

# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, APRIL 4, 2022

- 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance
- 2.0 PUBLIC COMMENT
- 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS – None

### 4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of March 21, 2022
- 4.2 Approval of claims
- 4.3 Approval of the American Rescue Plan Act (ARPA) Business/Non-Profit Grant Program
- 4.4 Approval of the Building Destruction Agreement for 901 Bunker Lake Boulevard NE
- 4.5 Approval of a Resolution accepting a \$5,000 donation from the Ham Lake Chamber of Commerce
- 4.6 Road Committee Recommendations:
  - 1) Approval of a Resolution requiring “No Parking” on Central Avenue NE from 157<sup>th</sup> Avenue NE to Constance Boulevard NE

### 5.0 PLANNING COMMISSION RECOMMENDATIONS

- 5.1 Jesse Osborne requesting Final Plat approval of Creekside Farms, a 9 lot Commercial Development located in Sections 7 and 8

### 6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

### 7.0 APPEARANCES – None

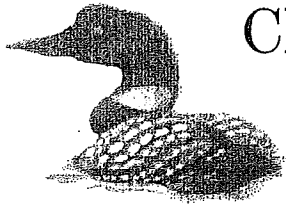
### 8.0 CITY ATTORNEY

### 9.0 CITY ENGINEER

### 10.0 CITY ADMINISTRATOR – None

### 11.0 COUNCIL BUSINESS

- 11.1 Committee Reports
- 11.2 Announcements and future agenda items



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## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES MONDAY, MARCH 21, 2022

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Monday, March 21, 2022 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Mayor Mike Van Kirk and Councilmembers Jim Doyle, Gary Kirkeide, Brian Kirkham and Jesse Wilken

**MEMBERS ABSENT:** None

**OTHERS PRESENT:** City Engineer, Tom Collins; City Administrator, Denise Webster; Finance Director, Andrea Murff; and Deputy City Clerk, Dawnette Shimek

### 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Mayor Van Kirk called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

### 2.0 PUBLIC COMMENT

Tina and Aaron Billstrom, 15926 Tippecanoe Street NE, stated that they gave the City a 66' road easement for construction of a future road when their property was split several years ago. Ms. Billstrom stated that they had a "Gentleman's Agreement" with the City to use the road easement for personal use until a road is constructed. At this time Tina and Aaron Billstrom are asking for a continuation of the "Gentleman's Agreement". The City Council directed staff to research the history on this subject.

Christine Dahlman, 17540 Hwy 65 NE, was present to inform the City Council of ongoing violations of the City's animal control contract.

### 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

#### 3.1 Update from the City Assessor's – Mary Wells and Erik Skogquist (not present)

Mary Wells gave a presentation to the City Council regarding the 2022 Assessment Update and Summary. Ms. Wells stated that residential median values are up 14% to 22% depending on the neighborhood and it is similar to other cities in Anoka County. Ms. Wells stated that statements are scheduled to arrive in late March and if property owners have questions or would like to appeal they can contact or call Mary Wells or Erik Skogquist. There will also be in person appeals held on Tuesday, May 3<sup>rd</sup> and Wednesday, May 4<sup>th</sup>. The City Council thanked Ms. Wells for her presentation.

### 4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

4.1 Approval of minutes of March 7, 2022

4.2 Approval of claims in the amount of \$128,755.75

- 4.3 Approval of Resolution No. 22-07 establishing Precincts and Polling Places in the City of Ham Lake
- 4.4 Approval of Resolution No. 22-08 establishing the American Rescue Plan Act (ARPA) Revenue Recapture method and Expenditure Process
- 4.5 Approval of Resolution No. 22-09 establishing a Policy for the Donation of Surplus Equipment to a Nonprofit Organization and allowing the Fire Department to donate surplus equipment
- 4.6 Approval of Resolution No. 22-10 requesting the use of Anoka County Housing and Redevelopment Authority (HRA) funds to pay for the 2022 Voluntary Cost Sharing Agreement
- 4.7 Approval of Resolution No. 22-11 relating to Parking Restrictions during the 181<sup>st</sup> Avenue NE road reconstruction
- 4.8 Approval of Ordinance No. 22-02 amending Article 5-130 – Barking Dogs
- 4.9 Approval of Ordinance No. 22-03 rezoning Entsminger Farms
- 4.10 Approval of the resignation of Public Works Mechanic Cory Haugen effective March 9, 2022
- 4.11 Approval of the 2023 Budgets for the Upper Rum River and Sunrise River Watershed Management Organizations
- 4.12 Approval of appointing Jeff Entsminger as the Sunrise Watershed Management Organization City Representative and Troy Wolens as the Upper Rum River Watershed Management Organizations City Representative
- 4.13 Approval to award seal coating, striping/symbols and crack sealing to the lower bidders, Pearson Bros., Warning Lites and Sir Line-A-Lot
- 4.14 Approval of recommending to the Anoka County Board of Commissioners to the consideration of appointing Warren Hoffman, Phillip Neske and Patrick Parker to the Coon Creek Watershed Board of Managers

**Motion by Kirkham, seconded by Kirkeide, to approve the March 21, 2022 Consent Agenda as written. All in favor, motion carried.**

## **5.0 PLANNING COMMISSION RECOMMENDATIONS**

- 5.1 Rachel Schmalzer requesting a Special Home Occupation Permit to operate Curls and Purls Salon at 17337 3rd Street NE – Application amended to Home Occupation Permit by City Council

Mayor Van Kirk stated that the Planning Commission approved the application as a Special Home Occupation Permit to operate Curls and Purls Salon at 17337 3<sup>rd</sup> Street NE. Staff reviewed the application and determined that the application could be approved as a Home Occupation Permit. **Motion by Van Kirk, seconded by Doyle, to approve the Home Occupation Permit as requested by Rachel Schmalzer to operate Curls and Purls Salon at 17337 3<sup>rd</sup> Street NE, subject to meeting the guidelines for Home Occupation Permits per Article 9-350, obtaining the proper permits from the Building Department to construct the salon and meeting all State, City and County requirements. All in favor, motion carried.**

- 5.2 Hogdal Farm Limited Partnership requesting Preliminary Plat Reapproval (Previously approved February 5, 2007) of Harmony Estates 3<sup>rd</sup> Addition located in Section 22

**Motion by Kirkeide, seconded by Doyle, to concur with the Planning Commission and approve the Preliminary Plat (Previously approved February 5, 2007) of Harmony Estates 3<sup>rd</sup> Addition in Section 22, subject to changing references on the Preliminary Plat plan documents to CSAH 61 to CR 61, changing the title of the Livability Chart on page 28 to Harmony Estates 3<sup>rd</sup> Addition, changing the name of the street from 153<sup>rd</sup> Avenue NE to Coral Sea Street NE on the south side of Lot 9, Block 5, dedicating 8.62 acres for parkland and an additional ten-feet of right-of-way on the south side of 153<sup>rd</sup> Avenue NE and 154<sup>th</sup> Avenue NE and what will be a north/south section of Coral Sea Street NE to**

**construct a ten-foot wide bituminous trail that will extend an existing trail along 153<sup>rd</sup> Avenue NE, obtaining the required permits from CCWD and the ACHD, meeting the requirements of the City Engineer and meeting all City, State and County requirements. All in favor, motion carried.**

## **6.0 ECONOMIC DEVELOPMENT AUTHORITY**

Councilmember Kirkham stated that the new Holiday Stationstore construction is looking good and they are working to sell the abutting lots that were created.

**7.0 APPEARANCES - None**

**8.0 CITY ATTORNEY - None**

**9.0 CITY ENGINEER – None**

**10.0 CITY ADMINISTRATOR – None**

## **11.0 COUNCIL BUSINESS**

### **11.1 Committee Reports**

Councilmember Kirkeide gave an update on the Road Committee meeting held prior to the City Council Meeting and stated that items will be placed on the next agenda for consideration.

### **11.2 Discussion of Fire Station #3 and the architectural concept drawings**

The City Council discussed the costs and bonding options for both the building and equipment that will be incurred with the new construction of Fire Station #3. Finance Director Murff stated that the bonding process takes approximately six months. Engineer Collins stated that Durant Street NE is being tested on Wednesday, March 23, 2022 to verify whether it is built to commercial standards; if not the cost to upgrade the road may be in the area of \$190,000.00. Discussion followed regarding the City being bond free in 2026 and it may be better to wait on additional bonding until that time. Councilmember Kirkham asked how many calls the Fire Station would be called out on and Fire Chief Raczkowski stated probably less than one-third of the calls. Councilmember Doyle is undecided to whether the project should move forward but does not feel the price of the construction is going to go down for some time and the new homes being built in the area need this Fire Station for public safety. The City Council also discussed holding a referendum for the construction of Fire Station #3. The City Council stated they would like to obtain financial information and the process of holding a pre-bid meeting to obtain a more accurate cost of the proposed Fire Station #3 to be discussed at the next City Council meeting.

### **11.3 Announcements and future agenda items**

Councilmember Wilken spoke with a resident upset with the tree removal project. Councilmember Wilken stated he was unaware that there is an agreement the resident could sign that would allow a marked tree to remain and become the owner's responsibility. Engineer Collins stated the tree would need to be located very close to the right-of-way line to be considered to remain.

**Motion by Kirkeide, seconded by Kirkham, to adjourn the meeting at 7:20 p.m. All in favor, motion carried.**

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Dawnette Shimek, Deputy City Clerk

**CITY OF HAM LAKE**  
**CLAIMS SUBMITTED TO COUNCIL**  
**April 4, 2022**

**CITY OF HAM LAKE**

<b>EFTS, CHECKS, AND BANK DRAFTS</b>		<b>03/24/22 - 04/06/22</b>	
EFT	# 1631 - 1637	\$	4,404.61
REFUND CHECK	# 63825	\$	280.00
MANUAL CHECK	# 63750	\$	360.84
CHECKS	# 63826 - 63860	\$	183,277.06
BANK DRAFTS	DFT0002346 - DFT0002353	\$	32,476.73
<b>TOTAL EFTS, CHECKS, AND BANK DRAFTS</b>		<u>\$</u>	<u>220,799.24</u>
<b>PAYROLL CHECKS</b>			
03/25/22		\$	45,059.53
03/28/22	# 63824	\$	9,953.28
<b>TOTAL PAYROLL CHECKS</b>		<u>\$</u>	<u>55,012.81</u>
<b>TOTAL OF ALL PAYMENTS</b>		<u><u>\$</u></u>	<u><u>275,812.05</u></u>
<b>VOID CHECKS</b>			
CHECKS	# 63799	\$	360.84
EFT		\$	-
BANK DRAFTS		\$	-

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 4TH DAY OF APRIL 2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER



Payment Dates 3/24/2022 - 4/6/2022

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1631	OPTUM BANK - 6011	Health Savings Account-6011	Flexible spending	100-21705	54.17
1632	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	85.36
1632	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1632	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	24.15
1632	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	85.61
1632	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	12.00
1632	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	25.95
1633	BRODIN PRESS	APRIL HAM LAKER	Editing	211-41704-3125	900.00
1634	CMT JANITORIAL SERVICES	CITY HALL CLEANING	Cleaning service	100-41702-3430	520.00
1634	CMT JANITORIAL SERVICES	SHERIFF'S OFFICE CLEANING	Cleaning service	100-41702-3430	130.00
1634	CMT JANITORIAL SERVICES	FIRE #1 CLEANING	Cleaning service	100-42202-3430	136.00
1634	CMT JANITORIAL SERVICES	FIRE #2 CLEANING	Cleaning service	100-42202-3430	128.00
1634	CMT JANITORIAL SERVICES	PW CLEANING	Cleaning service	100-43104-3430	125.00
1634	CMT JANITORIAL SERVICES	SR CENTER CLEANING	Cleaning service	100-44202-3430	254.00
1635	DELTA DENTAL PLAN OF MINN	APRIL DK COBRA	COBRA receivable	100-11502	42.00
1635	DELTA DENTAL PLAN OF MINN	APRIL DENTAL	Flexible spending	100-21705	999.90
1636	O'REILLY AUTOMOTIVE STORE	SWITCH	Operating supplies	100-43101-2290	89.97
1636	O'REILLY AUTOMOTIVE STORE	T3 HI-PWR BLET	Vehicle parts & supplies	100-42201-2340	10.23
1636	O'REILLY AUTOMOTIVE STORE	#47 WIPER BLADES & DRILL BI	Equipment parts & supplies	100-44101-2320	33.57
1636	O'REILLY AUTOMOTIVE STORE	C1 OIL FILTER & OIL	Vehicle parts & supplies	100-42201-2340	52.03
1636	O'REILLY AUTOMOTIVE STORE	T3 FUEL FITTING & TUBING, E	Vehicle parts & supplies	100-42201-2340	46.67
1637	WICK COMMUNICATIONS-LEA	APRIL HAM LAKER	Printing	211-41704-3970	638.00
63826	AKER DOOR SALES INC	FIRE #2 GARAGE DOOR REPAI	Building repair & maintenanc	100-42202-3420	481.02
63827	ANCOM COMMUNICATIONS I	#49, #58, #79, & #71 RADIO I	Vehicle repair & maintenance	100-43101-3470	1,149.89
63828	ANOKA COUNTY TREASURY D	APRIL BROADBAND	Internet & website	100-41301-3220	37.50
63828	ANOKA COUNTY TREASURY D	BROADBAND FIRE #2	Internet & website	100-41301-3220	75.00
63829	BERGANKDV	2021 AUDIT	Audit & actuarial services	100-41402-3115	14,000.00
63830	BOYER FORD TRUCK INC	#54 FUEL LINE	Vehicle parts & supplies	100-43101-2340	100.62
63831	CITY OF ROSEVILLE	2022 MR LASERFICHE LICENSE	Software licenses & upgrades	100-42201-2510	938.21
63832	COMPENSATION CONSULTAN	1ST QTR FLEX ADMINISTRATI	Other professional services	100-41701-3190	75.00
63833	CORPORATE 4 INS AGENCY	COMMERCIAL POLICY 4/22 - 3	Other professional services	100-41701-3190	2,100.00
63834	COTTENS' ANOKA INC	T3 BRAKE FLUID	Vehicle parts & supplies	100-42201-2340	149.96
63835	DEARBORN LIFE INS CO	APRIL VOL LIFE	Other payroll deductions	100-21706	185.70
63835	DEARBORN LIFE INS CO	APRIL LIFE	Other payroll deductions	100-21706	54.40
63835	DEARBORN LIFE INS CO	APRIL CH COBRA	Other payroll deductions	100-21706	3.20
63836	DEHN OIL CO	350 GAL DIESEL	Fuel	100-43101-2230	1,487.50
63837	DO ALL PRINTING	MARCH HAM LAKER DELIVERY	Other services and charges	211-41704-3990	130.00
63837	DO ALL PRINTING	APRIL HAM LAKER DELIVERY	Other services and charges	211-41704-3990	130.00
63838	ECM PUBLISHERS INC	SEASONAL PW HELP WANTED	Advertising for employment	100-43101-3910	147.60
63839	FLEETPRIDE	FILTER	Operating supplies	100-43101-2290	11.36
63840	FTR TWIN CITIES INC	TOW ABANDONED BOAT TO T	Operating supplies	100-43101-2290	960.50
63841	HAM LAKE HARDWARE INC	FIRE #1 PVC TEE & ELBOW	Building repair & maintenanc	100-42202-2310	1.96
63841	HAM LAKE HARDWARE INC	LION'S PARK SHED (5 & 6) PAD	Operating supplies	100-44101-2290	35.77
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41101-1510	36.50
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41201-1510	420.75
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41301-1510	295.52
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41302-1510	106.21
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41401-1510	529.62
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-41601-1510	218.16
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-42201-1510	18,804.64
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-42401-1510	1,272.60
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-43101-1510	14,546.00
63842	LEAGUE OF MN CITIES INS. TR	WORK COMP	Worker's comp insurance	100-44101-1510	3,027.00
63843	LINCOLN NATIONAL LIFE INSU	APRIL CH COBRA	Other payroll deductions	100-21706	49.64

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
63843	LINCOLN NATIONAL LIFE INSU	APRIL LT DISABILITY	Other payroll deductions	100-21706	403.35
63843	LINCOLN NATIONAL LIFE INSU	APRIL ST DISABILITY	Other payroll deductions	100-21706	761.41
63844	LUBE-TECH & PARTNERS LLC	GREASE	Operating supplies	100-43101-2290	328.04
63845	MENARDS-BLAINE	VINYL FLOORING - PW BREAK	Capital assets	412-41702-5110	819.75
63845	MENARDS-BLAINE	PAINTING SUPPLIES - BREAK R	Capital assets	412-41702-5110	47.27
63845	MENARDS-BLAINE	PAINT SUPPLIES - PW BREAKR	Capital assets	412-41702-5110	94.85
63846	MN METRO NORTH TOURISM	FEBRUARY LODGING TAX	Convention bureau	263-46101-4120	1,846.94
63847	NARDINI FIRE EQUIPMENT CO	FIRE #1 & #2 FIRE EXTINGUIS	Equipment repair & maintena	100-42201-3440	372.82
63847	NARDINI FIRE EQUIPMENT CO	SR CENTER FIRE EXTINGUISHE	Equipment repair & maintena	100-44201-3440	25.55
63847	NARDINI FIRE EQUIPMENT CO	FIRE EXTINGUISHER INSPECTI	Equipment repair & maintena	100-41701-3440	157.57
63847	NARDINI FIRE EQUIPMENT CO	FIRE EXTINGUISHER INSPECTI	Equipment repair & maintena	100-43101-3440	474.65
63848	NCPERS GROUP LIFE INSURAN	APRIL LIFE	Other payroll deductions	100-21706	112.00
63849	NORTHERN TOOL & EQUIPME	ELBOW	Operating supplies	100-43101-2290	12.99
63850	RECYCLE TECHNOLOGIES INC	3/26/22 RECYCLING EVENT	Waste management & recycli	231-43601-3630	6,319.90
63851	SMITH BROTHERS DECORATIN	BREAK ROOM PAINT SUPPLIES	Capital assets	412-41702-5110	245.33
63851	SMITH BROTHERS DECORATIN	BREAK ROOM PAINT SUPPLIES	Capital assets	412-41702-5110	43.92
63852	TASC	MAY COBRA ADMINISTRATIO	Other professional services	100-41701-3190	15.00
63853	TYLER TECHNOLOGIES INC	OUTPUT DIRECTOR SUPPORT	Computer & software support	100-41401-3120	138.92
63853	TYLER TECHNOLOGIES INC	A/R SUPPORT 5/22 - 6/22	Computer & software support	100-41401-3120	126.00
63854	UNLIMITED SUPPLIES INC	MISC SUPPLIES	Operating supplies	100-43101-2290	57.27
63855	US BANK CORPORATE PAYME	REBATE	Refunds & reimbursements	100-37601	-166.13
63855	US BANK CORPORATE PAYME	AMAZON-DENISE MOUSE & K	Office supplies	100-41201-2110	29.95
63855	US BANK CORPORATE PAYME	ZOOM-- MARCH Zoom-DW	Dues & subscriptions	100-41201-3920	12.84
63855	US BANK CORPORATE PAYME	AMAZON-MECH PENCILS-NW	Office supplies	100-41401-2110	2.64
63855	US BANK CORPORATE PAYME	IOS-ANDREA TONER-NW	Office supplies	100-41401-2110	103.01
63855	US BANK CORPORATE PAYME	IOS-DIVIDER TABS-NW	Office supplies	100-41401-2110	3.80
63855	US BANK CORPORATE PAYME	AMAZON-EMERGENCY CARD	Office supplies	100-41701-2110	34.94
63855	US BANK CORPORATE PAYME	IOS-TAPE, WHITEOUT, COPY P	Office supplies	100-41701-2110	94.21
63855	US BANK CORPORATE PAYME	IOS-STENO PADS-NW	Office supplies	100-41701-2110	4.73
63855	US BANK CORPORATE PAYME	AMAZON-WHITE OUT-NW	Office supplies	100-41701-2110	5.48
63855	US BANK CORPORATE PAYME	AMAZON-STORAGE BOXES-N	Office supplies	100-41701-2110	20.85
63855	US BANK CORPORATE PAYME	AMAZON-EMERGENCY CARD	Office supplies	100-41701-2110	8.99
63855	US BANK CORPORATE PAYME	AMAZON-LAMINATING POU	Office supplies	100-41701-2110	44.95
63855	US BANK CORPORATE PAYME	IOS-POST-IT FLAGS-NW	Office supplies	100-41701-2110	14.32
63855	US BANK CORPORATE PAYME	AMAZON-DISHWASHER SOAP	Operating supplies	100-41701-2290	35.33
63855	US BANK CORPORATE PAYME	IOS-PAPER TOWELS-NW	Operating supplies	100-41701-2290	10.11
63855	US BANK CORPORATE PAYME	PANTHEON SYSTEMS-3/14 - 3	Software licenses & upgrades	100-41701-2510	71.42
63855	US BANK CORPORATE PAYME	PANTHEON SYSTEMS-WEBSIT	Software licenses & upgrades	100-41701-2510	50.00
63855	US BANK CORPORATE PAYME	AMAZON-TRACKBALL KEYBOA	Computer supplies & small eq	100-41701-2520	61.66
63855	US BANK CORPORATE PAYME	AMAZON-WIRELESS KEYPAD -	Computer supplies & small eq	100-41701-2520	24.78
63855	US BANK CORPORATE PAYME	IOS-CARD HOLDERS, PENCIL C	Office supplies	100-42201-2110	7.52
63855	US BANK CORPORATE PAYME	ESAFETY SUPPLIES-GLOVES-M	Clothing & personal protectiv	100-42201-2210	89.98
63855	US BANK CORPORATE PAYME	IOS-HANDSOAP FIRE #2-NW	Operating supplies	100-42201-2290	108.99
63855	US BANK CORPORATE PAYME	BRAKE & EQUIPMENT WAREH	Fire apparatus repair & maint	100-42201-3450	264.21
63855	US BANK CORPORATE PAYME	MN STATE COLLEGES-FIRE APP	Training/conferences/schools	100-42201-3510	550.00
63855	US BANK CORPORATE PAYME	AMAZON-MEM CARD FOR CA	Operating supplies	100-42401-2290	10.39
63855	US BANK CORPORATE PAYME	TOM'S RADIATOR REPAIR-T-3	Vehicle parts & supplies	100-43101-2340	725.00
63855	US BANK CORPORATE PAYME	AMAZON-PLOW MIRRORS-N	Vehicle parts & supplies	100-43101-2340	46.76
63855	US BANK CORPORATE PAYME	AMAZON-HAND SOAP-NW	Operating supplies	100-44201-2290	21.43
63855	US BANK CORPORATE PAYME	ALL SEASONS RENTAL-FLOOR	Capital assets	412-41702-5110	322.23
63857	VEIT & COMPANY INC	LUND'S	Contractors	431-43301-3810	104,992.08
63858	VERIZON WIRELESS	MR	Phones/radios/pagers	100-42201-3210	41.22
63858	VERIZON WIRELESS	TD, MJ, TK & 2 LAPTOPS	Phones/radios/pagers	100-42401-3210	208.68
63858	VERIZON WIRELESS	JK, JW, CS, EH, & 2 LAPTOPS	Phones/radios/pagers	100-43101-3210	252.89
63858	VERIZON WIRELESS	DH, AC	Phones/radios/pagers	100-44101-3210	82.44
63859	WIPERS AND WIPES, INC.	GLOVES	Operating supplies	100-44101-2290	1,060.00
63860	WOLF RIVER ELECTRIC	CANCEL PERMIT #2021-01645	Building permits	100-32201	60.00
DFT0002346	COMPENSATION CONSULTAN	Health Savings Account	Flexible spending	100-21705	333.32
DFT0002347	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	1,520.00
DFT0002347	EMPOWER	Roth IRA	Deferred compensation	100-21704	100.00

Council Approval List

Payment Dates: 3/24/2022 - 4/6/2022

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
DFT0002348	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	4,834.74
DFT0002348	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	1,796.22
DFT0002348	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	7,172.20
DFT0002349	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,200.76
DFT0002350	PERA	Retirement-Coordinated	PERA	100-21703	6,467.04
DFT0002350	PERA	Retirement-Elected Officials	PERA	100-21703	40.84
DFT0002350	PERA	Retirement-Police & Fire	PERA	100-21703	1,086.98
DFT0002352	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	3,336.47
DFT0002352	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	454.68
DFT0002352	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	1,944.14
DFT0002353	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	1,189.34
<b>Grand Total:</b>					<b>220,158.40</b>





Packet: ARPKT00326 - 3/22/22 TRUST REFUND

## Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00173	RACHEL SCHMALZER	3/29/2022	63825	280.00
Total Refund Amount:				280.00

## Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	280.00
Revenue Totals:	280.00

## General Ledger Distribution

Posting Date: 03/29/2022

Account Number	Account Name	Posting Amount	IFT
<b>Fund: 890 - TRUST FUND</b>			
890-10101	Cash-claim on pooled cash	-280.00	Yes
890-11501	Misc receivables	280.00	
	<b>890 Total:</b>	<u>0.00</u>	
<b>Fund: 999 - POOLED CASH</b>			
999-10100	Pooled Cash	-280.00	
999-20702	Due to other funds	280.00	Yes
	<b>999 Total:</b>	<u>0.00</u>	
	<b>Distribution Total:</b>	<u>0.00</u>	



By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: APBNK-A/P BANK						
MENARDS-BLAINE	MENARDS-BLAINE	03/17/2022	Bank Draft	0.00	360.84	63750
Payable #	Payable Type	Payable Date	Payable Description	Discount Amount	Payable Amount	
Account Number		Account Name	Project Account Key	Item Description	Dist Amount	
<u>28294</u>	Invoice	01/28/2022	SOFTENER SALT	0.00	345.87	
<u>100-41701-2290</u>		Operating supplies		SOFTENER SALT CITY HALL	181.17	
<u>100-42201-2290</u>		Operating supplies		SOFTENER SALT FIRE #1	54.90	
<u>100-42201-2290</u>		Operating supplies		SOFTENER SALT FIRE #2	54.90	
<u>100-43101-2290</u>		Operating supplies		SOFTENER SALT PW	54.90	
<u>28525</u>	Invoice	02/01/2022	DRILLBITS	0.00	14.97	
<u>100-43101-2290</u>		Operating supplies		DRILLBITS	14.97	

Bank Code APBNK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	0	0	0.00	0.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	2	1	0.00	360.84
EFT's	0	0	0.00	0.00
	<b>2</b>	<b>1</b>	<b>0.00</b>	<b>360.84</b>



City of Ham Lake, MN

# EFT Payroll Check Register

## Report Summary

Pay Period: 3/6/2022-3/19/2022

Packet: PYPKT01306 - PPE 3/19/22 PAID 3/25/22

Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	75	45,059.53
<b>Total</b>	<b>75</b>	<b>45,059.53</b>



City of Ham Lake, MN

# EFT Payroll Check Register Report Summary

Pay Period: 3/28/2022-3/28/2022

Type	Count	Amount
Regular Checks	1	9,953.28
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	0	0.00
<b>Total</b>	<b>1</b>	<b>9,953.28</b>



City of Ham Lake, MN

# Check Register

Packet: APPKT01564 - VOID CK#63799

By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Bank Code: APBNK-A/P BANK MENARDS-BLAINE	MENARDS-BLAINE	03/23/2022	Regular	0.00	-360.84	63799

### Bank Code APBNK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	0	0	0.00	0.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	1	0.00	-360.84
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	<b>0</b>	<b>1</b>	<b>0.00</b>	<b>-360.84</b>

Meeting Date: April 4, 2022



**CITY OF HAM LAKE**

**MEMO**

**To:** Mayor and Councilmembers  
Denise Webster, City Administrator

**From:** Andrea Murff, Finance/HR Director

**Subject:** Approval of the American Rescue Plan Act Business/Non-Profit Grant Program

**Introduction/Discussion:**

In March of 2021, the U.S. Congress adopted the American Rescue Plan Act (ARPA). The State of Minnesota received approximately \$377 million to allocate out to its jurisdictions with a population below 50,000. In July, the City requested their \$1.776 million allotment and then was notified in December an additional \$58,156.72 of unused funds would be distributed bringing the total amount of ARPA funds to approximately \$1.834 million.

The ARPA committee met and discussed doing a grant program for local businesses and non-profits that were greatly affected by the State mandates and shut-down with a total cap on spending of \$400,000 of funds. The grant would give up to \$20,000 of eligible costs to new applicants, up to \$10,000 if eligible costs to applicants who were awarded by the City with CARES funding, and up to \$5,000 for in home businesses. The eligibility would use the same guidelines of the CARES Grant Program from 2020 and would be administered by Baker Tilly.

Attached is the Ham Lake ARPA Business/Non-Profit Relief Grant Program eligibility and the Funding Approval and Agreement terms for grantees, which have been approved by City Attorney Murphy.

**Recommendation:**

**Approval of the American Rescue Plan Act Business/Non-Profit Grant Program**

## **Ham Lake ARPA Business / Non-Profit Relief Grant Program**

The City of Ham Lake Economic Development Authority will offer a business and non-profit relief grant program to support local businesses and nonprofits impacted by COVID-19. Grants will be awarded in an amount not to exceed \$20,000. Applications will be accepted electronically beginning April 18, 2022, at which time the City and the City's contracted vendor will evaluate the applications. The deadline to apply is 11 am on May 13, 2022. Grants will be awarded on a first-come-first-served basis to applicants who meet the program criteria.

### **Grant Amount:**

First-time applicants that were not awarded a grant under the previous City of Ham Lake grant program and who meet the eligibility criteria are eligible for an award up to \$20,000. Applicants who previously received an award and who meet the eligibility criteria are eligible for an award up to \$10,000. Home-based businesses who meet the eligibility criteria are eligible for an award up to \$5,000.

The total amount of American Rescue Plan Act funds allocated towards the Ham Lake business / non-profit relief grant program will not exceed \$400,000.

### **Eligibility Criteria:**

- Applicant must be locally owned, operated and domiciled in the State of Minnesota with a physical establishment in Ham Lake. If there is a parent company or a second location outside of Ham Lake, only the entity located in Ham Lake will be eligible.
- Preference will be given to applicants operating the following types of businesses: bars, restaurants, churches, hotels, gyms and party rentals.
- Applicant must certify that the organization has experienced a financial hardship as a result of the COVID-19 pandemic and provide a narrative explanation of this hardship.
- Applicant must be in good standing with the Minnesota Secretary of State and the Minnesota Department of Revenue as of March 31<sup>st</sup>, 2021. If there is an issue pending with the Minnesota Secretary of State, Applicant may still apply for the grant, but will need to demonstrate the issue has been satisfactorily resolved in order to be eligible and receive grant funds.
- If required, Applicant must be licensed, in good standing.
- Applicant must be current on property taxes.
- Applicant must employ 500 or less employees as of January 1, 2022.
- Applicant must have been in operation 12 months prior to application.
  - Ham Lake will not disqualify an applicant if there was an ownership change and the business remained in operation within 12 months prior to application.
- The business must be the primary source of income for the business owner; hobby-based businesses are not eligible.
- Home-based businesses must be independently owned and operated. Consultants and independent contractors for corporate brands are not eligible.

### **Ineligible Businesses/Restrictions**

- Applicants who have previously received federal, state or local grants for the same expenses.
- Multi-state chains are generally ineligible except for locally owned franchisees.
- Businesses that primarily derive income from gambling or adult entertainment.
- Businesses that derive income from passive investments; property rentals or property management; billboards or lobbying.
- Businesses that have been disbarred from doing work with the federal government.
- Non-profits where the sole purpose is fundraising.

### **Examples of Eligible Usage of Grant Funds**

Grant recipients may use funds for expenses directly related to the impacts of COVID-19 including:

- Rent or mortgage payments (not an eligible expense for home-based businesses)
- Increasing technology capacity to enable alternative work forms
- Marketing and new business development
- Operating expenses such as paying vendor invoices, payroll, and rent or mortgage payments
- Technical assistance, counseling or other services to support business planning
- Retaining/attracting employees
- Improvements to physical spaces to address COVID-19 healthy and safety concerns
- Other actions to restore financial resiliency and/or support the long-term viability of the business

Grant recipients will be required to use funds by October 31, 2022 and submit a final report of how funds were used by November 30<sup>th</sup>, 2022. Recipients will be required to provide documentation of expenditures greater than \$500. For example, invoices/receipts, payroll records, etc.

**The categories outlined above are intended to be general guidance. Final grant decisions will be made by the City's contracted vendor in consultation with the City Administrator after a thorough review of all application factors. After the initial funding round, the City reserves the right to amend any criteria for eligibility as needed to best address the impact of the current pandemic.**



# **The City of Ham Lake**

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CFDA 21.027

## **Ham Lake Business Relief Grant Program – Funding Approval Notice and Agreement**

The City of Ham Lake ("the City") is pleased to inform you that your application for the Ham Lake Business Relief Grant Program has been approved, contingent upon acceptance of the terms and conditions set forth in the *Ham Lake Business Relief Grant Program Overview and Eligibility*, *Ham Lake Business Relief Grant Program - Application* and this Funding Approval Notice and Agreement ("Agreement").

### **GENERAL GRANT TERMS, CONDITIONS AND UNDERSTANDINGS**

#### **Entire Agreement**

This Agreement, together with the *Ham Lake Business Relief Grant Program Overview and Eligibility*, *Ham Lake Business Relief Grant Program - Application*, represents the final, complete, and exclusive agreement between the Awardee and the City, and supersedes any and all prior written and oral agreements, communications, or course of dealing between the Awardee and the City relating to its subject matter.

#### **Amendment**

This Agreement may be amended only as stated in writing and signed by both the Awardee and the City.

#### **Third Party Beneficiaries**

This Agreement is for the exclusive benefit of the Awardee and the City, and not for the benefit of any third party, including, without limitation, any partner, employee, or volunteer of the Awardee.

#### **Force Majeure**

Awardee will not be required to perform or be held liable for failure to perform if nonperformance is caused by labor strikes, work stoppages, war, hostilities, a City emergency, acts of God, epidemics, quarantines, natural disasters, power failures, or any other causes beyond Awardee's control. Awardee will notify and consult with the City regarding the event and how to minimize its impact, and in all cases will make commercially reasonable efforts to address the problem and carry out its obligations.

#### **Expenditure of Funds**

This grant is made for the purpose outlined in the *Ham Lake Business Relief Grant Program Overview and Eligibility* and *Ham Lake Business Relief Grant Program - Application* and may not be expended for any other purpose without the City's prior written approval.

Any portion of the grant unexpended at the completion of the project or the end of the period shall be returned immediately to the City.

You may not expend any grant funds for any political or lobbying activity or for any purpose other than one specified in section 170(c)(2)(b) of the Internal Revenue Code of 1986 as amended (the "Code").

# The City of Ham Lake

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## GENERAL GRANT TERMS, CONDITIONS AND UNDERSTANDINGS (cont.)

### **No Assignment or Delegation**

You may not assign, or otherwise transfer, your rights or delegate any of your obligations under this grant without prior written approval from the City.

### **Required Notification**

You are required to provide the City with immediate written notification of: (1) any changes in your organization's size or structure that would affect eligibility of the organization's participation in the program; (2) your inability to expend the grant for the purposes described in the *Ham Lake Business Relief Grant Program Overview and Eligibility*; or (3) any expenditure from this grant made for any purpose other than those for which the grant was intended.

### **Reasonable Access for Evaluation**

Awardee will maintain its books and records in a manner that will provide the City with sufficient detail to review the awardee's receipts and expenditures relating to the grant. The City, its departments, divisions, and agencies thereof, reserves the right to request supporting documentation such as receipts, payroll records, and other documentation sufficient to support reported expenditures to the satisfaction of the requestor. Expenditures that are not supportable or that do not conform to the requirements of the Program may be recouped by the City through available legal avenues.

### **Period of Performance**

The period of performance for use of this award is March 31, 2021 through October 31, 2022. All expenditures must be in compliance with the expenditure requirements outlined in the *Ham Lake Business Relief Grant Program Overview and Eligibility* and *Ham Lake Business Relief Grant Program – Application*. You will be required to return any awarded funds that are unspent or were not spent in accordance with the requirements of this grant award.

### **Costs claimed under other programs**

You may not claim costs under this program that have been previously reimbursed or claimed for reimbursement under another Federal, State, or City financial assistance or disaster relief program, such as the CARES Act, Paycheck Protection Loan program, or similar.

# The City of Ham Lake

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## GENERAL GRANT TERMS, CONDITIONS AND UNDERSTANDINGS (cont.)

### **Required Reporting**

You are required to keep a record of all receipts and expenditures relating to this grant and to provide the City with requested reporting summarizing the project expenditures. You also agree to provide any other information reasonably requested by the City. You are required to keep the financial records with respect to this grant, along with copies of any reports submitted to the City, for at least five years following the year in which all grant funds are fully expended.

#### *Final Report*

You are required to submit a report providing a final accounting of the uses of funds awarded through October 31, 2022 by November 30, 2022. An official reporting document template will be made available at a later date via the Program's official online portal for you to complete and submit.

Any unspent funds or funds spent on ineligible uses will be required to be returned to the City.

### **Right to Modify or Revoke**

The City reserves the right to discontinue, modify or withhold any payments to be made under this grant award or to require a total or partial refund of any grant funds if, in the City's sole discretion, such action is necessary: (1) because you have not fully complied with the terms and conditions of this grant; (2) to protect the purpose and objectives of the grant or any other activities of the City in their compliance with section 601(d) of the Social Security Act; or (3) to comply with the requirements of any law or regulation applicable to you, or the City, or this grant program.

If the City does not receive signed copies of its grant award letter and of these general grant terms within 14 days after the date of the City's grant award, this grant may be revoked.

The undersigned certify that they are duly elected and authorized officers of the Awardee and that, as such, are authorized to accept this grant on behalf of the Awardee, to obligate the Awardee to observe all of the terms and conditions placed on this grant, and in connection with this grant to make, execute and deliver on behalf of the Awardee all grant agreements, representations, receipts, reports and other instruments of every kind.

You have previously acknowledged that you understand the eligible and non-eligible program terms and guidelines, that you understand these requirements, and agree to abide by the terms outlined in the *Ham Lake Business Relief Grant Program Overview and Eligibility*, *Ham Lake Business Relief Grant Program – Application* and other official City publications.

Meeting Date: April 4, 2022

**CITY OF HAM LAKE**  
*STAFF REPORT*

**To:** Mayor and Councilmembers  
**From:** Mike Raczkowski, Fire Chief  
**Item/Title/Subject:** Building Destruction Agreement/Training Burn

**Introduction/Discussion:**

The Fire Department was contacted by the property owners of 901 Bunker Lake Boulevard NE. The owners are interested in allowing the Fire Department to conduct a training burn as part of the demolition process. Live burn training such as this allows firefighters to experience actual fire conditions in a controlled situation. The size and condition of the structure are such that it does have good training value for the department's firefighters.

FIRE Inc. will be hired as an approved trainer for this live burn. Their fee should be covered by a grant from MBFTE or will be covered by the Fire Departments training budget. The training burn is scheduled for the evening of April 22, 2022.

The building has been given a clear title by the city attorney and a Building Destruction Agreement has been drawn up.

**Recommendation:**

Authorization to enter into the Building Destruction Agreement and hire Fire Inc. as trainer for this training exercise.

**BUILDING DESTRUCTION AGREEMENT  
FIRE DEPARTMENT TRAINING EXERCISE**

THIS AGREEMENT, Made this \_\_\_\_\_ day of April, 2022, by and between **Mardell C. Vilina, Gregory I. Vilina, Gary J. Vilina, Kristi M. Villanueva, Kathy A. Beckstrom, and Irving C. Vilina** (OWNERS) and the City of Ham Lake, Anoka County, Minnesota, (CITY):

**RECITALS**

OWNERS are record title holder of the following described property:

**901 Bunker Lake Blvd NE, Ham Lake, MN 55304**  
Anoka County Property ID 31-32-23-14-0023

OWNERS are record title holder of all **BUILDINGS** contained on said property, including: **(1) the property's primary residence, a one story single family dwelling, (2) a detached two story barn with a silo and multiple attached structures directly north of the residence, (3) a detached garage northeast of the residence, and (4) two detached sheds southwest of the barn.**

OWNERS desire to have CITY destroy ALL of the existing BUILDINGS on the property as a fire exercise for the Ham Lake Volunteer Fire Department, and the purpose of this Agreement is to set forth the various responsibilities and duties of the parties pursuant to said destruction:

IT IS HEREBY AGREED:

1. **Authorization to Destroy.**

OWNERS do hereby authorize the CITY to cause the destruction of all of the buildings described above as a Fire Department training exercise.

2. **Costs**

As compensation to CITY for its costs for destroying the buildings, OWNERS shall pay to the CITY the sum of \$250.00, at the time of execution hereof. CITY shall destroy said buildings, weather conditions permitting, on or before Sixty (60) days from the date hereof, or as soon thereafter as weather conditions permit. CITY shall be the sole judge of when to conduct the burning operation.

3. **Manner of Destruction.**

The manner of destruction shall be as follows:

The Buildings, including all attachments, if any, are to be burned to ground level, during which CITY's Volunteer Fire Department may control the burn and conduct such training exercises as they deem appropriate. CITY may extinguish and re-ignite the fire as deemed necessary for training purposes.

4. **OWNERS' Responsibility and Warranties.**

OWNERS warrant and represent as follows:

A) That Owners have removed all personal property or other items of value from within and around the Buildings.

B) That Owners know that there are no underground storage tanks, or other deposits or containers containing hazardous or flammable materials located in or around the Buildings

C) That Owners own fee title to the real estate on which the Buildings sit, and are under no legal duty to seek the permission of any third party, including mortgagees, to destroy the Buildings.

5. **Indemnity.**

OWNERS shall be solely responsible for and hold CITY harmless from any liability arising out of any explosion or release of any hazardous substance caused by the existence of any undisclosed peril, whether or not OWNERS have any actual knowledge of the existence of such perils. Further, OWNERS are aware that although CITY intends to exercise reasonable caution in completing the destruction, the activity will necessitate the presence of heavy equipment, trucks, and the like in and around the premises, and OWNERS hereby release CITY from any liability to OWNERS as a result of the damage or destruction to any shrubbery, vegetation, landscaping, or unremoved property occasioned by the CITY's demolition or burning activities.

6. **Cleanup and Debris Removal.**

City shall extinguish all fires at the conclusion of the training exercise. OWNERS shall be solely responsible for the removal and proper disposal of all demolition debris, including, without limitation, all ash, partly burned objects, metal, concrete, stone, masonry or other noncombustible debris. Debris removal will be completed by OWNERS within 30 days after the completion of the burn.

7. **Security and Control of Burn Site.**

During the burn operation, City shall have sole control of the Site, and shall be entitled to limit access to the site to City authorized personnel. OWNERS may come upon the site during the burn, but may not interfere in any way with City agents in the performance of the operation

IN WITNESS WHEREOF, the parties have executed this instrument this \_\_\_\_\_ day of April, 2022.

OWNERS

CITY OF HAM LAKE

\_\_\_\_\_  
Mardell C. Vilina, Owner  
BY \_\_\_\_\_  
Irving C. Vilina as attorney-in-fact

\_\_\_\_\_  
Brian Kirkham, Acting Mayor

\_\_\_\_\_  
Gregory I. Vilina, Owner

\_\_\_\_\_  
Dawnette Shimek, Deputy City Clerk

\_\_\_\_\_  
Gary J. Vilina, Owner

\_\_\_\_\_  
Kristi M. Villanueva, Owner

\_\_\_\_\_  
Kathy A. Beckstrom, Owner

\_\_\_\_\_  
Irving C. Vilina, Owner

Approved as to form:

\_\_\_\_\_  
Michael Raczkowski, Fire Chief

RESOLUTION NO. 22-XX  
RESOLUTION APPROVING CONTRIBUTIONS

WHEREAS, the City of Ham Lake is generally authorized to accept contributions of real and personal property pursuant to Minnesota Statutes Sections 412.21 and 465.03 for the benefit of its citizens, and

WHEREAS, the following persons and entities have offered to contribute the cash sums set forth below to the City:

<u>Name of Donor</u>	<u>Amount</u>
Ham Lake Chamber of Commerce (Freedom Festival Fireworks)	\$5,000.00

WHEREAS, all such sums have been contributed to assist the City in the establishment and operation of programs within the City's corporate limits either alone or in cooperation with others, as allowed by law; and

WHEREAS, the City Council hereby finds that it is appropriate to accept the contributions offered.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Ham Lake, Minnesota, as follows:

1. The contributions described above are hereby accepted by the City of Ham Lake and shall be used to establish and operate programs within the City's corporate limits either alone or in cooperation with others, as allowed by law.
2. That the City Clerk is hereby directed to issue receipts to each donor acknowledging the City's receipt of the donor's contribution.

Adopted by the City Council of the City of Ham Lake this 4th day of April, 2022.

\_\_\_\_\_  
Brian Kirkham, Acting Mayor

\_\_\_\_\_  
Dawnette Shimek, Deputy City Clerk



# LG555 Government Approval or Acknowledgment for Use of Gambling Funds

Keep this completed form attached to the LG100C in your organization's records. You do not need to submit this form to the Gambling Control Board or the Department of Revenue.

## ORGANIZATION AND EXPENDITURE INFORMATION (attach additional sheets if necessary)

Organization Name: <u>Ham Lake Chamber of Commerce</u>	License Number: <u>102948</u>
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Address: <u>15644 Central Ave. NE</u>	City/State/Zip: <u>Ham Lake, MN 55304</u>
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1. Amount of proposed lawful purpose expenditure: \$ 5000.00

2. Check one expenditure category:
- A. **Contribution to a unit of government**—United States, state of Minnesota, or any of its subdivisions, agencies, or instrumentalities.
  - B. **Wildlife management project or activity** that benefits the public at large, with approval by the Minnesota Department of Natural Resources (DNR).
  - C. **Grooming and maintaining snowmobile or all-terrain vehicle trails** established under Minnesota Statutes, Sections 84.83 and 84.927, including purchase or lease of equipment, with approval by the DNR. All trails must be open to public use.
  - D. **Supplies and materials for safety training and educational programs** coordinated by the DNR, including the Enforcement Division.
  - E. **Citizen monitoring of surface water quality testing** for public waters by individuals or nongovernmental organizations, with Minnesota Pollution Control Agency (MPCA) guidance on monitoring procedures, quality assurance protocols, and data management, providing that data is submitted to the MPCA.

3. Describe the proposed expenditure, including vendors:

Money used for local Ham Lake Fireworks.

- **NO FINANCIAL OR OTHER BENEFIT:** I affirm that the contribution or expenditure does not result in any monetary, economic, financial, or material benefit to our organization, in compliance with Minn. Rule 7861.0320, subp. 17, para. C.
- **FOR DNR-RELATED PROJECTS:** I affirm that when lawful gambling funds are used for grooming and maintaining snowmobile or all-terrain vehicle trails or for any wildlife management project for which reimbursement is received from a unit of government, the reimbursement funds must be deposited in our lawful gambling account and recorded on form LG100C.
- **FOR SURFACE WATER QUALITY TESTING:** I affirm that the MPCA has been consulted in developing the monitoring plan and that the data collected will be submitted to the MPCA. Send form for signature to: Manager, Water Monitoring Section, Minnesota Pollution Control Agency, 520 Lafayette Road North, St. Paul, MN 55155. Website: [www.pca.state.mn.us](http://www.pca.state.mn.us)

 Chief Executive Officer's Signature <u>Scott Summerbell</u> Print Name	<u>3-29-22</u> Date <u>612-414-3116</u> Daytime Phone
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## GOVERNMENT APPROVAL/ACKNOWLEDGMENT

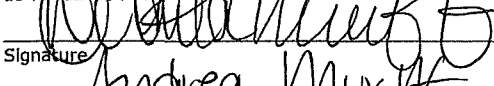
Contribution amount: \$ 5,000.00. Government use of contribution (check one):

- Wildlife**—DNR approves the wildlife management project or activity.
- Trails**—DNR approves the grooming/maintaining of snowmobile and/or all-terrain vehicle trails.
- Safety training**—DNR approves the supplies/materials for DNR safety training and educational programs.
- Water quality testing**—MPCA approves the surface water quality testing project.
- Donation to other unit of government** (city, county, state, federal, or any of their subdivisions) provided the funds will not be used for a pension or retirement fund.

Unit of Government: <u>Ham Lake, City</u>	Phone: <u>763-235-1668</u>
---	----------------------------

Address: <u>15644 Central Ave. NE</u>	City/State/Zip: <u>Ham Lake, MN 55304</u>
---------------------------------------	---

By signature below, the representative of the unit of government acknowledges and approves the contribution amount for the use as listed above.

 Signature <u>Andrea Murff</u> Print Name	<u>3/30/22</u> Date <u>Fin/HR Director</u> Title
---	---

**Questions?** Contact the Minnesota Gambling Control Board at 651-539-1900. This form will be made available in alternative format (i.e. large print, braille) upon request. The information requested on this form will become public information, when requested by the Board, and will be used to determine your compliance with Minnesota statutes and rules governing lawful gambling activities.

RESOLUTION 22-XX

RESOLUTION RELATING TO PARKING RESTRICTION ON MSA STREET SEGMENT  
197-125-045 CENTRAL AVENUE NE

WHEREAS, Central Avenue NE from 157<sup>th</sup> Avenue NE to Constance Boulevard NE is designated as Municipal State Aid (MSA) street segment 197-125-045;

AND WHEREAS, the Central Avenue NE street segment does not provide adequate width for parking on either side of the street;

AND WHEREAS, Municipal State Aid street segments may be conditioned upon certain parking restrictions.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HAM LAKE, MINNESOTA THAT: The City of Ham Lake shall ban the parking of motor vehicles on Central Avenue NE from 157<sup>th</sup> Avenue NE to Constance Boulevard NE.

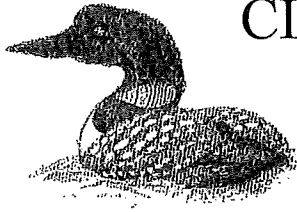
Adopted by a unanimous vote of the Ham Lake City Council this 4<sup>th</sup> day of April, 2022.

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Brian Kirkham, Acting Mayor

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Dawnette Shimek, Deputy City Clerk



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## **CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, MARCH 28, 2022**

**CALL TO ORDER:** 6:00 p.m.

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF MINUTES:** March 14, 2022

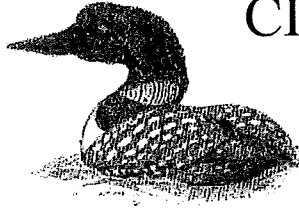
**PUBLIC HEARINGS:** None

**NEW BUSINESS:**

1. Jesse Osborne requesting Final Plat approval of Creekside Farms, a 9 lot Commercial Development located in Sections 7 and 8.

**COMMISSION BUSINESS:**

1. City Council Update



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, MARCH 28, 2022

The Ham Lake Planning Commission met for its regular meeting on Monday, March 28, 2022 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Chair Brian Pogalz and Commissioners Scott Heaton, Jeff Entsminger, Jonathan Fisher, Kyle Lejonvarn and Erin Dixson

**MEMBERS ABSENT:** Commissioner Dave Ringler

**OTHERS PRESENT:** City Engineer, Tom Collins and Building and Zoning Clerk, Jennifer Bohr

**CALL TO ORDER:** Chair Pogalz called the meeting to order at 6:00 p.m.

**PLEDGE OF ALLEGIANCE:**

The pledge of allegiance was recited by all in attendance.

**APPROVAL OF MINUTES:**

**Motion by Lejonvarn, seconded by Fisher, to approve the minutes of the March 14, 2022 Planning Commission meeting as written. All present in favor, motion carried.**

**PUBLIC HEARING:** None

**NEW BUSINESS:**

Jesse Osborne requesting Final Plat approval of Creekside Farms, a 9 lot Commercial Development located in Sections 7 & 8.

Mr. Jesse Osborne was present. Mr. Osborne stated grading was done in the development last fall and he plans to have curbing and the first lift of asphalt in place in June. Mr. Osborne stated he currently has purchase agreements for three of the seven commercial lots; the sale of the commercial lots will help finance the construction of the heated storage units in the summer of 2023. Chair Pogalz read key points from Engineer Collin's memo and asked Engineer Collins to comment. Engineer Collins stated a Conditional Use Permit, with a public hearing, will be required for the heated storage units in the future; due to previous soil disturbance within the development a variance to septic soil conditions, per Section 10-302F of Article 10 of the City Code, was granted; septic systems must meet specific design requirements before building permits can be issued. Commissioner Lejonvarn inquired about the type of fencing and screening that

will be between the residential property along 165<sup>th</sup> Avenue NE and Storage World. Mr. Osborne stated that was a separate project in which he put up a slatted, chain-link fence. Mr. Osborne stated the fence has worked well and he hasn't heard anything from residents since the fence was constructed. Mr. Osborne stated North Pine Aggregate trucks were driving on 167<sup>th</sup> Avenue NE when they did grading work last fall for the Creekside Farms development. Mr. Osborne stated he informed North Pine Aggregate that their truck and equipment drivers could not utilize that street and were directed to access the development by Buchanan Street NE from Constance Boulevard NE. Mr. Osborne stated he has met with each potential buyer of his commercial lots and informed them they must access the development via Buchanan Street NE from Constance Boulevard NE. Mr. Osborne stated each buyer has acknowledged they understand where to access the development. Mr. Osborne stated No Hauling and No Truck signs will be posted along 167<sup>th</sup> Avenue NE. Commissioner Heaton asked what type of businesses will be purchasing the lots. Mr. Osborne stated purchase agreements have been written for two trucking companies and a warehouse company. Commissioner Heaton stated there have been issues in the past when commercial property borders residential property and he wanted Mr. Osborne to be mindful of that. Mr. Osborne stated he has created covenants for the development which include requirements for at least a ten-foot high fence on property bordering residential property. Mr. Osborne stated the residential property bordering the development is his family's property; he wants to keep things nice, neat and clean as the City does. Engineer Collins stated the location of structures and parking areas on the current plans are speculative; each property owner will need to submit a commercial site plan for review by the Planning Commission and City Council; screening will be part of the site plan requirements. **Motion by Pogalz, seconded by Lejonvarn, to recommend approval of the Final Plat of Creekside Farms, a 9 lot Commercial Development located in Sections 7 and 8 subject to applying for a Conditional Use Permit prior to construction of the heated storage buildings, installing No Truck and No Hauling signage along 167<sup>th</sup> Avenue NE, installation of six-foot tall colored, slatted privacy fence and ten-foot spaced pine trees as shown on the screening exhibit, following guidance provided in the Minnesota DNR Natural Heritage Review for Blanding Turtles, complying with Coon Creek Watershed District permit requirements, meeting the requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. *This item will be placed on the April 4, 2022 City Council Agenda.***

## **COMMISSION BUSINESS:**

### City Council Update

Commissioner Fisher attended the March 21, 2022 City Council meeting. Commissioner Fisher stated the Planning Commission had reviewed and recommended approval of a Special Home Occupation Permit application for Curls and Purls Salon; the City Council, after discussion with staff, determined a Home Occupation Permit was sufficient and required less restrictions so a Home Occupation Permit was approved by the City Council for Curls and Purls Salon. Commissioner Fisher stated the City Council approved the Preliminary Plat Reapproval for Harmony Estates 3rd Addition without further discussion. A Planning Commissioner will not be present at the April 4, 2022 City Council meeting.

**ADJOURNMENT:**

**Motion by Heaton, seconded by Fisher, to adjourn the Planning Commission meeting at 6:17 p.m. All present in favor, motion carried.**

---

Jennifer Bohr  
Building and Zoning Clerk



## Memorandum

Date: March 24, 2022  
To: Planning Commissioners  
From: Tom Collins, City Engineer *TPC*  
Subject: Creekside Farms

---

**Introduction:**

The Final Plat received March 18<sup>th</sup> and the Title Sheet; Overall Site Plan, Existing Conditions & Demolition Plan, Street & Storm Sewer Plan & Profile, Storm Sewer Plan & Profile, Construction Grading & Tree Protection Plan, Intersection Grading Details, Erosion Control Plan, Striping & Signage Plan, Typical Sections & Details, Details and SWPPP received September 13, 2021 address the prior review comments for the proposed 9 lots commercial development located on 42.85 acre combined area of parcel 08-32-23-33-0005 and portions of parcels 07-32-23-44-0001, 08-32-23-32-0002 and 08-32-23-33-0004. The development was rezoned to Commercial Development Tier 2 (CD-2) by Resolution 21-08.

**Discussion:**

The Final Plat conforms with the Preliminary Plat that was approved at the August 16, 2021 City Council meeting. The Plans include north-bound and south-bound 6-foot wide bike lanes for Buchanan Street NE and Polk Street NE.

The Plan is for seven standard commercial lots and two heated storage lots (Lot 1, Block 1 and Lot 1, Block 2). Lot 1, Block 1 has six heated storage units with two separate bathrooms. Per the Building Official, water is allowed within the heated storage units. The allowance of heated storage lots is a conditional use under 9-220.3c of City Code. A separate application will be submitted to request a conditional use permit, which will require a public hearing.

Septic borings have been submitted that demonstrate that there is adequate area for a secondary septic system for 1101 165<sup>th</sup> Avenue (<https://gis.anokacountymn.gov/propertysearch/?find=08-32-23-33-0004>) parcel. With the preliminary plat approval, a variance was granted to septic soil conditions per 10-302F of City Code (attached). The building permit applications will need to provide actual field septic designs, prepared by a qualified subsurface sewage treatment system designer, prior to obtaining a building permit. The septic designs must include the concept of "time-dosing", meaning a periodic distribution of effluent which is electronically controlled.

Proof of recording the right-of-way over the southerly 33-feet of Parcel C-2 (1101 165<sup>th</sup> Avenue) needs to be supplied, per the attached Sketch and Description. Proof of recording the 10-foot perimeter drainage and utility easements around Parcel B-1, Parcel C-2 and Parcel D-1 needs to be supplied and proof of conveyance of 1.22-acre Outlot A to the adjacent Parcel B-1 needs to be supplied, per the attached Lot Line Adjustment. The Development Agreement will condition that no building permits be received until proof of recordings and conveyance are received.



A Federal Emergency Management Agency (FEMA) Letter of Map Amendment (LOMA) is required for Lot 1, Block 1, Lot 2, Block 2, Lot 3, Block 2, Lot 4, Block 3 and Lot 5, Block 3. The Development Agreement will stipulate that these lots are not eligible for a building permit until the LOMA is approved by FEMA. A License Agreement will be required for the Lot 2, Block 1 septic crossing the drainage and utility easement. The License Agreement will be covered in the Development Agreement.

No Truck signage must be placed to the west of the proposed connection to 167<sup>th</sup> Avenue. The attached Creekside Farms Screening exhibit proposes a combination of 6-foot-tall colored slatted privacy fence and 10-foot spaced pine trees for screening along the east side of Creekside Farms where storage buildings are not proposed. The screening is located outside of the 35-foot wide Great River Energy easement.

The attached Coon Creek Watershed District permit was issued August 25, 2021. The Minnesota DNR Natural Heritage review for potential impacts to state-listed species and other rare features found that Blanding's turtles have been reported in the vicinity of the proposed project and may be encountered on site. If during construction Blanding's turtles are encountered the contractor is to move them by hand out of harm's way. Otherwise, the turtles are to be left undisturbed.

**Recommendations:**

It is recommended that the Final Plat of Creekside Farms be recommended for approval.

PRELIMINARY COPY

LAST SAVED: 03/18/2022 11:06:52 PM  
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FLUSTRE: 2.898

# CREEKSIDE FARMS

City of Ham Lake  
County of Anoka  
Sec. 7 and 8, T32, R23

KNOW ALL PERSONS BY THESE PRESENTS: That CSF Development, LLC, a Minnesota limited liability company, owner of the following described property situated in the City Columbus, County of Anoka, State of Minnesota:

The Southwest Quarter of the Southwest Quarter of Section 8, Township 32, Range 23, Anoka County, Minnesota, EXCEPT the South 730 feet of the West 800 feet thereof, as measured along the West and South lines of said Southwest Quarter of the Southwest Quarter.

AND

That part of the Northwest Quarter of the Southwest Quarter of Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Northeast corner of the said Northwest Quarter of the Southwest Quarter; thence South 00 degrees 08 minutes 57 seconds West, assumed bearing, along the East line of said Northwest Quarter of the Southwest Quarter, a distance of 255.43 feet; thence North 89 degrees 30 minutes 01 seconds West, a distance of 551.76 feet; thence South 01 degrees 45 minutes 07 seconds West, a distance of 381.90 feet; thence South 78 degrees 41 minutes 27 seconds West, 364.11 feet; thence South 16 degrees 46 minutes 04 seconds East, a distance of 363.68 feet to the point of beginning of the parcel to be described; thence North 89 degrees 09 minutes 19 seconds East, a distance of 813.58 to the East line of said Northwest Quarter of the Southwest Quarter; thence South 00 degrees 08 minutes 57 seconds West, along said East line of the Northwest Quarter of the Southwest Quarter, a distance of 283.72 feet to the Southeast corner of said Northwest Quarter of the Southwest Quarter; thence South 88 degrees 49 minutes 45 seconds West, along the South line of the Northwest Quarter of the Southwest Quarter, a distance of 959.77 feet; thence North 00 degrees 00 minutes 00 seconds East 5.82 feet; thence northwesterly a distance of 220.82 feet along a tangential curve concave to the southwest, said curve having a radius of 279.00 feet and a central angle of 45 degrees 20 minutes 52 seconds; thence northwesterly a distance of 95.15 feet along a reverse curve concave to the northeast said curve having a radius of 345.00 feet and a central angle of 15 degrees 48 minutes 08 seconds; thence northwesterly, easterly, and southeasterly, a distance of 306.85 feet on a non-tangential curve concave to the southeast, having a radius of 60.00 feet, a central angle of 293 degrees 01 minutes 14 seconds and a chord bearing of North 64 degrees 36 minutes 05 seconds East; thence southeasterly a distance of 23.64 feet on a non-tangential curve concave to the northeast, having a radius of 279.00 feet, a central angle of 04 degrees 51 minutes 15 seconds and a chord bearing of South 32 degrees 57 minutes 22 seconds East; thence North 89 degrees 09 minutes 19 seconds East, a distance of 214.75 to the point of beginning.

AND

That part of the Southwest Quarter of the Southwest Quarter, Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Southwest corner of said Southwest Quarter of the Southwest Quarter; thence North 88 degrees 43 minutes 06 seconds East, assumed bearing along the South line of said Southwest Quarter of the Southwest Quarter, a distance of 500.00 feet; thence North 34 degrees 45 minutes 08 seconds West, a distance of 222.76 feet to the point of beginning of the parcel to be described; thence continuing North 34 degrees 45 minutes 08 seconds West, a distance of 652.11 feet to a point on the West line of said Southwest Quarter of the Southwest Quarter distant 730.00 feet northerly from said Southwest corner; thence Easterly, parallel with said South line, a distance of 800.00 feet; thence Southerly, parallel with said West line, a distance of 499.18 feet; thence North 38 degrees 26 minutes 35 seconds West, a distance of 201.56 feet; thence South 61 degrees 51 minutes 21 seconds West, a distance of 108.61 feet; thence South 51 degrees 59 minutes 23 seconds West, a distance of 261.69 feet to the point of beginning.

AND

That part of the Southeast Quarter of the Southeast Quarter of Section 7, Township 32, Range 23, Anoka County, Minnesota, lying northerly and easterly of the following described line:

Beginning at a point on the North line of said Southeast Quarter of the Southeast Quarter, distant 312.70 West of the Northeast corner thereof; thence southeasterly to a point on the East line of said Southeast Quarter of the Southeast Quarter, distant 730 feet north of the Southeast corner thereof and said line there terminating.

Has caused the same to be surveyed and platted as CREEKSIDE FARMS and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said CSF DEVELOPMENT, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_ day of \_\_\_\_\_, 20\_\_.

CSF DEVELOPMENT, LLC

\_\_\_\_\_  
\_\_\_\_\_

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 20\_\_ by \_\_\_\_\_ of CSF DEVELOPMENT, LLC, a Minnesota limited liability company, on behalf of the company.

\_\_\_\_\_  
(Signature)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_ day of \_\_\_\_\_, 20\_\_.

Jason E. Rud, Licensed Land Surveyor  
Minnesota License No. 41578

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 20\_\_ by Jason E. Rud.

\_\_\_\_\_  
(Signature)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

CITY COUNCIL, CITY OF COLUMBUS, MINNESOTA

This plat of CREEKSIDE FARMS was approved and accepted by the City Council of the City of Columbus, Minnesota at a regular meeting thereof held this \_\_\_ day of \_\_\_\_\_, 20\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF COLUMBUS, MINNESOTA

By \_\_\_\_\_ Mayor

By \_\_\_\_\_ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_ day of \_\_\_\_\_, 20\_\_.

David M. Ziegmler  
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_ day of \_\_\_\_\_, 20\_\_.

Property Tax Administrator

By \_\_\_\_\_ Deputy

COUNTY RECORDER/REGISTRAR OF TITLES

COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of CREEKSIDE FARMS was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_ o'clock \_\_\_ M., and was duly recorded as Document Number \_\_\_\_\_.

County Recorder/Registrar of Titles

By \_\_\_\_\_ Deputy



PRELIMINARY COPY

LAST SALES BY CLASSIFICATION: March 16, 2022 at 13:16:32 PM  
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PLOTDATE: 1/26/23

# CREEKSIDE FARMS

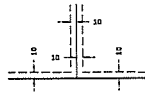
City of Ham Lake  
County of Anoka  
Sec. 7 and 8, T.32, R.23

## LEGEND

- DENOTES FOUND 1/2 INCH OPEN IRON PIPE MONUMENT
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41570
- ◊ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- C.B.= DENOTES CHORD BEARING
- WETLAND DENOTES WETLAND DELINEATED BY JACOBSON ENVIRONMENTAL IN JULY 2015.

FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 32, RANGE 23, ANOKA COUNTY, MINNESOTA IS ASSUMED TO HAVE A BEARING OF NORTH 88 DEGREES 43 MINUTES 56 SECONDS EAST.

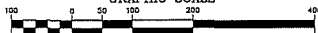
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:  
(SCALE: 1 INCH = 100 FEET)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES AND 15 FEET IN WIDTH ADJOINING LOT LINES UNLESS OTHERWISE SHOWN.

NORTH

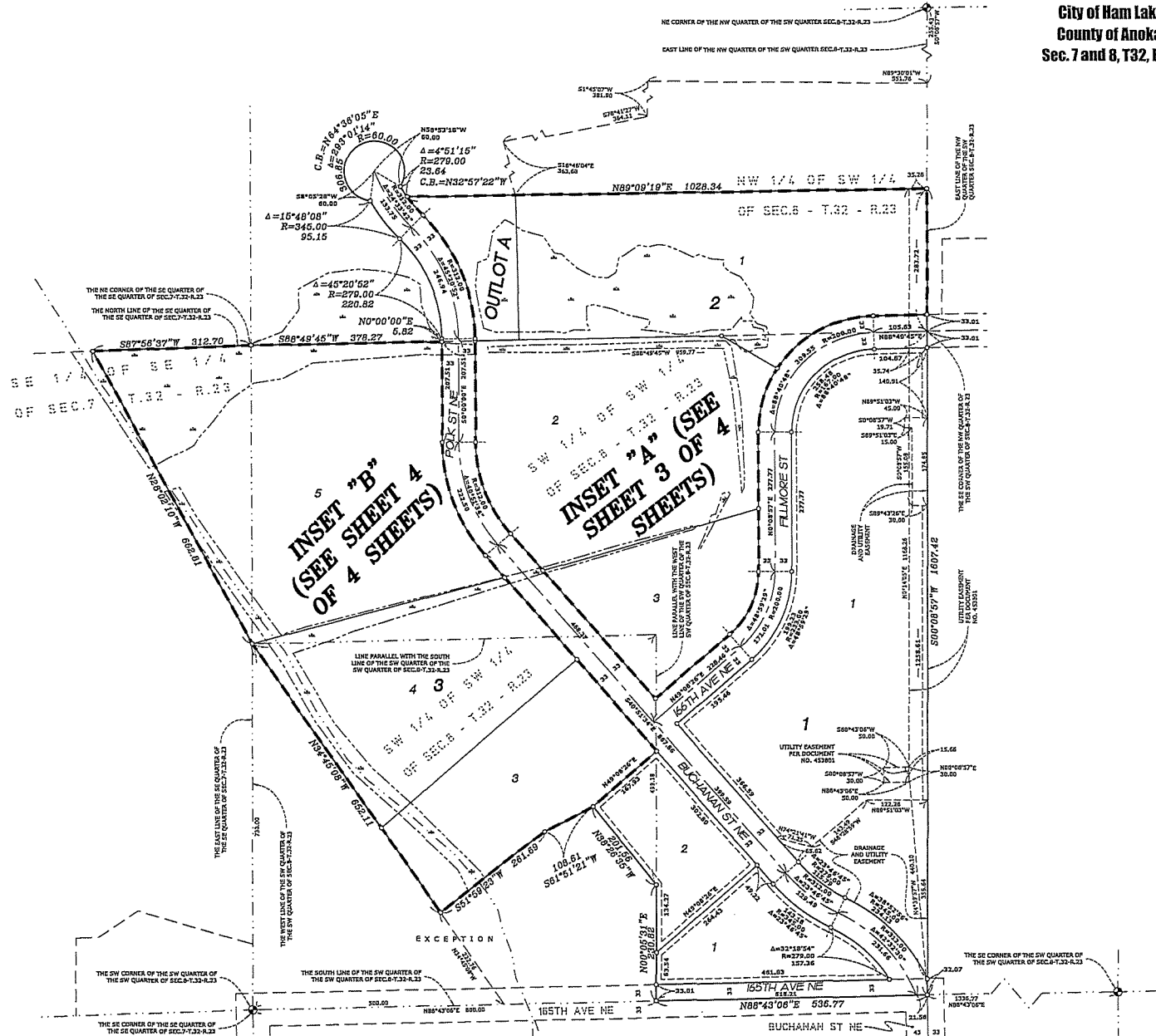
GRAPHIC SCALE



(SCALE IN FEET)

1 INCH = 100 FEET

**E. G. RUD & SONS, INC.**  
Professional Land Surveyors  
187, 1877



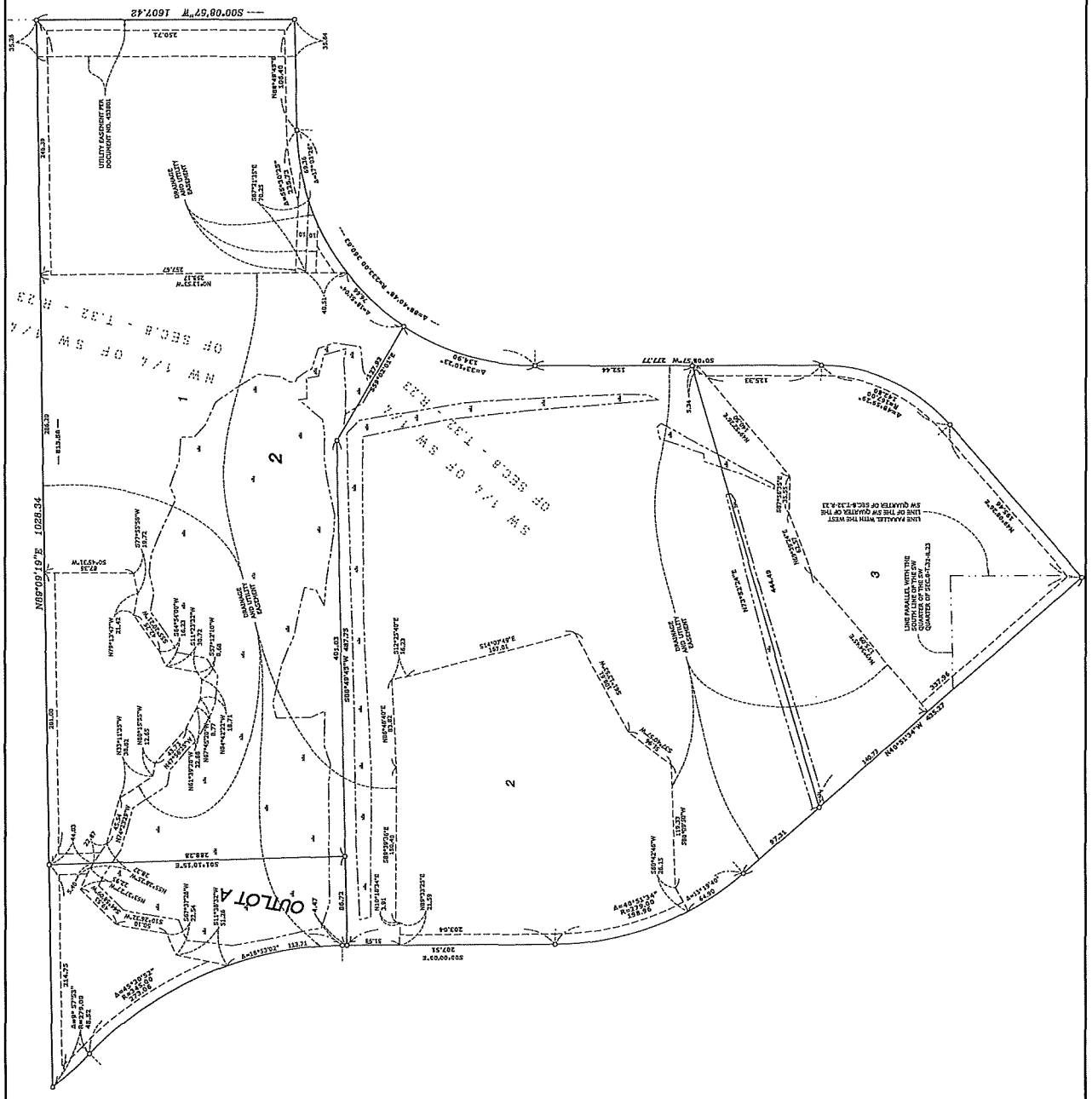
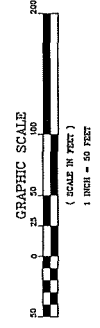
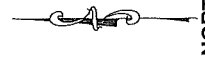
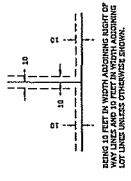
**CREEKSIDE FARMS**  
**INSET "A"**  
 City of Ham Lake  
 County of Anoka  
 Sec. 7 and 8, T32, R23

**LEGEND**

- DENOTES FOUND 1/2 INCH OPEN IRON PIPE MONUMENT
- DENOTES 1/2 INCH BY 1/4 INCH IRON PIPE SET, MARKED RLS NO. 41570
- ◇ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- ▣ DENOTES WETLAND DELINEATED BY JACOBSON ENVIRONMENTAL IN JULY 2019.

FOR THE PURPOSES OF THIS PLAN, THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 123 OF RANGE 23, ANOKA COUNTY, MINNESOTA IS ASSUMED TO HAVE A BEARING OF NORTH 88 DEGREES 43 MINUTES 06 SECONDS EAST.

BEARING AND DISTANCE MONUMENTS SHOWN THERE (SCALE: 1 INCH = 100 FEET)



**PRELIMINARY COPY**  
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# CREEKSIDE FARMS

## INSET "B"

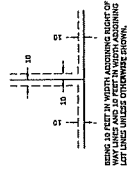
City of Ham Lake  
County of Anoka  
Sec. 7 and 8, T32, R23



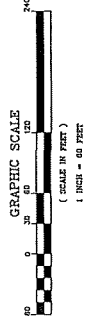
### LEGEND

- POINTS FOUND 1/2 INCH OR SMALLER PIPE MONUMENT
  - POINTS FOUND 1/2 INCH OR SMALLER PIPE SET, MARKED ILS NO. 41578
  - ◇ POINTS ANOKA COUNTY CAST IRON MONUMENT
  - ◇ POINTS WETLAND Delineated by JACKSON ENVIRONMENTAL IN JULY 2010.
- FOR THE PURPOSES OF THIS PLAN, THE SOUTH LINE OF THE QUARTER SECTION 8, T32, R23, AND THE WEST LINE OF SECTION 8, T32, R23, ANOKA COUNTY, MINNESOTA IS ASSUMED TO HAVE A BOUNDARY OF NORTH 89 DEGREES 45 MINUTES 00 SECONDS EAST.

DRAINAGE AND UTILITY FACILITIES ARE SHOWN THIS:  
(SCALE 1 INCH = 20 FEET)



NORTH



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PLOT SIZE: 2.09x8.5

# PROJECT: CREEKSIDE FARMS DEVELOPMENT

**E. G. RUD & SONS, INC.**  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701

**Larson Engineering, Inc.**  
618 W. St. Germain Street  
Suite 308  
Lino Lakes, MN 55014  
320.774.1044  
www.larsoneng.com  
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**JESSE OSBORNE, CSF DEVELOPMENT, LLC**  
16800 HWY. 65 NE  
HAM LAKE, MN 55304

**JESSE OSBORNE  
CSF DEVELOPMENT, LLC**  
16800 HIGHWAY 65 NE  
HAM LAKE, MN 55304

**BLANDING'S TURTLE**

1. The unique and rare Blanding's turtle has been found in this area. Blanding's turtle are state-listed as threatened and are protected under Minnesota Statute 84.095, Protection of Threatened and Endangered Species.
2. See the Blanding's turtle specification section for more info on the Blanding's turtle along with the Blanding's turtle Notice that must be posted on-site during construction.

## PROJECT CONTACTS

Civil Engineer:  
Thomas Herkenoff, P.E.  
Larson Engineering, Inc.  
3524 Labore Road  
White Bear Lake, MN 55110  
Tel: 651.481.9120  
Fax: 651.481.9201

Land Surveyor:  
Jason Rud, P.S.  
E. G. Rud & Sons, Inc.  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel: 651.361.8200  
Fax: 651.361.8701

CenterPoint Energy Gas:  
1240 W River Pkwy  
Minneapolis, MN 55454  
Tel: 612.372.4727

Wetland Specialist:  
Wayne Jacobson  
Jacobson Environmental, PLLC.  
5821 Humboldt Avenue North  
Brooklyn Center, MN 55430  
Tel: 612.802.6619

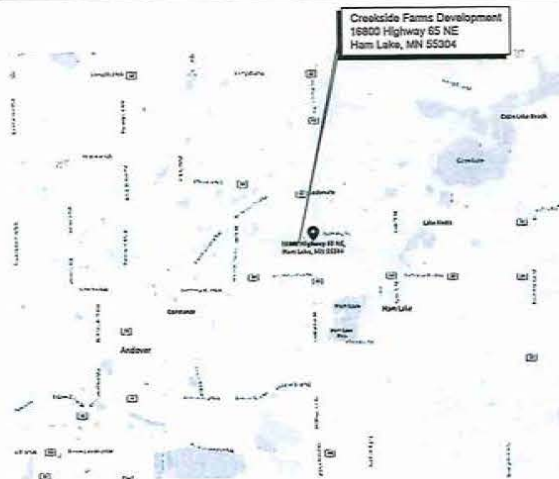
Connexus Energy:  
14601 Ramsey Blvd,  
Ramsey, MN 55303  
Tel: 763.323.2650

Comcast:  
Brad Greenwald.  
4255 Lexington Ave, Suite 100  
Arden Hills, MN 55128  
Tel: 651.564.2513  
Email: Bradley\_Greenwald2@Comcast.com

Great River Energy:  
Michelle MacMillan  
12300 Elm Creek Boulevard,  
Maple Grove, MN 55369-4718  
Tel: 763.445.5984

CALL BEFORE YOU DIG  
Gopher State One Call  
1-800-485-4343  
TOLL FREE 1-888-552-1161

## VICINITY MAP



## INDEX OF DRAWINGS

T	Title Sheet
C000	Overall Site Plan
C100-C102	Existing Conditions & Demolition Plan
C200-C205	Street & Storm Sewer Plan & Profile
C206-C211	Storm Sewer Plan & Profile
C300-C302	Construction Grading & Tree Protection Plan
C400	Intersection Grading Details
C500-C502	Erosion Control Plan
C600-C601	Striping & Signage Plan
C700-C702	Typical Sections & Details
C800	SWPPP

PRELIMINARY NOT FOR CONSTRUCTION

**CREEKSIDE FARMS  
DEVELOPMENT**  
HAM LAKE, MN. 55304

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

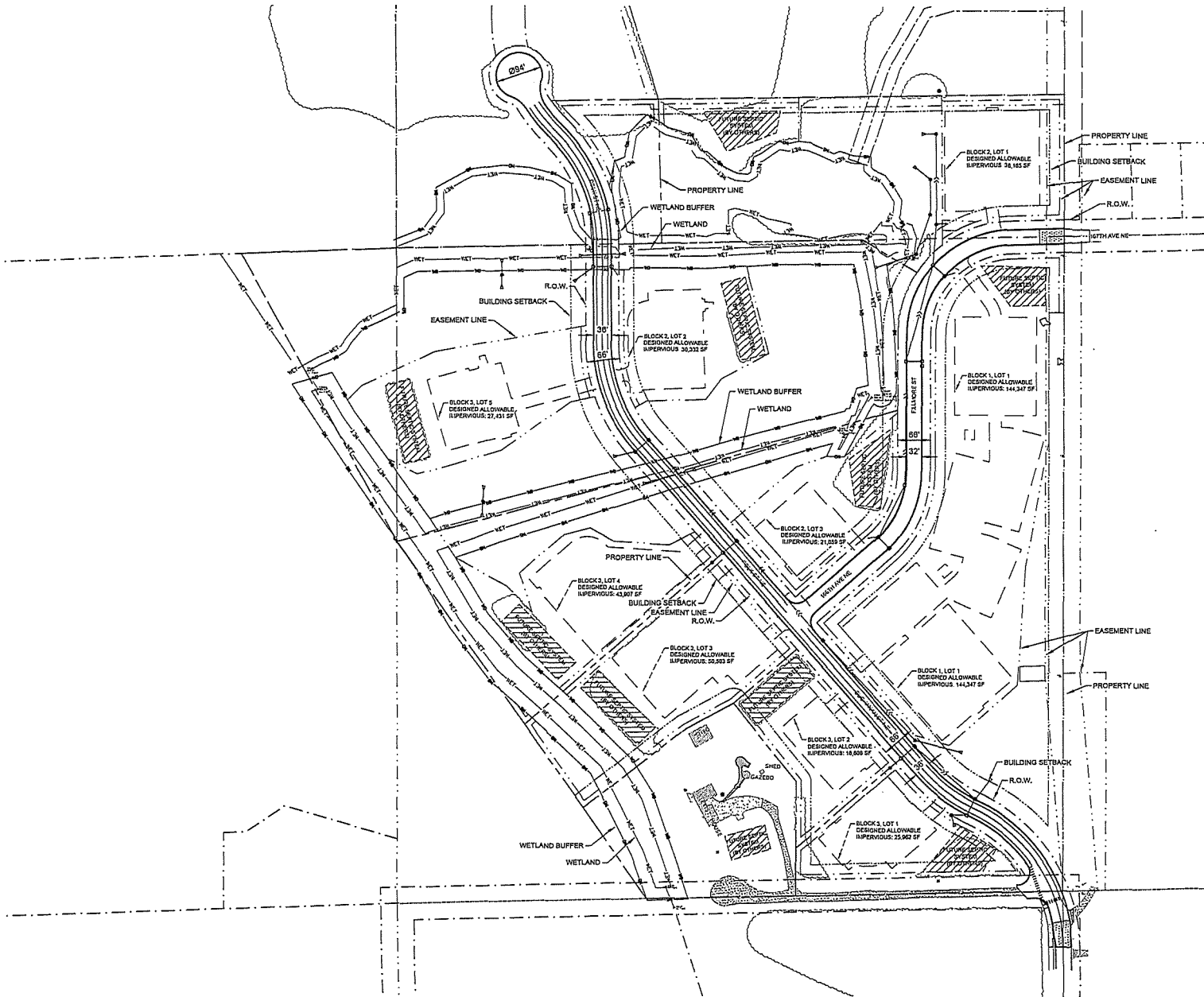
*Thomas J. Herkenoff, P.E.*  
Thomas J. Herkenoff, P.E.  
Date: 05/13/21 Ut. No.: 28520

Rev.	Date	Description

Project #: 12314011.000  
Drawn By: TJS/SMTH  
Checked By: TJS  
Issue Date: 05/13/2021  
Sheet Title:

TITLE SHEET

**T**



**SYMBOL LEGEND**

- PROPERTY LINE
- RIGHT OF WAY LINE
- EASEMENT LINE
- SETBACK LINE
- WETLAND
- WETLAND BUFFER
- ▨ FUTURE SEPTIC SYSTEM AREA, THIS AREA SHALL NOT BE DISTURBED DURING CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION  
 Date:

**Larson Engineering, Inc.**  
 818 W. 21<sup>st</sup> Germantown Street  
 Suite 300  
 St. Cloud, MN 56301  
 320.774.1944  
 www.larsoneng.com  
 © 2021 Larson Engineering, Inc. All rights reserved.

CREEKSIDE FARMS  
 DEVELOPMENT, LLC  
 16800 HWY. 65 NE  
 HAM LAKE, MN 55304

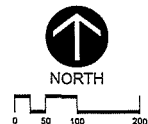
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

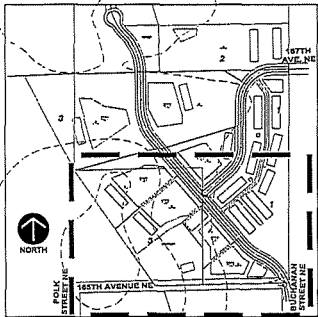
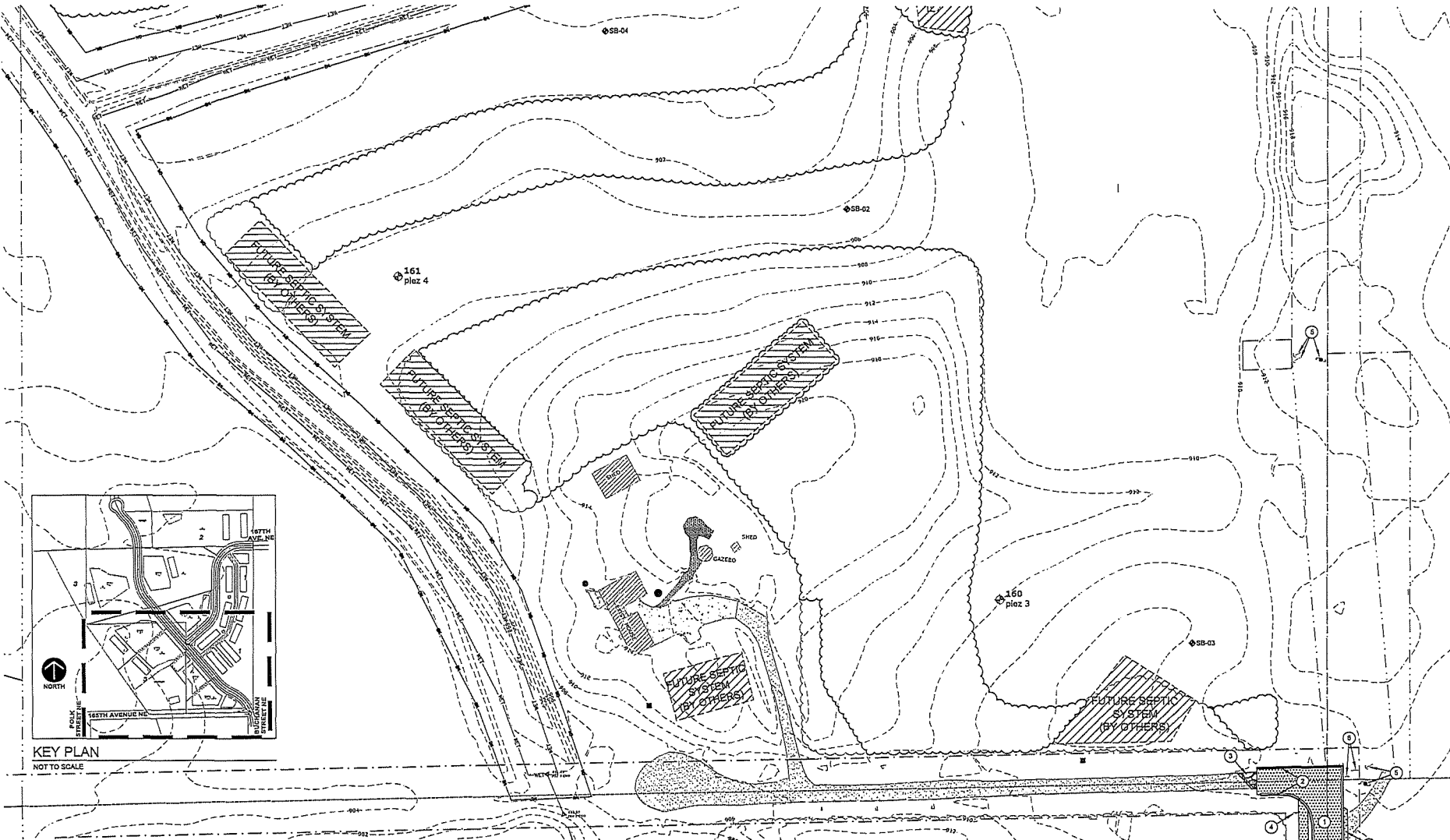
*Thomas J. Herkenhoff*  
 Thomas J. Herkenhoff, P.E.  
 Date: 05.07.21 Ut. No.: 25520

Rev.	Date	Description

Project #: 12216011.000  
 Drawn By: TJRMTH  
 Checked By: TJH  
 Issue Date: 05.07.2021  
 Sheet Title:

OVERALL  
 SITE PLAN  
 Sheet:  
**C000**





**SYMBOL LEGEND**

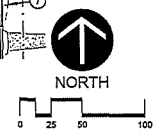
- REMOVE AND DISPOSE OF BITUMINOUS PAVEMENT SECTION
- REMOVE AND DISPOSE OF GRAVEL PAVEMENT SECTION
- REMOVE AND DISPOSE OF ALL UNDERBUSH, TREES, STUMPS, AND ROOTS.
- WETLAND
- WETLAND BUFFER
- FUTURE SEPTIC SYSTEM AREA. THIS AREA SHALL NOT BE DISTURBED DURING CONSTRUCTION

**KEY NOTES**

- 1 SAWCUT, REMOVE, AND DISPOSE OF BITUMINOUS PAVEMENT SECTION.
- 2 SAWCUT, REMOVE, AND DISPOSE OF CURB AND GUTTER.
- 3 REMOVE AND DISPOSE OF GRAVEL PAVEMENT SECTION.
- 4 REMOVE AND SALVAGE EXISTING SIGN.
- 5 PROTECT EXISTING GREAT RIVER ENERGY UTILITY LINES, POLES, AND GUY WIRES.
- 6 PROTECT EXISTING SIGN.
- 7 PROTECT EXISTING MAILBOX.

**DEMOLITION NOTES**

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all on-site amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State Onecall (851-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.



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 HAM LAKE, MN 55304

**CREEKSIDE FARMS DEVELOPMENT**  
 HAM LAKE, MN. 55304

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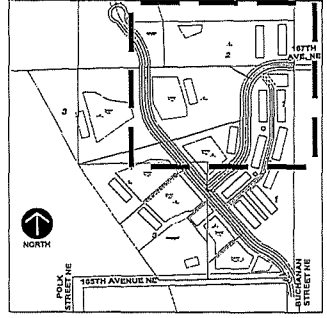
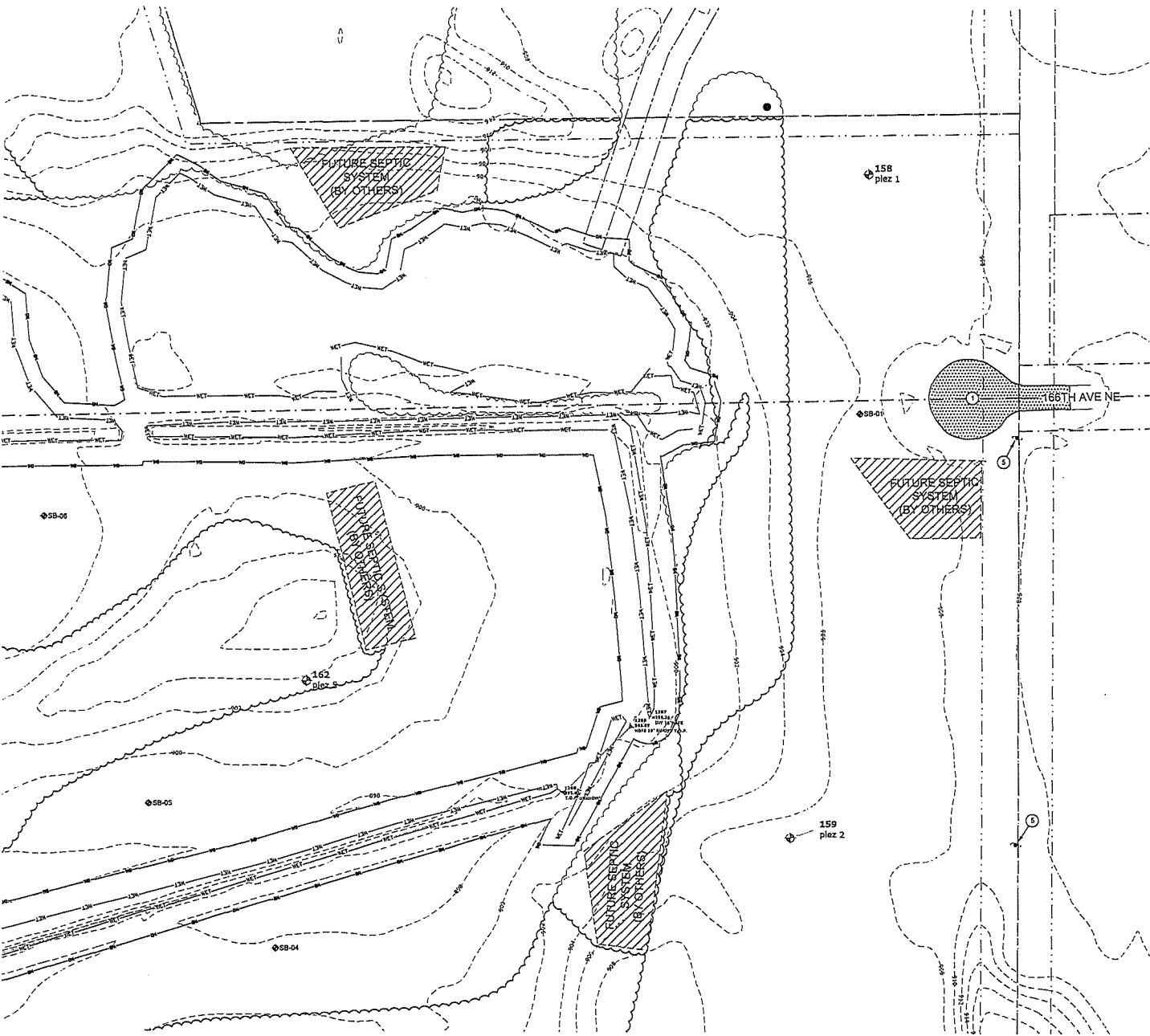
*Thomas J. Herkenhoff*  
 Thomas J. Herkenhoff, P.E.  
 Date: 09.07.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 12216011.000  
 Drawn By: TJR/AMH  
 Checked By: TJH  
 Issue Date: 08.07.2021

Sheet Title:  
**EXISTING CONDITIONS & DEMOLITION PLAN - SOUTH**  
 Sheet:  
**C100**





KEY PLAN  
NOT TO SCALE

**SYMBOL LEGEND**

- REMOVE AND DISPOSE OF BITUMINOUS PAVEMENT SECTION
- REMOVE AND DISPOSE OF GRAVEL PAVEMENT SECTION
- REMOVE AND DISPOSE OF ALL UNDERBRUSH, TREES, STUMPS, AND ROOTS.
- WETLAND
- WETLAND BUFFER
- FUTURE SEPTIC SYSTEM AREA. THIS AREA SHALL NOT BE DISTURBED DURING CONSTRUCTION

**KEY NOTES**

- 1 SAWCUT, REMOVE, AND DISPOSE OF BITUMINOUS PAVEMENT SECTION.
- 2 SAWCUT, REMOVE, AND DISPOSE OF CURB AND GUTTER.
- 3 REMOVE AND DISPOSE OF GRAVEL PAVEMENT SECTION.
- 4 REMOVE AND SALVAGE EXISTING SIGN.
- 5 PROTECT EXISTING GREAT RIVER ENERGY UTILITY LINES, POLES, AND GUY WIRES.
- 6 PROTECT EXISTING SIGN.
- 7 PROTECT EXISTING MAILBOX.

**DEMOLITION NOTES**

1. See sheet C100 for demolition notes.

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**CREEKSIDE FARMS DEVELOPMENT**  
HAM LAKE, MN. 55304

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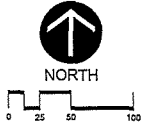
*Thomas J. Vaikumbod, P.E.*  
Thomas J. Vaikumbod, P.E.  
Date: 09.07.21 Lic. No.: 25520

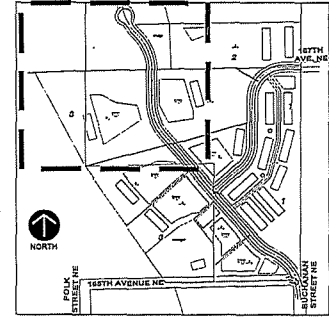
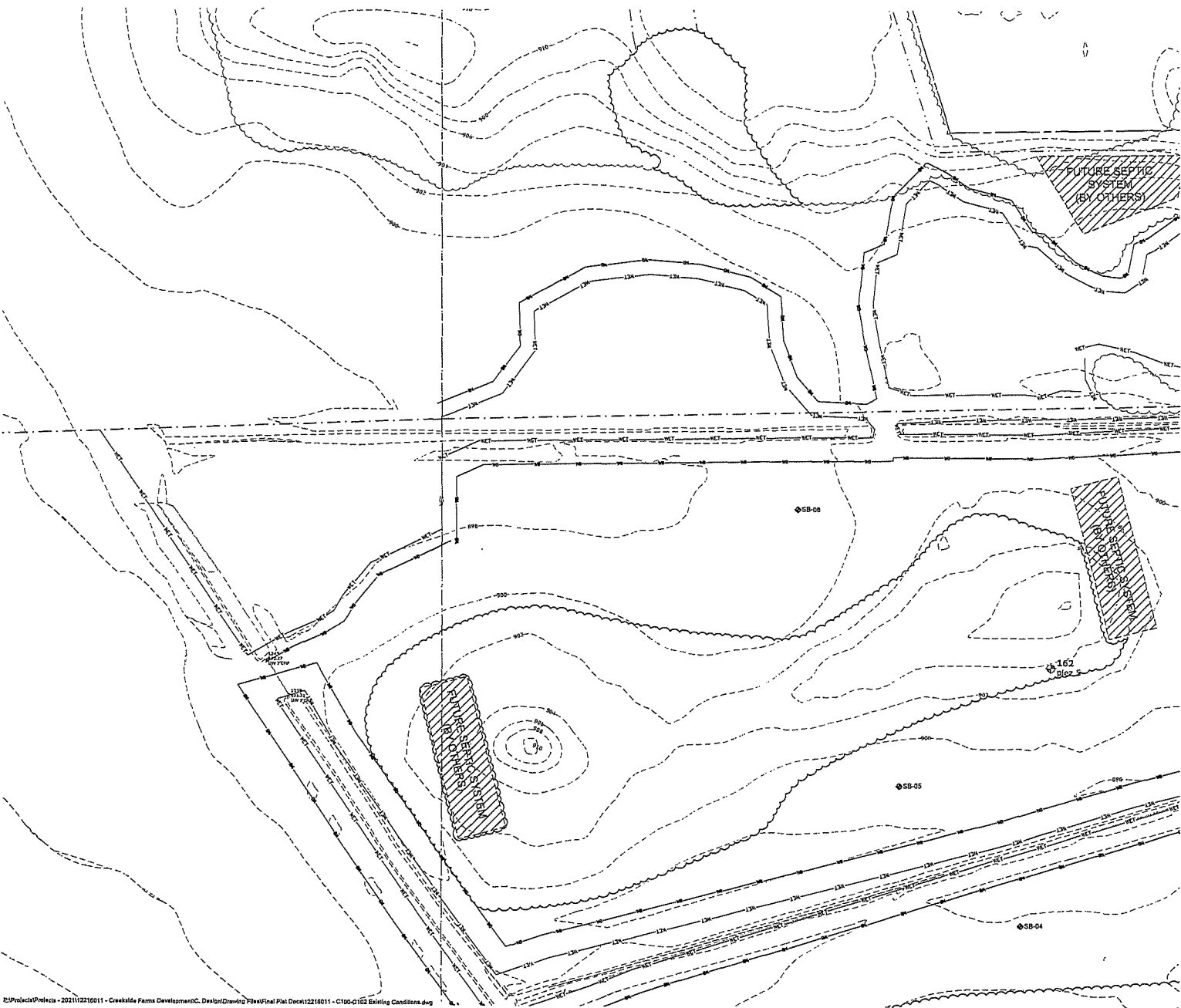
Rev.	Date	Description

Project #: 12218011.000  
Drawn By: YJRMTH  
Checked By: TJH  
Issue Date: 09.07.2021  
Sheet Title:

EXISTING CONDITIONS & DEMOLITION PLAN - NE







Sheet: **C101**





KEY PLAN  
NOT TO SCALE

**SYMBOL LEGEND**

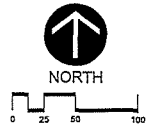
-  REMOVE AND DISPOSE OF BITUMINOUS PAVEMENT SECTION
-  REMOVE AND DISPOSE OF GRAVEL PAVEMENT SECTION
-  REMOVE AND DISPOSE OF ALL LIMBS, BRUSH, TREES, STUMPS, AND ROOTS.
-  WETLAND
-  WETLAND BUFFER
-  FUTURE SEPTIC SYSTEM AREA. THIS AREA SHALL NOT BE DISTURBED DURING CONSTRUCTION

**KEY NOTES**

- 1 SAWCUT, REMOVE, AND DISPOSE OF BITUMINOUS PAVEMENT SECTION.
- 2 SAWCUT, REMOVE, AND DISPOSE OF CURB AND GUTTER.
- 3 REMOVE AND DISPOSE OF GRAVEL PAVEMENT SECTION.
- 4 REMOVE AND SALVAGE EXISTING SIGN.
- 5 PROTECT EXISTING GREAT RIVER ENERGY UTILITY LINES, POLES, AND GUY WIRES.
- 6 PROTECT EXISTING SIGN.
- 7 PROTECT EXISTING MAILBOX.

**DEMOLITION NOTES**

1. See sheet C100 for demolition notes.



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HAM LAKE, MN 55304

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HAM LAKE, MN. 55304

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*Thomas J. Herkenhoff*  
Thomas J. Herkenhoff, P.E.  
Date: 09.07.21 Lic. No.: 25520

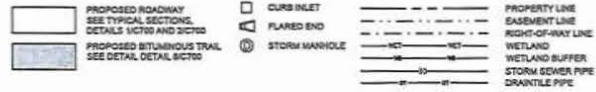
Rev.	Date	Description

Project #: 12210911.000  
Drawn By: TJR/ATH  
Checked By: TJH  
Issue Date: 09.07.2021  
Sheet Title:

EXISTING CONDITIONS & DEMOLITION PLAN - NW

Sheet: **C102**

**SYMBOL LEGEND**

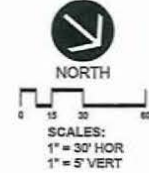
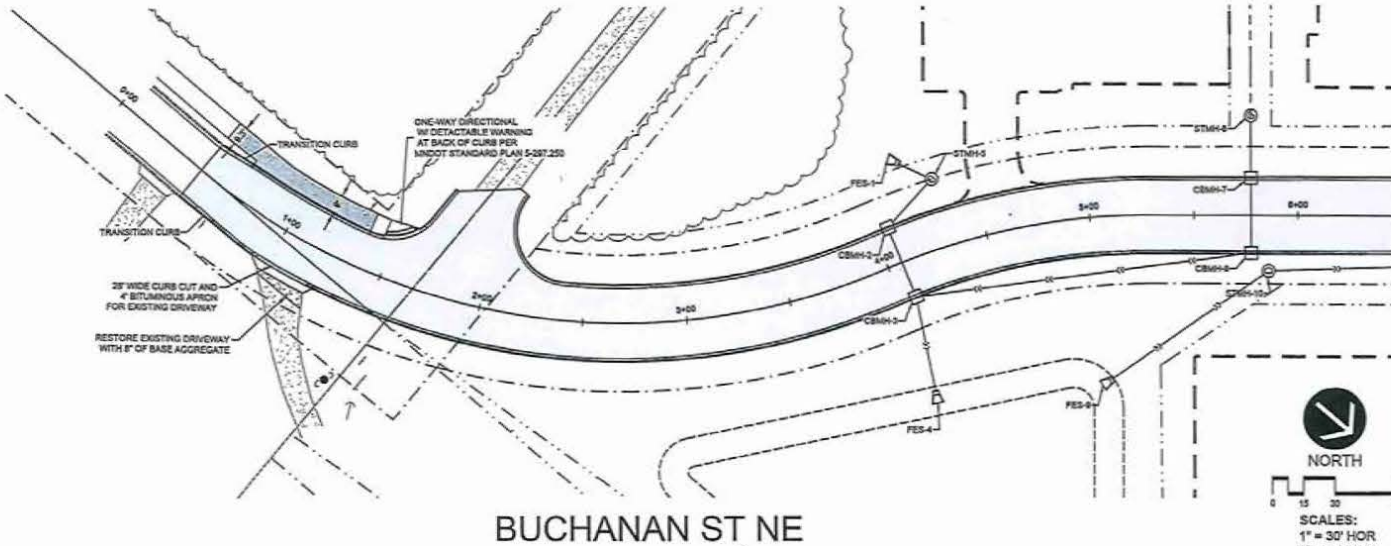


**BENCHMARK**

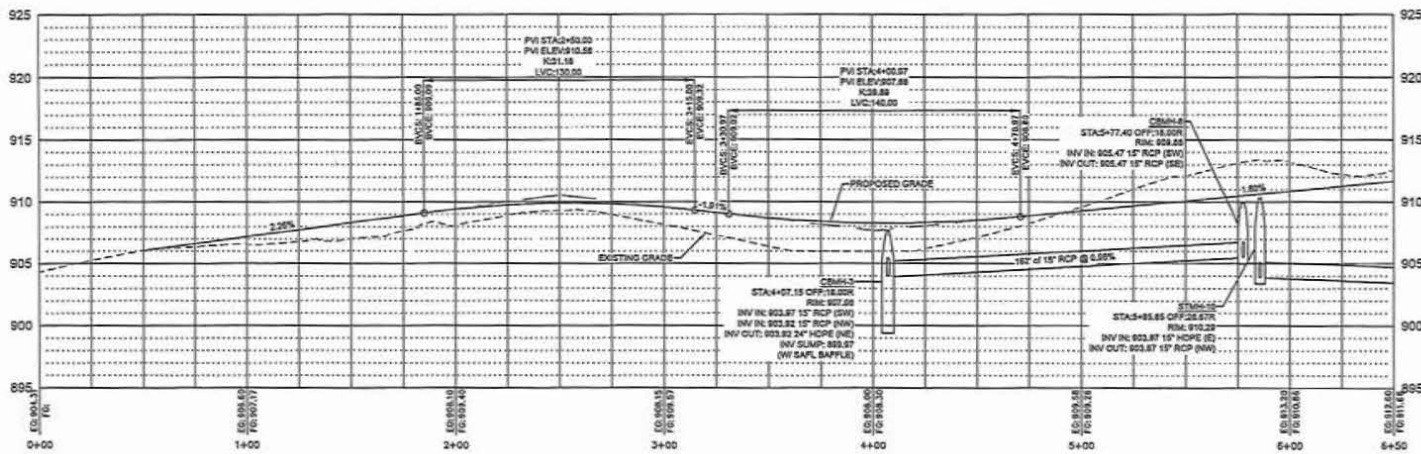
MNDOT NAME: 0208 T  
 GSD STATION: 958  
 ELEVATION: 911.425 (NAVD88)

**UTILITY NOTES**

- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, and lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations of proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Storm sewer requires testing in accordance with Minnesota plumbing code 471A.1109 where located within 10 feet of waterlines or the building.
- HDPE storm sewer piping shall meet ASTM F2308 and fittings shall meet ASTM D3112 joint pressure test. Installation shall meet ASTM C321.
- All RCP pipe shown on the plans shall be 3000' class 4.
- Do not backfill catch basins until fabric wrap is inspected by the City.
- Trash guards on storm drains and culverts under 48 inch diameter; no trash guards on storm drains and culverts of 48 inch diameter or larger concrete pipe, in all sections.
- Tie the last three sections of concrete pipe, including apron, for concrete pipe less than 48 inches diameter for 48 inch diameter or larger concrete pipe, in all sections.
- Pipe length includes aprons.
- CPP to be dual wall with watertight joints.



**BUCHANAN ST NE**



Storm Sewer Schedule			
Structure Name	Structure Size	Rim Elevation	Lowest Inv
CB-23	24" x 36"	903.08	900.10
CB-26	36" x 36"	907.83	903.77
CB-50	36" x 36"	905.47	901.87
CBM-2	60"	907.86	900.28
CBM-3	60"	907.86	898.92
CBM-7	48"	908.87	905.78
CBM-8	48"	909.98	905.47
CBM-11	48"	910.00	902.03
CBM-12	48"	905.77	903.28
CBM-14	48"	905.88	900.87
CBM-15	48"	903.88	898.55
CBM-16	48"	903.00	898.31
CBM-21	48"	903.01	898.35
CBM-32	48"	903.01	899.00
CBM-24	48"	903.55	900.85
CBM-27	48"	907.83	903.21
CBM-28	48"	907.15	902.62
CBM-29	48"	905.92	901.78
CBM-30	60"	906.62	901.30
CBM-32	48"	904.00	899.62
CBM-33	72"	904.00	900.30
STM-5	60"	908.35	904.85
STM-6	48"	908.00	906.00
STM-10	48"	910.25	903.87
STM-15	48"	908.00	901.17
STM-24	60"	905.02	899.65
STM-25	60"	908.00	899.12
STM-28	48"	903.00	899.00
STM-29	48"	903.00	898.40
STM-40	48"	903.00	897.70
STM-43	48"	901.00	898.50
STM-46	48"	901.00	898.00

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 16800 HWY. 65 NE  
 HAM LAKE, MN 55304

**CREEKSIDE FARMS DEVELOPMENT**  
 HAM LAKE, MN. 55304

**PRELIMINARY NOT FOR CONSTRUCTION**

Project No: 1221001.000  
 Drawn By: TLR/ATH  
 Checked By: TJK  
 Issue Date: 08.07.2021  
 Sheet Title: STREET & STORM SEWER PLAN & PROFILE

**C200**

**SYMBOL LEGEND**

	PROPOSED ROADWAY SEE TYPICAL SECTIONS, DETAILS BICT00 AND BICT00A		CURB INLET		PROPERTY LINE
	PROPOSED BITUMINOUS TRAIL SEE DETAIL DETAIL BICT00		FLARED END		EASEMENT LINE
			STORM MANHOLE		WETLAND
					WETLAND BUFFER
					STORM SEWER PIPE
					DRAIN TILE PIPE

**UTILITY NOTES**

1. See sheet C200 for utility notes.

**BENCHMARK**

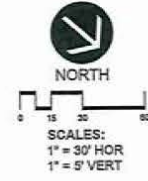
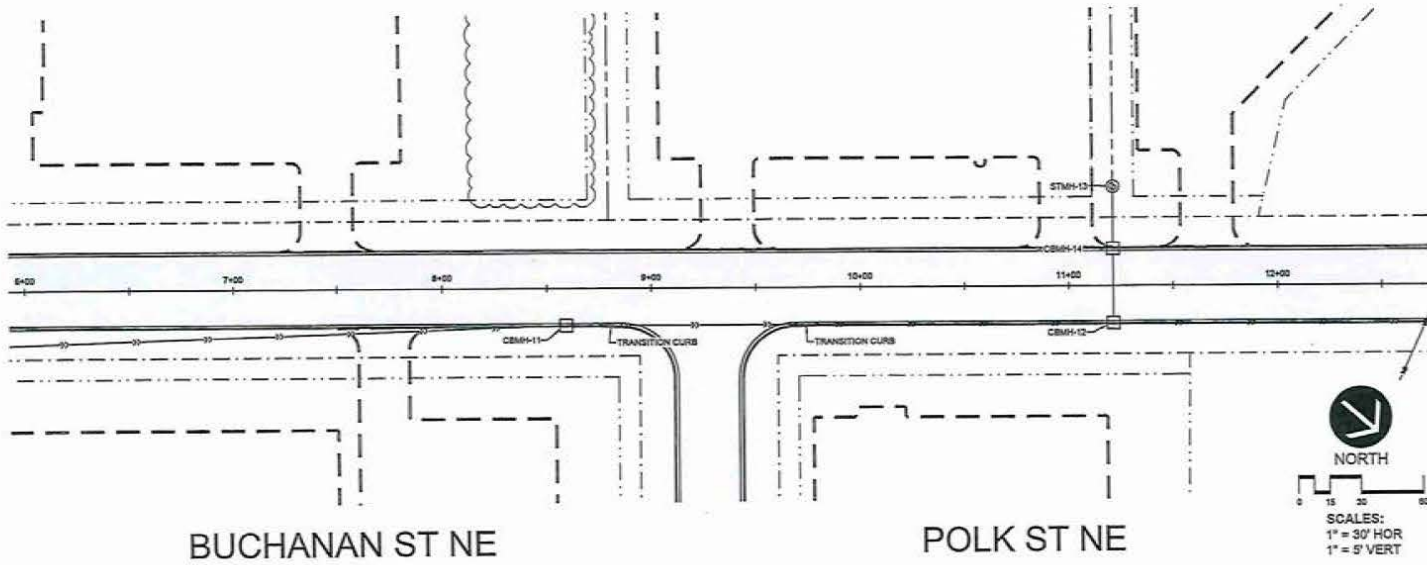
MNDOT NAME: 5228 T  
 GRID STATIONING: 6558  
 ELEVATION: 911.425 (pvd089)

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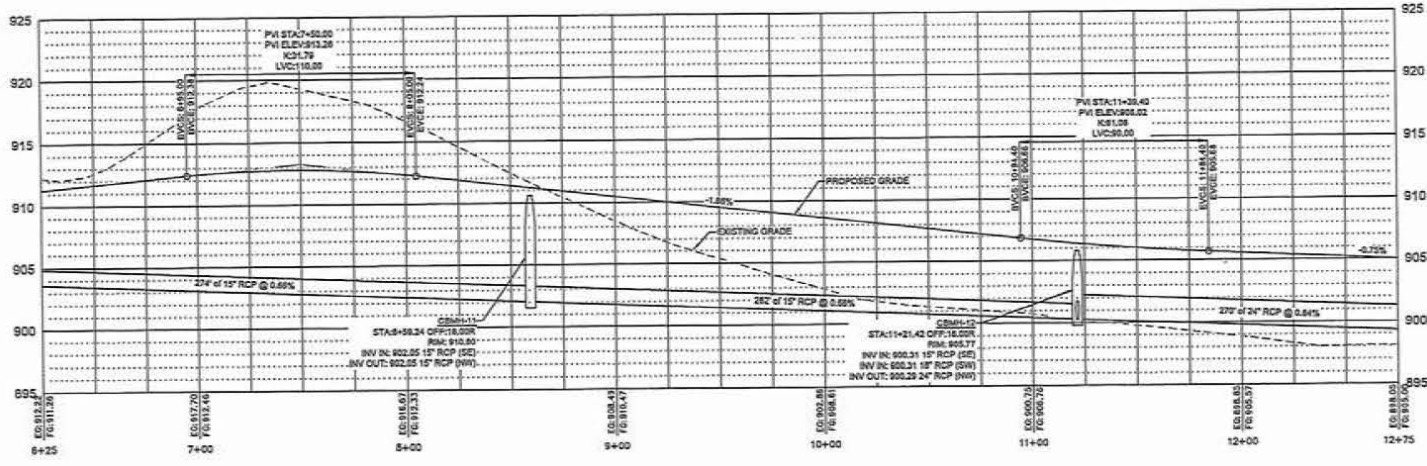
PRELIMINARY NOT FOR CONSTRUCTION

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BUCHANAN ST NE

POLK ST NE



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*Thomas J. Henschel, P.E.*  
 Thomas J. Henschel, P.E.  
 Date: 08.07.21 Lt. No.: 25520

Rev.	Date	Description

Project #: 12210111.000  
 Drawn By: TJB/NTM  
 Checked By: TJB  
 Issue Date: 08.07.2021  
 Sheet Title:

**STREET & STORM SEWER PLAN & PROFILE**

Sheet:  
**C201**

**SYMBOL LEGEND**

	PROPOSED ROADWAY SEE TYPICAL SECTIONS, DETAILS 14C700 AND 34C700		CURB INLET		PROPERTY LINE EASEMENT LINE
	PROPOSED WETLAND BUFFER SEE DETAIL DETAL 4C700		FLARED END		RIGHT-OF-WAY LINE
	STORM MANHOLE		WETLAND		WETLAND BUFFER
			STORM SEWER PIPE		DRAINAGE PIPE

**UTILITY NOTES**

1. See sheet C200 for utility notes.

**BENCHMARK**

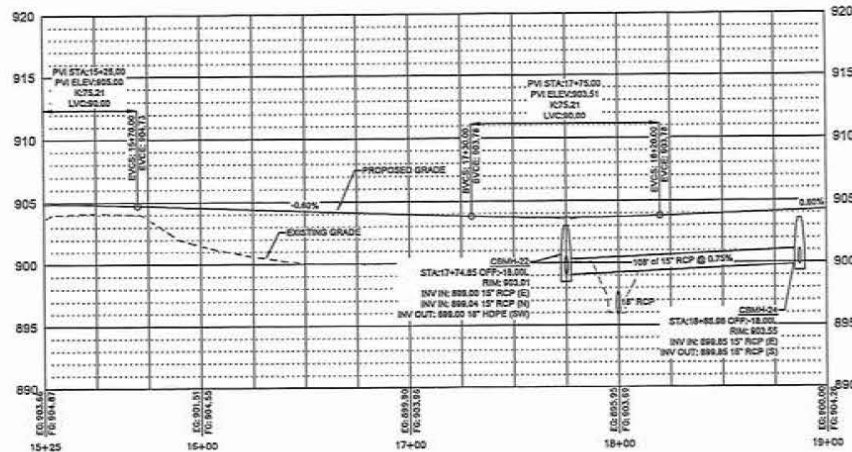
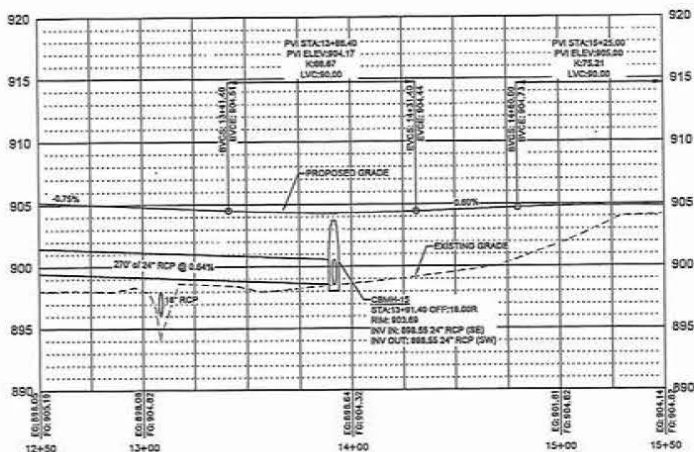
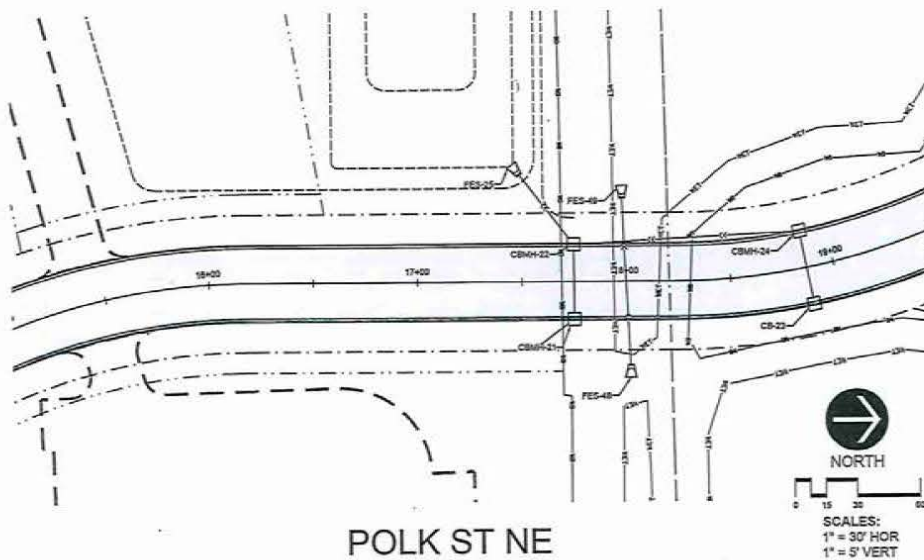
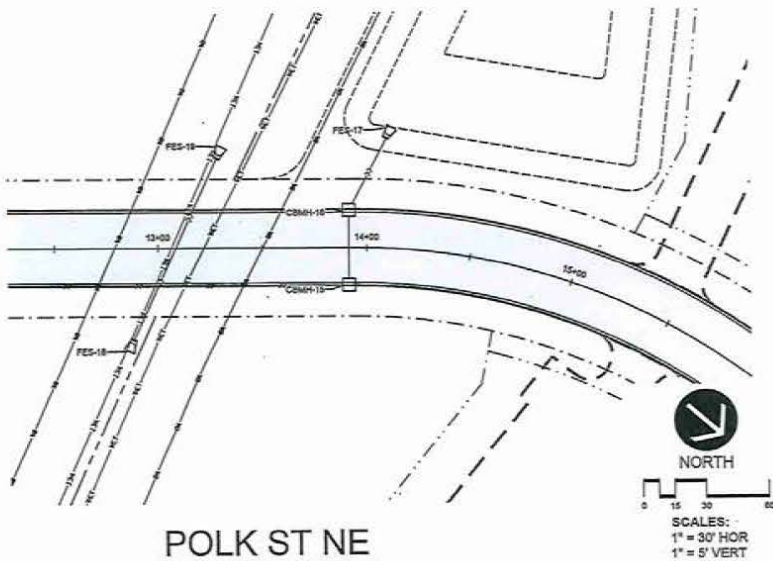
MNDOT NAME: C200 T  
 GRID STATION: F588  
 ELEVATION: 811.425 (NAVD83)

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**CREEKSIDE FARMS DEVELOPMENT**  
 HAM LAKE, MN. 55304

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*Thomas J. Hestant*  
 Thomas J. Hestant, P.E.  
 Date: 08.07.21 Up. No.: 25330

Rev.	Date	Description

Project No: 12210011.000  
 Drawn By: TJH/MTM  
 Checked By: TJH  
 Issue Date: 08.07.2021  
 Sheet Title:

**STREET & STORM SEWER PLAN & PROFILE**

Sheet:  
**C202**

**SYMBOL LEGEND**

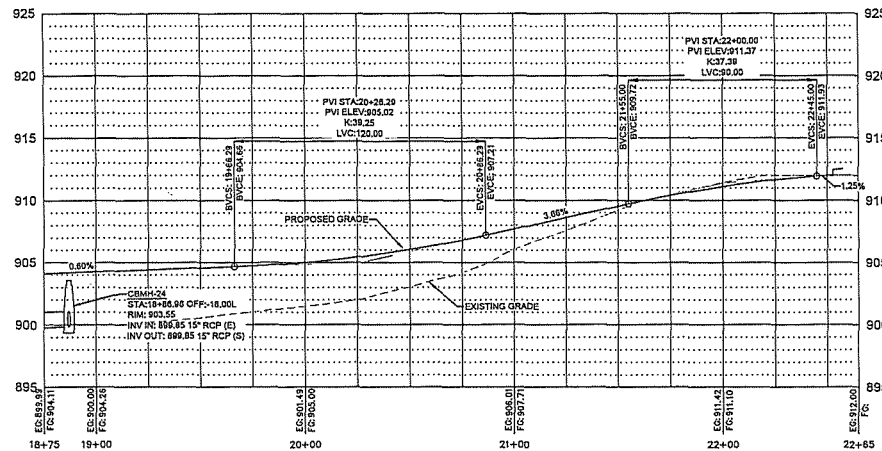
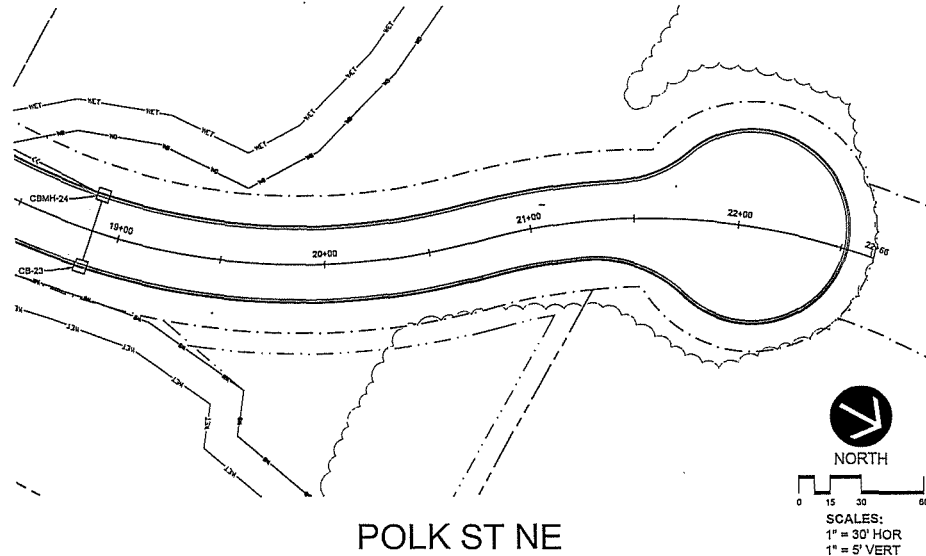
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	PROPOSED BITUMINOUS TRAIL SEE DETAIL DETAIL 8/C700		FLARED END		EASEMENT LINE
			STORM MANHOLE		RIGHT-OF-WAY LINE
					WETLAND
					WETLAND BUFFER
					STORM SEWER PIPE
					DRAIN TILE PIPE

**UTILITY NOTES**

1. See sheet C200 for utility notes.

**BENCHMARK**

MNDOT NAME: 0208 T  
OSID STATION: #588  
ELEVATION: 811.425 (NAVD83)



PRELIMINARY NOT FOR CONSTRUCTION

Client:  
**JESSE OSBORNE, CSF  
DEVELOPMENT, LLC**  
16800 HWY. 65 NE  
HAM LAKE, MN 55304

Project Title:  
**CREEKSIDE FARMS  
DEVELOPMENT**  
HAM LAKE, MN. 55304

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*Thomas J. Hickenboth*

Thomas J. Hickenboth, P.E.  
Date: 09.07.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 12210011.000  
Drawn By: TJRMTH  
Checked By: TJH  
Issue Date: 09.07.2021  
Sheet Title:

**STREET & STORM  
SEWER  
PLAN & PROFILE**

Sheet:  
**C203**

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**SYMBOL LEGEND**

	PROPOSED ROADWAY SEE TYPICAL SECTIONS, DETAILS 160701 AND 202700		CURB INLET		PROPERTY LINE
	PROPOSED BITUMINOUS TRAIL SEE DETAIL 160700		FLARED END		EASEMENT LINE
			STORM MANHOLE		RIGHT-OF-WAY LINE
					WETLAND
					WETLAND BUFFER
					STORM SEWER PIPE
					DRAIN TILE PIPE

**UTILITY NOTES**

1. See sheet C200 for utility notes.

**BENCHMARK**

MNDOT NAME: 0208 T  
OSID STATION: #508  
ELEVATION: 911.425 (NAVD8s)

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HAM LAKE, MN 56304

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HAM LAKE, MN. 56304

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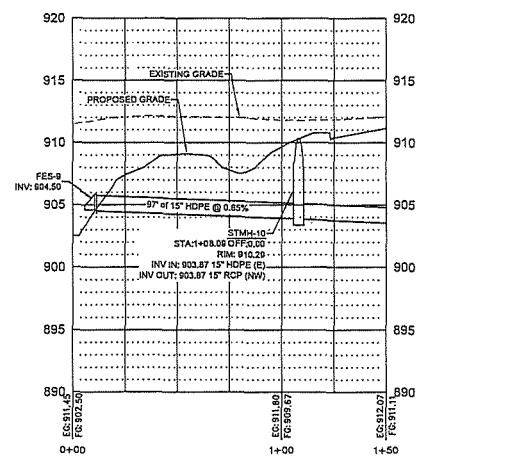
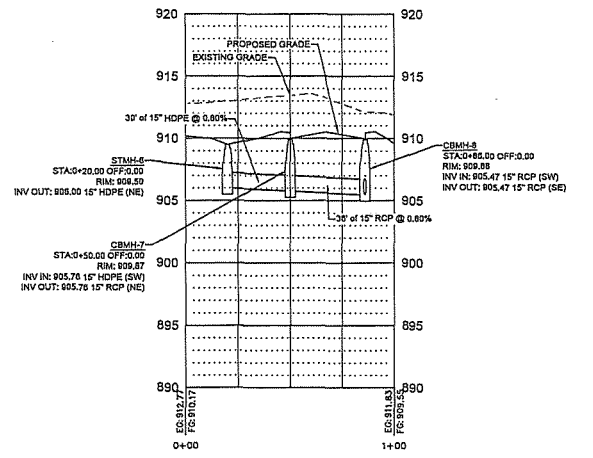
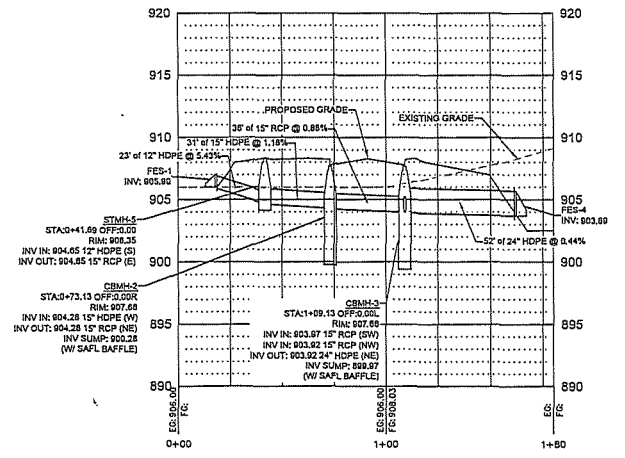
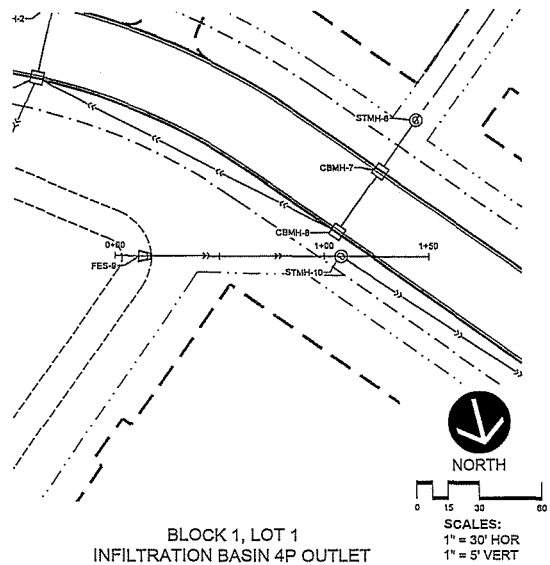
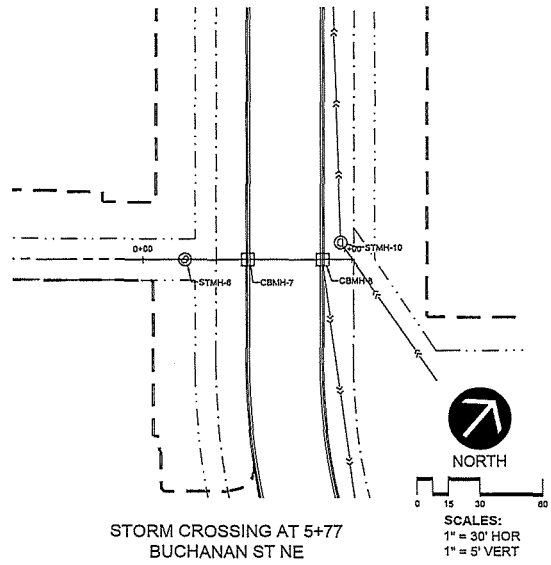
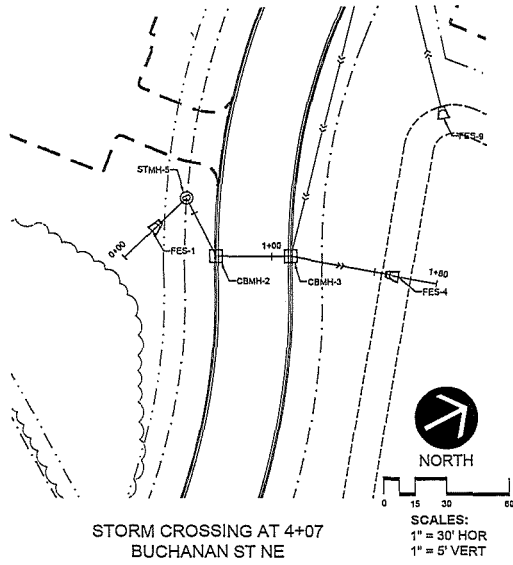
*Thomas J. Haraszkol*  
Thomas J. Haraszkol, P.E.  
Date: 08.07.21 Lin. No.: 25530

Rev.	Date	Description

Project #: 12216011.000  
Drawn By: TJR/ATH  
Checked By: TJH  
Issue Date: 08.07.2021  
Sheet Title:

STORM SEWER PLAN & PROFILE

Sheet: **C206**



\\P:\projects\2021\1716011 - Creekside Farms Development\21-08\Drawings\Plan\Sheet C206.dwg (1716011 - Creekside Farms Development) 08/07/2021 10:00 AM

**SYMBOL LEGEND**



**UTILITY NOTES**

1. See sheet C200 for utility notes.

**BENCHMARK**

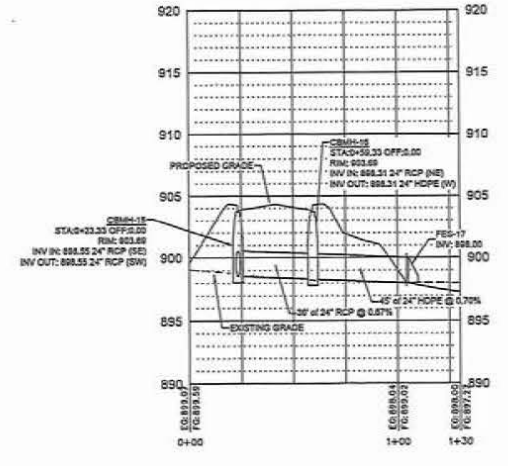
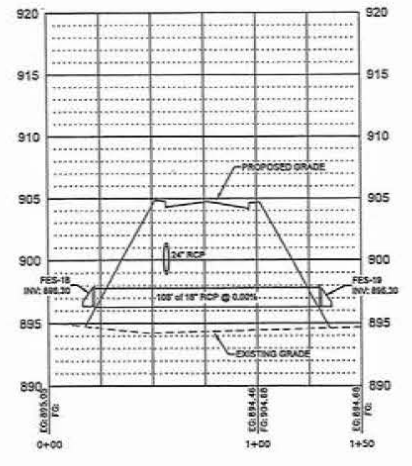
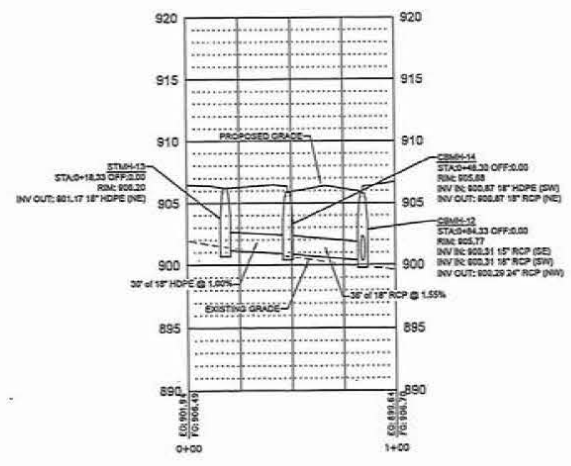
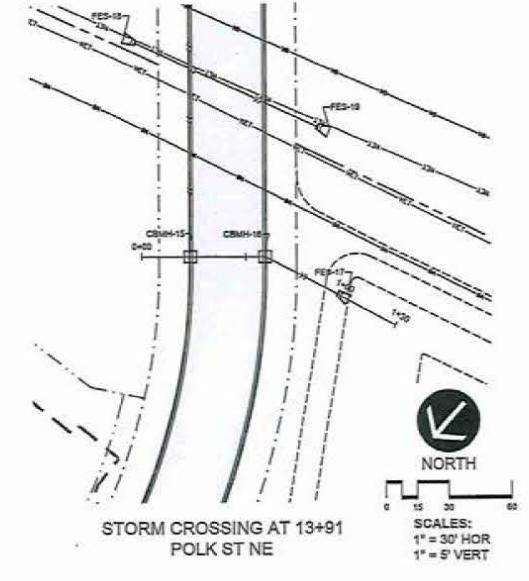
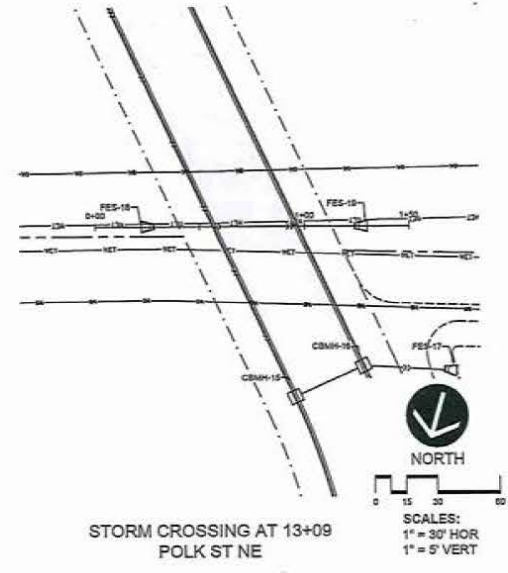
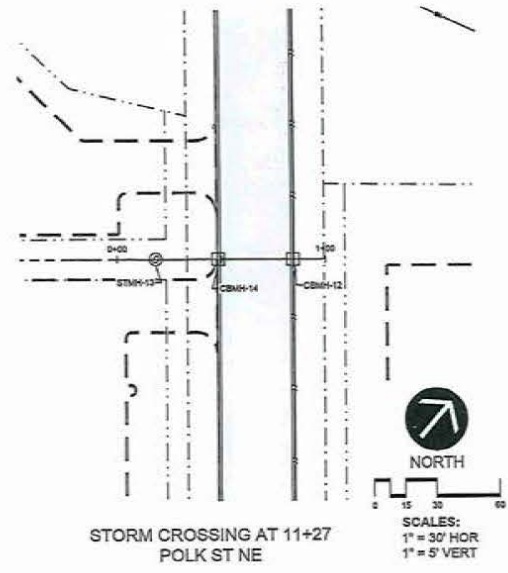
MNDOT NAME: 1209 T  
 GSD STATION: 8028  
 ELEVATION: 911.425 (NAVD8)

**Larson Engineering, Inc.**  
 816 W. St. Germain Street  
 St. Cloud, MN 56301  
 320.774.1944  
 www.larsoneng.com

**JESSE OSBORNE, CSF DEVELOPMENT, LLC**  
 16800 HWY. 65 NE  
 HAM LAKE, MN 55304

**CREEKSIDE FARMS DEVELOPMENT**  
 HAM LAKE, MN. 55304

PRELIMINARY NOT FOR CONSTRUCTION



I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

*Thomas J. Heberich, P.E.*  
 Thomas J. Heberich, P.E.  
 Date: 05.07.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 12210011.000  
 Drawn By: T.J.R/MTH  
 Checked By: T.J.R  
 Issue Date: 05.07.2021  
 Sheet Title:

**STORM SEWER PLAN & PROFILE**

Sheet:  
**C207**

**SYMBOL LEGEND**



**UTILITY NOTES**

1. See sheet C200 for utility notes.

**BENCHMARK**

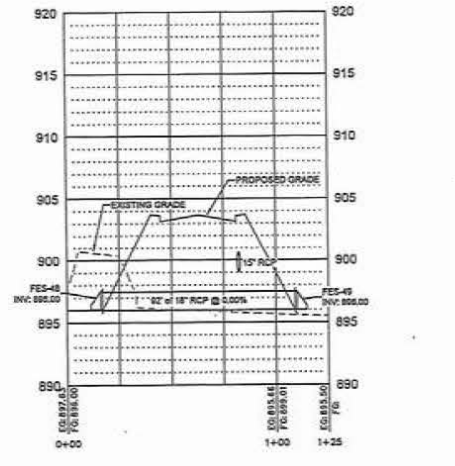
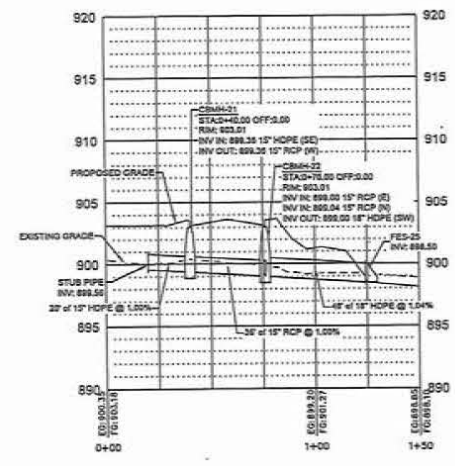
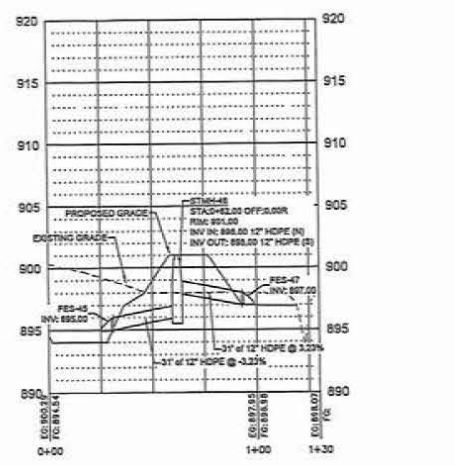
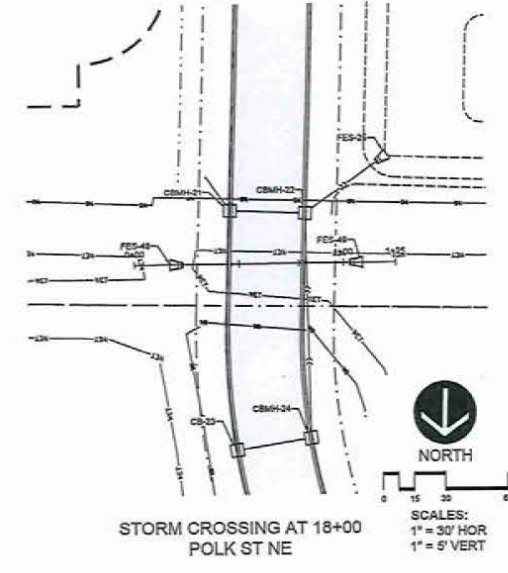
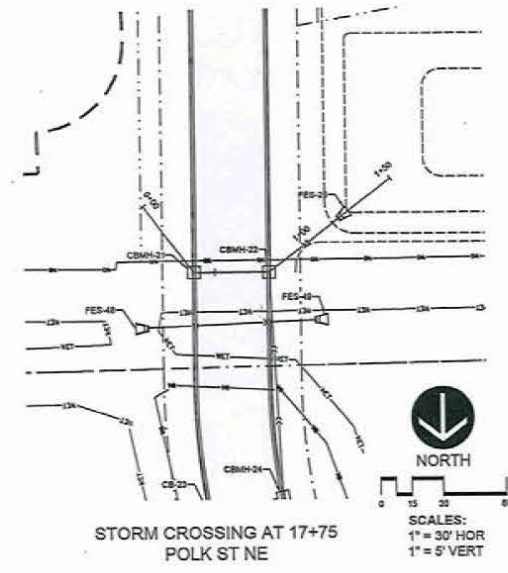
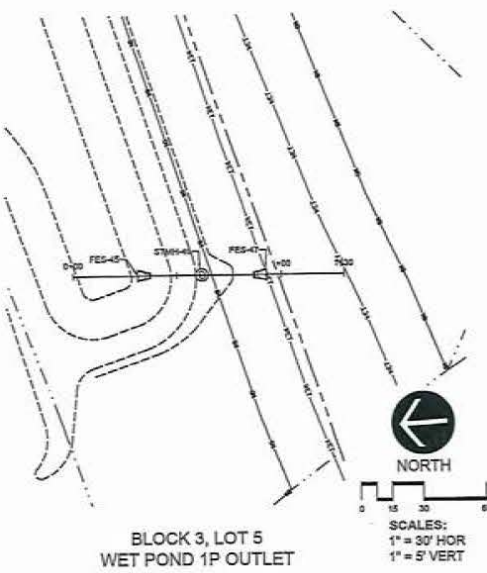
MNDOT NAME: 0226 T  
 GRID STATION: 9568  
 ELEVATION: 911.425 (NAVD83)

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 Elk River, MN 55331  
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 HAM LAKE, MN 55304

**CREEKSIDE FARMS DEVELOPMENT**  
 HAM LAKE, MN. 55304

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*Thomas J. Heikantat*  
 Thomas J. Heikantat, P.E.  
 Date: 08.07.21 Ut. No.: 26520

Rev.	Date	Description

Project #: 12216011.000  
 Drawn By: TJO/ETH  
 Checked By: TJO  
 Issue Date: 08.07.2021  
 Sheet Title:

**STORM SEWER PLAN & PROFILE**

Sheet: **C208**

**SYMBOL LEGEND**

	PROPOSED ROADWAY SEE TYPICAL SECTIONS, DETAILS 9C700 AND 9C700		CURB INLET		PROPERTY LINE
	PROPOSED BITUMINOUS TRAIL SEE DETAIL 9C700		FLARED END		EASEMENT LINE
			STORM MANHOLE		RIGHT-OF-WAY LINE
					WETLAND
					WETLAND BUFFER
					STORM SEWER PIPE
					DRAINABLE PIPE

**UTILITY NOTES**

1. See sheet C200 for utility notes.

**BENCHMARK**

BM07 NAME: 0209 T  
GSD STATION: #588  
ELEVATION: 911.428 (NAVD83)

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16000 HWY. 65 NE  
HAM LAKE, MN 55304

**CREEKSIDE FARMS  
DEVELOPMENT**  
HAM LAKE, MN. 55304

PRELIMINARY, NOT FOR CONSTRUCTION

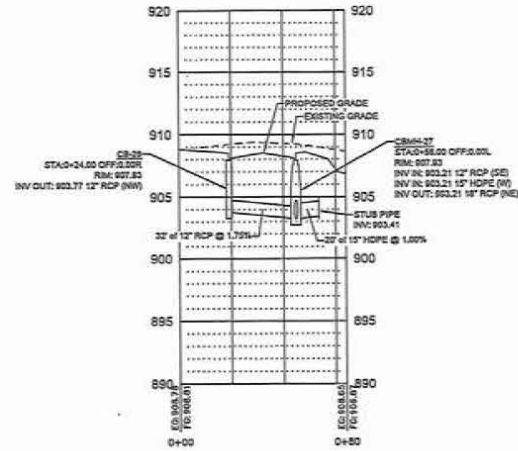
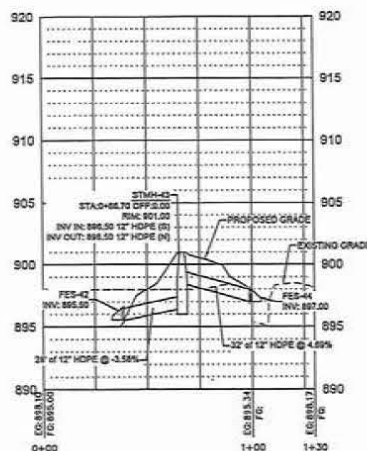
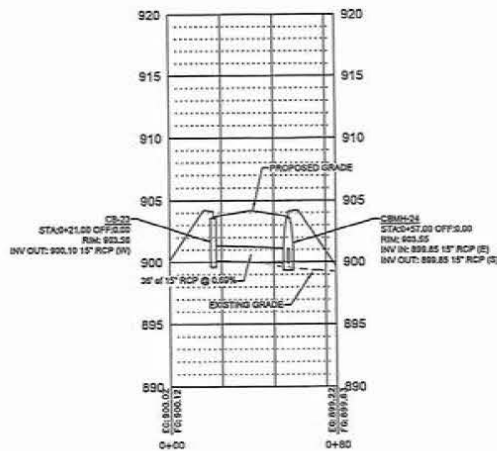
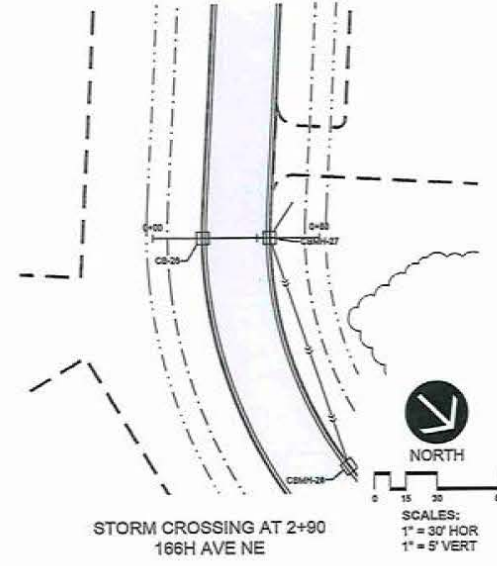
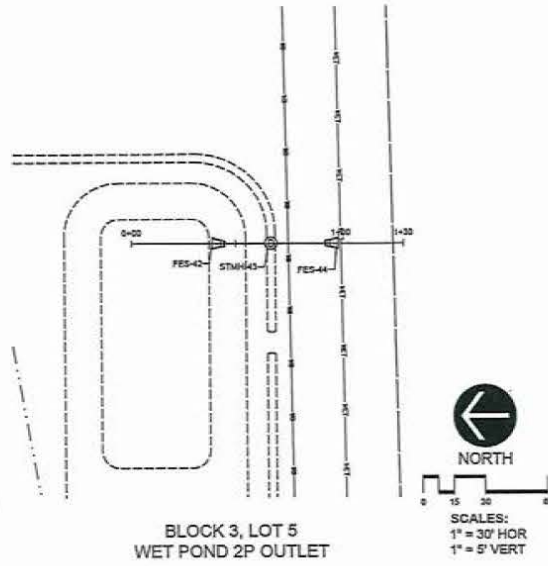
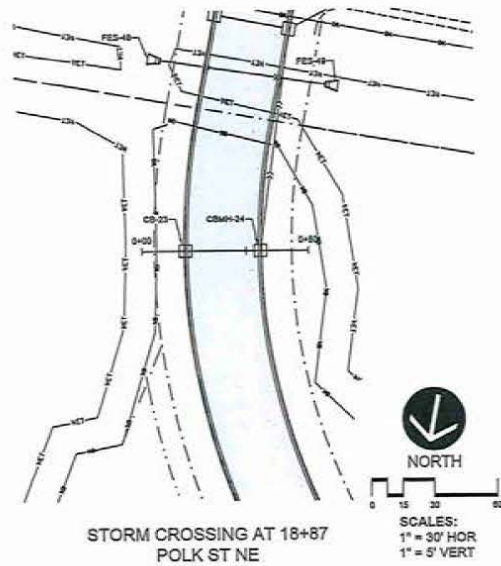
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.  
*Thomas J. Harkness, P.E.*  
Date: 05/07/21 Lic. No.: 25520

Rev.	Date	Description

Project #: 02219011.000  
Drawn By: TJO/SMH  
Checked By: TJO  
Issue Date: 05/07/2021  
Sheet Title:

**STORM SEWER  
PLAN & PROFILE**

Sheet:  
**C209**



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 Suite 308  
 St. Cloud, MN 56301  
 320.774.1844  
 www.larsoneng.com

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 HAM LAKE, MN 55304

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 HAM LAKE, MN. 55304

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*Thomas J. Heston, P.E.*  
 Thomas J. Heston, P.E.  
 Date: 05.07.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 12218011-000  
 Drawn By: TJS/MS  
 Checked By: TJS  
 Issue Date: 05.07.2021  
 Sheet Title:

**STORM SEWER PLAN & PROFILE**

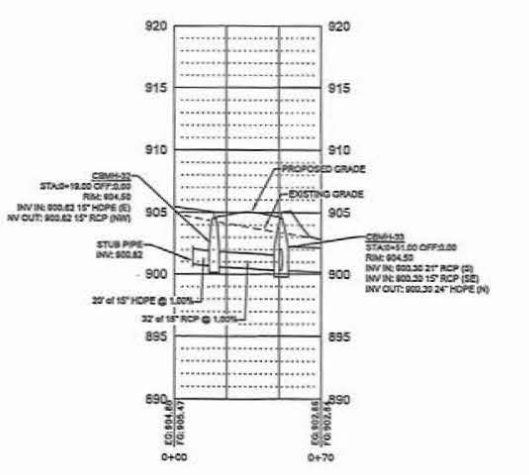
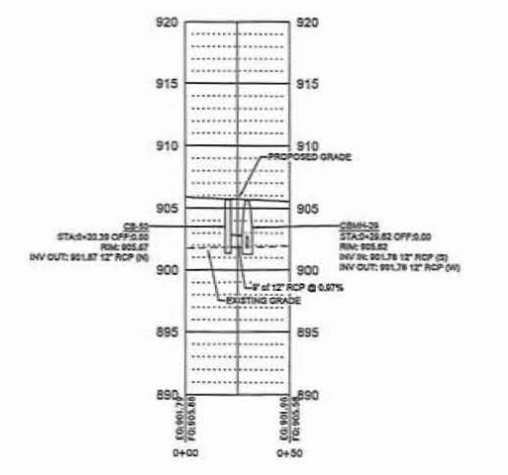
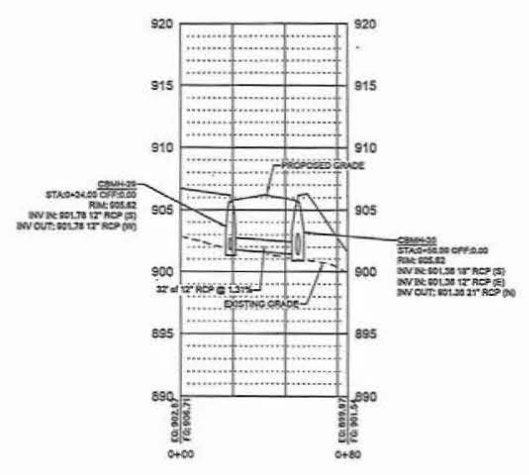
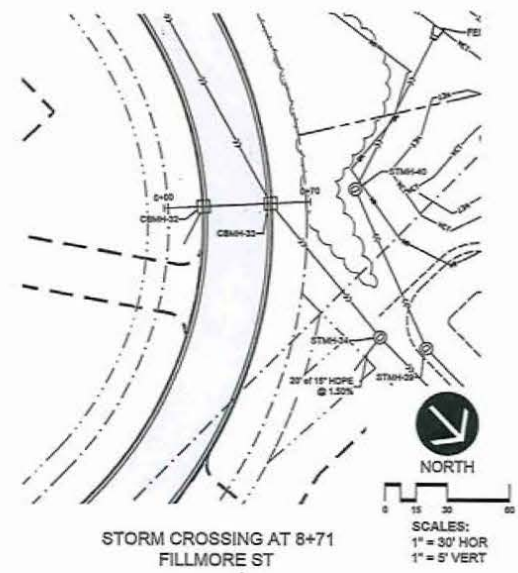
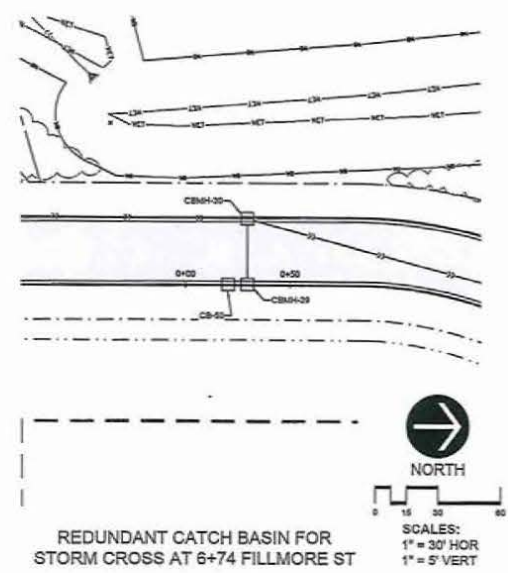
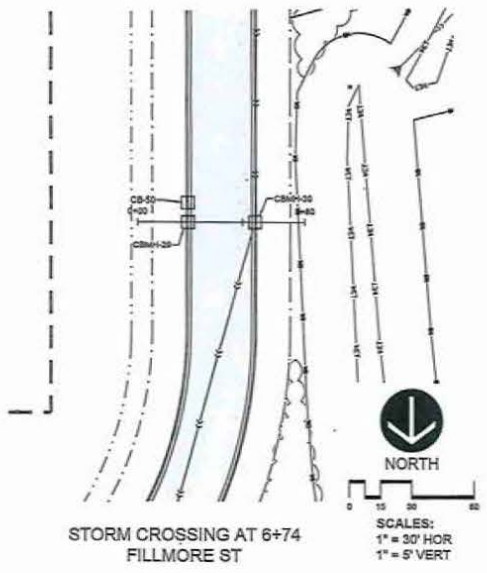
Sheet:  
**C210**

**UTILITY NOTES**  
 1. See sheet C200 for utility notes.

**BENCHMARK**  
 MNCOT NAME: 0208 T  
 OSD STATION: 9588  
 ELEVATION: 911.425 (NAVD83)

**SYMBOL LEGEND**

	PROPOSED ROADWAY SEE TYPICAL SECTIONS, DETAILS 3ICT02 AND 3ICT03		CURB INLET		PROPERTY LINE
	PROPOSED BITUMINOUS TRAIL SEE DETAIL DETAIL 8ICT03		FLARED END		EASEMENT LINE
			STORM MANHOLE		RIGHT-OF-WAY LINE
					WETLAND
					WETLAND BUFFER
					STORM SEWER PIPE
					DRAIN TILE PIPE



PRELIMINARY NOT FOR CONSTRUCTION

**SYMBOL LEGEND**

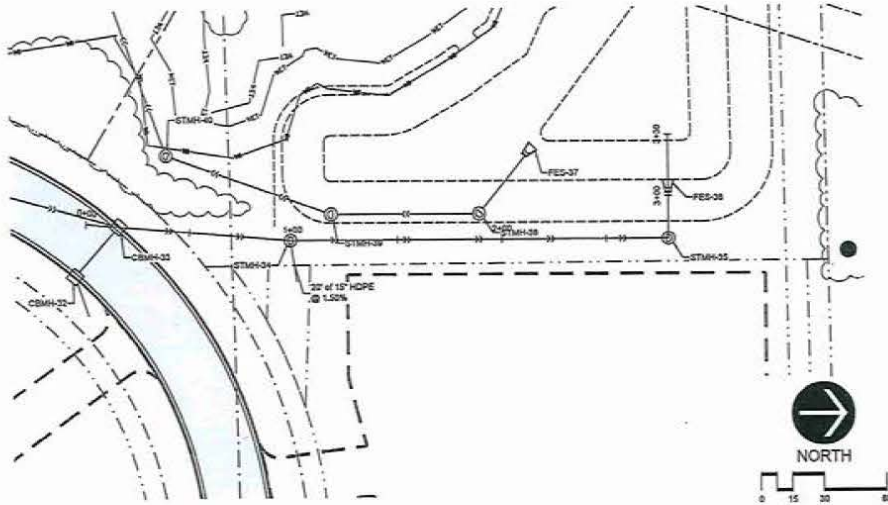
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	PROPOSED BITUMINOUS TRAIL SEE DETAIL DETAIL 6IC700		FLARED END		RIGHT-OF-WAY LINE
			WETLAND		WETLAND BUFFER
			STORM SEWER PIPE		DRAINAGE PIPE

**UTILITY NOTES**

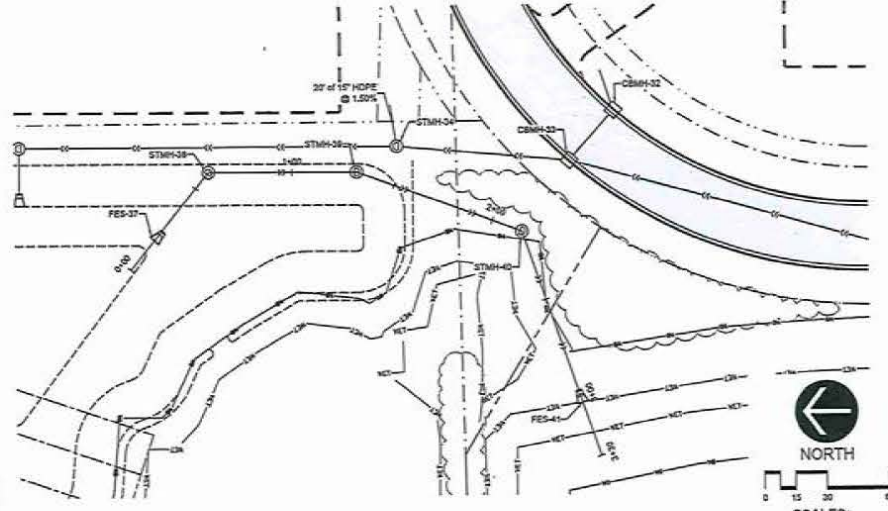
1. See sheet C200 for utility notes.

**BENCHMARK**

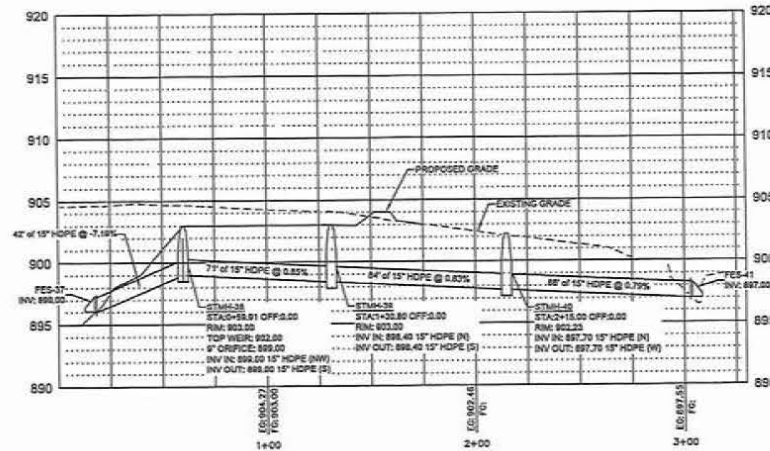
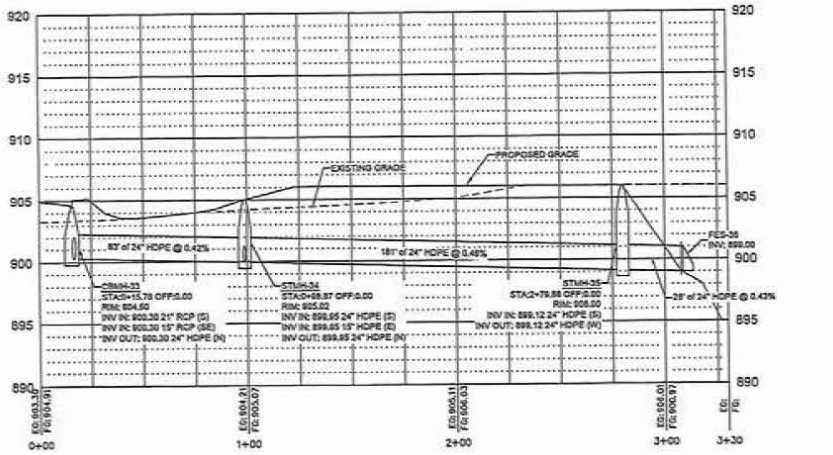
MNDOT NAME: 0208 T  
GRID STATION: #588  
ELEVATION: 911.425 (NAVD84)



**BLOCK 2, LOT 1  
WET POND 3P INLET**



**BLOCK 2, LOT 1  
WET POND 3P OUTLET**



PRELIMINARY NOT FOR CONSTRUCTION

**JESSE OSBORNE, CSF  
DEVELOPMENT, LLC**  
16800 HWY. 65 NE  
HAM LAKE, MN 55304

**CREEKSIDE FARMS  
DEVELOPMENT**  
HAM LAKE, MN. 55304

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*Thomas J. Henkel*  
Thomas J. Henkel, P.E.  
Date: 08.07.21 Lic. No.: 25535

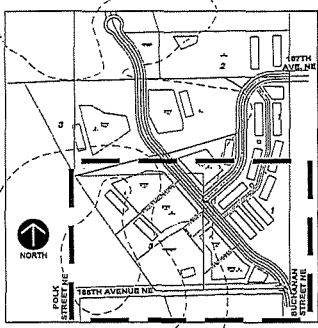
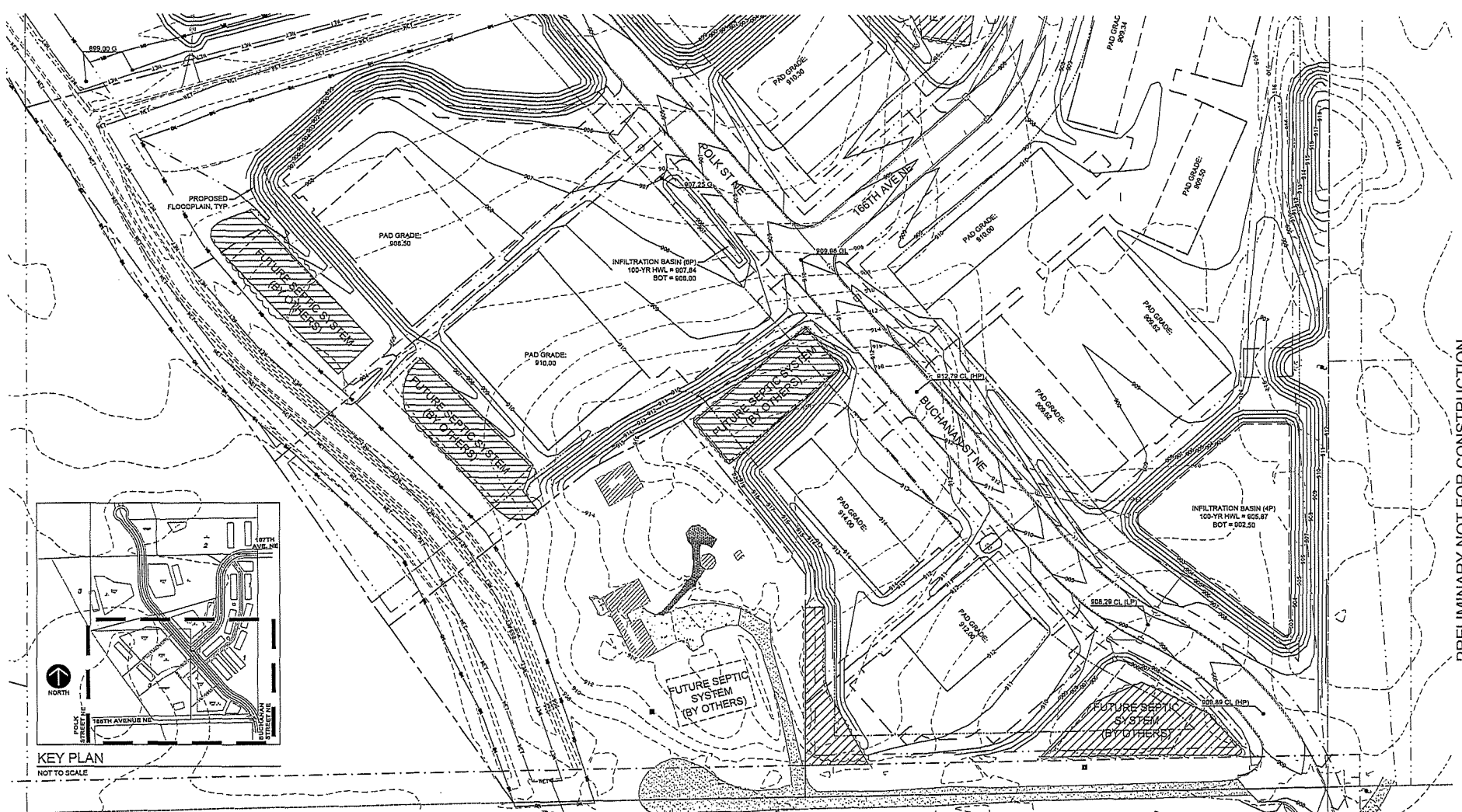
Rev.	Date	Description

Project #: 12210011000  
Drawn By: TJSMTH  
Checked By: TSM  
Issue Date: 08.07.2021  
Sheet Title:

**STORM SEWER  
PLAN & PROFILE**

Sheet Title:  
**C211**

**Larson Engineering, Inc.**  
610 W. 31. Center Street  
Ham Lake, MN 55301  
320.74.1844  
www.larsoneng.com  
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**SYMBOL LEGEND**

- 550 --- EXISTING CONTOURS
  - 550 --- PROPOSED CONTOURS - MAJOR INTERVAL
  - 549 --- PROPOSED CONTOURS - MINOR INTERVAL
  - - - - - GRADE BREAK LINE
  - 2.0% --- GRADE SLOPE
  - WETLAND
  - WETLAND BUFFER
- SPOT ABBREVIATIONS:**
- TC - TOP OF CURB
  - GL - GUTTER LINE
  - B - BITUMINOUS
  - C - CONCRETE
  - G - GROUND
  - CL - CENTER LINE
  - HP - HIGH POINT
  - LP - LOW POINT
  - RM - TOP OF CASTING
  - (\*) - EXISTING TO BE VERIFIED

**GRADING NOTES**

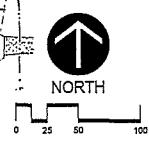
- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (\*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- Restore all disturbed areas with 4" of good quality topsoil and seed.
- All construction shall be performed in accordance with state and local standard specifications for construction.
- Contractor shall conduct a post construction test on the infiltration basins by filling the basins to a minimum depth of 6 inches with water and monitoring the flow necessary to drain. The Coon Creek Watershed District shall be notified prior to the tests to witness the results.
- Grading encroachments within the Great River Energy Utility Easement must maintain a distance of 25' from all power poles and 10' from all guy wires.
- Contractor shall de-compact all disturbed pervious areas to a depth of 6".
- All match points and pavement patches to be sawcut at full depth.
- Turf area to be seeded with 14 days after completion of rough grading.

**TREE PROTECTION NOTES**

- TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
  - SILT / TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
  - CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES IN THE TREE PROTECTION ZONE.
  - FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
  - SOME TREES AND BRUSH FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRUBBING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURE ARE INSTALLED.
- DENOTES TREE PRESERVATION AREA

**BENCHMARK**

MINDOT NAME: C208 T  
 GRID STATION: 4558  
 ELEVATION: 915.425 (NAVD88)



**PRELIMINARY NOT FOR CONSTRUCTION**

Date: \_\_\_\_\_

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 Suite 308  
 St. Cloud, MN 56301  
 320.741.1848  
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**DEVELOPMENT, LLC**  
 16800 HWY. 65 NE  
 HAM LAKE, MN 55304

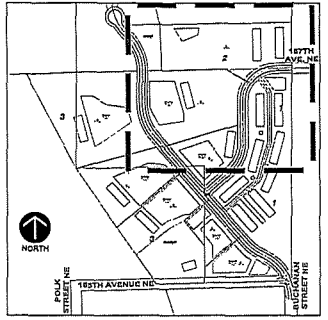
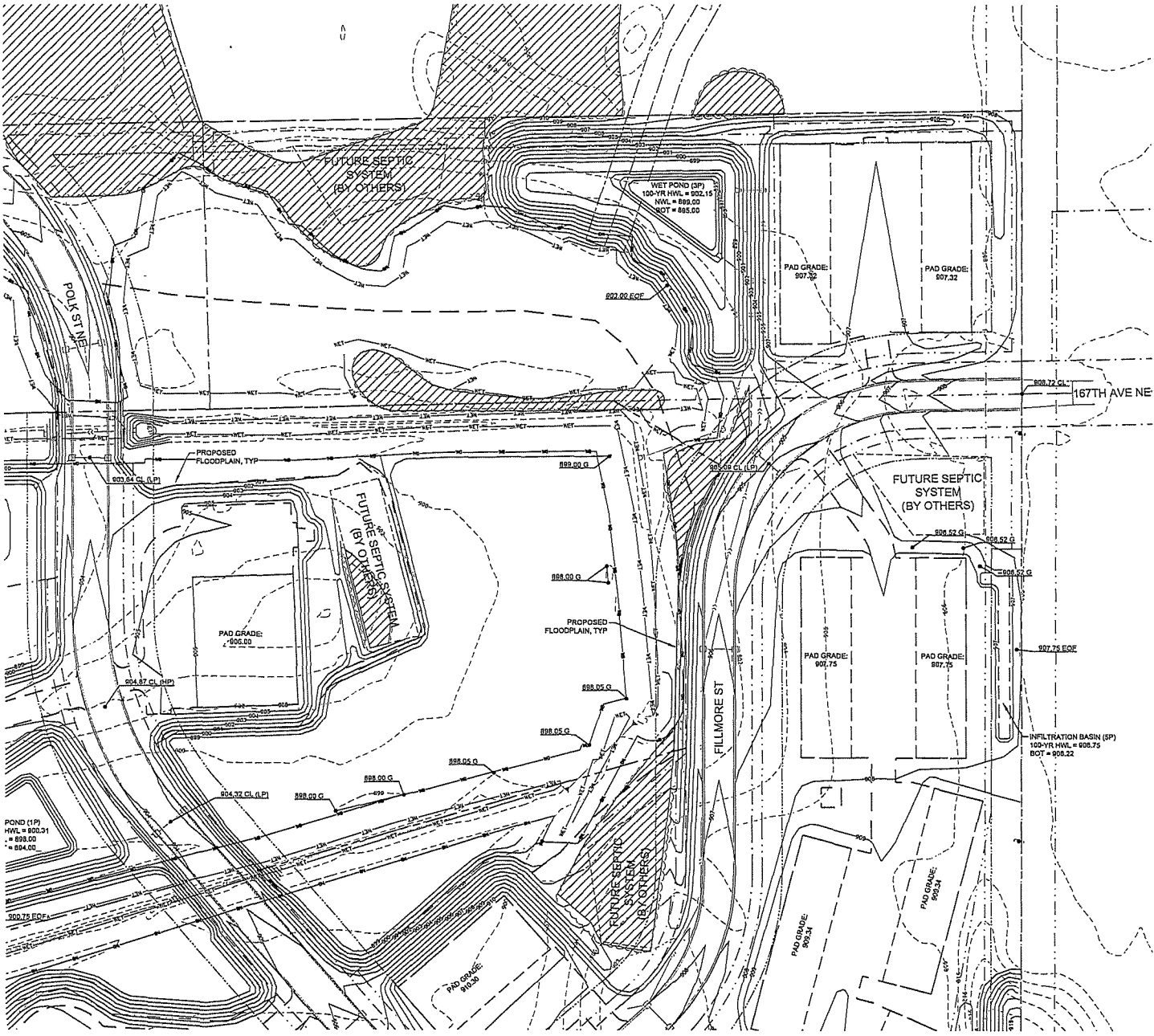
**CREEKSIDE FARMS DEVELOPMENT**  
 HAM LAKE, MN. 55304

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*Thomas J. Hekrodt*  
 Thomas J. Hekrodt, P.E.  
 Date: 09.07.21 Lic. No.: 35550

Rev.	Date	Description

Project #: 12216011.000  
 Drawn By: TJRMTH  
 Checked By: TJH  
 Issue Date: 09.07.2021  
 Sheet Title: **CONSTRUCTION GRADING & TREE PROTECTION PLAN - SOUTH**  
 Sheet: **C300**



**SYMBOL LEGEND**

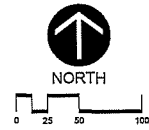
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---	PROPOSED CONTOURS - MAJOR INTERVAL
---	PROPOSED CONTOURS - MINOR INTERVAL
---	GRADE BREAK LINE
---	GRADE SLOPE
---	WETLAND
---	WETLAND BUFFER
<b>SPOT ABBREVIATIONS:</b>	
TC	TOP OF CURB
GL	GUTTER LINE
B	BITUMINOUS
C	CONCRETE
G	GROUND
CL	CENTER LINE
HP	HIGH POINT
LP	LOW POINT
RM	TOP OF CASTING
(?)	EXISTING TO BE VERIFIED

**GRADING NOTES**  
 1. See sheet C300 for Grading Notes.

**TREE PROTECTION NOTES**  
 1. See sheet C300 for Tree Protection Notes.

DENOTES TREE PRESERVATION AREA

**BENCHMARK**  
 MINDOT NAME: 0208 T  
 CSISD STATION: 4558  
 ELEVATION: 911.425 (NAVD89)



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 16800 HWY. 65 NE  
 HAM LAKE, MN 55304

**CREEKSIDE FARMS DEVELOPMENT**  
 HAM LAKE, MN. 55304

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*Thomas J. McKeon*  
 Thomas J. McKeon, P.E.  
 Date: 08.07.21 Lic. No.: 25520

**PRELIMINARY NOT FOR CONSTRUCTION**

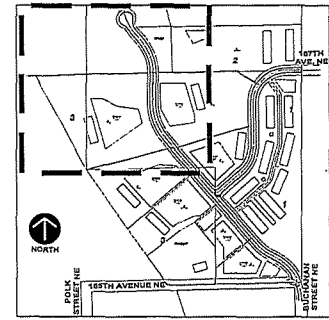
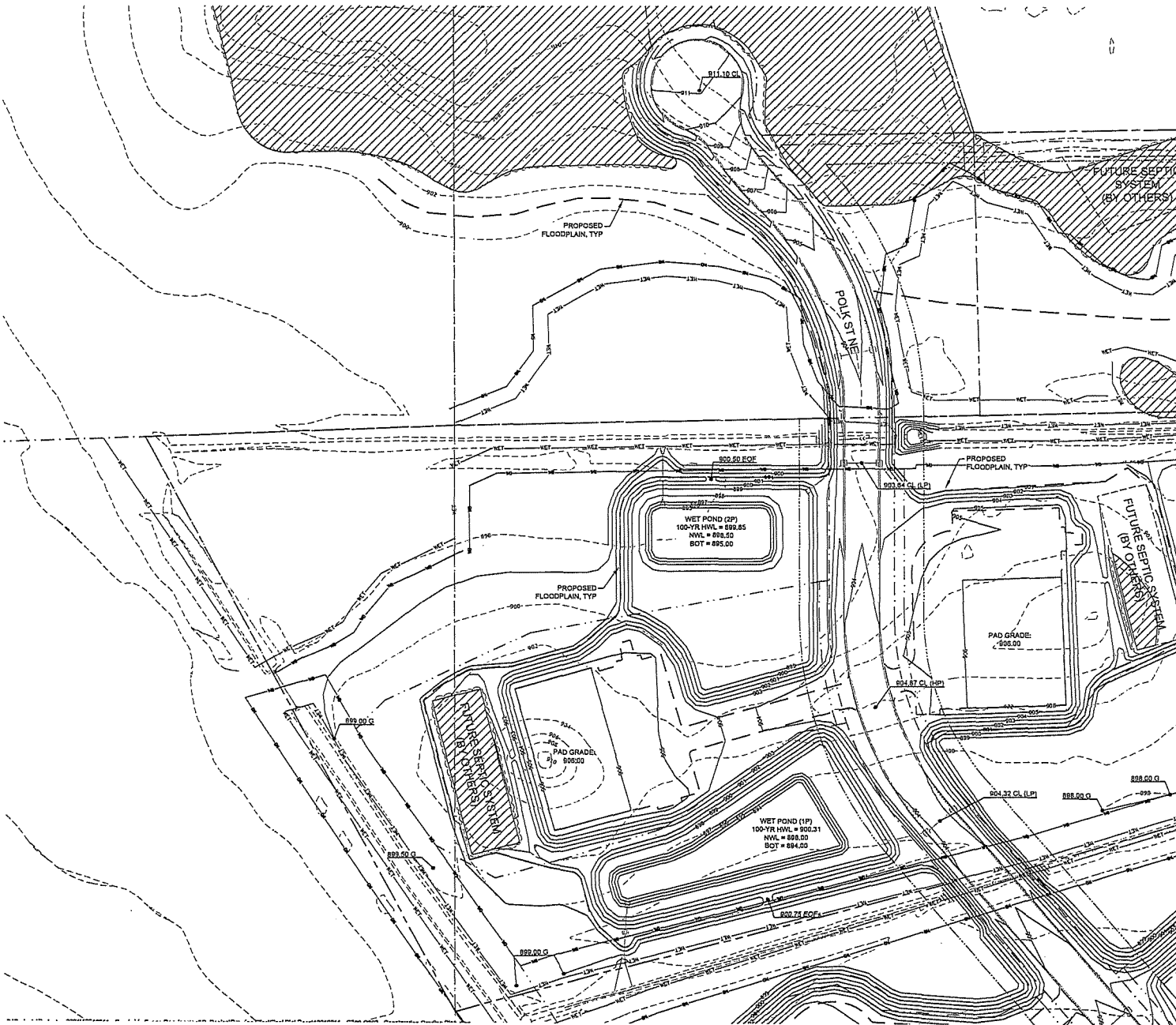
Rev.	Date	Description

Project #: 12215011.000  
 Drawn By: TJRMTH  
 Checked By: TJH  
 Issue Date: 09.07.2021

Sheet Title:  
**CONSTRUCTION GRADING & TREE PROTECTION PLAN - NE**

Sheet:  
**C301**





**SYMBOL LEGEND**

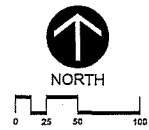
---	EXISTING CONTOURS
---	PROPOSED CONTOURS - MAJOR INTERVAL
---	PROPOSED CONTOURS - MINOR INTERVAL
---	GRADE BREAK LINE
---	GRADE SLOPE
---	2.0%
---	WETLAND
---	WETLAND BUFFER
<b>SPOT ABBREVIATIONS:</b>	
TC	TOP OF CURB
GL	GUTTER LINE
B	BITUMINOUS
C	CONCRETE
G	GROUND
CL	CENTER LINE
HP	HIGH POINT
LP	LOW POINT
RM	TOP OF CASTING
(*)	EXISTING TO BE VERIFIED

**GRADING NOTES**  
1. See sheet C300 for Grading Notes.

**TREE PROTECTION NOTES**  
1. See sheet C300 for Tree Protection Notes.

DENOTES TREE PRESERVATION AREA

**BENCHMARK**  
MNDOT NAME: 0208 T  
GSID STATION: #588  
ELEVATION: 811.425 (NAVD88)



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818 W. St. Germain Street  
Suite 303  
St. Cloud, MN 56301  
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16800 HWY. 65 NE  
HAM LAKE, MN 55304

PRELIMINARY NOT FOR CONSTRUCTION

**CREEKSIDE FARMS DEVELOPMENT**  
HAM LAKE, MN. 55304

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*Thomas J. Hinkowski, P.E.*  
Thomas J. Hinkowski, P.E.  
Date: 09.07.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 12215011.000  
Drawn By: TJRMTH  
Checked By: TJH  
Issue Date: 08.07.2021  
Sheet Title:  
**CONSTRUCTION GRADING & TREE PROTECTION PLAN - NW**

Sheet:  
**C302**

**SYMBOL LEGEND**

- 950 --- EXISTING CONTOURS
- 950 --- PROPOSED CONTOURS - MAJOR INTERVAL
- 940 --- PROPOSED CONTOURS - MINOR INTERVAL
- --- GRADE BREAK LINE
- --- GRADE SLOPE

92.00 TC  
91.50 CL

- SPOT ABBREVIATIONS:**
- TC - TOP OF CURB
  - CL - CUTTER LINE
  - B - BITUMINOUS
  - C - CONCRETE
  - EO - EMERGENCY OVERFLOW
  - TW - TOP OF WALL
  - BW - BOTTOM OF WALL (FG)
  - (\*) - EXISTING TO BE VERIFIED

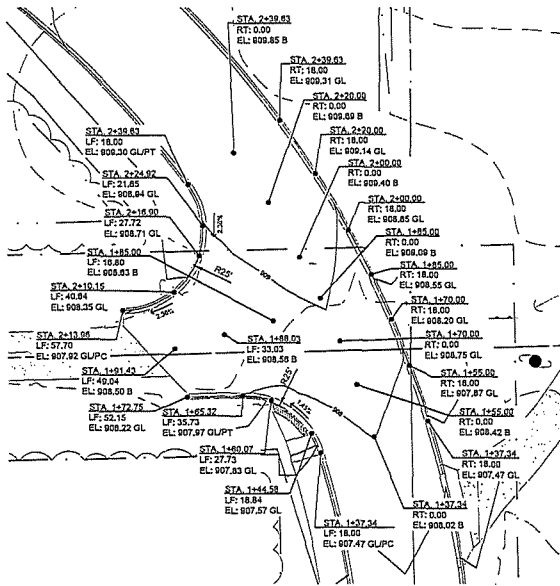
- PC - POINT OF CURVATURE**
- PT - POINT OF TANGENCY
  - G - GRADE
  - STA - STATION
  - EL - ELEVATION
  - LF - LEFT
  - RT - RIGHT

**GRADING NOTES**

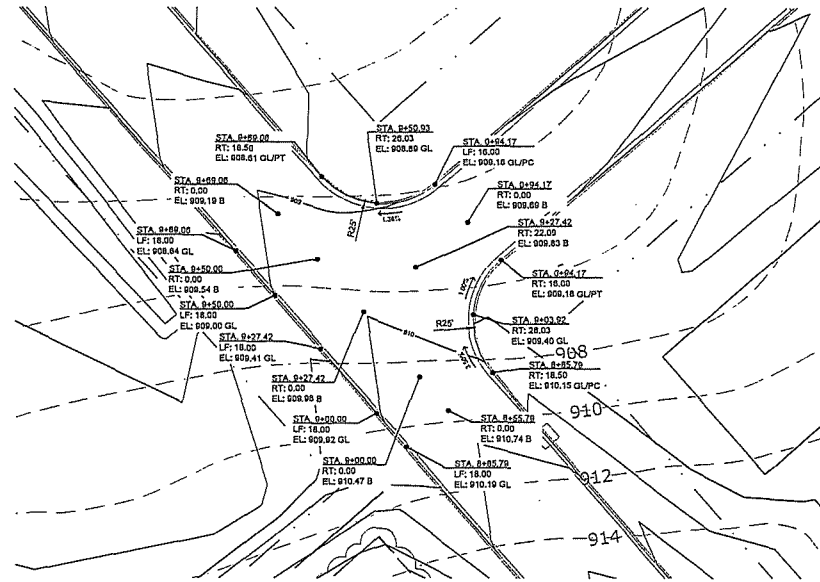
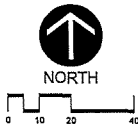
- See Sheet 300 for Grading Notes.

**BENCHMARK**

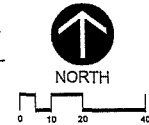
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 GSID STATION: #568  
 ELEVATION: 911.425 (NAVD83)



INTERSECTION OF BUCHANAN ST NE  
AND 165TH AVE NE



INTERSECTION OF BUCHANAN ST NE  
/ POLK ST NE AND 166TH AVE NE



PRELIMINARY NOT FOR CONSTRUCTION

**Larson Engineering, Inc.**  
 819 W. St. Germain Street  
 Suite 308  
 St. Cloud, MN 56301  
 320.774.1844  
 www.larsoneng.com

**JESSE OSBORNE, CSF DEVELOPMENT, LLC**  
 16800 HWY. 65 NE  
 HAM LAKE, MN 55304

**CREEKSIDE FARMS DEVELOPMENT**  
 HAM LAKE, MN. 55304

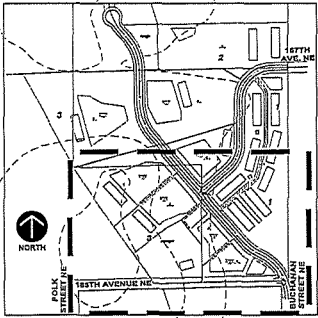
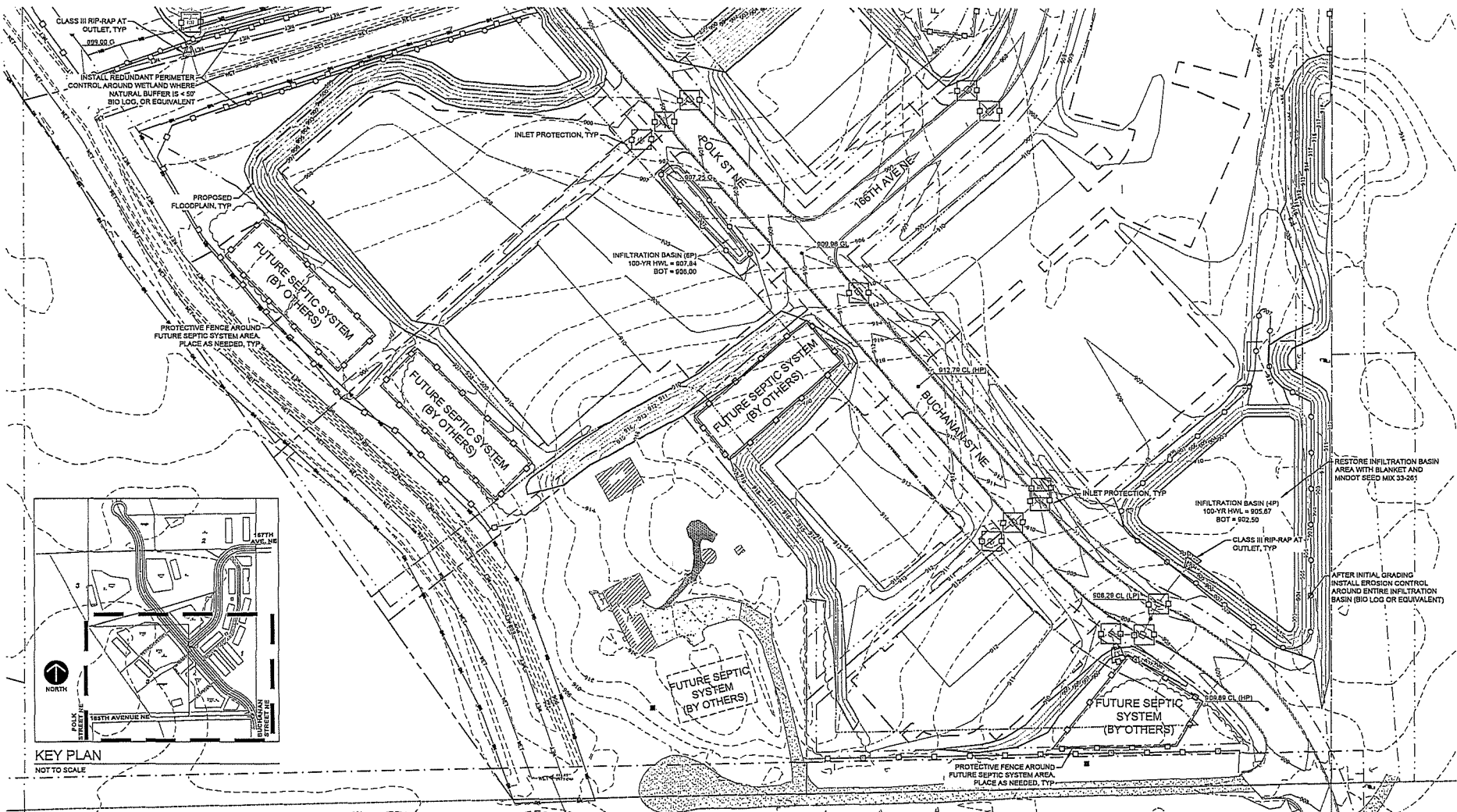
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

*Thomas J. Wickens*  
 Thomas J. Wickens, P.E.  
 Date: 08.07.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 12218011.000  
 Drawn By: TURMATH  
 Checked By: TCH  
 Issue Date: 08.07.2021  
 Sheet Title:  
**INTERSECTION GRADING DETAILS**

Sheet:  
**C400**



KEY PLAN  
NOT TO SCALE

**SYMBOL LEGEND**

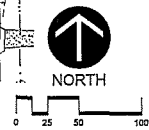
- SILT FENCE
- BID-ROLL / SEDIMENT LOG
- RIP-RAP / ROCK CONST. ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- CONCRETE WASHOUT STATION (TO BE DETERMINED DURING CONSTRUCTION)
- WETLAND
- WETLAND BUFFER

**EROSION CONTROL NOTES**

1. See Sheet C700 for notes.

**CONSTRUCTION SEQUENCING NOTES**

- a. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION WORK AT THE SITE.
- b. INSTALL TREE PROTECTION AS SHOWN ON THE PLANS.
- c. BEGIN GRADING OF SITE AND CONSTRUCTION OF PONDS, UTILITIES, AND ROADS. INFILTRATION BASINS TO BE TEMPORARILY GRADED TO 2' ABOVE FINISHED BOTTOM ELEVATION, TO BE USED AS TEMPORARY SEDIMENT BASINS. TEMPORARY SEDIMENT BASINS SHALL BE SIZED PER MPCA STANDARDS.
- d. INFILTRATION AREAS TO BE MARKED AND BIO LOG TO BE INSTALLED AROUND THE UPLAND EDGE OF EACH BASIN
- e. FINALIZE GRADES AND STABILIZE ALL AREAS DISTURBED BY GRADING AND CONSTRUCTION.
- f. SITE IS FULLY STABILIZED WITH ESTABLISHED VEGETATION.
- g. CLEANOUT OF PRE-TREATMENT PONDS AND FINAL GRADING, STABILIZATION, AND PLANTING OF INFILTRATION BASINS. FINAL GRADING OF INFILTRATION BASINS AT THIS POINT IN THE CONSTRUCTION SEQUENCE WILL INCLUDE EXCAVATION TO IN-SITU SOILS WITH DESIGN INFILTRATION RATES.
- h. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AFTER SITE AND BASINS ARE FULLY STABILIZED AND ALL CONSTRUCTION IN THE CONTRIBUTING DRAINAGE AREAS IS COMPLETE.



**PRELIMINARY NOT FOR CONSTRUCTION**

---

**CREEKSIDE FARMS DEVELOPMENT**

HAM LAKE, MN. 55304

**Larson Engineering, Inc.**  
 816 W. St. Germain Street  
 Suite 308  
 St. Cloud, MN 56301  
 320.741.1844  
 www.larsoneng.com

---

Project Title: **CREEKSIDE FARMS DEVELOPMENT**

---

I hereby certify that this plan, specifications or reports were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

*Thomas J. Hervekostoff, P.E.*

Thomas J. Hervekostoff, P.E.  
 Date: 08/07/21    Lic. No.: 25520

---

Rev.	Date	Description

---

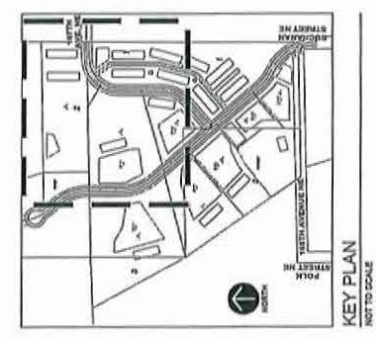
Project #: 13219011.000  
 Drawn By: T.J.R.M.H.  
 Checked By: T.J.H.  
 Issue Date: 08/07/2021  
 Sheet Title:

---

**EROSION CONTROL PLAN - SOUTH**

Sheet: **C500**

<p>Larson Engineering, Inc. 818 W. St. Germain Street Suite 306 St. Cloud, MN 56301 320.274.1844 www.larsoneng.com © 2017 Larson Engineering, Inc. All rights reserved.</p>	<p>JESSE OSBORNE, CSP DEVELOPMENT, LLC 16800 HWY. 65 NE HAM LAKE, MN 55304</p>	<p>CREEKSIDE FARMS DEVELOPMENT HAM LAKE, MN, 55304</p>	<p>Project Title: PRELIMINARY NOT FOR CONSTRUCTION Date: 08/07/21 Scale: 1" = 40'</p>	<p>Sheet No.: 0202 Project No.: 22020 Checked By: TSH Issue Date: 08/07/2021 Sheet Title: EROSION CONTROL PLAN - NE</p>	<p>Drawn: [Signature] Checked: [Signature] Scale: 1" = 40'</p>
	<p>I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.</p>				

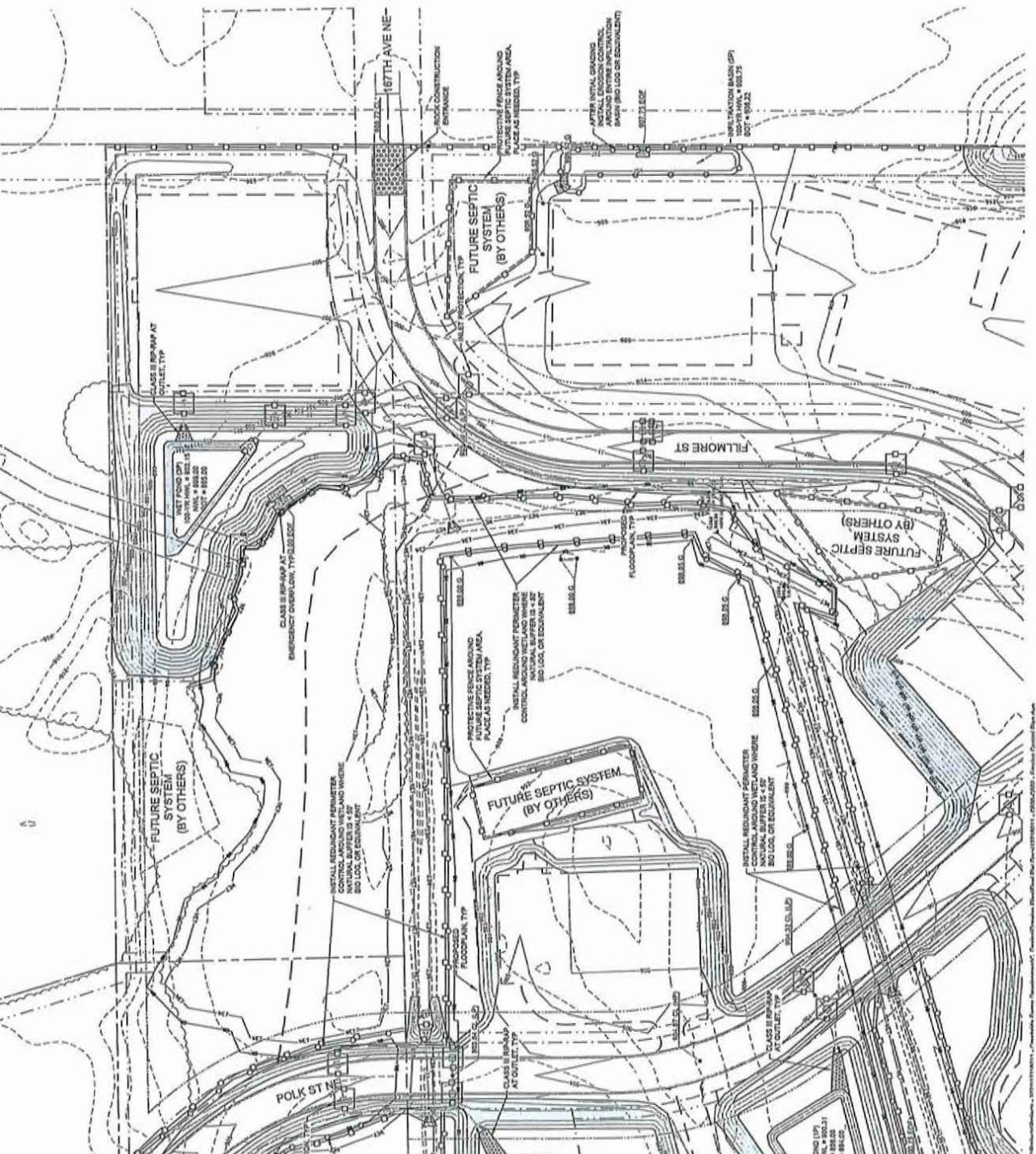


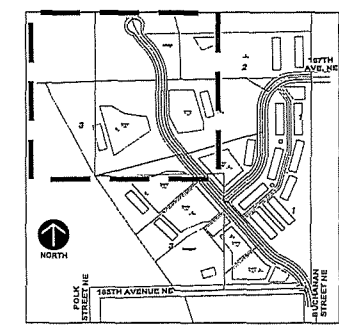
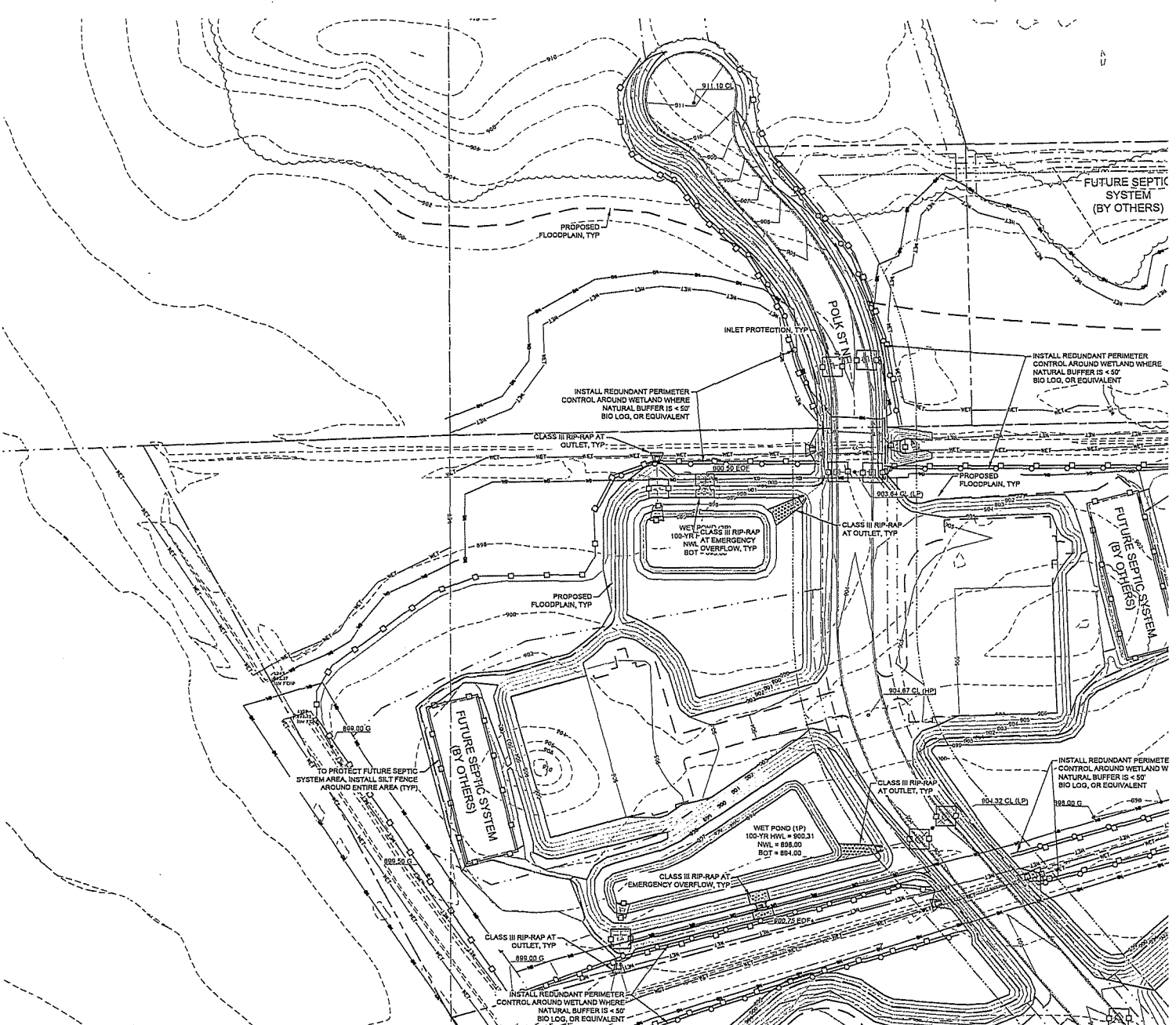
- SYMBOL LEGEND**
- SILT FENCE
  - ROLL-IN / SEDIMENT LOG
  - RAMP / FLOOR CONST. ENTRANCE
  - EROSION CONTROL BLANKET
  - INLET PROTECTION
  - CONCRETE WALKOUT STATION (TO BE DETERMINED DURING CONSTRUCTION)
  - WETLAND
  - WETLAND BUFFER
- EROSION CONTROL NOTES**
- See Sheet C200 for Erosion Control Notes.
- CONSTRUCTION SEQUENCING NOTES**
- See Sheet C200 for Construction Sequencing Notes.

**PRELIMINARY NOT FOR CONSTRUCTION**

North arrow pointing up.

Graphic scale: 0, 25, 50 feet.





KEY PLAN  
NOT TO SCALE

**SYMBOL LEGEND**

- SILT FENCE
- BIO-ROLL / SEDIMENT LOG
- RIP-RAP / ROCK CONST. ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- CONCRETE WASHOUT STATION (TO BE DETERMINED DURING CONSTRUCTION)
- WETLAND
- WETLAND BUFFER

**EROSION CONTROL NOTES**

- See sheet C700 for Erosion Control Notes.

**CONSTRUCTION SEQUENCING NOTES**

- See sheet C500 for Construction Sequencing Notes.

PRELIMINARY NOT FOR CONSTRUCTION

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819 W. St. Germain Street  
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St. Cloud, MN 56301  
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**JESSE OSBORNE, CSF  
DEVELOPMENT, LLC**  
16800 HWY. 65 NE  
HAM LAKE, MN 55304

**CREEKSIDE FARMS  
DEVELOPMENT**  
HAM LAKE, MN 55304

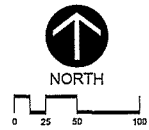
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

*Thomas J. Froehlich, P.E.*  
Thomas J. Froehlich, P.E.  
Date: 08.07.21 Lic. No.: 25520

No.	Date	Description

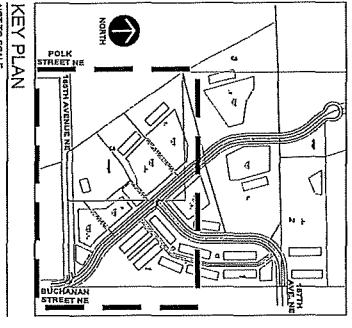
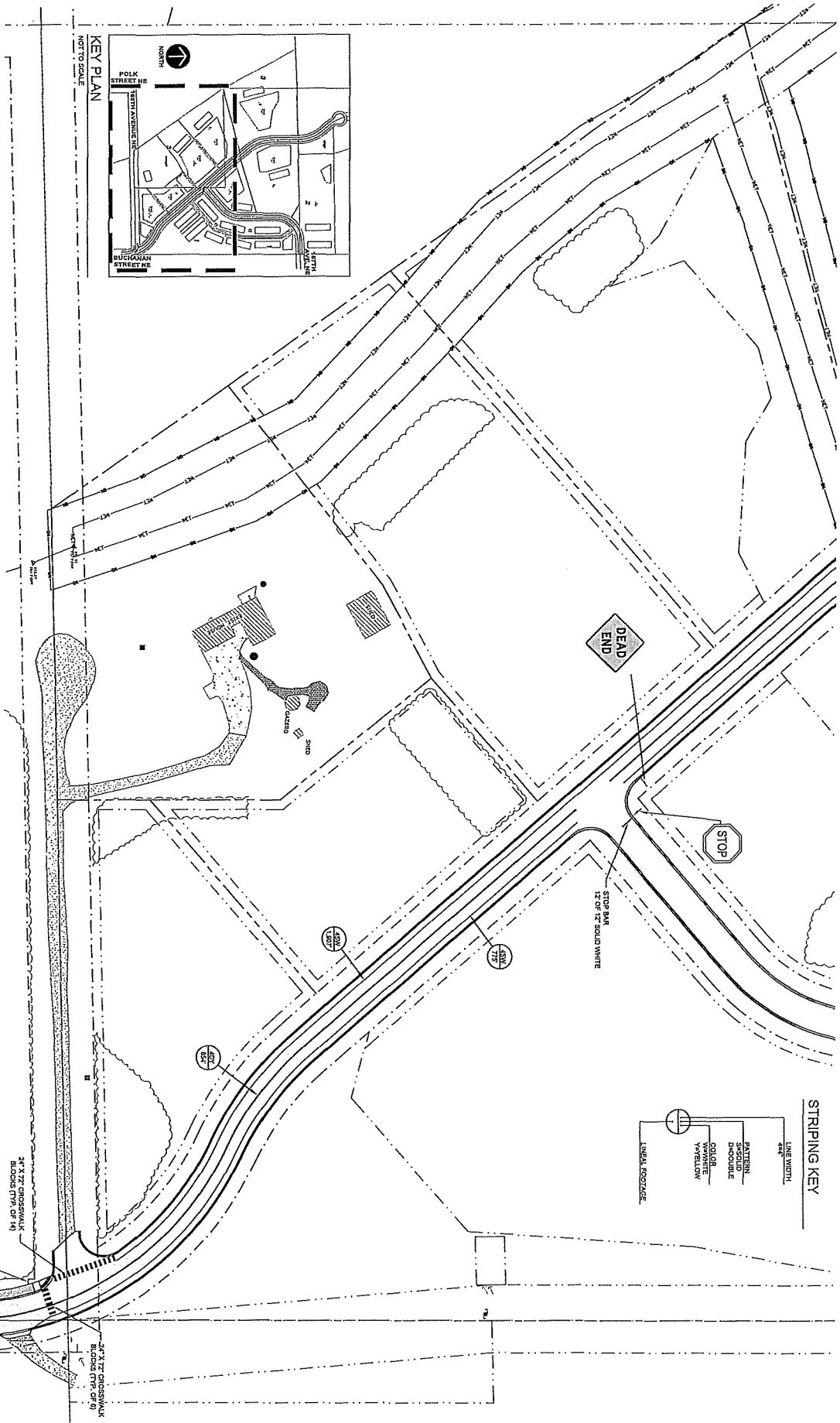
Project #: 12216011.000  
Drawn By: TJRM/TH  
Checked By: TJH  
Issue Date: 08.07.2021  
Sheet Title:

**EROSION CONTROL  
PLAN - NW**  
Sheet:  
**C502**



0:\Bentley\Bentley - 5/23/21\1716111 - Creekside Farms Development\2 - Final\Drawn Sheet\Final Plot File\1716111 - C500.C502 - Erosion Control Plan.dwg

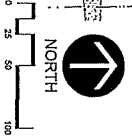
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**STRIPING KEY**

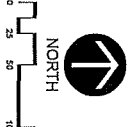
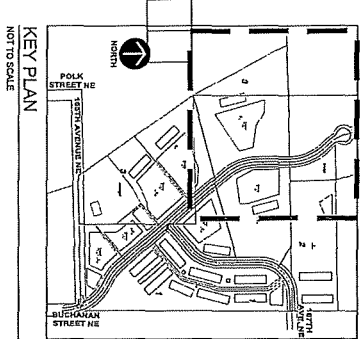
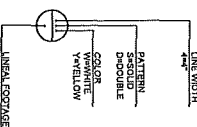
LINE WIDTH	42"
PATTERN	SOLID
DOUBLE	
COLOR	WHITE
YELLOW	
LEGAL FOOTAGE	

24" X 72" CROSSWALK  
 BLOCKS (TYP. OF 14)  
 INSTALL SALVAGED BIKE ROUTE  
 AND NO MOTOR VEHICLE SIGN  
 ON NEW CHANNEL POST



PRELIMINARY NOT FOR CONSTRUCTION

<p><b>C600</b></p>	<p>STRIPING &amp; SIGNAGE PLAN - SOUTH</p>	<p>PROJECT: 1211011-030          DESIGNER: TSMH          CHECKED BY: TSMH          DATE: 08/07/2021          SHEET TITLE:</p>	<p>DATE: 08/07/21          L.S. NO.: 2552</p>	<p>Project Title:  <b>CREEKSIDE FARMS          DEVELOPMENT</b>          HAM LAKE, MN. 55304</p>	<p>Client:  <b>JESSE OSBORNE, CSF          DEVELOPMENT, LLC</b>          16800 HWY. 65 NE          HAM LAKE, MN 55304</p>	<p><b>Larson</b>          Engineering, Inc.          818 W. St. Germain Street          Suite 308          St. Cloud, MN 56301          320.774.1544          www.larsonengr.com</p> <p>© 2011 Larson Engineering, Inc. All Rights Reserved.</p>
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PRELIMINARY NOT FOR CONSTRUCTION

<b>C601</b>	Sheet:
	STRIPING & SIGNAGE
	PLAN - NW
	Project: 110111.000
	Checked By: TSM/TH
Date: 09/27/2011	
Sheet Title:	

I hereby certify that this plan, together with all exhibits, specifications and notes, and that I am a duly licensed Professional Engineer in the State of Minnesota.

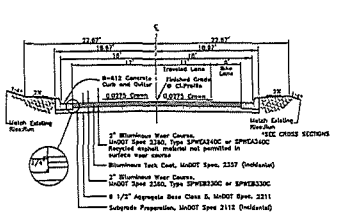
Thomas J. Thompson, P.E.  
 Date: 09/27/11 Lic. No.: 25320

**Project Title:**  
**CREEKSIDE FARMS DEVELOPMENT**  
 HAM LAKE, MN. 55304

**Client:**  
**JESSE OSBORNE, CSF DEVELOPMENT, LLC**  
 16800 HWY. 65 NE  
 HAM LAKE, MN 55304

**Larson Engineering, Inc.**  
 816 W. St. Germain Street  
 Suite 308  
 St. Cloud, MN 56301  
 320.774.1844  
 www.larsonengr.com

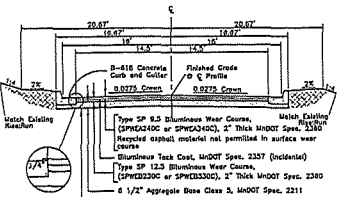
© 2011 Larson Engineering, Inc. All rights reserved.



TYPICAL URBAN SECTION WITH 6 FOOT BIKE LANES

COMMERCIAL 9-TON STREET HL-366B2 NOT TO SCALE

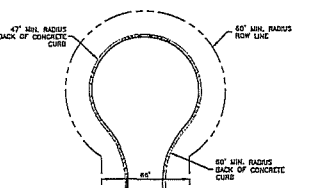
HAM LAKE TYPICAL SECTION - 36' ROADWAY (BUCHANAN/POLK ST NE)



TYPICAL URBAN SECTION

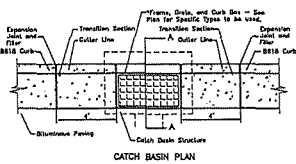
TYPICAL 9 TON COMMERCIAL STREET HL-366B1 NOT TO SCALE

HAM LAKE TYPICAL SECTION - 32' ROADWAY (167TH AVE NE / FILLMORE ST)

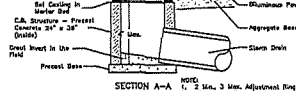


TYPICAL COMMERCIAL CUL-DE-SAC HL-367B NOT TO SCALE

HAM LAKE CUL-DE-SAC DETAIL NOT TO SCALE

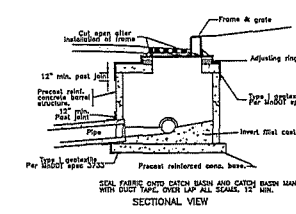


RECTANGULAR CATCH BASIN HL-459C NOT TO SCALE



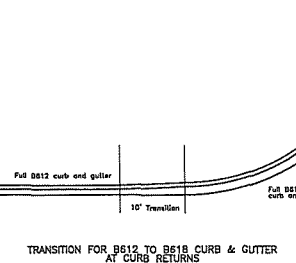
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HAM LAKE FABRIC AROUND CATCH BASIN HL-463 NOT TO SCALE



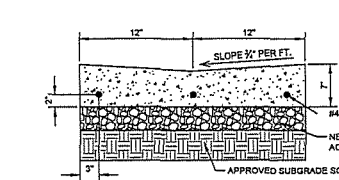
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HAM LAKE CURB TRANSITION B612 TO B618 HL-356B NOT TO SCALE

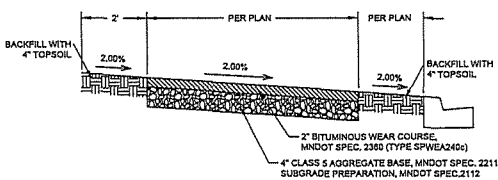


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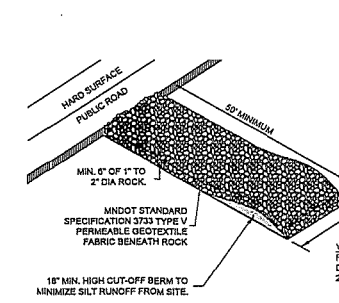
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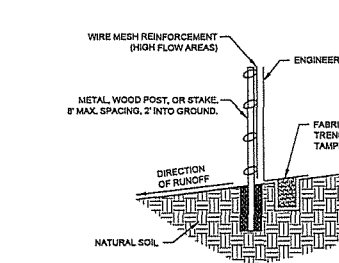
CONCRETE VALLEY GUTTER NOT TO SCALE



TYPICAL BIKEPATH SECTION NOT TO SCALE



ROCK CONSTRUCTION ENTRANCE NOT TO SCALE



SILT FENCE INSTALLATION DETAIL NOT TO SCALE

EROSION CONTROL NOTES

- Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (silt protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or dikes the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
- The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without sufficient silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
- The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 linear feet from the property edge, or from the point of discharging into any surface water. Stabilization of the last 200 linear feet must be completed 72 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be completed within 7 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
- All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation higher than the downstream slope by 1 percent or flatter. The normal water level shall be the lowest elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with silt protection.
- In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and inlets) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as practicable after discovery. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration areas.
- Soils within infiltration areas shall be protected from compaction due to construction traffic. Areas shall be staked and marked off, with only low impact equipment (tracked or similar) allowed. If compaction does occur, soils shall be de-compacted to the depth necessary to alleviate compacted soils.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
- Collected sediment, asphalt, and concrete millings, roofing debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
- Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.
- Erosion control blanket shall be installed on all slopes 4:1 and steeper and in ditch areas.
- Stabilize vegetation and soil stockpiles within 7 days of rough grading or inactivity.

PRELIMINARY NOT FOR CONSTRUCTION

Creek  
Project: JESSE OSBORNE, CSF DEVELOPMENT, LLC  
16800 HWY. 65 NE  
HAM LAKE, MN 55304

CREEKSIDE FARMS DEVELOPMENT  
HAM LAKE, MIN. 55304

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

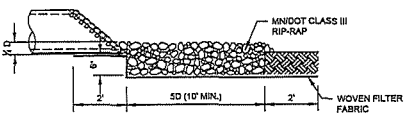
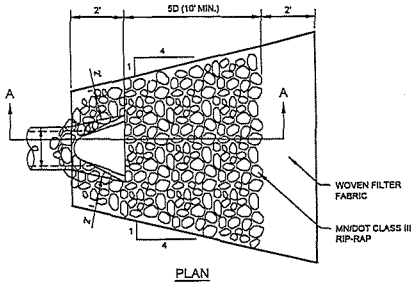
*Thomas J. Herkenhoff, P.E.*  
Thomas J. Herkenhoff, P.E.  
Date: 09.07.21 Lic. No.: 25220

Rev.	Date	Description

Project #: 12216011200  
 Drawn By: TURMTH  
 Checked By: TJH  
 Issue Date: 09.07.2021  
 Sheet Title: TYPICAL SECTIONS & DETAILS

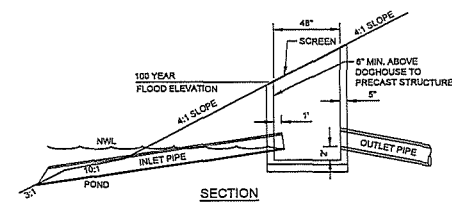
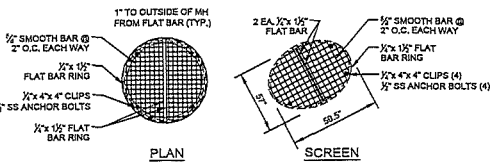
Sheet: **C700**





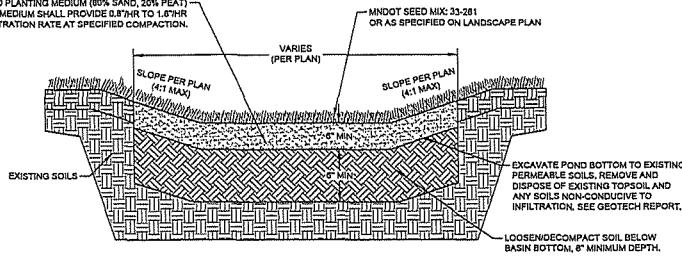
NOTE:  
FV300 MIRAFI FABRIC OR EQUAL

1  
C701  
RIP-RAP AT OUTLETS  
NOT TO SCALE



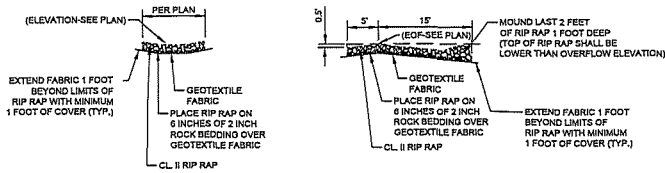
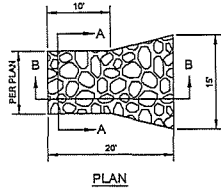
2  
C701  
POND SKIMMER STRUCTURE  
NOT TO SCALE

PRE-MIXED PLANTING MEDIUM (80% SAND, 20% PEAT)  
PLANTING MEDIUM SHALL PROVIDE 0.8\"/>

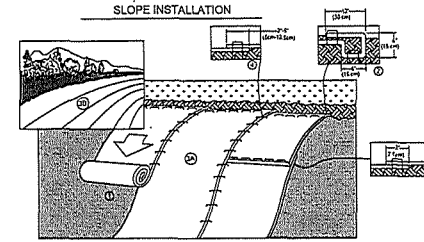


NOTES:  
1. THE EXISTING SOILS SHALL BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION TRAFFIC. AREAS SHALL BE STAKED AND MARKED OFF, WITH ONLY LOW IMPACT EQUIPMENT (TRACKED OR SIMILAR) ALLOWED.

3  
C701  
INFILTRATION BASIN  
CROSS SECTION  
NOT TO SCALE



4  
C701  
SECTION A-A SECTION B-B  
TYPICAL RIP RAP  
WEIR OVERFLOW  
NOT TO SCALE



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPA), INCLUDING ANY NECESSARY APPLICATION OF LIMB, FERTILIZER, AND SEED.  
NOTE: 1 INCH USING CELL-SEED DO NOT SEED PREPARED AREA. CELL-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPA IN A 4\"/>

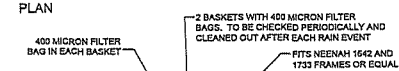
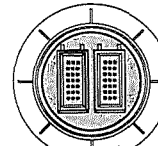


1648 HIGHWAY 41 NORTH  
DUMKILLE, MN 55303  
800-732-2946  
www.nagreen.com

Category 4 Erosion Control Blanket:  
North American Green S150 erosion control blanket or approved equal.  
Top Net: Polypropylene 1.5 lbs/1,000 ft<sup>2</sup> (0.73 kg/100 m<sup>2</sup>) approx. wt.  
Bottom Net: Polypropylene 1.5 lbs/1,000 ft<sup>2</sup> (0.73 kg/100 m<sup>2</sup>) approx. wt.  
Straw Fiber: 0.50 lbs/ft<sup>2</sup> (0.27 kg/m<sup>2</sup>)  
Thread: Photodegradable

Staples/Anchors:  
The type of anchors used to secure the blanket to the ground shall be Steel wire #1 Gauge 1\"/>

5  
C701  
EROSION CONTROL BLANKET  
NOT TO SCALE



6  
C701  
INFRASAFE INLET  
PROTECTION DEVICE (OR EQUAL)  
NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION

Larson  
Engineering, Inc.  
816 W. St. Germain Street  
Suite 208  
Mankato, MN 56001  
507.774.8844  
www.larsoneng.com

JESSE OSBORNE, CSF  
DEVELOPMENT, LLC  
16800 HWY. 65 NE  
HAM LAKE, MN 55304

CREEKSIDE FARMS  
DEVELOPMENT  
HAM LAKE, MN 55304

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.  
Date: 09.07.21 Lic. No.: 25520

Rev.	Date	Description

Project #: 12216011000  
Drawn By: TJRMTH  
Checked By: TJH  
Issue Date: 09.07.2021  
Sheet Title:

DETAILS  
Sheet:  
**C701**



**STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE**

**PROJECT DESCRIPTION / LOCATION**

THE PROJECT CONSISTS OF THE CONSTRUCTION OF TWO NEW ROADWAYS AND STORM SEWER. THE SITE WILL BE ROUGH GRADED FOR A FUTURE COMMERCIAL DEVELOPMENT. THE PROJECT IS LOCATED AT APPROXIMATELY 18800 HWY 65 IN HAM LAKE.

THE PROJECT INCLUDES:  
 \*GRADING  
 \*PAVING  
 \*UTILITIES  
 \*STORM SEWER  
 \*TURF ESTABLISHMENT

**PLANS**

THE PLANS SHOW THE PROJECT LIMITS.

**ENVIRONMENTALLY SENSITIVE AREAS**

PUBLIC WATERS LOCATED WITHIN 1 MILE OF THE PROJECT BOUNDARY AREA IDENTIFIED IN THE TABLE BELOW.

**RECEIVING WATERS IMPAIRMENT**

COUNTY DITCH 58 NONE

**OUTSTANDING RESOURCE VALUE WATERS (ORVWs)**

NONE

**CALCAREOUS FENS**

THERE ARE NO CALCAREOUS FENS WITHIN 1 MILE OF THE PROJECT BOUNDARY.

**ARCHAEOLOGICAL, HISTORICAL, AND ARCHITECTURAL RESOURCES**

THERE ARE NO KNOWN ARCHAEOLOGICAL, HISTORICAL, OR ARCHITECTURAL RESOURCES WITHIN THE PROJECT BOUNDARY.

**ENDANGERED AND THREATENED SPECIES REVIEW**

THE UNCLE AND RARE BLANDING'S TURTLE HAS BEEN FOUND IN THIS AREA. BLANDING'S TURTLE ARE STATE-LISTED AS THREATENED AND ARE PROTECTED UNDER MINNESOTA STATUTE 84.095. PROTECTION OF THREATENED AND ENDANGERED SPECIES. BLANDING'S TURTLE NOTICE MUST BE POSTED ON-SITE DURING CONSTRUCTION.

**TOTAL MAXIMUM DAILY LOAD (TMDL) WATERS**

NA

**LAND FEATURE CHANGES**

TOTAL PROJECT AREA DISTURBED:	33.3 ACRES±
TOTAL EXISTING IMPERVIOUS SURFACE AREA:	0.58 ACRES
TOTAL EXISTING PERVIOUS SURFACE AREA:	32.74 ACRES
TOTAL PROPOSED IMPERVIOUS SURFACE AREA:	2.84 ACRES
TOTAL PROPOSED PERVIOUS SURFACE AREA:	30.46 ACRES

**TIMING OF BMP INSTALLATION**

THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED AS NECESSARY TO MINIMIZE EROSION FROM DISTURBED SURFACES AND CAPTURE SEDIMENT ON SITE. EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO ANY DEMOLITION AND/OR CONSTRUCTION.

**DRAINAGE COMPUTATIONS**

STORMWATER RUNOFF FROM THE SITE IS DIRECTED TO ONE OF THE PROPOSED BASINS TO MEET WATER QUALITY REQUIREMENTS. RUNOFF ULTIMATELY DISCHARGES INTO THE DITCH ON THE WEST SIDE OF THE SITE.

**PROJECT CONTACTS**

PROJECT ENGINEER:  
 LARSON ENGINEERING  
 818 WEST ST. GERMAIN, SUITE 303  
 ST. CLOUD, MN 56301  
 320-774-1944

OWNER:  
 JESSE OSBORNE  
 18800 HWY 65 NE  
 HAM LAKE, MN 55304  
 PHONE:

CONTRACTOR:

**MPCA 24 HOUR EMERGENCY NOTIFICATION:**

851-649-5451  
 800-422-0788

**SWPPP DESIGN, INSTALLATION & MANAGEMENT**

DESIGN: TOM HERKENHOFF (LARSON ENGINEERING) 320.428.5824

INSTALLER: TBD

MANAGEMENT: TBD

**CONSTRUCTION NOTES**

CONSTRUCTION SHALL BE GOVERNED BY THE PROJECT MANUAL. THE CONTRACTOR SHALL KEEP AND MAINTAIN THE INSPECTION AND MAINTENANCE RECORDS.

**PERMANENT STORMWATER MANAGEMENT**

PERMANENT STORM WATER IS BEING TREATED BY THREE INFILTRATION BASINS AND 3 WET PONDS LOCATED ON SITE. THE OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE INFILTRATION BASIN, RAIN GUARDIAN, AND UPSTREAM CATCH BASIN SLUMPS AFTER PROJECT COMPLETION AND ACCEPTANCE.

**SEQUENCE OF CONSTRUCTION ACTIVITIES**

- INSTALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLANS.
- COMPLETE THE REMOVALS AS NOTED ON THE PLANS.
- CONSTRUCT ALL TEMPORARY SEDIMENT TRAPS.
- CONSTRUCT DOWNSTREAM STORM SEWER.
- CONDUCT SITE GRADING.
- TEMPORARILY SEED DENuded AREAS PER NPDES REQUIREMENTS.
- CONTINUALLY STABILIZE THE NORMAL WETTER PERIMETER OF ALL AREAS WITHIN THE 200 LINEAL FEET OF THE SURFACE WATER OR THE PROPERTY EDGE.
- COMPLETE PERMANENT STABILIZATION.

**BMP PROJECT QUANTITY ESTIMATE (QUANTITIES ARE AN ESTIMATE ONLY AND MAY VARY)**

SILT FENCE:	10,425 LF
BIO LOG:	5,500 LF
INLET PROTECTION:	32 EA
EROSION CONTROL BLANKET:	24,800 SY±
ROCK CONSTRUCTION ENTRANCE:	2 EA

**STORM WATER POLLUTION PREVENTION PLAN (CONSTRUCTION ACTIVITY REQUIREMENTS)**

- THE CONTRACTOR WILL NEED TO IDENTIFY AN EROSION CONTROL SUPERVISOR IN GOOD STANDING WHO WILL BE KNOWLEDGEABLE AND HAS THE APPROPRIATE MPCA LICENSE IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL. BEST MANAGEMENT PRACTICES.
- EROSION CONTROL MEASURES SHOWN THE EROSION CONTROL PLAN ARE THE ABSOLUTE MINIMUM. THE CONTRACTOR SHALL INSTALL TEMPORARY EARTH DIKES, SEDIMENT TRAPS OR BASINS, ADDITIONAL SILTATION FENCING, AND/OR DISK THE SOIL PARALLEL TO THE CONTOURS AS DEEMED NECESSARY TO FURTHER CONTROL EROSION. ALL CHANGES SHALL BE RECORDED IN THE SWPPP.
- THE EROSION CONTROL SUPERVISOR WILL WORK WITH THE PROJECT ENGINEER TO OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs BEFORE, DURING AND AFTER CONSTRUCTION AS REQUIRED. THE BMP MEASURES SHALL REFERENCE CITY BMP DETAILS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE CONSTRUCTION STORMWATER PERMIT.
- THE CONTRACTOR WILL DEVELOP A CHAIN OF COMMAND WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE. THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION, AND A NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.
- THE CONTRACTOR WILL PREPARE A WRITTEN WEEKLY SCHEDULE OF PROPOSED EROSION CONTROL ACTIVITIES FOR THE PROJECT ENGINEERS APPROVAL.
- THE CONTRACTOR WILL PREPARE AND SUBMIT A SITE PLAN FOR THE FOR THE PROJECT ENGINEERS APPROVAL FOR WORK IN CRITICAL AREAS AS IDENTIFIED ON THE PLANS OR AS REQUESTED BY THE PROJECT ENGINEER.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY REMOVAL WORK AND/OR DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL THE POTENTIAL FOR EROSION HAS BEEN ELIMINATED.
- ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS OR AS REQUIRED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE THAT HAS TEMPORARY OR PERMANENT CONSTRUCTION ACTIVITY COMPLETION.
- WORK IN DRAINAGE SWALES OR THE NORMAL WETTED PERIMETER OF ANY SURFACE WATER WILL REQUIRE STABILIZATION WITHIN 24 HOURS OF CONNECTION. THESE AREAS WILL INCLUDE ALL AREAS THAT DRAIN WATER WITHIN 200 FEET FROM THE PROPERTY EDGE OR POINT OF DISCHARGE TO ANY SURFACE WATER. RAPID STABILIZATION WILL BE USED IN THESE AREAS.
- DITCHES AND EXPOSED SOILS MUST BE KEPT IN A SMOOTH ROUGH GRADED CONDITION IN ORDER TO BE ABLE TO APPLY EROSION CONTROL MULCHES AND BLANKETS.
- ALL EXPOSED SOIL AREAS WILL BE STABILIZED PRIOR TO THE ONSET OF WATER. ANY WORK STILL BEING PERFORMED WILL BE SNOW MULCHED, SEEDED, OR BLANKETED.
- SEDIMENT CONTROL DEVICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN. THE TIMING OF THE INSTALLATION OF THE SEDIMENT CONTROL DEVICES CAN BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING AND GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL DEVICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED IN ACCORDANCE WITH THE NPDES PERMIT.
- A SILT FENCE SHALL BE INSTALLED SO THAT IT FOLLOWS AS CLOSE AS POSSIBLE TO A SINGLE CONTOUR TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS DOWN GRADIENT OF ALL EXPOSED SOILS AND PRIOR TO DISCHARGING TO SURFACE WATERS WITH THE SILT FENCE HOOKED AT A MAXIMUM OF 100 FOOT INTERVALS AND SHALL CONTAIN NO MORE THAN 1/4 ACRE OF DRAINAGE AREA.
- DITCH CHECKS WILL BE INSTALLED AS INDICATED ON THE PLANS DURING ALL PHASES OF CONSTRUCTION.
  - TEMPORARY DITCH CHECKS WILL CONSIST OF USING ROCK DITCH CHECKS AND ROCK WEEPERS IN FRONT OF CULVERT INLETS.
- SEDIMENT DAMAGE FROM STOCKPILES WILL BE MINIMIZED BY PLACING A ROW OF SILT FENCE 6 FEET FROM THE TOE.
- ALL EXPOSED STOCKPILES LEFT FOR A PERIOD OF TIME SHALL BE TEMPORARILY STABILIZED ACCORDING TO THE NPDES PERMIT REQUIREMENTS BUT IN NO CASE LATER THAN 14 DAYS.
- STREET SURFACES SHALL BE SWEEP WITHIN 24 HOURS OF DISCOVERY OF SEDIMENT OR TRACKING WITH A VACUUM OPERATED BROOM SWEEPER. NO OPEN-BROOM SWEEPERS WILL BE ALLOWED.
- STORM SEWER INLETS WILL BE PROTECTED WITH THE APPROPRIATE BMPs FOR EACH SPECIFIC PHASE OF CONSTRUCTION.
- THE CONTRACTOR WILL COMPLY WITH THE REQUIREMENTS REGARDING POLLUTION PREVENTION MANAGEMENT DURING CONSTRUCTION, WHICH WILL INCLUDE PROVIDING:
  - CONCRETE WASHOUT FACILITIES/PROCESSES ACCORDING TO THE NPDES PERMIT REQUIREMENTS
  - SOLID WASTE COLLECTION AND REMOVAL
  - SECONDARY CONTAINMENT
  - HAZARDOUS WASTE STORAGE CONTAINERS AND SPILL KITS
- INSPECT THE CONSTRUCTION SITE ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. RAINFALL SHALL BE MEASURED USING AN ON-SITE RAIN GAUGE.
- BUILDING PRODUCTS WITH POLLUTANT POTENTIAL SHALL BE STORED UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS) OR IN SECURE CABINETS TO MINIMIZE CONTACT WITH STORMWATER.
- CHEMICALS (PESTICIDES, HERBICIDES, FERTILIZERS, TREATMENT CHEMICALS, ETC.) SHALL BE STORED UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS) OR IN SECURE CABINETS TO MINIMIZE CONTACT WITH STORMWATER.
- HAZARDOUS MATERIALS AND TOXIC WASTE (OIL, GAS, PAINT, ETC.) SHALL BE STORED IN SEALED CONTAINERS IN A STORAGE AREA WITH RESTRICTED ACCESS. STORAGE AREAS SHALL BE PROVIDED WITH SECONDARY CONTAINMENT PER MINNESOTA CHAPTER 7045. ALL DISPOSAL SHALL BE IN ACCORDANCE WITH STATE REGULATIONS.
- COLLECTION, STORAGE, AND DISPOSAL OF SOLID WASTE SHALL COMPLY WITH MINNESOTA ADMINISTRATIVE RULES 7035.0000 TO 7035.2016. STORAGE OF GARBAGE, REFUSE, AND OVERSIZE WASTE SHALL COMPLY WITH 7035.0700. RENOVATION AND DEMOLITION OPERATIONS SHALL COMPLY WITH 7035.0805.
- PORTABLE TOILETS SHALL BE MANAGED IN ACCORDANCE WITH MINNESOTA ADMINISTRATIVE RULES CHAPTER 7041.
- FUELING OF VEHICLES AND EQUIPMENT WILL BE PERFORMED IN A DESIGNATED, CONTAINED AREA. SPILL KITS SHALL BE READILY AVAILABLE AND DISPOSAL SHALL BE IN ACCORDANCE WITH STATE REGULATIONS. SPILLS WILL BE REPORTED IN ACCORDANCE WITH MINNESOTA STATUTE 115.051.
- WASHING OF VEHICLES AND EQUIPMENT WILL BE PERFORMED IN A DESIGNATED, CONTAINED AREA. RUNOFF FROM THE WASHING AREA SHALL BE CONTAINED IN A SEDIMENT BASIN AND WASTE SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE REGULATIONS.
- CONCRETE AND WASHOUT WASTES (STUCCO, PAINT, RELEASE OILS, CURING COMPOUNDS, ETC.) SHALL BE PERFORMED IN A DESIGNATED, CONTAINED AREA. SO THAT WASTES DO NOT CONTACT THE GROUND. LIQUID AND SOLID WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE REGULATIONS. A SIGN SHALL BE POSTED AT THE WASHOUT AREA FOR IDENTIFICATION AND INSTRUCTIONS.
- DEWATERING OR BASIN DRAINING ACTIVITIES OF TURBID OR SEDIMENT LADEN WATER WILL BE CHARGED TO TEMPORARY SEDIMENT BASINS WHENEVER POSSIBLE. IN THE EVENT THAT IT IS NOT POSSIBLE TO DISCHARGE THE SEDIMENT LADEN WATER TO A TEMPORARY SEDIMENT BASIN THE WATER MUST BE TREATED SO THAT IT DOES NOT ADVERSELY AFFECT RECEIVING WATERS OR DOWNSTREAM LANDOWNERS.
- THE CONTRACTOR WILL NEED TO PROVIDE LICENSED EROSION CONTROL SUPERVISOR WHO CAN INSPECT THE SITE FOR NPDES PERMIT COMPLIANCE. MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES (BMPs) WILL BE REQUIRED AS SET FORTH IN THE PREVIOUSLY NAMED SECTIONS.
  - THE EROSION CONTROL SUPERVISOR WILL NEED TO CONDUCT ROUTINE INSPECTIONS OF THE ENTIRE CONSTRUCTION SITE AS REQUIRED BY THE NPDES PERMIT
  - DATE AND TIME OF INSPECTION
  - NAME OF PERSONS CONDUCTING INSPECTIONS
  - CORRECTIVE ACTIONS TAKEN
  - DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCHES IN 24 HOURS
  - DOCUMENTS AND CHANGES MADE TO THE SWPPP
  - MAINTENANCE ACTIVITIES
- MAINTENANCE WILL BE PERFORMED WITHIN A PERIOD PER PERMIT REQUIREMENTS.
  - SILT FENCE REPAIRS SHOULD BE MADE WHEN IT BECOMES NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT OF THE FENCE
  - INLET PROTECTION DEVICES SHOULD BE REPAIRED WHEN THEY BECOME NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT AND/OR DEPTH OF THE DEVICE
  - TEMPORARY SEDIMENT BASIN MUST HAVE THE SEDIMENT REMOVED ONCE THE SEDIMENT HAS REACHED 1/2 THE STORAGE VOLUME
  - TRACKED SEDIMENT MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OF OFF SITE TRACKING ONTO PAVED SURFACES
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL BMPs UNTIL WORK HAS BEEN COMPLETED. SITE HAS GONE UNDER FINAL STABILIZATION, AND THE NOTICE OF TERMINATION HAS BEEN SUBMITTED TO THE MPCA IN ACCORDANCE WITH THE CONSTRUCTION GENERAL PERMIT
- BURNING OF TREES, BRUSH, OR OTHER VEGETATED MATERIAL IS NOT ALLOWED WITHIN THE PROJECT BOUNDARIES.
- THE CONTRACTOR MAY SKIP TEMPORARY OR RAPID STABILIZATION METHODS IF THEY CHOOSE TO STABILIZE AN AREA WITH PERMANENT STABILIZATION WITHIN THE APPROPRIATE TIME FRAMES OUTLINED IN THE PERMIT FOR THE DIFFERENT ACTIVITIES.
- IF TEMPORARY OR PERMANENT COVER WILL NOT BE ESTABLISHED BY NOVEMBER 15, PROVIDE DESIGNATED MEASURES TO CONTROL SPRING EROSION AND SEDIMENTATION.
- ALL SEDIMENT DEPOSITED INTO A WATER OF THE STATE MUST BE REMOVED IMMEDIATELY OR AS REQUIRED BY THE NPDES PERMIT.
- OUTLETS INTO SURFACE WATERS SHALL BE STABILIZED WITH EROSION DISPERSSION WITHIN 24 HOURS. ALL RIP RAP SHALL BE INSTALLED WITH A FILTER MATERIAL OR SOIL SEPARATION AND COMPLY WITH THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- A 50 FOOT NATURAL BUFFER SHALL BE PRESERVED ADJACENT TO SURFACE WATERS. IF WORK ENDOUCHES THE SURFACE WATER AS A COMPONENT OF THE WORK, REDUNDANT SEDIMENT CONTROLS SHALL BE INSTALLED.
- ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITY IS REACHING THE INFILTRATION AREA.
- SOILS WITHIN INFILTRATION AREAS SHALL BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION TRAFFIC. AREAS SHALL BE STAKED AND MARKED OFF, WITH ONLY LOW IMPACT EQUIPMENT (TRACKED OR SIMILAR) ALLOWED. IF COMPACTION DOES OCCUR, SOILS SHALL BE DE-COMPACTED TO THE DEPTH NECESSARY TO ALLEVATE COMPACTED SOILS.

**PRELIMINARY NOT FOR CONSTRUCTION**

Project Title: **CREEKSIDE FARMS DEVELOPMENT**

Ham Lake, MN 55304

Project No: 12216011.000

Drawn By: TJR/MT

Checked By: TJH

Issue Date: 08.07.2021

Sheet Title: **SWPPP**

Sheet: **C800**

**Larson Engineering, Inc.**  
 818 W. St. Germain Street  
 Suite 308  
 St. Cloud, MN 56301  
 www.larsoneng.com

**JESSE OSBORNE, CSF DEVELOPMENT, LLC**  
 18800 HWY. 65 NE  
 HAM LAKE, MN 55304

*Thomas J. Herkenhoff, P.E.*  
 Thomas J. Herkenhoff, P.E.  
 Date: 08.07.21 Lic. No.: 25250

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

the public is expected to drive, park or walk shall be paved with bituminous or concrete material according to specifications to be established by the City's engineer.

- vii) A Site Plan shall be reviewed and approved by the City Council, after review and comment by the Planning Commission, which plan shall limit the number of units to be displayed, provide a landscaping plan, show the locations of all drives, walkways and parking areas, and provide photographic samples of the styles of units to be displayed.
- ix) The City Council may attach such other conditions to the Temporary Conditional Use Permit as are deemed appropriate or necessary to protect public safety, health or welfare, or to protect nearby property values.

### **9-220.3 Commercial Development II (CD-2)**

The CD-2 Districts are located adjacent to the CD-1 Districts, and constitute a second tier of commercial activities along the T.H. 65 corridor. These districts also have importance in presenting a visually pleasing image to the traveling public, but are less visible from the T.H. 65 roadway than the CD-1 districts.

#### **a) Standards for Site and Building Construction**

- i) Metal or pole-type buildings shall be permitted if surfaces meet the requirements of ii below, and, provided that no galvanized surface may appear, all roofs shall be colored and incorporate a minimum 18-inch soffit on eave edges, 12-inch overhang on gable ends, and 6-inch fascia.
- ii) Metal panel with exposed fasteners or architectural metal panel with hidden fasteners may be used for roof surfaces. All wall surfaces may be composed of metal panel, brick, decorative masonry, stone, precast panel, architectural concrete, glass, stucco or wood framed with horizontal lap siding. The exterior wall surface facing or with the most exposure to a public street or right-of-way, shall have a wainscot at least 42-inches in height which is composed of a contrasting color or material.

#### **b) Permitted Uses (Including uses that are ancillary to the main use)**

- All Permitted Uses in the CD-1 District
- Broadcasting Studios
- Building Supply Yards/Lumber Yards
- Enclosed Storage and Office/Warehousing
- Landscaping Businesses

- Manufacturing involving no non-enclosed storage
- Public Utilities (metal or pole type construction allowed)
- Research laboratories
- Used Vehicle Sales - limited to the following:
  - ATV's (all-terrain vehicles)
  - Automobiles
  - Boats
  - Campers
  - Golf Carts
  - Motorcycles, Motorbikes and Scooters
  - Recreational Vehicles
  - Snowmobiles
  - Commercial Trucks
  - Pickup Trucks
  - Trailers less than 30 feet in length
- Utility Companies

**c) Conditional Uses**

- All conditional uses or temporary conditional uses in the CD-1 District
- Flea Markets under Article 11-1500
- Kennels
- Pawn Shops under Article 11-1300
- Truck Terminals – as defined as a location where commercial trucks load and unload cargo on a regular basis with Large Truck and Equipment Repair (Body and Driveline Repair) as a secondary use
- \* • Self-storage facilities, but not including the limitations and conditions imposed for such facilities as found in Article 9-220.2 (c).
- Concrete Masonry

**9-220.4 Commercial Development III (CD-3)**

The CD-3 zones are areas of the City that are located outside of the TH 65 Corridor, which are suitable for certain institutional actives; neighborhood retail, or which operate under historic permits, and which involve no outside storage of supplies, equipment or inventory excepting motor vehicles used in the business (unless specifically allowed by historic permit) and except as stated below:

which locations the Yard Areas shall be a logical extension or expansion of the generally rectangular or ovoid shape of the Eligible Building Area. Fill may be used to create Yard Area.

**D. Building Pad Areas** The entire Building Pad must lie within the Eligible Building Area, and shall meet the separation requirements for the Eligible Building Area.

**E. Low Floor Elevations**

- i) For walkout designs, the low floor elevation shall be at least one foot above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.
- ii) For other designs, the low floor elevation shall be at least one foot above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.



**F. Exception to Soils Condition** If the requirements of Article 10-202(B)(iii) cannot be met in regard to the possible usage of a Standard System ISTS for any lot or lots in a proposed subdivision, by reason of the soils having been disturbed or compacted by activities which pre-dated the subdivision application, and which conditions were not caused by or at the direction of the subdivider, or, if said requirements cannot be met after final plat approval because of unusual mottling conditions which were not ascertained by the developer after doing due diligence in completing and analyzing soil borings during the Preliminary Plat process, and in accord with City requirements for such borings, the City Council may waive the requirement that the ISTS be constructed on Undisturbed Soils, and may allow the usage of "Other Systems" as that term is defined in Article 11-450.1(F) of this Code. Where "Other" systems are so permitted, it shall be the obligation of the lot owner to provide actual field designs for each such proposed system, prepared by a qualified ISTS designer, prior to obtaining a building permit. The design standards shall be as directed by the City's Building Official. Where an "Other" system is allowed, upon recommendation of the City's Building Official, the design must include the concept of "time-dosing", meaning a periodic distribution of effluent which is electronically controlled.

**10-400 Administration and General Conditions**

# SKETCH AND DESCRIPTION

~for~ CREEKSIDE FARMS DEVELOPMENT

## EASEMENT DESCRIPTION

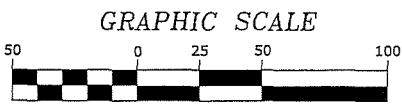
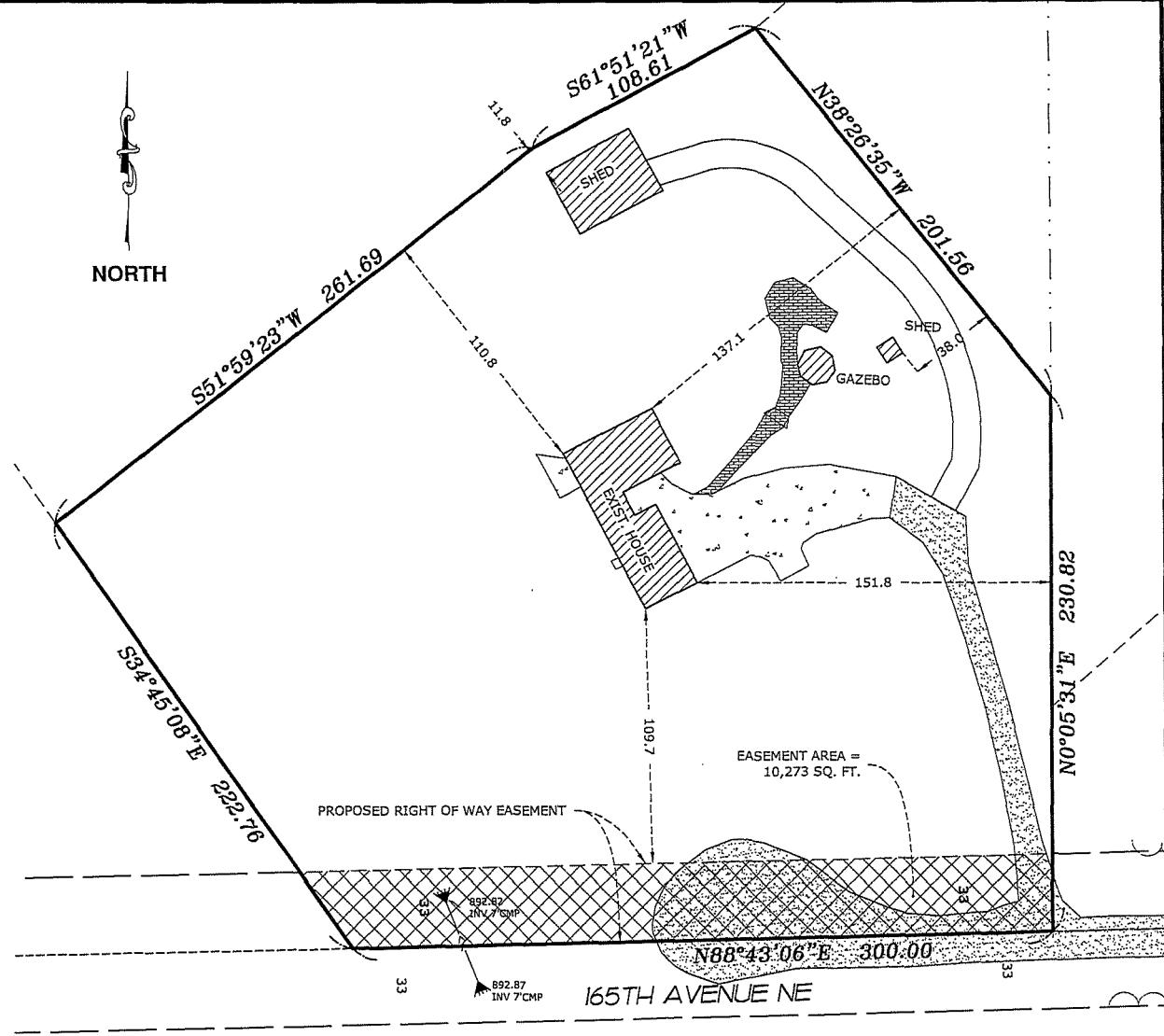
The South 33 feet of that part of the Southwest Quarter of the Southwest Quarter, Section 8, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Southwest corner of said Southwest Quarter of the Southwest Quarter; thence North 88 degrees 43 minutes 06 seconds East, assumed bearing along the South Line of said Southwest Quarter of the Southwest Quarter, a distance of 500.00 feet to the point of beginning of the parcel to be described; thence continuing North 88 degrees 43 minutes 06 seconds East, a distance of 300.00 feet; thence North 00 degrees 05 minutes 31 seconds East and parallel with the West line of said Southwest Quarter a distance of 230.82 feet; thence North 38 degrees 26 minutes 35 seconds West, a distance of 201.56 feet; thence South 61 degrees 51 minutes 21 seconds West, a distance of 108.61 feet; thence South 51 degrees 59 minutes 23 seconds West, a distance of 261.69 feet to its intersection with a line that bears North 34 degrees 45 minutes 08 seconds West from the point of beginning; thence South 34 degrees 45 minutes 08 seconds East, a distance of 222.76 feet to the point of beginning.


I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

  
 JASON E. RUD

Date: 5/14/2021 License No. 41578



1 INCH = 50 FEET

 DENOTES EASEMENT AREA

DRAWN BY: CMB	JOB NO: 19444PP	DATE: 05/14/21	
CHECK BY: JER	FIELD CREW:		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

**E. G. RUD & SONS, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 6776 LAKE DRIVE NE, SUITE 110  
 LINO LAKES, MINNESOTA 55014  
 TEL. (651) 361-8200  
 FAX (651) 361-8701  
 www.egrud.com

# LOT LINE ADJUSTMENT

~of~ CREEKSIDE FARMS  
 ~for~ CREEKSIDE FARMS FARMS DEVELOPMENT  
 16800 HWY. 65 NE  
 HAM LAKE, MN 55304  
 (651) 403-0782

## EXISTING LEGAL DESCRIPTIONS

(FOR THE COMMERCIALS PREPARED BY THE FEE GROUP, INC. FILE NO. 2505031193)

Parcel A, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel B, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel C, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel D, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel E, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel F, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel G, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel H, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel I, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel J, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel K, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel L, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel M, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

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Parcel Q, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel R, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel S, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel T, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel U, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel V, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel W, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel X, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel Y, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel Z, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

## PROPOSED LEGAL DESCRIPTIONS

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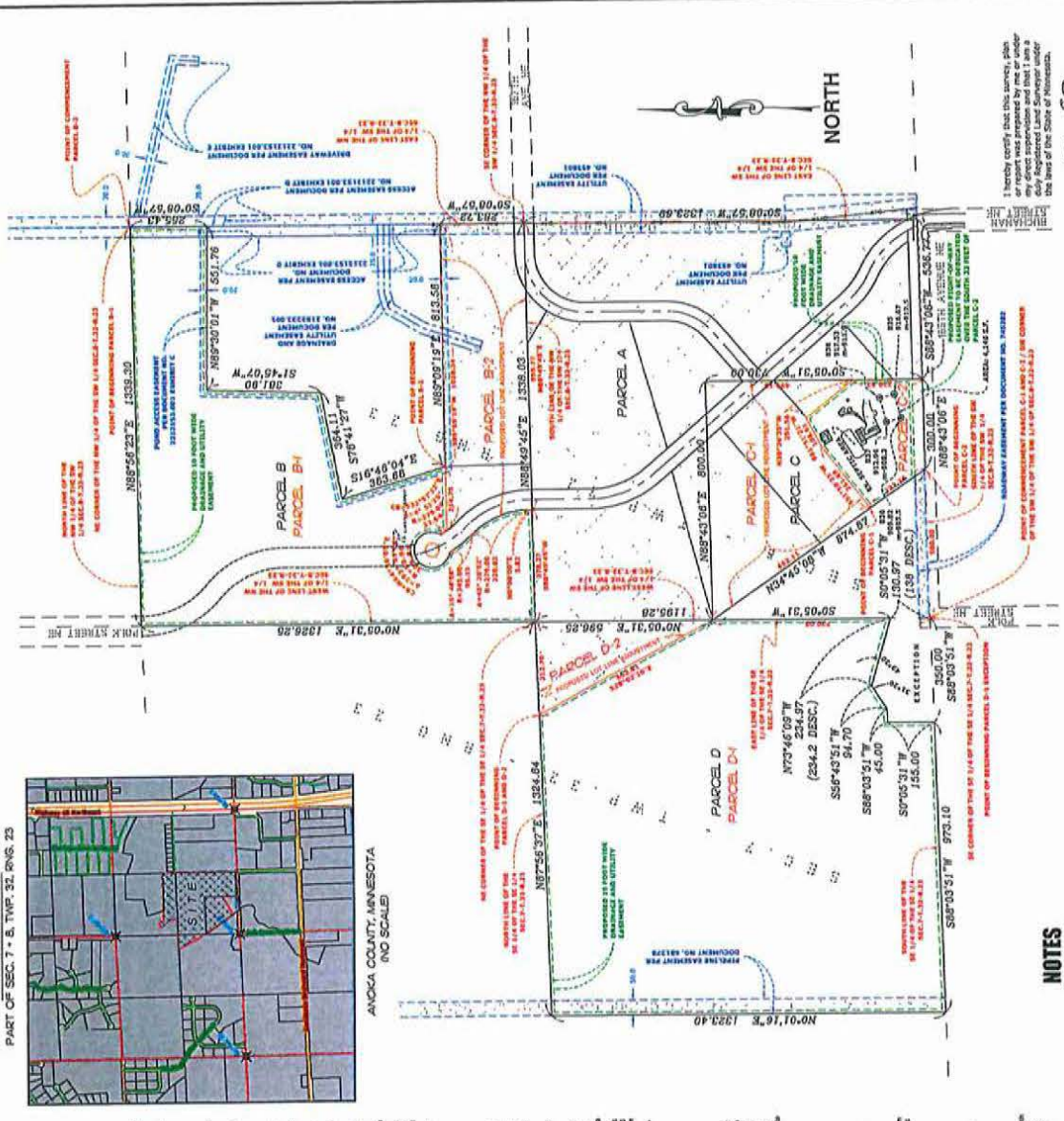
Parcel Y, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.

Parcel Z, Section 4, Township 23, Range 23, Anoka County, Minnesota. EXCEPT THE SOUTH 750 FEET THEREOF.



VICINITY MAP  
 PART OF SEC. 7 • S. TWP. 32, R. 23

ANOKA COUNTY, MINNESOTA  
 (NOT SCALED)



## LEGEND

- DENOTES EXISTING EASEMENT
- DENOTES EXISTING BOUNDARY
- DENOTES PROPOSED BOUNDARY
- DENOTES PROPOSED DAMAGE AND UTILITY EASEMENT
- DENOTES SOIL BOUNDING. (BY MARK TROUSDELL)

## NOTES

1. I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
2. This survey was prepared without the benefit of title work. Additional easements, restrictions or other interests may exist in the land shown herein. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
3. Bearings shown are on Anoka County datum.
4. This survey was prepared without the benefit of title work. Additional easements, restrictions or other interests may exist in the land shown herein. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.

DATE	5/13/2023	LOGBOOK NO.	41578
DRAWN BY	DLR	REVISION	DATE
CHECKED BY	DLR	BY	DATE
DATE	5/13/2023	CITY	MINNEAPOLIS
NO.	1	STATE	MINNESOTA

## DEVELOPMENT DATA

- TOTAL SITE AREA = 233.234 ACRES
- PROPOSED DEVELOPMENT AREA = 43.824 ACRES
- CONULOT AREA = 1.374 ACRES
- AVERAGE LOT SIZE = 3.374 ACRES
- HIGHWAY STREET FRONTAGE = 200 FEET
- HIGHWAY LOT SIZE = 1.10 ACRES (INCLUDING HALF OF STREET ROW)
- PROPOSED ZONING = C-2
- BOUNDARY SURVEILLANCE:
  - ROOF = 3 FEET
  - FOUNDATION = 30 FEET
  - SEAW = 30 FEET
  - SETBACK TO RESIDENTIAL OR RFD USES:
    - FRONT = 30 FEET
    - REAR = 20 FEET
    - SIDE = 10 FEET
  - WETLAND BUFFER = 15 FT OR 25 FEET



**E.G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-6000 Fax (651) 361-6701  
 www.egrud.com



Larson Engineering, Inc.  
818 W. St. Germain Street  
St. Cloud, MN 56301  
320.774.1944  
www.larsoneng.com

JESSE OSBORNE, CSP  
DEVELOPMENT, LLC  
16600 HWY, 65 NE  
HAM LAKE, MN 55304

CREEKSIDE FARMS  
DEVELOPMENT  
HAM LAKE, MN, 55304

PLEASE CONTACT THE PROJECT ENGINEER AT THE OFFICE OR BY PHONE FOR ANY INFORMATION. THIS PLAN IS THE PROPERTY OF LARSON ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF LARSON ENGINEERING, INC.

Thomas J. Larsson, P.E.  
Project Engineer  
Larson Engineering, Inc.  
818 W. St. Germain Street  
St. Cloud, MN 56301  
320.774.1944

No.	Date	Description

Project No: 122222222  
Drawn By: JCL  
Checked By: JCL  
Issue Date: 03/28/2011  
Sheet Title: PRELIMINARY FLOOD PLAIN MITIGATION

PRELIMINARY FLOOD PLAIN MITIGATION  
C601

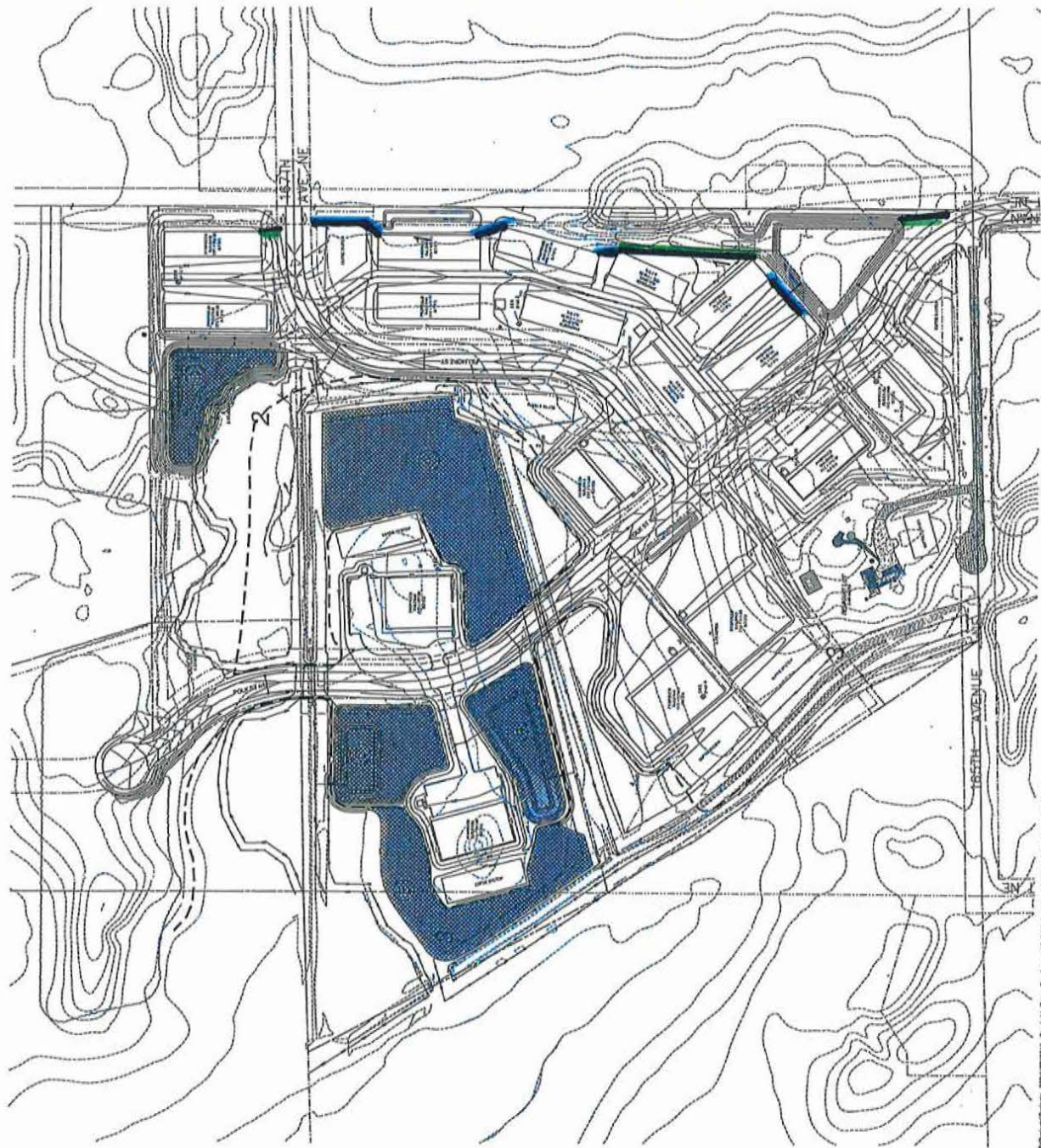
PRELIMINARY NOT FOR CONSTRUCTION

**MITIGATION LEGEND**

- FLOODPLAIN ELEVATION PER COOK CREEK WATERSHED DISTRICT - 100.00'
- PROPOSED FLOODPLAIN ELEVATION BOUNDARY LINE AT ELEV. 100.8
- FLOODPLAIN COMPENSATORY STORAGE VOLUME MITIGATION AREA = 7,289 CY
- FLOODPLAIN STORAGE VOLUME IMPACT = 7,440 CY
- COMPENSATORY STORAGE VOLUME = 7,289 CY
- NOTE: COMPENSATORY FLOOD STORAGE VOLUME WITH AREA AS SHOWN IS CALCULATED AS THE VOLUME CONTAINED BETWEEN THE 100.8 AND 100.0 ELEVATION.
- AREA 'A' = 4,178 CY
- AREA 'B' = 3,111 CY
- AREA 'C' = 1,382 CY
- AREA 'D' = 1,382 CY
- AREA 'E' = 1,177 CY
- TOTAL COMPENSATORY STORAGE PROVIDED = 7,289 CY
- 1,288 CY = 7,440 CY (80%)

Green  
fine tree screen silt 10ft apart

Blue  
color matched with the primary fence



Project: 12222222 - Creekside Farms Development, 16600 Highway 65 NE, Ham Lake, MN 55304

**PERMIT**  
**COON CREEK WATERSHED DISTRICT**  
 13632 Van Buren St NE  
 Ham Lake, MN 55304  
 Permit Number: 2113

**Project:** Creekside Farms

**Issued to:** Jesse Osborne  
 16800 Hwy 65  
 Ham Lake, MN 55304

**Location:** West of 16800 Hwy 65, Ham Lake

**Permit Application #:** 21-033

**Purpose:** 7 lot commercial development, 10 building storage facility, streets and stormwater infrastructure

At its meeting on June 14, 2021, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Construction Plan set (19 sheets); by Larson Engineering Inc., dated 7/28/2021, received 8/02/2021.
2. Preliminary Plat; by Larson Engineering Inc., dated 5/12/21, received 5/12/21.
3. Livability Plan; by Larson Engineering Inc., dated 5/12/21, received 5/12/21.
4. Lot Line Adjustments; by E.G. Rud, dated 4/26/2021, received 4/28/2021.
5. Stormwater Management Plan; by Larson Engineering Inc., dated 6/02/2021, received 6/02/2021.
6. Geotechnical Report; by Haugo, dated 1/5/2021, received 3/31/2021.
7. Report of Geotechnical Exploration; by ITCO Allied Engineering, dated 4/30/2020, received 3/31/2021.
8. Piezometer Report; by Haugo, dated 10/2/2020, received 3/31/2021.
9. Septic Soil Borings 1&2; by Tradewell Soil Testing, dated 7/19/2019, received 3/31/2021.
10. Wetland Delineation Report; by Jacobson Environmental, dated 6/6/2019, received 7/3/2019.
11. Wetland Delineation Report; by Jacobson Environmental, dated 4/17/2020, received 4/30/2020.
12. Wetland Replacement Plan; by Jacobson Environmental, dated 4/28/2021, received 4/28/2021.

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 3 stipulations.

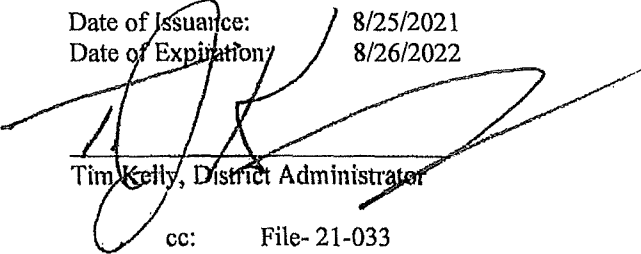
1. Submittal of as-builts for the following stormwater management practices, including volume and proof of installation for hydrodynamic separators.

<b>Stormwater Treatment Practices</b>	<b>Number</b>
Infiltration Basins	3
Wet Pond	3
Sump Manhole w/ SAFL Baffle	6
RainGuardian	1
Outlet Control Structure	5

2. Completion of post construction infiltration tests on basins 4P, 5P and 6P by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.
3. If dewatering is required for the construction of the proposed project, provide DNR dewatering permit and well-field location, rates, discharge location, schedule and quantities or a note on plans stating dewatering plans must be submitting to the district 7 days prior to activity for review and approval.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.  
This document is not transferable.

Date of Issuance: 8/25/2021  
Date of Expiration: 8/26/2022



Tim Kelly, District Administrator

cc: File- 21-033  
Fileen Weigel, Stantec  
Danielle Tourtillott, Stantec  
Ed Matthiesen, Stantec  
Tom Collins, Ham Lake

**\*\*\*IMPORTANT PERMIT REQUIREMENTS OUTLINED ON REVERSE\*\*\***

**GENERAL PERMIT STIPULATIONS:**

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
  - a. You fail to comply with the terms and conditions of this permit.
  - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
  - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

**ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:**

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED. Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

**REFUNDING OF ESCROWS:** Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.