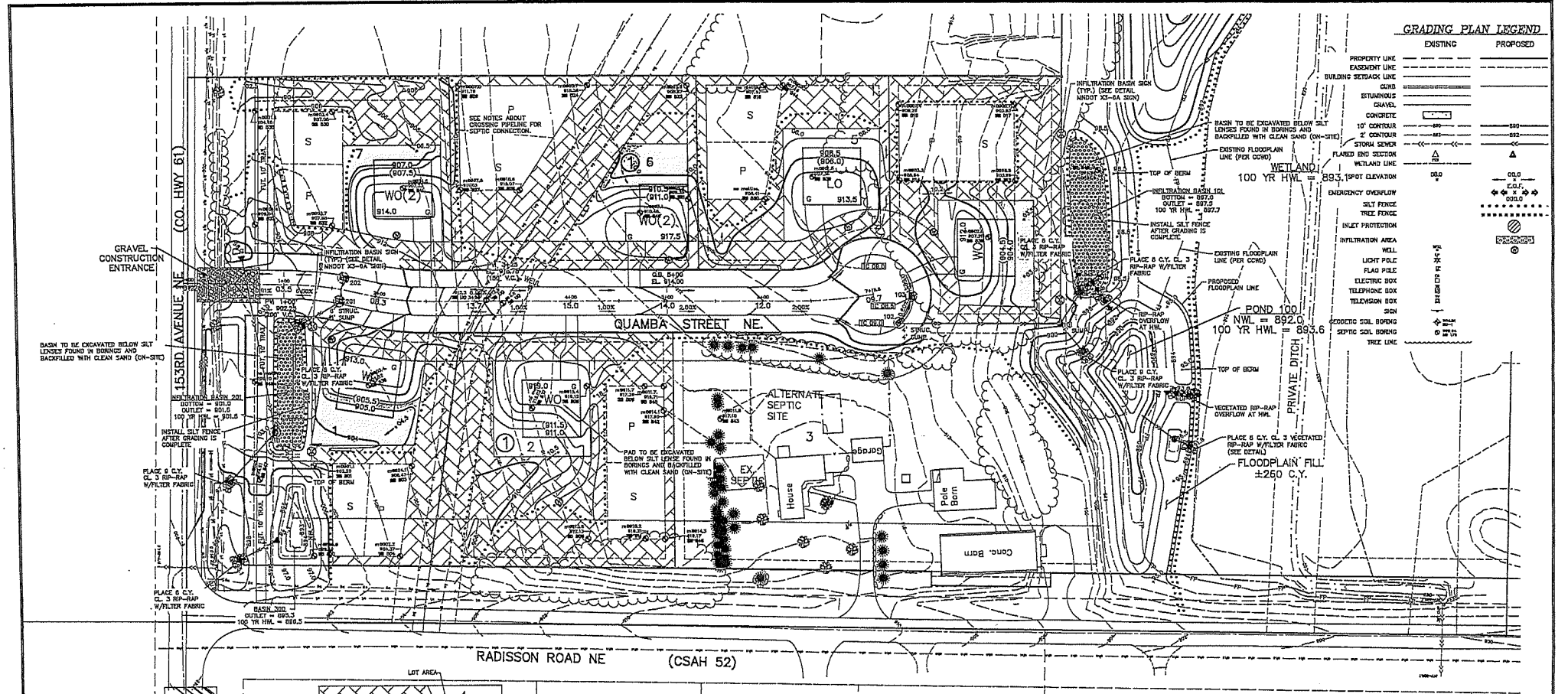
D312 MODIFIED CONCRETE CURB AND GUTTER RFC-355A  
NOT TO SCALE

TYPICAL POND SECTION



**GRADING PLAN LEGEND**

EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	---
BUILDING SETBACK LINE	---
GRASS	---
STURMUSIOUS GRAVEL	---
CONCRETE	---
10' CONTOUR	---
2' CONTOUR	---
FORM SENDER	---
FLAED ENG SECTION	---
WETLAND LINE	---
100 YR HWL = 893.1 SPOT ELEVATION	---
EMERGENCY OVENLOW	---
SILT FENCE	---
TREE FENCE	---
INLET PROTECTION	---
INFILTRATION AREA	---
WELL	---
LIGHT POLE	---
FLAG POLE	---
ELECTRIC BOX	---
TELEPHONE BOX	---
TELEVISION BOX	---
SIGN	---
GEODETIC SOIL BORING	---
SEPTIC SOIL BORING	---
TREE LINE	---

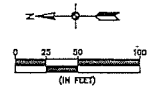


**BUILDING SETBACKS**

FRONT	30 FT
SIDE	10 FT
SIDE CORNER	30 FT
REAR CORNER (COUNTRY ROAD)	30 FT
REAR	30 FT

**NOTES:**

- ALL LOTS WILL MEET THE CITY'S LIVABILITY STANDARDS, UNLESS OTHERWISE NOTED IN THE CHART. LIVABILITY ELEVATIONS ARE DETERMINED AS FOLLOWS:
- SEPTIC AREAS:**  
 7500 S.F. AREA 1 FT ABOVE MOTTLED SOILS IS BASED ON SOIL BORINGS AT THE CORNERS OF THE SEPTIC AREAS. ELEVATION OF MOTTLED SOIL FLUCTUATES FROM BORING TO BORING BUT THE ENTIRE AREA IS 1 FT OR MORE ABOVE MOTTLED SOIL.
- BUILDING PADS:**
- AREA 4 FEET ABOVE UNSATURABLE SOIL IS DETERMINED AS FOLLOWS: 4 FEET ABOVE GROUNDWATER TABLE OR 4 FEET ABOVE 100-YEAR FLOOD ELEVATION, WHICHEVER IS GREATER.
  - AREA 1 FT ABOVE UNSATURABLE SOIL WAS DETERMINED USING THE SAME METHOD AS ABOVE.



**BENCHMARK**

- Anoka County Benchmark No. 3103, Elev = 890.89
- Anoka County Benchmark No. 3095, Elev = 893.30

**CARLSON MECAIN**  
 ENGINEERING SURVEYING ENVIRONMENTAL  
 2000 PLEASANT RIDGE DRIVE SUITE 100  
 BLAINE, MN 55449  
 TEL: 763.481.2900  
 FAX: 763.485.9260  
 CARLSON@CMCA.MN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.  
 Print Name: Brian J. Kristofek, P.E.  
 Signature: *Brian J. Kristofek*  
 Date: 9/25/20 License #: 35203  
 Drawn: BJK  
 Designed: BJK  
 Date: 9/25/20

**RICHARD & JULIE BRAASTAD**  
 15203 Radisson Road NE  
 Ham Lake, MN 55304

**RADISSON SUNSET ESTATES**  
 Ham Lake, MN

**LIVABILITY PLAN**

LIVABILITY CHART - (RADISSON SUNSET ESTATES)

LOT	BLK	LOT AREA (AC.) *(INC RW)	1/4' ELEVATIONS	GROSS LIVABILITY AREA (SF)	BUILDING AREA (SF)	ISTS AREA (SF)	YARD AREA (SF)	SUGGESTED SEPTIC SYSTEM TYPE	SOIL BORINGS				ANTICIPATED GROUND WATER (AGW) (HIGH MOTTLES)	100 YEAR HIGH SURFACE WATER LEVEL (HWL)	PROPOSED LOWEST FLOOR ELEV.	HOUSE TYPE	RECOMMENDED GARAGE FLOOR ELEV.	LOW FLOOR DETERMINING FACTOR
									BORING NO.	DEPTH TO MOTTLING (INCHES)	BORING ELEVATION	MOTTLING ELEVATION						
1	1	1.23 1.41*	04.4/07.4	32710	10000 **5293	7500	15210	-	500	12	899.6	898.6	903.4	-	905.5	WO	913.0	YARD
									501	13	902.2	901.1						
									503	28	906.5	904.1						
									504	26	904.4	902.2						
									HSE-536	26	905.5	903.4						
2	1	1.34 1.51*	05.8/08.8	58468	10000	9600	38868	-	506	40	917.1	913.8	LOWER THAN 904.8	-	911.5	WO	919.0	YARD
									508	45	919.1	915.4						
									509	68	917.4	911.7						
									511	48	919.2	915.2						
									545	60	916.7	911.7						
									546	56	919.2	914.5						
									HSE-537	NA	916.0	NA						
3	1	15.80 15.99*	EXISTING HOUSE	EXISTING HOUSE	(ALTERNATE SEPTIC SITE) 3850	EXISTING HOUSE	EXISTING HOUSE	-	542	46	917.9	914.1	EXISTING HOUSE					
									543	64	917.1	911.8						
4	1	1.00 1.06*	03.0/06.0	43562	10000 **3351	9600	23962	-	512	62	904.0	898.8	902.0	898.2	904.5	WO	912.0	MOTTLES
									514	64	908.6	903.3						
									515	58	906.3	901.4						
									517	62	905.8	900.7						
									HSE-538	62	907.2	902.0						
5	1	0.89 1.05*	02.5/05.5	38880	10000	8399	20481	-	518	NA	907.6	NA	901.5	893.1	906.0	LO	913.5	YARD
									520	NA	908.4	NA						
									521	62	909.3	904.2						
									523	60	908.9	903.9						
									544	48	907.2	903.2						
									HSE-539	70	907.4	901.5						
6	1	1.20 1.39*	08.1/11.1	52238	10000 **3520	10669	31569	-	524	56	910.4	905.7	907.1	893.1	911.0	WO(2)	917.5	YARD
									526	54	915.1	910.6						
									527	42	911.0	907.5						
									529	58	911.8	907.0						
									HSE-540	40	910.5	907.1						
7	1	0.95 1.12*	05.6/08.6	35925	10000 **2947	7500	18425	-	530	44	907.1	903.4	904.6	-	907.5	WO(2)	914.0	YARD
									532	48	907.7	903.7						
									533	56	909.0	904.4						
									535	40	905.0	901.6						
									HSE-541	32	907.2	904.6						

\*DENOTES NUMBER INCLUDES AREA INSIDE RIGHT-OF-WAY

\*\*DENOTES PORTION OF 10,000 SF BUILDING AREA NOT MAINTAINED AFTER GRADING FOR WALKOUT.

# RADISSON SUNSET ESTATES

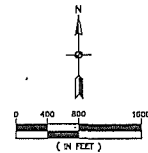
## CONSTRUCTION PLANS FOR TURN LANES INCLUDING; GRADING, STORM SEWER, STREETS, SIGNING AND STRIPING HAM LAKE, MINNESOTA



APPROVED: ANOKA COUNTY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**SHEET INDEX**

- T1. COVER
- T2. REMOVALS & GRADING,  
DRAINAGE & EROSION CONTROL PLAN
- T3. SITE, UTILITY, SIGNING & STRIPING, & CROSS SECTIONS
- T4. TRAFFIC CONTROL PLAN



3350 PLEASANT RIDGE DRIVE  
SUITE 100  
ST. ANGE, MN 55448  
TEL: 763.480.9200  
FAX: 763.480.9300  
CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Justin J Olson  
Signature: *Justin J Olson*  
Date: 02/29/22 License #: 24231

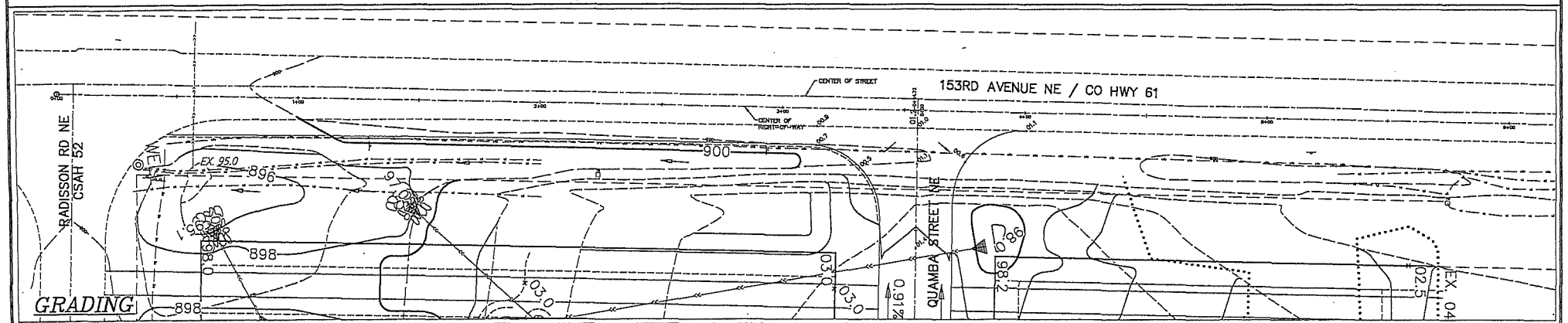
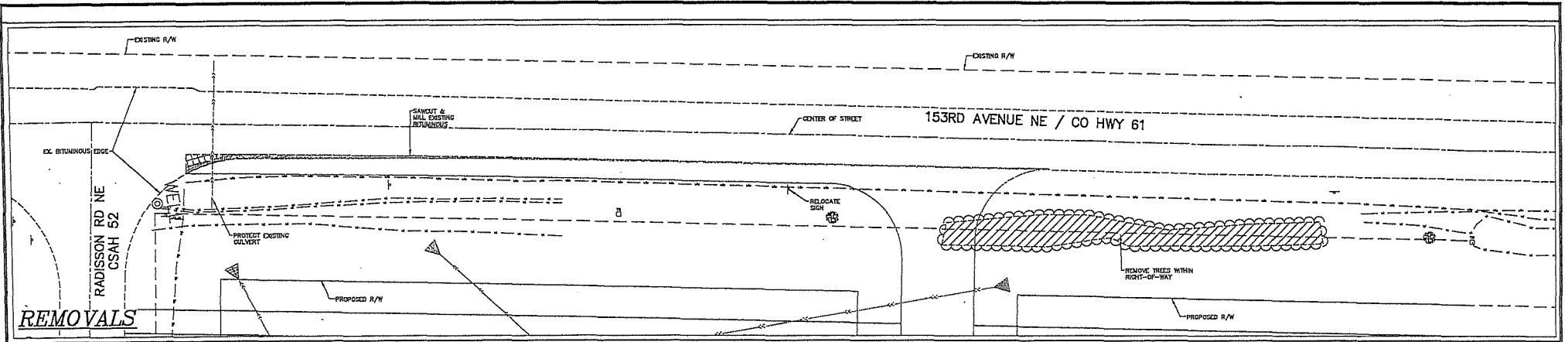
Drawn: 330  
Designed: 330  
Date: 02/29/22  
Revisions:  
1. 10/1/22 Revise per City & County comments  
2. 2/1/22 Revise per County comments

**RICHARD & JULIE BRAASTAD**  
15203 Radisson Road NE  
Ham Lake, MN 55304

**RADISSON SUNSET ESTATES**  
Ham Lake, MN

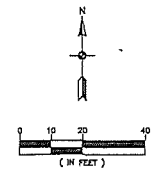
COVER SHEET

T1  
of  
4



REMOVALS LEGEND		GRADING LEGEND	
EXISTING	REMOVALS	EXISTING	PROPOSED
PROPERTY LINE		PROPERTY LINE	
EASEMENT LINE		EASEMENT LINE	
SAWCUT		CURB LINE	
SITUOUS	XXXXXXXXXX	GRADING LIMIT	AAAAAAAAA
GRAVEL		SITUOUS	XXXXXXXXXX
CONCRETE	XXXXXXXXXX	CONCRETE	XXXXXXXXXX
SANITARY SEWER	XXXXXXXXXX	SANITARY SEWER	XXXXXXXXXX
STORM SEWER	XXXXXXXXXX	STORM SEWER	XXXXXXXXXX
WATER MAIN	XXXXXXXXXX	WATER MAIN	XXXXXXXXXX
OVERHEAD UTILITY	XXXXXXXXXX	OVERHEAD UTILITY	XXXXXXXXXX
UNDERGROUND TELEPHONE	XXXXXXXXXX	UNDERGROUND TELEPHONE	XXXXXXXXXX
UNDERGROUND FIBROPTIC	XXXXXXXXXX	UNDERGROUND FIBROPTIC	XXXXXXXXXX
UNDERGROUND GAS	XXXXXXXXXX	UNDERGROUND GAS	XXXXXXXXXX
STORM CATCH BASIN	XXXXXXXXXX	STORM CATCH BASIN	XXXXXXXXXX
SIGN	XXXXXXXXXX	STORM MANHOLE	XXXXXXXXXX
HYDRANT	XXXXXXXXXX	HYDRANT	XXXXXXXXXX
GATE VALVE	XXXXXXXXXX	GATE VALVE	XXXXXXXXXX
TELEPHONE BOX	XXXXXXXXXX	TELEPHONE BOX	XXXXXXXXXX
UTILITY POLE	XXXXXXXXXX	UTILITY POLE	XXXXXXXXXX
FENCE	XXXXXXXXXX	FENCE	XXXXXXXXXX
GRAVEL EDGE	XXXXXXXXXX	GRAVEL EDGE	XXXXXXXXXX
5' CONTOUR	XXXXXXXXXX	5' CONTOUR	XXXXXXXXXX
1' CONTOUR	XXXXXXXXXX	1' CONTOUR	XXXXXXXXXX
WETLAND LINE	XXXXXXXXXX	WETLAND LINE	XXXXXXXXXX
SPOT ELEVATION	XXXXXXXXXX	SPOT ELEVATION	XXXXXXXXXX
TREE	XXXXXXXXXX	TRAILLINE	XXXXXXXXXX

\* CONTRACTOR TO VERIFY UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF ANY EXCAVATION.  
 COORDINATE WITH UTILITY COMPANIES FOR RELOCATION OF ANY UNDERGROUND UTILITIES UNDER PROPOSED ROAD.



CALL BEFORE YOU DIG

Know what's below.  
Call before you dig.

The subsurface utility information shown on this plan is utility quality level 0. This quality level was determined according to the guidelines of O'ASCE 30-02, entitled "Standard Guidelines for the Collection and Depiction of Labeled Subsurface Utility Data."

**CARLSON MCCAIN**  
 ENGINEERING SURVEYING ENVIRONMENTAL  
 3800 PINEHAWK RIDGE DR NE  
 SUITE 100  
 HAMLAKE, MN 55349  
 TEL: 763-402-7900  
 FAX: 763-402-7903  
 CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Print Name: JAYNE J OLSON  
 Signature: [Signature]  
 Date: 3/25/22 License #: 54231

Drawn: JBO  
 Design: JBO  
 Date: 3/23/22

Revised: 1, 3/10/21 Per County Comments

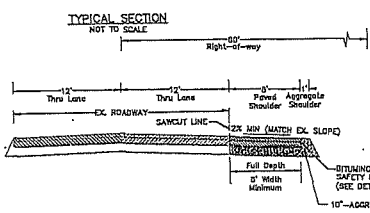
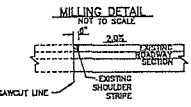
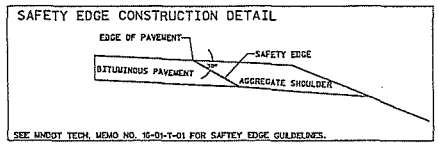
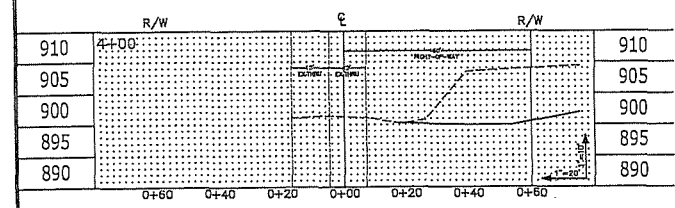
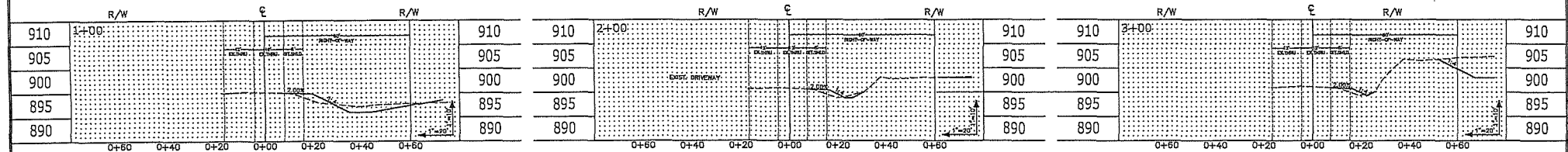
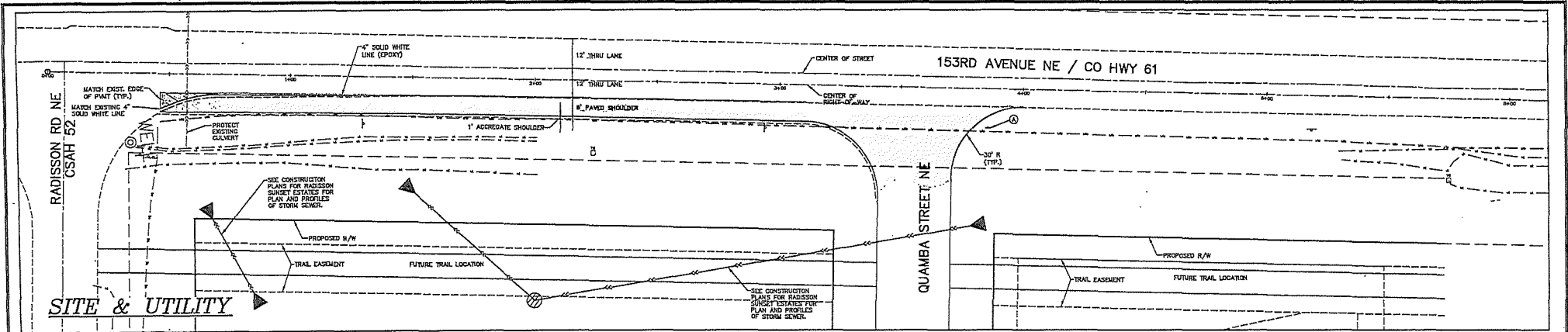
**RICHARD & JULIE BRAASTAD**  
 15203 Radisson Road NE  
 Ham Lake, MN 55304

**RADISSON SUNSET ESTATES**  
 Ham Lake, MN

**REMOVALS & GRADING, DRAINAGE & EROSION CONTROL PLAN**

T2 of 4





**LEGEND**

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
EASEMENT LINE	EASEMENT LINE
CURB LINE	CURB LINE
BITUMINOUS	FULL DEPTH BITUMINOUS OVERLAY
GRAVEL	GRAVEL
CONCRETE	CONCRETE
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
WATER MAIN	WATER MAIN
OVERHEAD UTILITY	OVERHEAD UTILITY
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
UNDERGROUND GAS	UNDERGROUND GAS
STORM CATCH BASIN	STORM CATCH BASIN
STORM MANHOLE	STORM MANHOLE
HYDRANT	HYDRANT
GATE VALVE	GATE VALVE
TELEPHONE BOX	TELEPHONE BOX
UTILITY POLE	UTILITY POLE
FORCE	FORCE
GRAVEL EDGE	GRAVEL EDGE
STRIPING	STRIPING
10' CONTOUR	10' CONTOUR
2' CONTOUR	2' CONTOUR
WETLAND LINE	WETLAND LINE
SPOT ELEVATION	SPOT ELEVATION
SIGN	SIGN
TREELINE	TREELINE

- TURN LANE NOTES**
- ALL GRADES ARE TO FINISHED PAVEMENT UNLESS OTHERWISE NOTED.
  - GOVERNING SPECIFICATIONS SHALL BE THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION".
  - ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE MAINTED.
  - CONTRACTOR SHALL NOTIFY ANOKA COUNTY HIGHWAY DEPARTMENT AND SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL PRIOR TO PERFORMING ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY.
  - CONTRACTOR SHALL REMOVE ALL CONFLICTING PAVEMENT MARKINGS.
  - ALL TURN LANE STRIPING SHALL BE COMPLETED USING EPOXY PAINT.
  - CONTRACTOR SHALL COORDINATE WORK AROUND AND RELOCATION OF SMALL UTILITIES.
  - CONTRACTOR TO CONTACT ANOKA COUNTY HIGHWAY DEPARTMENT 48 HOURS BEFORE STRIPING CONSTRUCTION.

**SIGN SCHEDULE**

SIGN	SIGN NO.	SIZE	QUANTITY
(A)	RT-1	30" x 36" (WHITE ON RED)	(INCLUDED IN SITE PLANS)

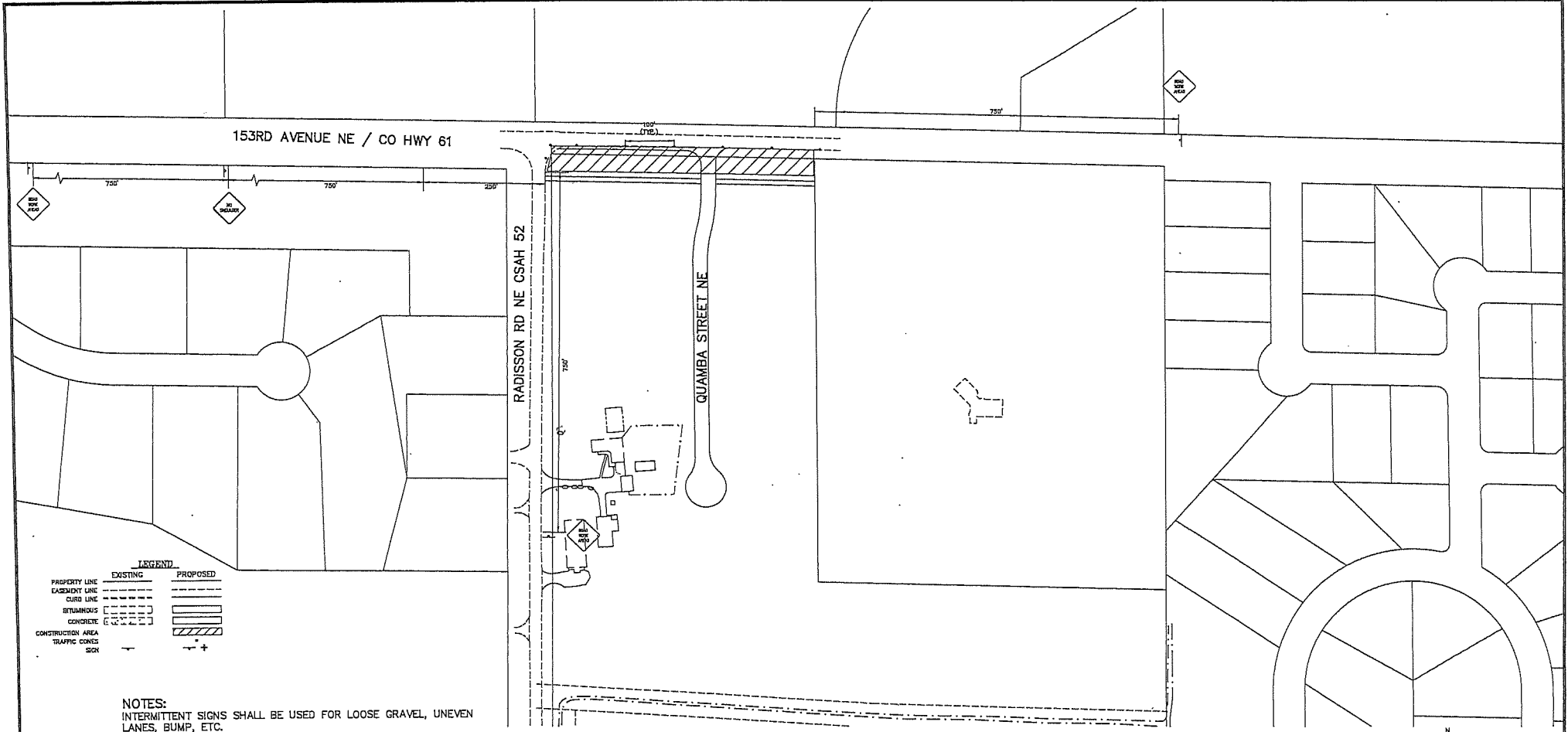
**CARLSON MCCAIN**  
ENGINEERING SURVEYING ENVIRONMENTAL  
3000 PHEASANT RIDGE DRIVE  
SUITE 100  
BLAINE, MN 55449  
TEL: 763.488.7000  
FAX: 763.488.7019  
CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
Print Name: Justin J. Olson  
Signature: [Signature]  
Date: 9/25/20 License #1: 52331  
Drawn: JJD  
Designed: JJD  
Date: 9/25/20  
Revisions:  
1. 10/1/20 Per City & County Comments  
2. 9/10/21 Per County Comments

**RICHARD & JULIE BRAASTAD**  
15203 Radisson Road NE  
Ham Lake, MN 55304

**RADISSON SUNSET ESTATES**  
Ham Lake, MN

**SITE, UTILITY, SIGNING & STRIPING, & CROSS SECTIONS**



**LEGEND**

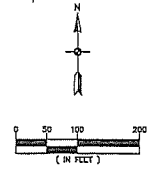
	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
SEWER/STORM	---	---
CONCRETE	---	---
CONSTRUCTION AREA	---	---
TRAFFIC CONES	---	---
SIGN	---	---

**NOTES:**  
 INTERMITTENT SIGNS SHALL BE USED FOR LOOSE GRAVEL, UNEVEN LANES, BUMP, ETC.  
 IF THE LONGITUDINAL DROP-OFF REACHES MORE THAN 1 FOOT, A J-BARRIER MAY BE NEEDED AND A SEPARATE TRAFFIC CONTROL PLAN MUST BE SUBMITTED BY THE CONTRACTOR. FOLLOW MNDOT TEMPORARY BARRIER GUIDANCE MANUAL.  
 ALL WORK WITHIN THE COUNTY RIGHT-OF-WAY SHALL CONFORM TO THE 2018 MNDOT STANDARD SPECIFICATION FOR CONSTRUCTION.  
 ALL CONSTRUCTION ACTIVITIES SHALL FOLLOW THE MMUTCD.

SIGN SCHEDULE	
SIGN	QUANTITY
	1
	4

CALL BEFORE YOU DIG

Know what's below.  
Call before you dig.



The subsurface utility information shown on this plan is utility quality level 2. This quality level was determined according to the guidelines of Q/ASCE 38-02, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."

**CARLSON MCCAIN**  
 ENGINEERING SURVEYING ENVIRONMENTAL

3560 PHEASANT RIDGE DRIVE  
 SUITE 100  
 BLAINE, MN 55448  
 TEL 763.488.7500  
 FAX 763.487.7515  
 CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Justin J. Olsen  
 Signature: *Justin J. Olsen*  
 Date: 02/22/25 License #: 54231

Drawn: JJO  
 Design: JJO  
 Date: 02/22/25

Revisions:  
 1. 01/23 Per County Comments  
 2. 2/19/25 Per County Comments

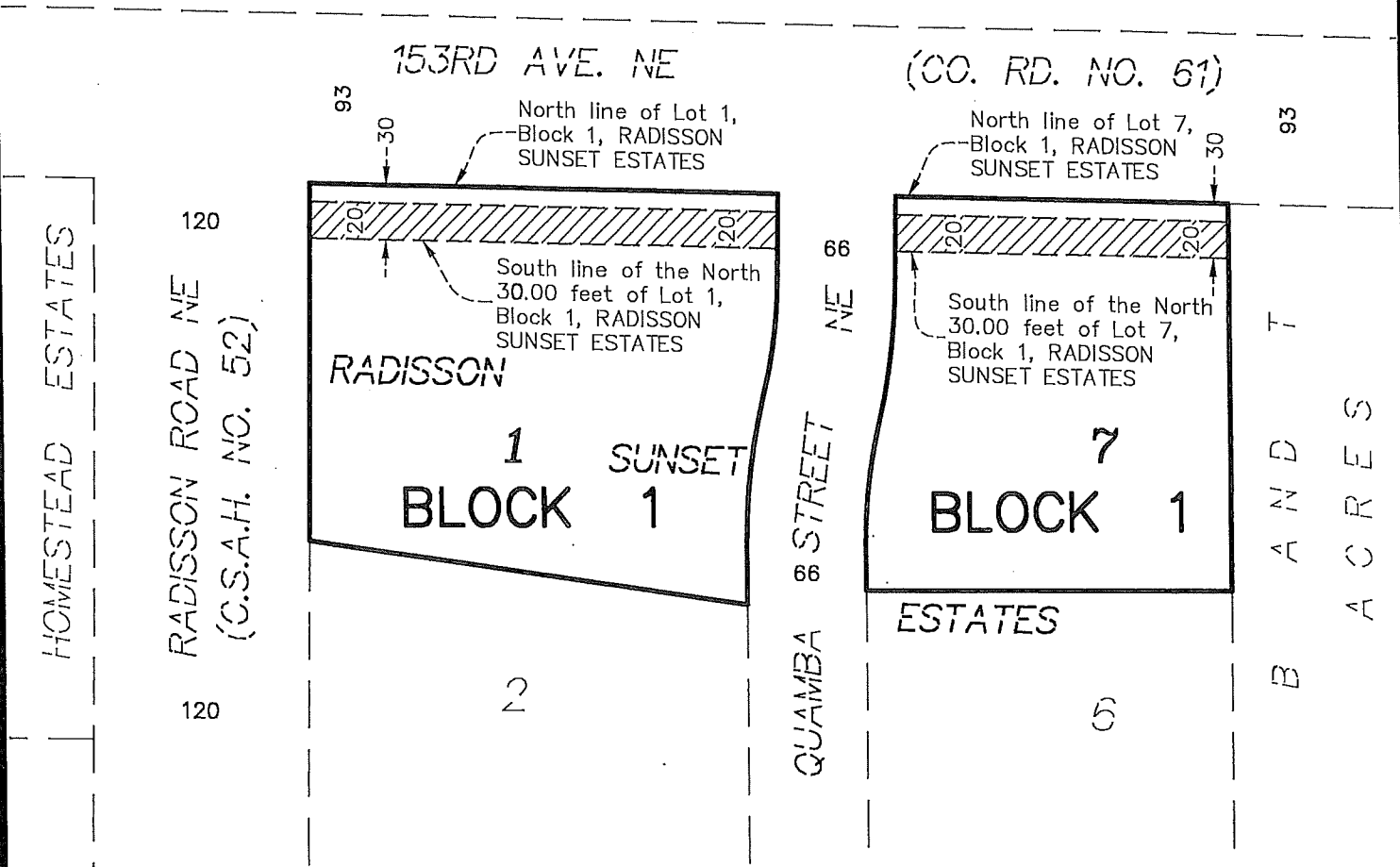
**RICHARD & JULIE BRAASTAD**  
 15203 Radisson Road NE  
 Ham Lake, MN 55304

**RADISSON SUNSET ESTATES**  
 Ham Lake, MN

**TRAFFIC CONTROL PLAN**

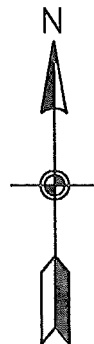
T4 of 4

# Easement Description Sketch

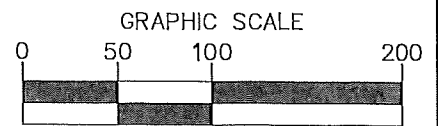


**EASEMENT DESCRIPTION:**

An easement lying over, under, and across the South 20.00 feet of the North 30.00 feet of Lot 1 and Lot 7, Block 1, RADISSON SUNSET ESTATES, according to the recorded plat thereof, Anoka County, Minnesota.



Easement Area



## ENCROACHMENT AGREEMENT

This Encroachment Agreement (the "Agreement") is made and entered into on this 23rd day of September, 2020 (the "Effective Date"), by and between Flint Hills Resources, LC ("Grantor") and Julie Braastad and Richard Braastad ("Grantee").

WHEREAS, Grantor has agreed to permit Grantee to encroach upon the pipeline easement, more particularly described below, with the Encroachment described below, subject to the terms and conditions of this Agreement.

NOW, THEREFORE, for good and valuable consideration, the receipt of which is hereby acknowledged, the parties agree as follows:

Grantor, as operator/agent of pipeline owner, consents to Grantee encroachment as detailed below:

**Property Location:** W ½ of SE ¼ of Section 21, Township 32N, Range 23W, Anoka County, Minnesota. ("Grantor Easement(s)").

**Encroachment:** One new road crossing over the pipelines (the "Encroachment"), as depicted and/or described in Exhibit A, which is incorporated herein by reference, and as further detailed in Section 1 below.

### Contact:

#### Grantor Contact

Name: Ed Traut  
Address: 3120 117<sup>th</sup> St. E  
Inver Grove Heights, MN 55077  
Telephone: 320-632-6123

#### Grantee Contact

Name: Julie Braastad  
Address: 15203 Radisson Rd. NE  
Ham Lake, MN 55304  
Telephone: 763-238-2355

### General Terms and Conditions

1. **Grantee's Facilities.** Grantee may construct the Encroachment, within the Grantor Easements, subject to the terms of this Agreement. Grantee shall be solely responsible for construction, maintenance, and operations of the Encroachment at no cost or expense to Grantor.
2. **Grantor's Easement Rights.** This Agreement is subject to the easement rights of Grantor. Grantor may place additional restrictions concerning the Encroachment, not contained in this Agreement, in order to protect its easement rights and pipeline facilities.
3. **Specifications.** Grantee shall supply plans, surveys, and drawings for the Encroachment upon Grantor's request. Grantee shall ensure a minimum clearance between Grantor's pipe and the Encroachment of twenty-four inches (24"), or one and a half (1.5) times the diameter of Grantor's pipe, whichever is greater.
4. **Notification.** Grantee shall notify, or cause its representative to notify, the appropriate state One-Call notification center as required by law, but in no event less than 48 hours prior to the commencement of excavation in or near Grantor Easements. Grantee shall provide Grantor's representative a valid One Call Ticket before beginning excavation.

5. **Excavation Monitor.** Grantor's representative must be onsite if any excavation activity occurs within twenty-five feet (25') of Grantor's pipe. Grantee shall hand dig when within two feet (2") of Grantor's pipe. No work shall take place without Grantor's staff being given the opportunity to be present at the specified worksite. If Grantor determines that any proposed work may potentially cause an unsafe condition or damage to Grantor's pipe, Grantor shall have the authority to immediately prevent such work from being done.
6. **Construction.** The Encroachment shall be constructed and maintained to comply with all applicable laws and industry standards. Grantee shall construct the Encroachment to as close to a ninety (90) degree angle as practicable unless otherwise approved by Grantor in writing.
7. **Grantor's Facilities.** Except to the extent prior written approval is granted by Grantor, Grantee will not remove or permit the removal of the existing cover from over Grantor's facilities or remove or permit the removal of the lateral support for Grantor's facilities. If the Encroachment crosses above Grantor's pipeline, Grantee shall install sight holes to monitor the Encroachment, as it crosses Grantor's pipeline. Grantee shall ensure that cover over Grantor's pipeline is maintained at its current depth. Grantee shall not place heavy equipment on or over Grantor's pipeline if less than five feet (5') of cover exists, unless otherwise approved by Grantor. If Grantee uses heavy equipment, Grantee must obtain Grantor's engineer's approval of the weight/load bearing prior to crossing Grantor's pipeline.
8. **Corrosion Control Device.** Grantee shall ensure that any corrosion control device or system utilized in connection with, or any condition, created as a result of, the Encroachment will be compatible with any device or system utilized by Grantor to control corrosion on its facilities. If Grantee's control device or system is not compatible with Grantor's device or system, Grantor may require Grantee to discontinue use of Grantee's device or system, make such modifications to its device or system, or correct any condition created to Grantor's facilities, as a result of the Encroachment, at Grantee's cost and risk to ensure the compatibility of the Encroachment with Grantor's device or system.
9. **Termination.** Grantor may terminate this Agreement (1) in the event of Grantee's failure to comply with any provision of this Agreement, or (2) if Grantor determines that the Encroachment prevents Grantor from enjoying its easement rights, such termination effective upon providing written notice to Grantee. If this Agreement is terminated, Grantee shall promptly relocate and/or remove the Encroachment at no expense or risk to Grantor.
10. **Term and Restoration.** Grantee shall complete construction of the Encroachment within one year of the date of this Agreement. If construction of the Encroachment is not complete within one year, this Agreement shall automatically terminate. If this Agreement is terminated and the Easement Area has been disturbed by Grantee, Grantee shall restore the Easement Area to its pre-existing condition at no cost or expense to Grantor. This restoration requirement survives the termination or expiration of this Agreement.
11. **Grantor Facilities Maintenance.** Grantee agrees that Grantor may remove, at Grantee's expense, any Encroachment or portion thereof if, in Grantor's judgment, it is reasonably necessary to do so in order to construct, alter, maintain, repair, or replace Grantor's facilities located within the Easement Area, or in order to construct or install new facilities.
12. **Indemnification.** To the fullest extent permitted by law, Grantee agrees to release, defend, indemnify, and hold harmless Grantor, its respective parent companies, partners,

subsidiaries and any other related or affiliated entity, and their respective officers, agents, directors, employees, and shareholders (collectively the "Indemnified Parties") against all claims, liabilities, damages, demands, lawsuits, causes of action, strict liability claims, penalties, fines, administrative law actions and orders, expenses (including, but not limited to, attorneys' fees and other costs of defense) and costs of every kind and character (collectively "Claims/Liabilities"), arising from or in any way connected to the installation, maintenance, repair, removal and/or presence of the Encroachment regardless of whether such harm is to Grantee, the Indemnified Parties or any other person or entity. THE DUTY TO RELEASE, DEFEND, INDEMNIFY AND HOLD THE INDEMNIFIED PARTIES HARMLESS SHALL INCLUDE, BUT NOT BE LIMITED TO, CLAIMS/LIABILITIES THAT RESULT FROM THE COMPARATIVE, CONCURRENT OR CONTRIBUTING NEGLIGENCE OF ANY PERSON OR ENTITY INCLUDING, BUT NOT LIMITED TO, THE INDEMNIFIED PARTIES, EXCEPT GRANTEE SHALL NOT BE LIABLE UNDER THIS SECTION FOR CLAIMS/LIABILITIES RESULTING FROM THE SOLE NEGLIGENCE OF THE INDEMNIFIED PARTIES. Grantee's duties under this section shall survive the termination, revocation, or expiration of this Agreement.

13. **Liability for Damage.** Grantee accepts full liability for any damage to Grantor's facilities from the placement, operation, and/or maintenance of the Encroachment.
14. **Special Provisions.** In addition, Grantee shall perform any requirements set forth in the Special Provisions section above. To the extent that any of the requirements set forth in the Special Provisions section conflict with or are more stringent than the requirements set forth in this Agreement, the requirements set forth in Special Provisions shall control.
15. **Remedies.** The violation of any of the terms and conditions of this Agreement would be irreparable and immediately harmful to Grantor and Grantor is entitled to enforce the terms and conditions of this Agreement through injunctive proceedings, specific performance, or other equitable relief in addition to such other remedies as may be available.
16. **Governing Law.** THIS AGREEMENT AND ALL RIGHTS AND OBLIGATIONS OF THE PARTIES HEREUNDER SHALL BE GOVERNED BY AND CONSTRUED IN ACCORDANCE WITH THE LAWS OF THE STATE WHERE THE ENCROACHMENT IS LOCATED, WITHOUT REGARD TO CONFLICTS OF LAWS PRINCIPLES THAT WOULD REQUIRE THE APPLICATION OF ANY OTHER LAW.
17. **Entirety.** This Agreement between the parties comprises the entire agreement between the parties with respect to the subject matter hereof, and there are no agreements, understandings, requirements, warranties, or representations, oral or written, expressed or implied, that are not merged herein or superseded hereby.
18. **Counterparts.** This Agreement may be executed in counterparts, each of which shall be considered an original instrument for all purposes but which together shall constitute on and the same instrument.

**IN WITNESS WHEREOF**, the parties hereto have caused this Agreement to be duly executed as of the Effective Date.

*Signature Pages Follow*

**GRANTOR:**

Flints Hills Resources, LC

DocuSigned by:  
By: Michael Hendricks  
Printed Name: Michael Hendricks  
Title: Operations Supervisor

**GRANTEE:**

By: \_\_\_\_\_  
Printed Name: Julie Braastad  
Title: Landowner

By: \_\_\_\_\_  
Printed Name: Richard Braastad  
Title: Landowner



**GRANTOR:**

Flints Hills Resources, LC

By: \_\_\_\_\_  
Printed Name: Michael Hendricks  
Title: Operations Supervisor

**GRANTEE:**

By: Julie Braastad  
Printed Name: Julie Braastad  
Title: Landowner

By: Richard A. Braastad  
Printed Name: Richard Braastad  
Title: Landowner



# Anoka County

## TRANSPORTATION DIVISION

Highway

Joe MacPherson, PE  
County Engineer

September 24, 2020

Justin J. Olson, P.E.  
Carlson McCain, Inc.  
3890 Pheasant Ridge Drive NE, Suite 100  
Blaine, MN 55449

Re: Radisson Sunset Estates  
Anoka County Roadway Improvements

Dear Mr. Olson:

We have reviewed the memorandum from Carlson McCain dated September 4, 2020 requesting a variance from the requirement to build an eastbound right turn lane on CR 61 (153<sup>rd</sup> Ave NE) to the proposed Quamba Street in the Radisson Sunset Estates development.

As detailed in the memorandum, due to the proximity of the Quamba Street connection to Radisson Rd (CR 52), ACHD length requirements for constructing a right turn lane and taper cannot be met. Since the standard 300' turn lane length/180' taper length cannot be achieved, Anoka County hereby removes the requirement to construct the requested eastbound right turn lane. However, in lieu of the turn lane, we will require that an 8' paved shoulder be constructed between Radisson Rd. and Quamba St. The paved shoulder area can still serve as a de facto refuge area for EB right turning vehicles into this development.

If you have any questions, comments, or would like to discuss this information in more detail, please contact me at (763) 324-3103, or by email at [jerry.auge@co.anoka.mn.us](mailto:jerry.auge@co.anoka.mn.us).

Sincerely,

Jerry Auge, P.E.  
Assistant County Engineer

cc: Joe MacPherson, Transportation Division Manager/County Engineer  
Jane Rose, Traffic Engineering Manager  
Nick Dobda, Engineering Supervisor  
Jennifer Bohr, City of Ham Lake  
File

**Our passion is your safe way home!**

1440 Bunker Lake Blvd. NW Δ Andover, MN 55304-4005  
Office: 763-862-4200 Δ Fax: 763-862-4201 Δ [www.anokacounty.us/highway](http://www.anokacounty.us/highway)

**Affirmative Action / Equal Opportunity Employer**



Anoka County  
TRANSPORTATION DIVISION

Highway

Jennifer Bohr  
City of Ham Lake  
15544 Central Ave. NE  
Ham Lake, MN 55304

August 28, 2020

RE: Preliminary Plat - Sunset Estates

Dear Jennifer,

We have reviewed the Preliminary Plat for Sunset Estates, to be located south of CR 61 (153<sup>rd</sup> Avenue NE) and east of CSAH 52 (Radisson Road NE) within the City of Ham Lake, and I offer the following comments:

As depicted on the plat, an additional 27 feet of right of way adjacent to CR 61 will be required for future reconstruction purposes (60 feet total right of way width south of CR 61 centerline). Additional right of way and highway easements adjacent to CSAH 52 as depicted in the attached sketch will also be required for future reconstruction purposes. As proposed, the plat introduces one new access point onto CR 61 (Quamba Street) which is acceptable to this department, in addition, we will allow the existing access to 15203 Radisson Road to remain. An EB CR 61 right turn lane will be required to be constructed for the proposed Quamba Street. Please note that no plantings or private signs will be permitted within the county right of way and care should be exercised when locating signs, buildings, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CSAH 52 and CR 61.

ACHD would like to work with local governments in promoting compatibility between land use and the county highway system. It should be recognized that residential land uses located adjacent to County highways often results in complaints about traffic noise. Existing and/or future traffic noise from CSAH 52 and CR 61 could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities are responsible for taking all reasonable measures to prevent land use activities listed in the MPCA's Noise Area Classification (NAC) where establishment of the land use would result in violations of established noise standards. It is advised that the City and the Developer should assess the noise situation for this development as it is proposed to be located directly adjacent to CSAH 52 and CR 61 and take the level of action deemed necessary to minimize the impact of any highway noise by incorporating the appropriate noise mitigation elements into the design and phasing of this plat as applicable.

The ACHD Engineering Plan Review process will apply to this site. Plans for the EB CR 61 right turn lane at Quamba Street and drainage calculations must be submitted, along with a grading and erosion control plan that delineates the drainage areas for this development. The post-developed rate/volume of runoff shall not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm. Contact Michelle

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. Δ Andover, MN 55304-4005  
Office: 763-324-3100 Δ Fax: 763-324-3020 Δ [www.anokacounty.us/highway](http://www.anokacounty.us/highway)

Affirmative Action / Equal Opportunity Employer

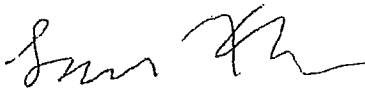
Pritchard, Engineer II, via telephone at 763.324.3162 or via email at [Michelle Pritchard@co.anoka.mn.us](mailto:Michelle.Pritchard@co.anoka.mn.us) for further information and to coordinate the ACHD Engineering Plan Review Process. Please submit the drainage calculations, grading and erosion control plans, ACHD Design Requirements Checklist for County Highway Modification (copy available via our website), EB CR 61 right turn lane plans, and the applicable engineering plan review fee (estimated at \$350.00) to Ms. Pritchard for her review and approval.

Following completion of the ACHD Engineering Plan Review process outlined above, the ACHD Permit process can begin by the contractor(s) prior to commencement of any construction (permit for work within ROW fee = \$150.00; access permit fee = \$250.00). License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Susan Burgmeier of the ACHD Permit office at 763.324.3142 or via email at [Susan.Burgmeier@co.anoka.mn.us](mailto:Susan.Burgmeier@co.anoka.mn.us) for further information regarding the ACHD Permit process.

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Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

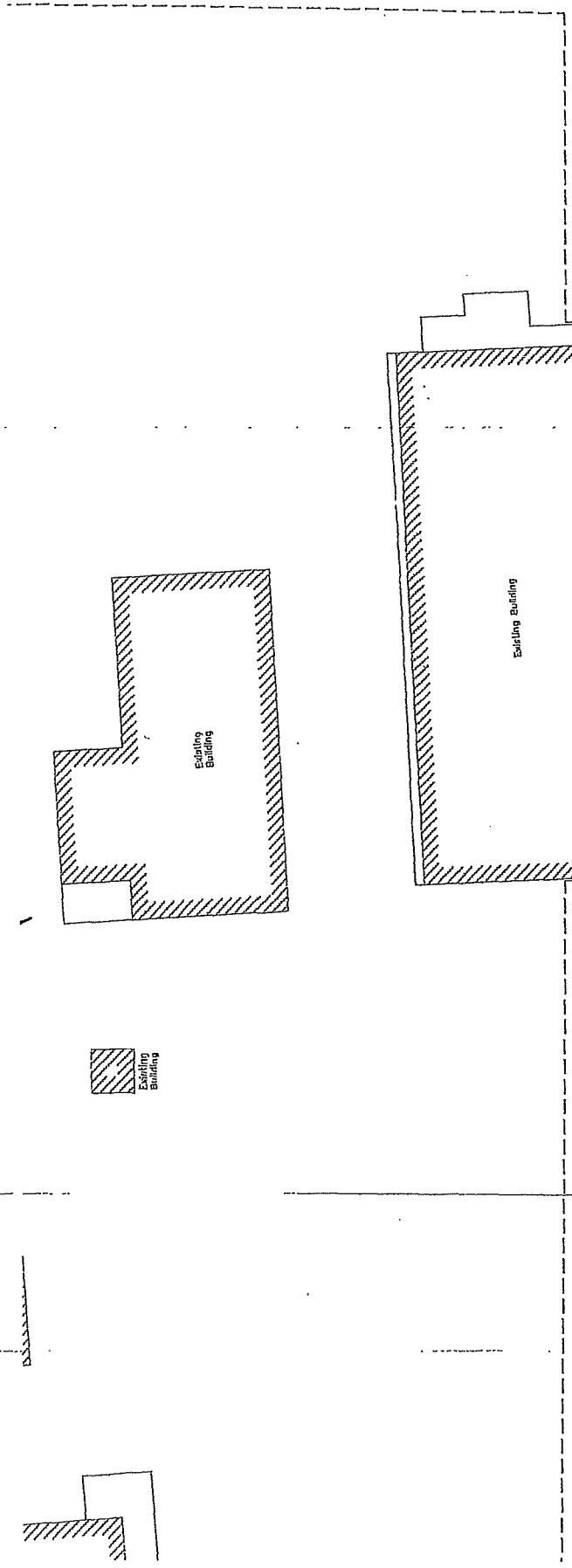
Sincerely,



Logan Keehr  
Traffic Engineering Technician

#### Attachment

xc: File - CSAH 52+CR61/Plats+Developments/2020  
Jerry Auge, Assistant County Engineer  
Jane Rose, Traffic Engineering Manager  
Michelle Pritchard, Engineer II  
Chuck Gitzen, County Surveyor  
Sean Thiel, Graduate Engineer  
Sue Burgmeier, Traffic Engineering Technician



Existing Building

Existing Building

Proposed Highway Easement

RADISSON ROAD NE (CO. RD. NO. 52)

RADISSON ROAD NE (CO. RD. NO. 52)

10

15.00

10

125.00

10

15.00

10

50

75

75

50



## NOTICE OF PERMIT APPLICATION STATUS

**Project:** Sunset Estates

**Date:** September 24, 2020

**Applicant:** Richard & Julie Braastad  
15203 Radisson Road NE  
Ham Lake, MN 55304

**Permit Application#:** 20-034

**Purpose:** Residential Development, 6 lots on 25 acres

**Location:** 15203 Radisson Road NE, Ham Lake

At their meeting on September 14, 2020, the Board of Managers of the Coon Creek Watershed District **conditionally approved** the above referenced project with 6 conditions and 2 stipulations: **This is NOT a permit.**

Since your last submittal on September 17, 2020, the following 2 conditions remain which must be addressed before permit issuance (please see note below on how to address conditions).

1. Receipt of escrows.
2. The Coon Creek Watershed District shall be notified prior to the infiltration testing (during construction) of the infiltration basins and shall be provided the test results.

Please note that there are also 2 stipulations. Additional details and findings can be found in the attached engineering memo.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rule 5.1. If you have any questions, please call 763-755-0975.

Sincerely,

Matt Danzl  
Water Resource Regulation Coordinator

cc: File 20-043  
Ed Matthiesen, Wenck  
Eileen Weigel, Wenck  
Tom Collins, Ham Lake

**Note:** Please respond to each of these items in writing when resubmitting the revised

plans to the District. Resubmittals must include two hard copies and/or an electronic version sent to [permitsubmittals@cooncreekwd.org](mailto:permitsubmittals@cooncreekwd.org). **Please submit written responses below the original typed comments, using extra sheets as necessary, addressing comments from the District.** If you have any questions, feel free to contact Matt Danzl at (763) 755-0975. Pursuant to Coon Creek rule 7.3 deficiencies must be addressed and resubmitted within 60 days. Failure to do so shall be deemed a withdrawal of the permit application.

Sunset Estates  
20-043  
09/24/2020



Responsive partner.  
Exceptional outcomes.

**To:** Matt Danzl, Tim Kelly  
**Coon Creek Watershed District**

**From:** Brady Schmitz, Wenck Associates, Inc.

**Copy:** Ed Matthiesen, P.E., Wenck Associates, Inc.

**Date:** September 24, 2020

**Subject:** Sunset Estates

**PAN:** 20-043

**EXHIBITS:**

1. Construction Plans (12 sheets); by Carlson McCain, dated 9/17/2020, received 9/17/2020.
2. Stormwater Management Report; by Carlson McCain, dated 9/17/2020, received 9/17/2020.
3. Response Letter; by Carlson McCain, undated, received 9/17/2020.

In Response to the Coon Creek Watershed District "Notice of Permit Application Status" dated September 15, 2020:

1. Receipt of escrows. **NO**
2. Provide verification that the City's stormwater management concerns have been addressed. **YES**
3. Update the outlet routing for Infiltration Basin 101 in the HydroCAD model. Outlet should include the internal weir within the splitter structure routed to the 18" pipe to Pond 100. **YES**
4. It is recommended that infiltration tests be performed throughout the construction of both infiltration basins to confirm proper excavation depths and infiltration rates. If testing shows that infiltration rates are not achieved, the basins will need to be converted to filtration basins. **YES**
5. Provide permanent signage around infiltration practices to insure their long-term operation on plans and representative detail. Signage should indicate no structures or alterations allowed within the basin. **YES**
6. Remove riprap from wetland buffer or provide vegetated riprap on plan and details. **YES**

**FINDINGS:** Applicant has acknowledged that a geotechnical engineer will perform testing on the bottom of both infiltration basins during construction. The Coon Creek Watershed District shall be notified prior to testing and be provided the test results.

**RECOMMENDATION:** Approval with 2 Conditions and 2 Stipulations:

Conditions

3. Receipt of escrows.
4. The Coon Creek Watershed District shall be notified prior to the infiltration testing (during construction) of the infiltration basins and shall be provided the test results.

Stipulations



1. Submittal of as-builts for the following stormwater management practices, including volume and proof of installation for hydrodynamic separators:

<b>Stormwater Treatment Practices</b>	<b>Number</b>
Infiltration Basin	2
Wet Sedimentation Pond	2
Catch Basin Sump	3
Outlet Control Structure	3

2. Completion of post construction infiltration tests on Infiltration Basins #101 and #201 by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.

**Tradewell Soil Testing  
18330 Dahlia Street NW  
Cedar, MN 55011**

August 24<sup>th</sup>, 2020

RFC Engineering  
13635 Johnson Street NE  
Ham Lake, MN 55304  
Attention: Tom Collins

Dear Mr. Collins:

As a licensed site evaluator who conducted the soil borings in Radisson Sunset Estates for Julie Braastad, I found the following: Each boring has at least 12" of natural, undisturbed and unmottled soil. In order to design and install a standard soil treatment system according to MN Chapter 7080 Code, at least 12" of natural soil with no signs of mottling is required. Therefore, each of the proposed lots will support 2 "standard" septic systems within the 7,500 square feet septic area as shown on the Grading Plan.

Sincerely,



Mark Tradewell  
MPCA #307



Minnesota Department of Natural Resources  
Division of Ecological & Water Resources  
500 Lafayette Road, Box 25  
St. Paul, MN 55155-4025

June 23, 2020

Correspondence # ERDB 20200350

Ms. Julie Braastad  
Radisson Sunset Estates  
15203 Radisson Rd NE  
Ham Lake, MN 55304

RE: Natural Heritage Review of the proposed Radisson Sunset Estates,  
T32N R23W Section 21; Anoka County

Dear Ms. Braastad,

As requested, the Minnesota Natural Heritage Information System has been queried to determine if any rare species or other significant natural features are known to occur within an approximate one-mile radius of the proposed project. Based on this query, rare features have been documented within the search area (for details, please visit the [Rare Species Guide Website](#) for more information on the biology, habitat use, and conservation measures of these rare species). Please note that the following rare features may be adversely affected by the proposed project:

- Blanding's turtles (*Emydoidea blandingii*), a state-listed threatened species, have been documented in the vicinity of the proposed project. Blanding's turtles use upland areas up to and over a mile distant from wetlands, water bodies, and watercourses. Uplands are used for nesting, basking, periods of dormancy, and traveling between wetlands. Factors believed to contribute to the decline of this species include collisions with vehicles, wetland drainage and degradation, and the development of upland habitat. Any added mortality can be detrimental to populations of Blanding's turtles, as these turtles have a low reproduction rate that depends upon a high survival rate to maintain population levels.

This project has the potential to impact this rare turtle through direct fatalities and habitat disturbance/destruction due to excavation, fill, and other construction activities associated with the project. Minnesota's Endangered Species Statute (*Minnesota Statutes*, section 84.0895) and associated Rules (*Minnesota Rules*, part 6212.1800 to 6212.2300 and 6134) prohibit the take of

threatened or endangered species without a permit. As such, **the following avoidance measures are required:**

- Avoid wetland and stream impacts during hibernation season, between October 15th and April 15th, unless the area is unsuitable for hibernation:
  - less than 14 inches deep,
  - anoxic conditions, or
  - not a suitable substrate.
- The Blanding's turtle flyer must be given to all contractors working in the area.
- The use of erosion control blanket shall be limited to 'bio-netting' or 'natural netting' types, and specifically not products containing plastic mesh netting or other plastic components.
  - Also, be aware that hydro-mulch products may contain small synthetic (plastic) fibers to aid in its matrix strength. These loose fibers could potentially re-suspend and make their way into Public Waters. As such, please review mulch products and not allow any materials with synthetic (plastic) fiber additives in areas that drain to Public Waters.
- Monitor for turtles during construction and report any sightings to the DNR Nongame Specialist, Erica Hoaglund at 651-259-5772 or Erica.Hoaglund@state.mn.us.
- If turtles are in imminent danger they must be moved by hand out of harm's way, otherwise, they are to be left undisturbed.

**If the above avoidance measures are not possible, please contact me as further action may be needed.**

For additional information, see the Blanding's turtle fact sheet, which describes the habitat use and life history of this species. The fact sheet also provides two lists of recommendations for avoiding and minimizing impacts to this rare turtle. **Please refer to both lists of recommendations for your project.** For further assistance regarding the Blanding's turtle, please contact the DNR Regional Nongame Specialist, Erica Hoaglund.

- Please include a copy of this letter in any state or local license or permit application. Please note that measures to avoid or minimize disturbance to the above rare features may be included as restrictions or conditions in any required permits or licenses.

The Natural Heritage Information System (NHIS), a collection of databases that contains information about Minnesota's rare natural features, is maintained by the Division of Ecological and Water Resources, Department of Natural Resources. The NHIS is continually updated as new information becomes available, and is the most complete source of data on Minnesota's rare or otherwise significant species, native plant communities, and other natural features. However, the NHIS is not an exhaustive inventory and thus does not represent all of the occurrences of rare features within the state. Therefore,

ecologically significant features for which we have no records may exist within the project area. If additional information becomes available regarding rare features in the vicinity of the project, further review may be necessary.

For environmental review purposes, the results of this Natural Heritage Review are valid for one year; the results are only valid for the project location (noted above) and the project description provided on the NHIS Data Request Form. Please contact me if project details change or for an updated review if construction has not occurred within one year.

The Natural Heritage Review does not constitute review or approval by the Department of Natural Resources as a whole. Instead, it identifies issues regarding known occurrences of rare features and potential effects to these rare features. If needed, please contact your DNR Regional Environmental Assessment Ecologist to determine whether there are other natural resource concerns associated with the proposed project. Please be aware that additional site assessments or review may be required.

Thank you for consulting us on this matter, and for your interest in preserving Minnesota's rare natural resources. An invoice will be mailed to you under separate cover.

Sincerely,



Samantha Bump  
Natural Heritage Review Specialist  
Samantha.Bump@state.mn.us

Links: Rare Species Guide  
<http://www.dnr.state.mn.us/rsg/index.html>  
DNR Regional Environmental Assessment Ecologist Contact Info  
[http://www.dnr.state.mn.us/eco/ereview/erp\\_regioncontacts.html](http://www.dnr.state.mn.us/eco/ereview/erp_regioncontacts.html)

Cc: Melissa Collins  
Leslie Parris  
Erica Hoaglund

DAVINCI

Road Committee Notes  
March 15, 2021

be the appraised amount. Councilmember Kirkeide stated that acquisition of the properties may also be eligible for funding thru Anoka County Housing and Redevelopment (HRA) funding. Assistant County Engineer Auge stated that the stormwater ponding proposed to the southeast of the Bunker Lake Boulevard and Lincoln Street intersection could be a joint pond.

Engineer Collins stated that the prior discussion with the ACHD Assistant County Engineer and Engineering Program Manager were that the ACHD would acquire the right-of-way for construction of 136<sup>th</sup> Lane and Lincoln Street. Engineer Collins questioned whether the City costs for acquiring the right-of-way, if the City is to be the lead, can be credited towards City costs associated with the upgrade of Bunker Lake Boulevard to 4-lanes. Assistant County Engineer Auge stated that he will discuss with the Transportation Committee.

3. Tippecanoe Street east bound right turn lane

Assistant County Engineer Auge stated that the County's 2021 overlay program includes the extension of the County Ditch #11 culvert underneath Constance Boulevard to allow for the construction of both east bound and west bound right turn lanes at Tippecanoe Street. Assistant County Engineer Auge stated that constructing the east bound right turn lane would correct sight line issues with the guard rail, that the guard rail has been hit before and that the project would soften the steep slopes. Assistant County Engineer Auge stated that the proposed Constance Boulevard Terrace (CBT) residential development exceeds the number of lots that trigger construction of the turn lane, and the ACHD has proposed a JPA with the City to pay for 100% of the construction costs associated with the east bound right turn lane. Engineer Collins stated that the City Attorney has recommended that a preliminary Development Agreement be executed with the developer that requires the posting of 150% of the estimated costs.

4. Trunk Highway 65 Planning and Environmental Linkages Study recommendations for Bunker Lake Boulevard

Engineer Collins stated that the recommendations at Bunker Lake Boulevard for the MnDOT Planning and Environmental Linkage (PEL) Study from Highway 65 from 81<sup>st</sup> Street to Bunker Lake Boulevard is that there either be an interchange or a superstreet. Engineer Collins stated that the superstreet alternative would closely resemble the Viking Boulevard intersection at Highway 65. Engineer Collins stated that MnDOT is requesting a letter of support for the PEL recommendations. Councilmember Doyle stated that a superstreet should not be constructed, as the Viking Boulevard superstreet has resulted in a number of accidents. Assistant County Engineer Auge stated that a letter of support has also been requested from the ACHD, and that it has been discussed with the County's Transportation Committee. Assistant County Engineer Auge stated the ACHD will likely submit a letter of support for the interchange alternative only, and stated that the City and County should coordinate on a letter that only supports the interchange alternative. Councilmember Doyle agreed that the City's letter of support should be for the interchange alternative.

5. DaVinci Academy

Engineer Collins stated that the DaVinci Academy has again requested school speed zone signage along Jefferson Street. Engineer Collins summarized the results of the 2017/2018 request findings, that had been coordinated with the Anoka County Highway Department Traffic Engineering Manager and the Anoka Hennepin Director of Transportation, which were that speed zones are not

warranted by the Minnesota Manual of Uniform Traffic Control Devices unless there are crosswalks and walkers. Engineer Collins stated that Minnesota Statutes 169.14 states that local agencies may establish a school speed limits within a school zone upon the basis of an engineering and traffic study. The Road Committee discussed the possibility of having a speed zone study completed on municipal state aid Jefferson Street to determine whether the speed limit should be revised due to actual vehicle speeds, but cautioned that the speed zone study would likely not be recommending a reduction in the speed limit signage. The Road Committee discussed having an engineering and traffic study being completed by DaVinci School for review by the City.

6. 181<sup>st</sup> Avenue reconstruction

Engineer Collins stated that the joint reconstruction of 181<sup>st</sup> Avenue with East Bethel is scheduled for this year, and that it has been determined by the Report of Record Ownership and Encumbrances that the City does not have deeded right-of-way for one parcel. Engineer Collins stated that the City Attorney is determining which City will negotiate the right-of-way acquisition.

7. Swedish Drive

Engineer Collins stated that the task of researching the existing right-of-way was sent to the City Attorney in September, as to any deeded right-of-way and/or claims for adverse possession. Superintendent Witkowski stated that drainage is towards Swedish Drive with no outlet, and that it is anticipated that it will become almost undriveable again in the near future due to the snow melt and frost going out.

## Memorandum

Date: March 15, 2021  
To: Road Committee  
From: Tom Collins, City Engineer *TPC*  
Subject: DaVinci Academy

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### Introduction:

The October 16, 2017 Road Committee recommendation directing me to work with DaVinci Academy and MnDOT for the placement of Jefferson Street speed zone signage was approved at the November 6, 2017 City Council meeting. The Road Committee recommended a speed limit reduction from 40 miles per hour to 30 miles per hour.

### Discussion:

RFC corresponded with the MnDOT Metro Signing Department, the Anoka County Highway Department (ACHD) Traffic Engineering Manager and Anoka-Hennepin School District Director of Transportation in 2017 and 2018. The MnDOT comments were:

- The City the authority to reduce the speed limit in a school zone, based on its own engineering and traffic study.
- Be sure to follow the Minnesota Manual on Uniform Traffic Control Devices (MMUTCD, ([www.dot.state.mn.us/trafficeng/publ/mutcd/](http://www.dot.state.mn.us/trafficeng/publ/mutcd/))) for sign placement.
- Since the school zone speed reduction is less than 20 mph, the "Reduced School Speed Limit" signs are not required. It doesn't look like you would have room to install that sign ahead of the "School Speed Limit" signs on southbound Jefferson Street.

Per correspondence with the ACHD Traffic Engineering Manager, reduced school zone speed signage is not allowed unless there are walkers and cross-walks. The ACHD requested information on walkers during the plan review of DaVinci Academy, to which DaVinci Academy told them that there would be no walkers. The Traffic Impact Study also did not include walkers. Per the Traffic Engineering Manager, school zone signs would be non-enforceable if there are no official walkers.

Per correspondence with the Anoka-Hennepin School District Director of Transportation, he was not aware of flashing lights or signs being installed without having pedestrians in the area. He said that if there are walkers, that the School District has sent out letters to parents/families who are choosing to walk in an area that is "hazardous" around schools - to tell them not to do so. The School District does classify it as a hazardous route if students wanted to walk and there are no sidewalks along the route to school, which would require the students to have transportation.

A summary of the school speed limits discussions was emailed to the DaVinci Academy Director of Operations on April 10, 2018. Per the email response, the request for school speed zone



signage was not for walkers, but was so that people were made more aware of increased turning vehicles during the morning and afternoon times. The email correspondence is attached. A follow-up email was received, which stated:

- we do have a handful of students who would like to cross Jefferson from the neighborhood across the street, but it is so busy there that we ask parents to drive instead.
- I would argue that the real issue with Jefferson is that the 40 mile per hour speed limit causes a safety hazard with so many cars turning in and out of the parking lot at drop off and pick up time. It has been impossible to enforce with our families a no left turn out of the parking lot mandate, so there have been many near misses as cars entering Jefferson cannot see traffic coming around cars waiting to turn in to the parking lot.

The 2017/2018 upgrade to Bunker Lake Boulevard included crosswalks for the intersection at the intersection of Jefferson Street. The crosswalks allow for pedestrians using the shared-use path on the north side of Bunker Lake Boulevard safe access to the south side of Bunker Lake Boulevard at the signalized intersection. There are no sidewalks adjacent to Jefferson Street.

The attached section 7A.1 of the MMUTCD summarizes the need for standards for traffic controls for school zones. A City has the authority to reduce the speed limit in a school zone based on the following (attached):

- Minnesota Statutes, Section 169.14, Subd. 5a - Speed Zoning in School Zone
- MMUTCD, 7B.15 - School Speed Limit Assembly
- MMUTCD, 7B.16 - Reduced School Speed Limit Ahead Sign

Subd. 5a of Minnesota Statutes 169.14 states that local agencies may establish a school speed limits within a school zone upon the basis of an engineering and traffic investigation. Attached is the introduction to A Guide to Establishing Speed Limits in School Zones, which begins on page 1020 of the MMUTCD. The introduction includes discussion of responsibilities for ensuring the safety of students on public streets and the required traffic investigation.

Jefferson Street is a municipal state aid route. A speed limit revision on a municipal state aid route is possible if the results of a MnDOT conducted speed zone study, which is based on 85<sup>th</sup> percentile of actual observed traffic speed, finds warrants for a speed limit reduction.

**Recommendation:**

Determine whether to initiate a traffic investigation to justify school zone speed limit signage.

## Tom Collins

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**Subject:** FW: School Zone Signage

**From:** Holly Fischer <hfischer@davincicharterschool.org>

**Sent:** Thursday, April 12, 2018 10:17 AM

**To:** Tom Collins <TCollins@rfcengineering.com>

**Cc:** Jane Rose <Jane.Rose@co.anoka.mn.us>; Keith Paulson <keith.paulson@ahschools.us>; Don Krueger <dkrueger@ci.ham-lake.mn.us>; Tom Reiner <treiner@ci.ham-lake.mn.us>; Debra Lach <dlach@davincicharterschool.org>

**Subject:** Re: School Zone Signage

Hi Tom,

Thank you for following up with this. After reading through the materials you provided I now have a more clear understanding of School Zones. I agree that there is no good/safe place for walkers to cross the road and I wouldn't want to create a cross walk where dangerous crossing would be taking place. So, I guess the real reason behind the school zone sign was so that people were made more aware of increased turning vehicles during the morning and afternoon times. Since we have installed the turn lanes (that took so long to get painted) the traffic issues have definitely gotten better, although there are still plenty of angry passers down that road. So, if a school zone sign won't help that situation I guess we will have to trust that people will get used to the new congestion on Jefferson at those 2 times of the day and leave it at that. Have you had any feedback at the Board level about neighborhood concerns? I know that there were some issues when we first starting building so please let us know if there have been things that have been brought to your attention that we need to address.

I think I will ask an officer to come and watch our procedure in the morning and the afternoon and give us feedback on what we could be doing differently or more safely.

Thank you.

On Tue, Apr 10, 2018 at 8:22 AM, Tom Collins <[TCollins@rfcengineering.com](mailto:TCollins@rfcengineering.com)> wrote:

Holly,

The proposed school speed limit signage has been further discussed with Anoka County Highway Department Traffic Engineering Manager Jane Rose and Anoka Hennepin School District Director of Transportation Keith Paulson. Both are copied on this email. Reduced school speed limit signage is not warranted because there are no crosswalks associated with the DaVinci Academy. Because there are no children that are legally crossing Jefferson Street and the fact that there are north bound and south bound turn lanes into DaVinci Academy the reduced speed limit signage cannot be justified. I understand that the potential for "walkers" was discussed with Jane during the planning phases, and the DaVinci response was that there would not be any children walking to the Academy. If a crosswalk would have been proposed, then the City would have required that DaVinci Academy stripe the crosswalk and construct the sidewalk to the Academy. The requested signage would be non-enforceable if there are not any allowed walkers across Jefferson Street.

The following is a portion of one of the emails from Keith:

*In school districts, we review these areas to determine if they can walk or not. If there is a "hazard" we either provide an adult crossing guard or a bus. I have not evaluated the area around Davinci - but it looks like the speed limits, gaps in traffic and traffic control devices are not favorable for pedestrian traffic.*

School zones are covered under Part 7 of the Minnesota Manual on Uniform Traffic Control Devices (MMUTCD) - <http://www.dot.state.mn.us/trafficeng/publ/mutcd/mnmutcd2018/mnmutcd-7.pdf>. The MMUTCD requires a Route Plan that includes walk routes. Because walk routes and crosswalks are not included with the DaVinci Academy, the MMUTCD warrants are not met for erecting the signage. Please submit plans for any proposed crosswalks and sidewalks if the signage is still being requested. Thanks.

Tom

## Part 7. TRAFFIC CONTROLS FOR SCHOOL AREAS

### 7A. General

#### \* 7A.1 Need for Standards

##### **SUPPORT:**

Regardless of the school location, the best way to achieve effective traffic control is through the uniform application of realistic policies, practices, and standards developed through engineering judgment and/or studies.

Pedestrian safety depends upon public understanding of accepted methods for efficient traffic control. This principle is especially important in the control of pedestrians, bicycles, and other vehicles in the vicinity of schools. Neither pedestrians on their way to or from school nor other road users can be expected to move safely in school areas unless they understand both the need for traffic controls and how these controls function for their benefit.

Procedures and devices that are not uniform might cause confusion among pedestrians and other road users, prompt wrong decisions, and contribute to crashes. To achieve uniformity of traffic control in school areas, comparable traffic situations need to be treated in a consistent manner. Each traffic control device and control method described in Part 7 fulfills a specific function related to specific traffic conditions.

A uniform approach to school area traffic controls assures the use of similar controls for similar situations, which promotes appropriate and uniform behavior on the part of motorists, pedestrians, and bicyclists.

A school traffic control plan permits the orderly review of school area traffic control needs, and the coordination of school/pedestrian safety education and engineering measures. Engineering measures alone do not always result in the intended change in student and road user behavior.

##### **GUIDANCE:**

A school route plan for each school serving elementary to high school students should be prepared in order to develop uniformity in the use of school area traffic controls and to serve as the basis for a school traffic control plan for each school.

The school route plan, developed in a systematic manner by the school, law enforcement, and traffic officials responsible for school pedestrian safety, should consist of a map showing streets, the school, existing traffic controls, established school walk routes, and established school crossings. A typical school route plan map is shown in Figure 7A-1.

The type(s) of school area traffic control devices used, either warning or regulatory, should be related to the volume and speed of vehicular traffic, street width, and the number and age of the students using the crossing.

School area traffic control devices should be included in a school traffic control plan.

##### **SUPPORT:**

Reduced speed limit signs for school areas and crossings are included in this Manual solely for the purpose of standardizing signing for these zones and not as an endorsement of mandatory reduced speed zones.

"School" and "school zone" are defined in Section 1A.13.

#### 7A.2 School Routes and Established School Crossings

##### **SUPPORT:**

To establish a safer route to and from school for schoolchildren, the application of planning criterion for school walk routes might make it necessary for children to walk an indirect route to an established school crossing located where there is existing traffic control and to avoid the use of a direct crossing where there is no existing traffic control.

##### **GUIDANCE:**

School walk routes should be planned to take advantage of existing traffic controls.

The following factors should be considered when determining the feasibility of requiring children to walk a longer distance to a crossing with existing traffic control:

- A. The availability of adequate sidewalks or other pedestrian walkways to and from the location with existing control;
- B. The number of students using the crossing;
- C. The age levels of the students using the crossing; and
- D. The total extra walking distance.



**Subd. 5a. Speed zoning in school zone; surcharge.** (a) Local authorities may establish a school speed limit within a school zone of a public or nonpublic school upon the basis of an engineering and traffic investigation as prescribed by the commissioner of transportation. The establishment of a school speed limit on any trunk highway shall be with the consent of the commissioner of transportation. Such school speed limits shall be in effect when children are present, going to or leaving school during opening or closing hours or during school recess periods. The school speed limit shall not be lower than 15 miles per hour and shall not be more than 30 miles per hour below the established speed limit on an affected street or highway.

(b) The school speed limit shall be effective upon the erection of appropriate signs designating the speed and indicating the beginning and end of the reduced speed zone. Any speed in excess of such posted school speed limit is unlawful. All such signs shall be erected by the local authorities on those streets and highways under their respective jurisdictions and by the commissioner of transportation on trunk highways.

(c) For the purpose of this subdivision, "school zone" means that section of a street or highway which abuts the grounds of a school where children have access to the street or highway from the school property or where an established school crossing is located provided the school advance sign prescribed by the Manual on Uniform Traffic Control Devices adopted by the commissioner of transportation pursuant to section 169.06 is in place. All signs erected by local authorities to designate speed limits in school zones shall conform to the Manual on Uniform Traffic Control Devices.

(d) Notwithstanding section 609.0331 or 609.101 or other law to the contrary, a person who violates a speed limit established under this subdivision is assessed an additional surcharge equal to the amount of the fine imposed for the violation, but not less than \$25.

**Subd. 5b. Segment in urban district.** When any segment of at least a quarter-mile in distance of any city street, municipal state-aid street, or town road on which a speed limit in excess of 30 miles per hour has been established pursuant to an engineering and traffic investigation by the commissioner meets the definition of "urban district" as defined in section 169.011, subdivision 90, the governing body of the city or town may by resolution declare the segment to be an urban district and may establish on the segment the speed limit for urban districts prescribed in subdivision 2. The speed limit so established shall be effective upon the erection of appropriate signs designating the speed and indicating the beginning and end of the segment on which the speed limit is established, and any speed in excess of such posted limits shall be unlawful. A copy of the resolution shall be transmitted to the commissioner at least ten days prior to the erection of the signs.

**Subd. 5c. Speed zoning in alleyway.** Local authorities may regulate speed limits for alleyways as defined in section 169.011 based on their own engineering and traffic investigations. Alleyway speed limits established at other than ten miles per hour shall be effective when proper signs are posted.

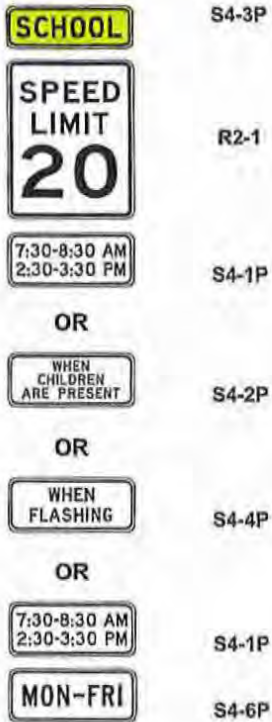
**Subd. 5d. Speed limit in work zone when workers present.** (a) Notwithstanding subdivision 2 and subject to subdivision 3, the speed limit on a road having an established speed limit of 50 miles per hour or greater is adjusted to 45 miles per hour in a work zone when (1) at least one lane or portion of a lane of traffic is closed in either direction, and (2) workers are present. A speed in excess of the adjusted speed limit is unlawful.

(b) Paragraph (a) does not apply to a segment of road in which:

- (1) positive barriers are placed between workers and the traveled portion of the highway;
- (2) the work zone is in place for less than 24 hours;

(3) a different speed limit for the work zone is determined by the road authority following an engineering and traffic investigation and based on accepted engineering practice; or

## 7B.15 School Speed Limit Assembly (S4-1, S4-2, S4-3P, S4-4, S4-6, S5-1) and END SCHOOL SPEED LIMIT Sign (S5-3)



**STANDARD:**

A School Speed Limit assembly or a School Speed Limit (S5-1) sign shall be used to indicate the speed limit where a reduced school speed limit zone has been established based upon an engineering study or where a reduced school speed limit is specified for such areas by statute. The School Speed Limit assembly or School Speed Limit sign shall be placed at or as near as practical to the point where the reduced school speed limit zone begins (see Figures 7B-3 and 7B-5). It shall be used in conjunction with the School Advance Warning sign (see Section 7B.8).

If a reduced school speed limit zone has been established, a School (S1-1) sign shall be installed in advance (see Table 2C-4 for advance placement guidelines) of the first School Speed Limit sign assembly or S5-1 sign that is encountered in each direction as traffic approaches the reduced school speed limit zone (see Figures 7B-3 and 7B-5).

**GUIDANCE:**

Where increased fines are imposed for traffic violations within a reduced school speed limit zone, a FINES HIGHER (R2-6P), FINES DOUBLE (R2-6aP), or \$XX FINE (R2-6bP) plaque (see Figure 2B-3) should be installed as a supplement to the reduced school speed limit sign to notify road users.

**STANDARD:**

Except as provided in paragraph one of the following Option, the downstream end of an authorized and posted reduced school speed limit zone shall be identified with an END SCHOOL SPEED LIMIT (S5-3) sign (see Figure 7B-5).

**OPTION:**

If a reduced school speed limit zone ends at the same point as a higher fines zone, an END SCHOOL ZONE (S5-2) sign may be used instead of a combination of an END HIGHER FINES ZONE (R2-11) sign and an END SCHOOL SPEED LIMIT (S5-3) sign.

A standard Speed Limit sign showing the speed limit for the section of highway that is downstream from the authorized and posted reduced school speed limit zone may be mounted on the same post above the END SCHOOL SPEED LIMIT (S5-3) sign or the END SCHOOL ZONE (S5-2) sign.

**GUIDANCE:**

The beginning point of a reduced school speed limit zone should be at least 200 feet in advance of a school crossing, or other school related activities; however, this 200-foot distance should be increased if the reduced school speed limit is 30 mph or higher.

**STANDARD:**

The School Speed Limit Assembly shall be either a fixed-message sign assembly or a changeable message sign.

The fixed-message School Speed Limit assembly shall consist of a top plaque (S4-3P) with the legend SCHOOL, a Speed Limit (R2-1) sign, and a bottom plaque (S4-1P, S4-2P, S4-4P, or S4-6P) indicating the specific periods of the day and/or days of the week that the special school speed limit is in effect.

**OPTION:**

Changeable message signs (see Chapter 2L and Section 6F.60) may be used to inform drivers of the school speed limit. If the sign is internally illuminated, it may have a white legend on a black background. Changeable message signs with flashing beacons may be used for situations, where greater emphasis of the special school speed limit is needed.

**GUIDANCE:**

Even though it might not always be practical because of special features to make changeable message signs conform in all respects to the standards in this Manual for fixed-message signs, during the periods that the school speed limit is in effect, their basic shape, message, legend layout, and colors should comply with the standards for fixed-message signs.

A confirmation light or device to indicate that the speed limit message is in operation should be considered for inclusion on the back of the changeable message sign.

If supplemental plaques S4-1P or S4-2P are used to indicate the periods during which the school speed limit is in effect, considerations should be given to increasing the sign sizes to provide improved legibility. Section 2A.13, Table 7B-1, and Appendix C provides guidance regarding larger signs.

**STANDARD:**

Fluorescent yellow-green pixels shall be used when the "SCHOOL" message is displayed on a changeable message sign for a school speed limit.

**OPTION:**

Changeable message signs may use blank-out messages or other methods in order to display the school speed limit only during the periods it applies.

A Speed Limit Sign Beacon (see Section 4L.4) also may be used, with a WHEN FLASHING legend, to identify the periods that the school speed limit is in effect.

**SUPPORT:**

Under the provisions of Minnesota Statutes, Section 169.14, Subd. 5a, the Minnesota Department of Transportation has developed the publication "A Guide to Establishing Speed Limits in School Zones" describing the procedures for establishing school speed limits in Minnesota (see Chapter 7E).

**7B.16 Reduced School Speed Limit Ahead Sign (S4-5, S4-5a)**



S4-5



S4-5a

**GUIDANCE:**

A Reduced School Speed Limit Ahead (S4-5, S4-5a) sign should be used to inform road users of a reduced speed zone where the speed limit is being reduced by more than 10 mph, or where engineering judgment indicates

**STANDARD:**

If used, the Reduced School Speed Limit Ahead sign shall be followed by a School Speed Limit sign or a School Speed Limit assembly.

The speed limit displayed on the Reduced School Speed Limit Ahead sign shall be identical to the speed limit displayed on the subsequent School Speed Limit sign or School Speed Limit assembly.

**7B.17 Parking and Stopping Signs (R7 and R8 Series)**

**OPTION:**

Parking and stopping regulatory signs may be used to prevent parked or waiting vehicles from blocking pedestrians' views, and drivers' views of pedestrians, and to control vehicles as a part of the school traffic plan.

**SUPPORT:**

Parking signs and other signs governing the stopping and standing of vehicles in school areas cover a wide variety of regulations. Typical examples of regulations are as follows:

- A. No Parking 8:00 AM to 5:00 PM School Days Only;
- B. No Stopping 8:00 AM to 5:00 PM School Days Only;
- C. 5 Min Loading 8:00 AM to 5:00 PM School Days Only; and
- D. No Standing 8:00 AM to 5:00 PM School Days Only.

Sections 2B.46, 2B.47, and 2B.48 contain information regarding the signing of parking regulations in school zone areas.

MN Res. 1

MN Res. 1

## **INTRODUCTION**

Ensuring the safety of students on public streets and highways is the responsibility of parents, law enforcement, school and government officials. Parents must provide day to day education and supervision in order to develop safe behavior by their children. Roadway engineers must provide a safe environment that minimizes vehicular-pedestrian crash probability. Enforcement officials must provide regular patrols to discourage unlawful behavior and provide training for crossing guards. School district personnel must communicate and coordinate safety programs (such as school patrols or safety education) with children and their parents. Typically the road authority provides the oversight in performing the traffic investigation described in these guidelines.

The responsibility to achieve pedestrian safety must be faced with the knowledge that, despite our best efforts, children and drivers will make mistakes bearing tragic consequences. When this occurs, conflicts between parents and officials may follow concerning the appropriate course of action to avoid recurrence of a similar tragedy.

In order to provide a safe environment for children, a traffic investigation should be conducted along school routes and in school zones. The desired results of such an investigation are effective pedestrian and traffic controls, and the creation of a sound school route plan.

## **SPEED LIMIT LEGISLATION**

In 1975, the Legislature changed Minnesota Statutes by adding Subd. 5a to Section 169.14. This change enables local authorities to establish speed limits in school zones, an authority previously granted in 1937 solely to the Commissioner of Highways. Revisions to the legislation have been made through the years. This law gives additional responsibility and control of school zone safety to local authorities on those streets within their jurisdiction. In exercising this prerogative, it is important that local authorities not permit pressures and emotions to outweigh reason and judgment, since improper speed zones can actually decrease safety.