

# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
info@ci.ham-lake.mn.us

## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY AGENDA MONDAY, FEBRUARY 5, 2024

### 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

### 2.0 PUBLIC COMMENT

### 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

3.1 Karen Skepper, Executive Director of Anoka County HRA, discussion of the county-wide housing study

### 4.0 CONSENT AGENDA

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

4.1 Approval of minutes of January 16, 2024 and Workshop Meeting Minutes of January 29, 2024

4.2 Approval of claims

4.3 Approval of scheduling the Recycling Days for Saturday, May 4th and Saturday, September 7, 2024

4.4 Approval of the Arbor Day Proclamation for May 4, 2024

4.5 Approval of Excluded Bingo for four dates (March 7<sup>th</sup>, April 7<sup>th</sup>, October 7<sup>th</sup>, and November 7, 2024) for Blaine Central Alano, 13536 Highway 65 NE

4.6 Approval of the reappointment of Erin Dixson, Jonathan Fisher and Jeff Entsminger as Planning Commissioners with the term of March 15, 2024 to March 15, 2027

4.7 Approval of purchasing Aluminum Park Bleachers and Hip Shade replacement fabric

4.8 Approval of hiring part-time snowplow driver John Abbott

4.9 Approval of a Resolution appointing Election Judges for the Presidential Nomination Primary on March 5, 2024 and allowing the City Clerk to appoint additional judges as needed

4.10 Approval of purchasing a Pumper Tanker for the Fire Department using Public Safety Aid

4.11 Approval of Amendment to Hidden Forest East Fourth Addition Development Agreement and adoption of a Resolution

### 5.0 PLANNING COMMISSION RECOMMENDATIONS

5.1 Angela Oldenburger of Paxton Properties, LLC, requesting a Conditional Use Permit to operate White & Sable, LLC, an event center at 15485 Baltimore Street NE and adoption of a Resolution

5.2 Angela Oldenburger of Paxton Properties, LLC, requesting Commercial Site Plan approval to construct a 10,381 square foot event center at 15485 Baltimore Street NE, PID# 20-32-23-12-0027

### 6.0 ECONOMIC DEVELOPMENT AUTHORITY – None

### 7.0 APPEARANCES – None

### 8.0 CITY ATTORNEY

### 9.0 CITY ENGINEER

### 10.0 CITY ADMINISTRATOR

### 11.0 COUNCIL BUSINESS

11.1 Committee Reports

11.2 Discussion of the request for funding for Trunk Highway 65 and Bunker Lake Boulevard NE (CSAH 116) engineering interchange design

11.3 Announcements and future agenda items

# Anoka County Housing Needs Assessment

October 2023

# Key Findings

- Robust household growth in Anoka County and Twin Cities metro area
- Labor shortages remain
- Tight rental market with vacancy rate of 2.3%
- Dramatic increase in for-sale home prices
- Housing affordability continues to decrease in all markets but especially for low and moderate-income households
- Demand for all types of housing through 2030
- Potential demand for 18,041 new housing units

# Housing Demand

- The Twin Cities Metro area continues to add households, despite a downturn resulting from the Pandemic
- Labor shortages continue in many industry segments
- Shortages remain for in-person industries is expected to continue for some time.
- Anoka County has experienced strong development of new rental housing product in the “suburban” communities
- Production of rental units in more rural areas is a missing piece
- Strong demand for affordable units across the county with very limited vacant units
- General Occupancy demand projected – **8,295 owner occupied** units and **4,509 rental units** between 2023 and 2030

# Senior Housing Demand

- Market rate      2,758 units (56%)
- Affordable      1,269 units (25%)
- Subsidized      666 units (19%)
- Senior housing   **5,237 units** by 2030 in addition to the general occupancy demand

# Anoka County is a Jobs Exporter

- The ratio of employed residents to jobs is 0.58
- Many residents commute from Anoka County to Hennepin or Ramsey County for higher paying jobs
- Median household income in Anoka County is \$90,027 but average wage in 2022 was \$64,212 for jobs in the county
- While rents tend to be lower in Anoka County, new construction 2-bedroom rents exceed \$1,600 per month
- Anoka County workers can't afford the new construction rents

## Cost Burden - Renters

- The Department of Housing and Urban Development has a general benchmark of 30% of a household's adjusted gross rent is affordable
- In Anoka County, 42% of renters pay more than 30% of their income for rent making them cost burdened
- 22% of renters pay more than 50% of their income for rent making them severely cost burdened
- Renter households making less than \$35,000 per year – 82% are cost burdened with 60% severely cost burdened paying more than half of their income for rent

# Cost Burdened Homeowners

- 18% of all homeowners are cost burdened, paying more than 30% of their income for housing
- 6% of homeowners are severely cost burdened, paying more than 50% of their income for housing
- For homeowners earning less than \$50,000 per year the numbers increase to 58% cost burdened and 32% severely cost burdened
- The solution is either higher wages or affordable housing development



# Affordable Housing Production

- Currently 3,083 affordable units that are income restricted
- Need for an additional 1,935 affordable or subsidized units to meet 2030 demand
- This would require 150-200 units each year be developed over the next decade
- Public and Private sector efforts are needed to meet this goal
- Demand has increased for townhome and small lot single family development, but availability of product is limited
- Developers are increasing production of luxury townhomes/small lot

# Aging Baby Boomer Generation

- Aging population substantially impacts Anoka County growth
- This population is projected to have highest growth and is in their senior years
- This shifts housing demand for products other than single family
  - Association maintained villas and townhomes
  - Second homes
- Household size shrinking

# Home Sales

- Median resale Twin Cities – single family homes in 2023 was \$416,870
- Up 46% from 2018
- Anoka County had 2<sup>nd</sup> lowest median resale price in metro area at \$378,000 (in front of Ramsey County \$329,000)
- Time on market continues to be days rather than months
- Multiple offers on entry level housing creates bidding wars
- Metro area new construction single family median price \$500,000

# Household Growth 2020-2030

- Next decade Anoka County households anticipated to grow by 10.7% (14,391 households)
- Population growth anticipated at 8.7%
- Cities with highest proportional rates of household growth projected to between 20-28%
  - Hilltop
  - Ramsey
  - St Francis
  - Lino Lakes

# Average Household Size – Anoka County

- 2020 Average Anoka County household size 2.80 people
- Higher end of 7 metro area counties (average 2.55 people)
- Anoka County expected to remain stable to 2030
- Hennepin and Ramsey Counties decreasing through 2030
- Young families will offset older households downsizing
- Single family housing development will attract slightly larger households

# Household Mobility

- 89% of Anoka County households did not move in 2021
- Of the residents that moved: 5.4% moved from Anoka County but stayed in Minnesota
- Of those residents that moved: 4.1% moved to another Anoka County location
- Younger residents moved more often: 20% of those aged 25-34 moved within the last year compared to 5.2% of persons aged 75+

# Demographic Trends

- Household income in Anoka County is estimated to grow from \$90,027 in 2023 to \$106,359 in 2028
- 81% of Anoka County households own their housing
- Oak Grove has the fewest renters – 2.7% of their residents
- Anoka has the highest percentage of renters – 44%
- 39% of households renting in Anoka County were estimated to have only one person living in the household
- 38.5% of owner-occupied households have two people living in the home

# Demographic Trends

- 70% of households in Anoka County are families
- Married couples without children make up the largest share at 32.7%
- Among major cities in Anoka County, Lino Lakes has the highest estimated median net worth at \$579,563; Anoka had the lowest at \$108,403



# Employment Growth Trends

- In 2000 Anoka County had 110,050 jobs
- Number of jobs decreased to 106,387 between 2008-2011 (Great Recession)
- 2020 job recovery and rebounded to 113,111 jobs
- Record number of unemployment claims filed in spring of 2020
- Lockdown required non-essential workers stay home and closed all public venues including bars and restaurants
- Between 2020 and 2022 Anoka County is estimated to have bounced back with employment increasing by 15.1% over two years

# Employment Trends

- By 2030 Anoka County is forecast to have 137,890 jobs
- 2040 forecasts show 147,220 jobs in Anoka County
- By comparison, the Twin Cities Metro jobs rebounded by 11.7% between 2020 and 2022 with continued strong growth through 2040
- 75% of Anoka County jobs are located in 5 cities: Coon Rapids, Blaine, Fridley, Anoka and Ramsey
- 66% of new job growth is anticipated to occur in these 5 cities
- Ultra-low unemployment rates can be indicative of labor shortages putting pressure on wages

# Study Recommendations for Ham Lake

- Ham Lake has available single-family lots but no owned multifamily lots.
- Rental Housing anticipated to be well received in community
- Ham Lake will add 482 households from 2020-2030
- AND 600 additional households between 2030 -2040
- For-Sale Housing: conservative estimated demand for 223 single family and 56 owned multifamily owned housing lots
- City has 90 vacant developed single-family and 75 future lots
- Demand will remain strong but need to find alternatives for older households as they look for residences that offer a more convenient lifestyle.

# Ham Lake – Rental Housing

- Demand for 61 rental units in Ham Lake
- Suggest focus on market rate development
- The number above may be conservative as Ham Lake is likely to be able to attract additional demand from neighboring communities.

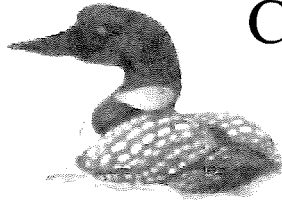
## Senior housing:

- Demand for senior housing is high, given aging population
- Recommend focus on active adult product short-term
- Recommend ownership or rental units

Karen Skepper, Director Community and  
Government Relations

[karen.skepper@anokacountymn.gov](mailto:karen.skepper@anokacountymn.gov)

763-324-4603



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## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY MINUTES TUESDAY, JANUARY 16, 2024

The Ham Lake City Council and Economic Development Authority met for its regular meeting on Tuesday, January 16, 2024 at 6:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Acting Mayor Jesse Wilken and Councilmembers Gary Kirkeide, Jim Doyle, and Al Parranto

**MEMBERS ABSENT:** Mayor Brian Kirkham

**OTHERS PRESENT:** City Attorney, Mark Berglund; City Engineer, Dave Krugler; City Administrator Denise Webster; and Deputy City Clerk, Dawnette Shimek

### 1.0 CALL TO ORDER - 6:00 P.M. – Pledge of Allegiance

Acting Mayor Wilken called the meeting to order and the Pledge of Allegiance was recited by all in attendance.

### 2.0 PUBLIC COMMENT

Kat Smithe, President and Valerie Jensen, Office Manager, were present representing Cars for Neighbors. Ms. Smithe stated that Cars for Neighbors is requesting that the City sign the Limited Use Dealers License application so their license can be reinstated as it recently lapsed. Ms. Smithe stated that Cars for Neighbors is a non-profit organization that provides low income individuals in Anoka County with car repair services or a car. Ms. Jensen stated that Cars for Neighbors requires a Limited Use Dealers License to accept donated cars. Ms. Jensen stated that they are a non-profit and they do not make money on these transactions. Ms. Jensen stated that they do not display vehicles for sale, but they place vehicle titles on hold until they decide what needs to be done with the vehicle. Ms. Jensen stated that if the donated cars are brought to Meineke in Ham Lake to be inspected to access if the car needs only minor repairs; if larger repairs are needed, the vehicle is scrapped and Cars for Neighbors receives the money for the scrapped vehicle. Ms. Jensen stated that the money received from the scrapped vehicles is used to repair other donated vehicles. Acting Mayor Wilken stated that the Council cannot act on this issue being it is not the agenda, but will plan to discuss this at a future workshop meeting. Councilmember Kirkeide stated that the City Council could discuss allowing a Conditional Use Permit for charitable use only. Councilmember Parranto stated he would like to see Cars for Neighbors be able to continue operating.

### 3.0 SPECIAL APPEARANCES/PUBLIC HEARINGS

#### 3.1 Lt. Anthony Mendoza, Anoka County Sheriff's Office Monthly Report

Lt. Mendoza was present before the City Council and gave a summary of the Sheriff's Report for the month of December 2023.

3.2 Karen Skepper, Executive Director of Anoka County HRA, discussion of the county-wide housing study

Karen Skepper, Executive Director of Anoka County HRA, was unable to attend the meeting.

**4.0 CONSENT AGENDA**

These items are considered to be routine and will be enacted in one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests, in which event the item will be removed from the Consent Agenda and considered in normal sequence. (All items listed on the Consent Agenda are recommended for approval.)

- 4.1 Approval of minutes of January 2, 2024 and Workshop Meeting minutes of January 2, 2024
- 4.2 Approval of claims in the amount of \$699,827.14
- 4.3 Approval of the 2025 Budget for the Sunrise Watershed Management Organization and Upper Rum River Watershed Management Organization
- 4.4 Approval of purchasing new AV Equipment for Fire Station #3 from Z Systems
- 4.5 Approval of accepting the 181<sup>st</sup> Avenue NE reconstruction project
- 4.6 Approval of Letters of Support for the Highway Safety Improvement Program (HSIP) Funding Application for a Roundabout at Lexington Avenue NE (CSAH 17) and Constance Boulevard NE (CR60) & Bunker Lake Boulevard NE (CSAH 116) and Naples Street NE in Ham Lake
- 4.7 Approval of an Off-Site Gambling Permit for The Way of the Shepherd to conduct a raffle on February 9, 2024 at Majestic Oaks Golf Club (701 Bunker Lake Boulevard NE)

**Motion by Kirkeide, seconded by Doyle, to approve the consent agenda as written. All present in favor, motion carried.**

**5.0 PLANNING COMMISSION RECOMMENDATIONS – None**

**6.0 ECONOMIC DEVELOPMENT AUTHORITY – None**

**7.0 APPEARANCES – None**

**8.0 CITY ATTORNEY**

Attorney Berglund stated that he is proposing that the City Council hold a workshop meeting to discuss Conditional Use Permits that are out of compliance or have been revoked, Cars for Neighbors, and a developer who cannot meet the terms of the developer's agreement that requires providing satisfactory proof of FEMA (Federal Emergency Management Agency) LOMA (Letter of Map Amendment) for some of the lots in the plat of Hidden Forest East Fourth Addition.

**9.0 CITY ENGINEER – None**

**10.0 CITY ADMINISTRATOR – None**

**11.0 COUNCIL BUSINESS**

11.1 Committee Reports – None

11.2 Discussion of the request for funding for Trunk Highway 65 and Bunker Lake Boulevard NE (CSAH 116) engineering interchange design

**Motion by Kirkeide, seconded by Parranto, to table the request for funding towards the engineering interchange design for Trunk Highway 65 and Bunker Lake Boulevard NE (CSAH 116). All present in favor, motion carried.**

11.3 Discussion of a proposed Workshop Meeting for Monday, January 29, 2024 at 5:00 p.m.  
**Motion by Wilken, seconded by Parranto, to schedule a workshop meeting for Monday, January 29, 2024 at 5:00 p.m. All present in favor, motion carried.**

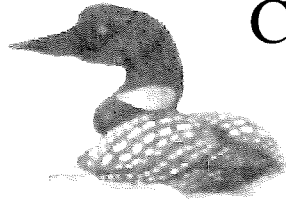
11.4 Announcements and future agenda items – None

**Motion by Kirkeide, seconded by Parranto, to adjourn the meeting at 6:19 p.m. All present in favor, motion carried.**

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Dawnette Shimek, Deputy City Clerk





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## CITY OF HAM LAKE CITY COUNCIL AND ECONOMIC DEVELOPMENT AUTHORITY WORKSHOP MEETING MINUTES MONDAY, JANUARY 29, 2024

The Ham Lake City Council met on Monday, January 29, 2024 at 5:00 p.m. in the Council Chambers at the Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Mayor Brian Kirkham and Councilmembers Jim Doyle, Gary Kirkeide, Al Parranto and Jesse Wilken

MEMBERS ABSENT: None

OTHERS PRESENT: City Attorney, Mark Berglund; City Engineer, Tom Collins; City Administrator, Denise Webster; Building and Zoning Official, Mark Jones; and Deputy City Clerk, Dawnette Shimek

### 1.0 Call to Order

Mayor Kirkham called the meeting to order at 5:00 p.m.

### 2.0 Discussion of H&H Construction Temporary Certificate of Occupancy

There was discussion that H&H Construction was near completion of their building except for the paving of the parking lot, curb and gutter, trees, fencing, etc. There was discussion that the City does not issue a Temporary Certificate of Occupancy if the parking lot is not completed. There was discussion regarding ADA (American Disability Act) compliance and that without the parking lot being completed, ADA compliance is not met and the concern would be if someone was to get hurt on the property. Attorney Berglund clarified to the City Council that staff nor the City Council caused the delay in the parking lot being completed and that the owner had ample time to complete the driveway. Engineer Collins stated that the City Code requires the driveway to be completed in order to get a Temporary Certificate of Occupancy. There was discussion to enter into an agreement with H&H Construction to allow a Temporary Certificate of Occupancy, with the terms being no customers allowed, a deadline of May 31, 2024 to complete the driveway, escrow amount to be determined by Building Official Jones and Engineer Collins, all city incurred fees be paid by H & H Construction, provide proof of insurance that indemnify' s the City of any liability regarding safety issues, and that the Temporary Certificate of Occupancy be revoked if these criteria are not met.. **It was the consensus of the City Council to have Attorney Berglund prepare an agreement with H&H Construction with conditions to obtain a Temporary Certificate of Occupancy.**

### 3.0 Discussion of Cars for Neighbors Limited Use Dealer's License

Attorney Berglund stated that Ham Lake is known for used car lots and the City Council decided years ago to not expand allowing anymore used car lots in Commercial Development Tier 1 (CD-1). There was discussion that the Cars for Neighbors Limited Use Dealer's License has recently lapsed and they need the City to sign a new form for them to give to the Minnesota Department of Public Safety to continue to donate cars to people in need. Attorney Berglund again reiterated that the lapsed of the Limited Use Dealer's License was not caused by staff nor the City Council. Kat Smithe, President and Valerie Jensen, Office

Manager, were present representing Cars for Neighbors. Ms. Jensen stated that with the Limited Dealer's License, they are not allowed to sell cars, they can only repair and donate a vehicle. Ms. Jensen stated that whatever vehicles cannot be repair or donated are junked and the money goes to Car for Neighbors to help repair other vehicles. Attorney Berglund stated that per the City Code as written, it might be possible for the Limited Use Dealer's License to be allowed at Meineke Car Care (13835 Johnson Street NE) with a Conditional Use Permit. **It was the consensus of the City Council to have Cars for Neighbors apply for a Conditional Use Permit for a Limited Use Dealer's License located at Meineke Car Care.**

4.0 Discussion of the revoked Conditional Use Permit for Foster Trucking located at 1561 Bunker Lake Boulevard NE

Attorney Berglund stated that he met with Noel Foster regarding his revoked Conditional Use Permit (CUP) back in 2020 for not constructing a building, which was part of the conditions of the CUP. Attorney Berglund stated that it was a very informative conversation. Attorney Berglund stated that Mr. Foster told him that years ago, the previous City Attorney Bill Dorn met with him and told him his business of trucks coming and going was permissible under the City Code as long as all the trucks were located behind the fence. Attorney Berglund stated that per the previous approval of Mr. Fosters CUP, he was planning to construct a building but ran out of funds and was unable to construct the building. Attorney Berglund stated that there are four choices; 1) Mr. Foster could be sited with a criminal misdemeanor for being in violation of the City Code; 2) there could be civil litigation and the City files a summons and complaint, which could include being incarcerated or fined; 3) Mr. Foster could stop operating the business; or 4) reset and have Mr. Foster apply for a new Conditional Use Permit with terms that meet the current City Code. There was discussion of the starting time of the trucks in the morning and that the noise ordinance is allowed from 7:00 a.m. to 10:00 p.m. and that Mr. Foster was starting his trucks up at 5:00 a.m. in the morning. There was also discussion of what his employees were using for restrooms and where was the office located. There was discussion that the building was to help eliminate the noise of the trucks. Building Official Jones stated that Mr. Foster did construct a fence, which was part of the CUP requirements. Mayor Kirkham stated that there is more noise coming from Highway 65 and Copart, than from Mr. Fosters property. Building Official Jones stated that staff has not received any complaints regarding the business. Attorney Berglund stated that he did talk to Mr. Foster about the early starting time and Mr. Foster stated that he does snow removal and needs to start early for that reason. Attorney Berglund stated that the written narrative from Mr. Foster needs to be very clear on how the business is being ran and needs to meet the minimum requirements of the City Code. Attorney Berglund stated that a draft Resolution should be prepared for the Planning Commission to review with staff recommendations going forward. Administrator Webster stated that staff needs time to create memos and resolutions and therefore items cannot be rushed through the Planning Commission and City Council anymore. **It was the consensus of the City Council to have Noel Foster of Foster Trucking re-apply for a new Conditional Use Permit.**

**Motion by Kirkeide, seconded by Parranto, to adjourn the workshop meeting at 6:20 p.m. All in favor, motion carried.**

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Dawnette Shimek, Deputy City Clerk

**CITY OF HAM LAKE**  
**CLAIMS SUBMITTED TO COUNCIL**  
**February 5, 2024**

**CITY OF HAM LAKE**

<b>EFTS, CHECKS, AND BANK DRAFTS</b>		<b>01/17/24 - 02/05/24</b>	
EFT	# 1990 - 1999		\$ 60,411.10
REFUND CHECKS	# 65788 - 65790		\$ 9,300.00
CHECKS	# 65791 -65826		\$ 212,974.39
BANK DRAFTS	DFT0002660 -DFT0002664		\$ 30,254.64
<b>TOTAL EFTS, CHECKS, AND BANK DRAFTS</b>			<u>\$ 312,940.13</u>
<b>PAYROLL CHECKS</b>			
01/26/24	Direct Deposits		\$ 48,046.20
<b>TOTAL PAYROLL CHECKS</b>			<u>\$ 48,046.20</u>
<b>VOID CHECKS</b>			
ZERO CHECKS	#65822		\$ -
ZERO EFT	#1997		\$ -
BANK DRAFTS			\$ -
<b>TOTAL VOIDS</b>			<u>\$ -</u>
<b>TOTAL OF ALL PAYMENTS</b>			<u><u>\$ 360,986.33</u></u>

APPROVED BY THE HAM LAKE CITY COUNCIL THIS 5TH DAY OF FEBRUARY 2024

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER

\_\_\_\_\_  
COUNCILMEMBER



City of Ham Lake, MN

# EFT Payroll Check Register Report Summary

Pay Period: 1/7/2024-1/20/2024

Packet: PYPKT01580 - PPE 01/20/24 PAID 01/26/24  
Payroll Set: City of Ham Lake - 01

Type	Count	Amount
Regular Checks	0	0.00
Manual Checks	0	0.00
Reversals	0	0.00
Voided Checks	0	0.00
Direct Deposits	65	48,046.20
<b>Total</b>	<b>65</b>	<b>48,046.20</b>



Payment Dates 1/17/2024 - 2/5/2024

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1990	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	90.72
1990	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	14.99
1990	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.08
1990	ARAMARK UNIFORM & CAREE	PW UNIFORMS	Clothing & personal protectiv	100-43101-2210	90.35
1990	ARAMARK UNIFORM & CAREE	FIRST AID CABINET	Safety supplies	100-43101-2240	14.99
1990	ARAMARK UNIFORM & CAREE	PARK UNIFORMS	Clothing & personal protectiv	100-44101-2210	59.08
1991	BRODIN PRESS	FEB HAM LAKER	Editing	211-41704-3125	900.00
1992	CMT JANITORIAL SERVICES	SHERIFF'S OFFICE CLEANING	Cleaning service	100-41702-3430	153.00
1992	CMT JANITORIAL SERVICES	CITY HALL CLEANING	Cleaning service	100-41702-3430	612.00
1992	CMT JANITORIAL SERVICES	FIRE #1 CLEANING	Cleaning service	100-42202-3430	161.00
1992	CMT JANITORIAL SERVICES	FIRE #2 CLEANING	Cleaning service	100-42202-3430	151.00
1992	CMT JANITORIAL SERVICES	PW CLEANING	Cleaning service	100-43104-3430	148.00
1992	CMT JANITORIAL SERVICES	SR CENTER CLEANING	Cleaning service	100-44202-3430	300.00
1993	DELTA DENTAL PLAN OF MINN	FEB COBRA - DK	COBRA receivable	100-11502	51.04
1993	DELTA DENTAL PLAN OF MINN	FEB DENTAL	Dental Insurance	100-21711	810.03
1994	O'REILLY AUTOMOTIVE STORE	ELEC METER	Covid 19	100-41701-4153	457.99
1994	O'REILLY AUTOMOTIVE STORE	ELEC METER	Controllable assets	100-43101-5120	457.99
1994	O'REILLY AUTOMOTIVE STORE	ELEC METER	Controllable assets	100-43101-5120	-457.99
1994	O'REILLY AUTOMOTIVE STORE	OIL	Vehicle parts & supplies	100-43101-2340	111.96
1994	O'REILLY AUTOMOTIVE STORE	#49 OIL FILTER	Vehicle parts & supplies	100-43101-2340	6.74
1994	O'REILLY AUTOMOTIVE STORE	#89 HOOD HANDLE	Vehicle parts & supplies	100-43101-2340	13.99
1994	O'REILLY AUTOMOTIVE STORE	#78 OIL FILTER	Vehicle parts & supplies	100-43101-2340	40.84
1994	O'REILLY AUTOMOTIVE STORE	#78 FUEL FILTER	Vehicle parts & supplies	100-43101-2340	56.21
1994	O'REILLY AUTOMOTIVE STORE	#78 TIE ROD	Vehicle parts & supplies	100-43101-2340	68.00
1994	O'REILLY AUTOMOTIVE STORE	#78 TIE ROD	Vehicle parts & supplies	100-43101-2340	116.94
1994	O'REILLY AUTOMOTIVE STORE	#78 TIE ROD	Vehicle parts & supplies	100-43101-2340	-68.00
1995	QUADIENT FINANCE USA INC	POSTAGE	Postage	100-41701-2120	500.00
1996	RFC ENGINEERING, INC.	181ST, CONCORD - 65	Engineering	431-43301-3135	429.54
1996	RFC ENGINEERING, INC.	ABERDEEN, 144TH - 145TH	Engineering	431-43301-3135	13.50
1996	RFC ENGINEERING, INC.	CROSTOWN BUSINESS PARK	Capital assets	262-46101-5110	7,482.98
1996	RFC ENGINEERING, INC.	TWIN BIRCH ACRES	Engineering	431-43301-3135	27.00
1996	RFC ENGINEERING, INC.	MEADOW PARK RECONSTRUC	Engineering	431-43301-3135	125.44
1996	RFC ENGINEERING, INC.	CREEK VALLEY RECONSTRUCTI	Engineering	431-43301-3135	427.86
1996	RFC ENGINEERING, INC.	CROSTOWN SHOPPING CENT	Engineering	431-43301-3135	9,074.60
1996	RFC ENGINEERING, INC.	BASE MAP	Engineering	100-41101-3135	65.34
1996	RFC ENGINEERING, INC.	COON LAKE CHANNEL DREDG	Engineering	100-41101-3135	52.27
1996	RFC ENGINEERING, INC.	COUNCIL MEETING	Engineering	100-41101-3135	140.32
1996	RFC ENGINEERING, INC.	2023 ASSETS	Engineering	100-41101-3135	3,552.16
1996	RFC ENGINEERING, INC.	CITY CODE UPDATE	Engineering	100-41102-3135	1,442.50
1996	RFC ENGINEERING, INC.	15155 UNIVERSITY AVE LOT LI	Engineering	100-41601-3135	313.98
1996	RFC ENGINEERING, INC.	AVAILABLE RESIDENTIAL LOTS	Engineering	100-41601-3135	126.18
1996	RFC ENGINEERING, INC.	PLANNING COMMISSION MEE	Engineering	100-41601-3135	39.20
1996	RFC ENGINEERING, INC.	PLANNING/POTENTIAL DEVEL	Engineering	100-41601-3135	192.58
1996	RFC ENGINEERING, INC.	FIRE MAP	Engineering	100-42201-3135	67.50
1996	RFC ENGINEERING, INC.	HAM LAKE BUILDING PERMIT	Engineering	100-42401-3135	243.66
1996	RFC ENGINEERING, INC.	4611 - 139TH LANE LOT LINE	Engineering	100-42401-3135	20.25
1996	RFC ENGINEERING, INC.	ROAD COMMITTEE MEETING	Engineering	100-43101-3135	71.36
1996	RFC ENGINEERING, INC.	5 YR PLAN	Engineering	100-43101-3135	85.63
1996	RFC ENGINEERING, INC.	THOROUGHFARE PLAN	Engineering	100-43101-3135	28.54
1996	RFC ENGINEERING, INC.	5-YR PLAN	Engineering	100-43101-3135	26.14
1996	RFC ENGINEERING, INC.	CULVERT PERMITS	Engineering	100-43101-3135	84.43
1996	RFC ENGINEERING, INC.	1505 - 143RD AVE CULVERT E	Personnel testing & recruitme	100-43101-3150	14.27
1996	RFC ENGINEERING, INC.	16906 BALTIMORE ST STORM	Engineering	100-43103-3135	320.85
1996	RFC ENGINEERING, INC.	CULVERT COLLAPSE - SWEDIS	Engineering	100-43103-3135	44.17

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
1996	RFC ENGINEERING, INC.	HAM LAKE AS LGU-WCA	Engineering	100-43201-3135	1,274.49
1996	RFC ENGINEERING, INC.	CCWD JURISDICTIONAL BOUN	Engineering	100-43201-3135	39.20
1996	RFC ENGINEERING, INC.	CCWD RULES AMENDMENTS	Engineering	100-43201-3135	52.27
1996	RFC ENGINEERING, INC.	STORMWATER POND INVENT	Engineering	100-43201-3135	399.27
1996	RFC ENGINEERING, INC.	NPDES	Engineering	230-43201-3135	2,577.35
1996	RFC ENGINEERING, INC.	FIRE #3	Capital assets	420-42201-5110	1,351.46
1996	RFC ENGINEERING, INC.	162ND LANE/BUCHANAN STR	Engineering	431-43301-3135	869.39
1996	RFC ENGINEERING, INC.	2024 TH 65 MILL & OVERLAY	Engineering	431-43301-3135	85.63
1996	RFC ENGINEERING, INC.	181ST, CONCORD - 65	Engineering	431-43301-3135	587.96
1996	RFC ENGINEERING, INC.	2024 REHAB	Engineering	431-43301-3135	1,794.82
1996	RFC ENGINEERING, INC.	COUNTY DITCH #58 CROSS CU	Engineering	431-43301-3135	4,647.33
1996	RFC ENGINEERING, INC.	MSA BALTIMORE ST, 177TH -	Engineering	431-43301-3135	284.23
1996	RFC ENGINEERING, INC.	BUNKER LAKE BLVD INTERCH	Engineering	431-43301-3135	929.91
1996	RFC ENGINEERING, INC.	JUNK-BE-GONE LABELS	Engineering	890-90001-3135	25.00
1996	RFC ENGINEERING, INC.	WHITE & SABLE - LABELS	Engineering	890-90001-3135	25.00
1996	RFC ENGINEERING, INC.	UNLIMITED CONCRETE - LABE	Engineering	890-90001-3135	25.00
1996	RFC ENGINEERING, INC.	TOBY'S TRAILS	Engineering	890-90001-3135	20.25
1996	RFC ENGINEERING, INC.	ENTSMINGER FARMS LOT LIN	Engineering	890-90001-3135	33.75
1996	RFC ENGINEERING, INC.	HENTGES ADDITION	Engineering	890-90001-3135	233.56
1996	RFC ENGINEERING, INC.	H&H LANDSCAPE	Engineering	890-90001-3135	131.88
1996	RFC ENGINEERING, INC.	SUITE LIVING	Engineering	890-90001-3135	121.22
1996	RFC ENGINEERING, INC.	BOBBY'S CAR WASH	Engineering	890-90001-3135	142.72
1996	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 4TH	Engineering	890-90001-3135	1,666.61
1996	RFC ENGINEERING, INC.	WHITE & SABLE	Engineering	890-90001-3135	1,464.68
1996	RFC ENGINEERING, INC.	2152 SOUTH HAM LAKE DRIV	Engineering	890-90001-3135	162.84
1996	RFC ENGINEERING, INC.	TWIN TOWN DEMO	Engineering	890-90001-3135	888.80
1996	RFC ENGINEERING, INC.	CROSSTOWN ROLLING ACRES	Engineering	890-90001-3135	649.44
1996	RFC ENGINEERING, INC.	DOSEDEL RESIDENTIAL DEVEL	Engineering	890-90001-3135	543.19
1996	RFC ENGINEERING, INC.	CREEKSIDE FARMS	Engineering	890-90001-3135	459.00
1996	RFC ENGINEERING, INC.	CONSTANCE BLVD TERRACE	Engineering	890-90001-3135	405.00
1996	RFC ENGINEERING, INC.	HIDDEN FOREST EAST 3RD	Engineering	890-90001-3135	94.50
1996	RFC ENGINEERING, INC.	GROUP PERMIT BILLING	Engineering	100-43501-3135	6,636.46
1996	RFC ENGINEERING, INC.	MSA GROUP BILLING	Engineering	431-43301-3135	1,428.48
1998	UNLIMITED SUPPLIES INC	WIRE	Operating supplies	100-43101-2290	238.21
1999	WICK COMMUNICATIONS-LEA	FEB HAM LAKER	Printing	211-41704-3970	690.00
65791	ALEX AIR APPARATUS 2 LLC	FIRE #3 COMPRESSOR	Covid 19	100-41701-4153	48,826.00
65791	ALEX AIR APPARATUS 2 LLC	FIRE #3 COMPRESSOR	Capital assets	420-42201-5110	-48,826.00
65791	ALEX AIR APPARATUS 2 LLC	FIRE #3 COMPRESSOR	Capital assets	420-42201-5110	48,826.00
65792	ANIMAL HUMANE SOCIETY	4TH QTR ANIMAL CONTROL	Other professional services	100-42501-3190	578.00
65793	ANOKA COUNTY TREASURY D	JAN BROADBAND FIRE #2	Internet & website	100-41301-3220	75.00
65793	ANOKA COUNTY TREASURY D	JAN BROADBAND	Internet & website	100-41301-3220	37.50
65794	ANOKA COUNTY TREASURY D	DEC BROADBAND FIRE #2	Internet & website	100-41301-3220	75.00
65794	ANOKA COUNTY TREASURY D	DEC BROADBAND	Internet & website	100-41301-3220	37.50
65795	ARCHITECT MECHANICAL INC	EXHAUST FAN REPLACEMENT	Building repair & maintenanc	100-41702-3420	2,990.00
65795	ARCHITECT MECHANICAL INC	BACKFLOW PREVENTER REPL	Building repair & maintenanc	100-43104-3420	1,640.00
65796	BAKER TILLY US, LLP	2023 CONTINUING DISCLOSU	Agent fees	370-47101-6130	2,100.00
65797	CENTERPOINT ENERGY	CITY HALL	Natural gas	100-41702-3620	391.94
65797	CENTERPOINT ENERGY	FIRE #2	Natural gas	100-42202-3620	459.38
65797	CENTERPOINT ENERGY	FIRE #1	Natural gas	100-42202-3620	291.52
65797	CENTERPOINT ENERGY	PW	Natural gas	100-43104-3620	1,292.95
65797	CENTERPOINT ENERGY	H.L. PARK PAVILION	Natural gas	100-44102-3620	134.86
65797	CENTERPOINT ENERGY	H.L. PARK BUILDING	Natural gas	100-44102-3620	525.67
65797	CENTERPOINT ENERGY	SR CENTER	Natural gas	100-44202-3620	211.05
65798	CITY OF EAST BETHEL	181ST, CONCORD - 65	Contractors	431-43301-3810	31,362.31
65799	CITY OF WYOMING	CROSSTOWN MALL SEPTIC IN	Comm Septic Plan Rev/Inspec	890-90001-3461	274.00
65799	CITY OF WYOMING	JAM HOPS SEPTIC INSPECTIO	Comm Septic Plan Rev/Inspec	890-90001-3461	463.00
65799	CITY OF WYOMING	16816 OWATONNA CIRCLE SE	Comm Septic Plan Rev/Inspec	890-90001-3461	147.50
65800	COMCAST BUSINESS	FIRE #1 ADD'L CABLE BOX	Rentals-other	100-42201-3390	11.33
65801	COMPASS MINERALS AMERIC	99.52 TN SALT	Salt & sand	100-43102-2710	9,771.87
65801	COMPASS MINERALS AMERIC	99.29 TN SALT	Salt & sand	100-43102-2710	9,749.29

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
65802	DEARBORN LIFE INS CO	FEB VOL LIFE	Life Insurance	100-21714	171.60
65802	DEARBORN LIFE INS CO	FEB LIFE	Life Insurance	100-21714	54.40
65803	DEHN OIL CO	180.3 GAL GASOLINE	Fuel	100-43101-2230	418.10
65803	DEHN OIL CO	205.8 GAL DIESEL	Fuel	100-43101-2230	503.30
65804	DOUGLAS-KERR UNDERGROU	CREEK VALLEY	Contractors	431-43301-3810	52,034.03
65805	ENFORCEMENT LIGHTING LLC	R3 LIGHTS	Capital assets	420-42201-5110	3,500.00
65806	FIRE INSTRUCTION & RESCUE	MN BASIC FF TRAINING NFPA	Training/conferences/schools	100-42201-3510	13,500.00
65807	FIRST ADVANTAGE LNS OCC H	INITIAL ENROLLMENT - MS	Personnel testing & recruitme	100-44101-3150	36.71
65808	GRAINGER	EYE WASH INSPEC TAGS	Safety supplies	100-43101-2240	5.74
65809	HAM LAKE FIRE RELIEF ASSN	2024 FIRE RELIEF PENSION CO	Fire relief pension contributio	100-42201-1220	13,723.00
65810	HAM LAKE HARDWARE INC	SPRAY PAINT, MASKING TAPE	Operating supplies	100-43101-2290	16.98
65811	HAM LAKE HAULERS INC	4TH QTR RECYCLING	Waste management & recycli	231-43601-3630	8,127.50
65812	HEALTH PARTNERS INC	JAN EAP	Other professional services	100-41701-3190	25.50
65813	KINGS III EMERGENCY COMM	ELEVATOR PHONE	Phones/radios/pagers	100-41701-3210	39.17
65814	NORTHWEST FAMILY PHYSICI	MRO READINGS	Personnel testing & recruitme	100-42201-3150	54.00
65815	OCCUPATIONAL HEALTH CENT	DRUG TESTING	Personnel testing & recruitme	100-43101-3150	237.00
65816	POMP'S TIRE SERVICE, INC.	T1 TIRE INSTALLATION	Fire apparatus repair & maint	100-42201-3450	407.00
65817	PTL TIRE INC	#50 TIRE ROTATION & ALIGN	Vehicle repair & maintenance	100-43101-3470	127.50
65818	SIEGFRIED FAMILY TOOLS INC	ADJ WRENCH, LONG CARBIDE	Covid 19	100-41701-4153	455.55
65818	SIEGFRIED FAMILY TOOLS INC	REVERSING FLEX HEAD	Covid 19	100-41701-4153	301.85
65819	SUMMIT COMPANIES	RESIDENT EXTINGUISHER - KA	Fire Extinguisher	100-20203	40.00
65820	TASC	MARCH COBRA ADMINISTRAT	Other professional services	100-41701-3190	26.74
65821	US BANK CORPORATE PAYME	FIRST AID MARKET-AED batter	Operating supplies	100-41701-2290	341.41
65821	US BANK CORPORATE PAYME	MN NURSERY-Shade Tree Cou	Training/conferences/schools	100-43101-3510	-230.00
65821	US BANK CORPORATE PAYME	ZOOM-Zoom - January-DW	Dues & subscriptions	100-41201-3920	13.83
65821	US BANK CORPORATE PAYME	ICONCONTACT-Webtrack supscrip	Internet & website	100-41301-3220	418.20
65821	US BANK CORPORATE PAYME	AMAZON-test stamp-NW	Office supplies	100-41302-2110	9.48
65821	US BANK CORPORATE PAYME	AMAZON-storage totes-NW	Office supplies	100-41302-2110	179.94
65821	US BANK CORPORATE PAYME	IOS-file folders, staple remove	Office supplies	100-41701-2110	79.85
65821	US BANK CORPORATE PAYME	IOS-paper towels, trash can li	Operating supplies	100-41701-2290	32.18
65821	US BANK CORPORATE PAYME	IOS-trash can liners-NW	Operating supplies	100-41701-2290	69.81
65821	US BANK CORPORATE PAYME	AMAZON-data cable-NW	Operating supplies	100-41701-2290	8.89
65821	US BANK CORPORATE PAYME	PANTHEON-Jan website-NW	Software licenses & upgrades	100-41701-2510	300.00
65821	US BANK CORPORATE PAYME	AED MARKET-AED batter-MR	Covid 19	100-41701-4153	514.68
65821	US BANK CORPORATE PAYME	AED MARKET-AED battery tax	Covid 19	100-41701-4153	-38.68
65821	US BANK CORPORATE PAYME	AMAZON-labels for label mak	Office supplies	100-42201-2110	15.09
65821	US BANK CORPORATE PAYME	AMAZON-velcro tape-NW	Operating supplies	100-42201-2290	19.62
65821	US BANK CORPORATE PAYME	AMAZON-velcro tape-NW	Operating supplies	100-42201-2290	22.53
65821	US BANK CORPORATE PAYME	FIREHOSE DIRECT-Hose conne	Equipment parts & supplies	100-42201-2320	778.06
65821	US BANK CORPORATE PAYME	AMAZON-Fire #3 Office Chairs	Controllable assets	100-42201-5120	85.92
65821	US BANK CORPORATE PAYME	AMAZON-chainsaw muffler-N	Equipment parts & supplies	100-43101-2320	19.99
65821	US BANK CORPORATE PAYME	AMAZON-wrench set,welder	Small tools	100-43101-2410	255.40
65823	VERIZON WIRELESS	MR	Phones/radios/pagers	100-42201-3210	41.24
65823	VERIZON WIRELESS	TD, MJ & 2 LAPTOPS	Phones/radios/pagers	100-42401-3210	162.50
65823	VERIZON WIRELESS	JK, JW, JC, CS, EH, & 2 LAPTOP	Phones/radios/pagers	100-43101-3210	294.23
65823	VERIZON WIRELESS	DH, AC, MS	Phones/radios/pagers	100-44101-3210	123.70
65824	VIKING ELECTRIC SUPPLY INC	LED WALL PACKS	Building repair & maintenanc	100-41702-2310	413.22
65824	VIKING ELECTRIC SUPPLY INC	LED WALL PACKS	Building repair & maintenanc	100-43104-2310	550.96
65825	WARNING LITES OF MN INC	BARRICADES, LIGHTS, ROAD C	Street supplies	431-43301-2330	2,899.44
65826	XCEL ENERGY	DEC FIRE #3 NATURAL GAS	Natural gas	100-42202-3620	341.56
DFT0002660	COMPENSATION CONSULTAN	Health Savings Account	HSA Account	100-21712	150.00
DFT0002661	EMPOWER	Deferred Compensation	Deferred compensation	100-21704	2,160.00
DFT0002661	EMPOWER	Roth IRA	Deferred compensation	100-21704	200.00
DFT0002662	IRS-Payroll Tax	Federal Withholding	Federal WH/FICA/MC	100-21701	6,384.77
DFT0002662	IRS-Payroll Tax	Medicare Payable	Federal WH/FICA/MC	100-21701	2,006.76
DFT0002662	IRS-Payroll Tax	Social Security Payable	Federal WH/FICA/MC	100-21701	7,941.30
DFT0002663	MN STATE DEPT OF REVENUE-	MN State Withholding	State W/H	100-21702	2,751.86
DFT0002664	PERA	Retirement-Coordinated	PERA	100-21703	7,297.74
DFT0002664	PERA	Retirement-Elected Officials	PERA	100-21703	81.68

Council Approval List

Payment Dates: 1/17/2024 - 2/5/2024

Payment Number	Vendor Name	Description (Item)	Account Name	Account Number	Amount
DFT0002664	PERA	Retirement-Police & Fire	PERA	100-21703	1,280.53
Grand Total:					<u>303,640.13</u>



## Report Summary

### Fund Summary

Fund	Payment Amount
100 - GENERAL	161,912.43
211 - HAM LAKER	1,590.00
230 - FUTURE DRAINAGE	2,577.35
231 - RECYCLING	8,127.50
262 - HAM LAKE EDA	7,482.98
370 - 2010 CIP BOND DEBT	2,100.00
420 - FIRE EQUIPMENT	4,851.46
431 - REVOLVING STREET	107,021.47
890 - TRUST FUND	7,976.94
<b>Grand Total:</b>	<b>303,640.13</b>

### Account Summary

Account Number	Account Name	Payment Amount
100-11502	COBRA receivable	51.04
100-20203	Fire Extinguisher	40.00
100-21701	Federal WH/FICA/MC	16,332.83
100-21702	State W/H	2,751.86
100-21703	PERA	8,659.95
100-21704	Deferred compensation	2,360.00
100-21711	Dental Insurance	810.03
100-21712	HSA Account	150.00
100-21714	Life Insurance	226.00
100-41101-3135	Engineering	3,810.09
100-41102-3135	Engineering	1,442.50
100-41201-3920	Dues & subscriptions	13.83
100-41301-3220	Internet & website	643.20
100-41302-2110	Office supplies	189.42
100-41601-3135	Engineering	671.94
100-41701-2110	Office supplies	79.85
100-41701-2120	Postage	500.00
100-41701-2290	Operating supplies	452.29
100-41701-2510	Software licenses & upgr	300.00
100-41701-3190	Other professional servi	52.24
100-41701-3210	Phones/radios/pagers	39.17
100-41701-4153	Covid 19	50,517.39
100-41702-2310	Building repair & mainte	413.22
100-41702-3420	Building repair & mainte	2,990.00
100-41702-3430	Cleaning service	765.00
100-41702-3620	Natural gas	391.94
100-42201-1220	Fire relief pension contri	13,723.00
100-42201-2110	Office supplies	15.09
100-42201-2290	Operating supplies	42.15
100-42201-2320	Equipment parts & suppl	778.06
100-42201-3135	Engineering	67.50
100-42201-3150	Personnel testing & recr	54.00
100-42201-3210	Phones/radios/pagers	41.24
100-42201-3390	Rentals-other	11.33
100-42201-3450	Fire apparatus repair &	407.00
100-42201-3510	Training/conferences/sc	13,500.00
100-42201-5120	Controllable assets	85.92
100-42202-3430	Cleaning service	312.00
100-42202-3620	Natural gas	1,092.46
100-42401-3135	Engineering	263.91
100-42401-3210	Phones/radios/pagers	162.50
100-42501-3190	Other professional servi	578.00
100-43101-2210	Clothing & personal prot	181.07
100-43101-2230	Fuel	921.40

**Account Summary**

Account Number	Account Name	Payment Amount
100-43101-2240	Safety supplies	35.72
100-43101-2290	Operating supplies	255.19
100-43101-2320	Equipment parts & suppl	19.99
100-43101-2340	Vehicle parts & supplies	346.68
100-43101-2410	Small tools	255.40
100-43101-3135	Engineering	296.10
100-43101-3150	Personnel testing & recr	251.27
100-43101-3210	Phones/radios/pagers	294.23
100-43101-3470	Vehicle repair & mainten	127.50
100-43101-3510	Training/conferences/sc	-230.00
100-43101-5120	Controllable assets	0.00
100-43102-2710	Salt & sand	19,521.16
100-43103-3135	Engineering	365.02
100-43104-2310	Building repair & mainte	550.96
100-43104-3420	Building repair & mainte	1,640.00
100-43104-3430	Cleaning service	148.00
100-43104-3620	Natural gas	1,292.95
100-43201-3135	Engineering	1,765.23
100-43501-3135	Engineering	6,636.46
100-44101-2210	Clothing & personal prot	118.16
100-44101-3150	Personnel testing & recr	36.71
100-44101-3210	Phones/radios/pagers	123.70
100-44102-3620	Natural gas	660.53
100-44202-3430	Cleaning service	300.00
100-44202-3620	Natural gas	211.05
211-41704-3125	Editing	900.00
211-41704-3970	Printing	690.00
230-43201-3135	Engineering	2,577.35
231-43601-3630	Waste management & r	8,127.50
262-46101-5110	Capital assets	7,482.98
370-47101-6130	Agent fees	2,100.00
420-42201-5110	Capital assets	4,851.46
431-43301-2330	Street supplies	2,899.44
431-43301-3135	Engineering	20,725.69
431-43301-3810	Contractors	83,396.34
890-90001-3135	Engineering	7,092.44
890-90001-3461	Comm Septic Plan Rev/I	884.50
	<b>Grand Total:</b>	<b>303,640.13</b>

**Project Account Summary**

Project Account Key	Payment Amount	
**None**	181,008.18	
200912-100	13.50	
201805-100	27.00	
202002.057-100	1,017.50	
202002.057-140	31,362.31	
202102.053-160	2,899.44	
202103-100	125.44	
202105-100	427.86	
202105-140	52,034.03	
202111-100	7,482.98	
202205-100	9,074.60	
202302.032-100	869.39	
202302.038-101	4,647.33	
231001001	8,127.50	
MISC-100	4,523.07	
	<b>Grand Total:</b>	<b>303,640.13</b>



Packet: ARPKT00999 - 02/01/24 TRUST REFUNDS

## Refund Detail

Account Number	Name	Check Date	Check Number	Amount
00402	JEFF ENSTMINGER	2/1/2024	65788	9,000.00
00472	BRITTANI ZUK	2/1/2024	65789	150.00
00475	REBECCA URBAN	2/1/2024	65790	150.00
Total Refund Amount:				9,300.00

## Revenue Totals

Revenue Code	Total Distribution
TRUST DEPOSITS - TRUST DEPOSITS	9,300.00
Revenue Totals:	9,300.00

## General Ledger Distribution

Posting Date: 02/01/2024

Account Number	Account Name	Posting Amount	IFT
<b>Fund: 890 - TRUST FUND</b>			
890-10101	Cash-claim on pooled cash	-9,300.00	Yes
890-11501	Misc receivables	9,300.00	
	<b>890 Total:</b>	<b>0.00</b>	
<b>Fund: 999 - POOLED CASH</b>			
999-10100	Pooled Cash	-9,300.00	
999-20702	Due to other funds	9,300.00	Yes
	<b>999 Total:</b>	<b>0.00</b>	
	<b>Distribution Total:</b>	<b>0.00</b>	

Meeting Date: February 5, 2024



**CITY OF HAM LAKE**  
*STAFF REPORT*

To: Mayor and Councilmembers  
From: Nicole Wheeler, Recycling Coordinator  
Item/Title/Subject: 2024 Recycling Dates

Introduction:

In 2024, the City will host two citywide recycling days on Saturday, May 4<sup>th</sup> and September 7<sup>th</sup> from 8:00 a.m. until noon. The items that will be accepted at the citywide event are electronics, appliances, propane tanks, mattresses and box springs and tires. Public Works will take in scrap metal, car batteries, bicycles and brush.

Other recycling events for residents will be held at Recycle Technologies, Inc., formerly Green Lights Recycling, in Blaine on the following dates:

March 2<sup>nd</sup>  
July 27<sup>th</sup>  
December 7<sup>th</sup>

All vendors' fees are paid for by the Anoka County Board of Commissioners and State SCORE (Select Committee on Recycling and the Environment) funds.

Attached is a list of vendors participating in our 2024 spring and fall recycling events. All vendors' fees are paid for by the Anoka County Board of Commissioners and State SCORE (Select Committee on Recycling and the Environment) funds.

A reuse/recycling event will be held again this year. The event last year was very successful. Anoka County wants to promote reuse throughout the county. One way to do this is to work with municipalities that have recycling days and city-wide garage sales (hosted by the Ham Lake Chamber of Commerce May 2 – 4) to keep reusable items out of the trash. The City will be working with Sue Doll from Anoka County and Kari Lund from the Chamber to promote and host the reuse event in the city hall parking lot on Sunday, May 5, 2024 from 9:00 am to 2:00 pm. The County will provide a tent, tables, scales and staff to organize any materials that can be reused rather than thrown away. Residents who host garage sales and have unsold, usable, household items at the end of their sale can bring them to the city hall parking lot between 3:00 and 7:00 pm on Saturday, May 4<sup>th</sup> for the reuse event. The targeted materials being usable sporting goods, household goods and furniture. Any materials that are left after the event, will be donated to the Salvation Army. The weight of items taken by “shoppers” will be applied toward the City’s 2024 reuse/recycling tonnage goal.



## 2024 Recycling Vendors

### Confirmation Date

Saturday, May 4<sup>th</sup> & September 7<sup>th</sup>

J.R.'s Advanced Recyclers  
Attention: Mike Larson  
10619 Courthouse Boulevard  
Inver Grove Heights, MN 55077  
(651) 454-9215  
Fax: (651) 454-8345

Appliance fee \$10/each  
Will collect propane  
tanks and tires too. Fees  
remain the same; \$200  
fuel surcharge added

Recycle Technologies, Inc.  
Christine Hanson  
4000 Winnetka Ave N, Ste 210  
Minneapolis, MN 55427  
(763) 785-0456  
(612) 743-4444 cell  
Fax (763) 785-0453  
\*Recyclable drop-off location: 10040 Davenport Street NE, Blaine

Event fee: \$45/hr. per  
attendant. Various fees  
charged for items  
accepted.

Evergreen Recycling, LLC  
Dale Bergfalk  
53465 Forest Blvd.  
Rush City, MN 55069  
320-358-3988

\$200 Trucking Fee  
\$40/hr. attendant  
fee (2 attend. max)  
\$20-\$25/mattress  
or box spring.  
Trucking fee increased \$50 &  
Attendant rate per hr.  
increased \$5/hr.



MEMORANDUM OF UNDERSTANDING

The City of Ham Lake (CITY), in cooperation with Anoka County and along with other municipalities, encourages annual "Recycling Days", which will be held on Saturday, May 4, 2024 and September 7, 2024. The CITY encourages residents to avail themselves of companies who provide recycling services, and makes the names and rates of such companies known by publishing an article in the Ham Laker, a monthly civic newsletter.

- A. J.R.'s Advanced Recyclers, (RECYCLER) licensed by the State of Minnesota to dispose of the following types of refuse: Propane tanks, tires and appliances which will include, but not limited to refrigerators, freezers, washers, dryers, air conditioners, dehumidifiers, stoves, trash compactors, microwaves, furnaces, and humidifiers. Appliances will be in a square (non-compacted) condition, and not contain food, debris, or other foreign material.
- B. RECYCLER charges the following rates: \$10.00 for each appliance, \$2.00+ for tires and rims, and \$5.00-\$10.00 per propane tank, tendered to the RECYCLER.
- C. RECYCLER makes the following warranties:
  - 1) The RECYCLER shall indemnify and hold CITY and its employees harmless from all claims, demands, and causes of action of any kind, character, including the cost of defense thereof, resulting from the acts, omissions, of the RECYCLER, of the organization's respective officers, agents, employees, and/or the individuals receiving benefit from the funds or items exchanged relating to the activities conducted.
  - 2) RECYCLER is solely responsible for the safe removal of all propane tanks, tires and appliances in accordance with Federal Law and the Laws of the State of Minnesota. The RECYCLER shall secure and maintain all necessary permits and approvals necessary to process said appliances. The RECYCLER will also provide any necessary Certificates of Insurance displaying liability limits of at least \$600,000 to the CITY prior to start of work. Insurance shall remain in effect at all times and not be materially charged.
- D. RECYCLER shall provide to CITY a complete report of the actual tonnage of items recycled, including a breakdown of the tonnage of appliances, tires and rims.
- E. RECYCLER and CITY are not involved in any relationship of principal and agent, contract or otherwise. CITY has merely introduced RECYCLER to the community, and is not in any way connected to the chain of ownership or possession of any recycled materials. The contractual relationship that will exist is between RECYCLER and the actual owners of the material recycled.

DATED: \_\_\_\_\_

DATED: \_\_\_\_\_

CITY OF HAM LAKE

RECYCLER

\_\_\_\_\_  
Recycling Coordinator

\_\_\_\_\_  
J.R.'s Advanced Recyclers



10619 Courthouse Blvd., Inver Grove Heights, MN 55077  
 Telephone (651) 454-9215 Fax (651) 454-8345 (800) 358-6563  
 Website: advancedrecyclers.com e-mail: recycle@jrsappliance.com

### SCHEDULING/RESERVATION FORM - STAFFED

Customer/Agency: City of Ham Lake  
 Contact Person: Nicole Wheeler Title: Recycling Coordinator  
 Phone: 763-434-9555 Fax: \_\_\_\_\_ Cell: -  
 Office (Billing) Address: 15544 Central Ave NE  
 Collection Site Address: 15544 Central Ave NE  
 Collection Date(s): Spring May 4, 2024 Fall September 7, 2024  
 Collection Hours: From 8:00 To noon  
 Fees Collected By: Customer \_\_\_\_\_ J.R.'S X  
 Special Instructions/Remarks: \_\_\_\_\_

**Services Needed For Event**  
(check all that apply)

**J.R.'S Emergency Contact**  
**Terry Zeien 612-868-9916**

\*\* There will be a \$200 fuel surcharge billed to the city for each truck

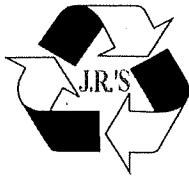
- Appliances:** \$10/unit including staff. Water softeners are an additional \$10. Commercial and gas/ammonia appliance fees will vary
- Electronics:** \$0.50/lb.
- Scrap Metal:** \$105 per hour for off box delivery/pickup. We pay market price for metal collected
- Tires:** Will require roll off box(s), \$105/hour for box. See attached price list for tire pricing
- Batteries:** Car batteries free – Call for details.
- Bulbs:** See attached price list
- Propane Tanks:** See attached price list

J.R.'S Appliance Disposal, Inc. (RECYCLER) ensures all items collected will be recycled according to Federal law and the laws of the State of Minnesota. J.R.'S is solely responsible for the safe removal of all PCB's, Mercury, CFC's, Appliance metals, and Other hazardous wastes, The Recycler retains the right to refuse any appliances deemed to be in such compacted or destroyed condition which prevents the proper removal of hazardous wastes and/or refrigerant according to law. The Recycler shall secure and maintain all necessary PERMITS and APPROVALS necessary to handle said items. The Recycler will also provide any necessary CERTIFICATES OF INSURANCE to the Customer, prior to start of work. INSURANCE shall remain in effect at all times and not be materially changed.

Special charges will be agreed to by both parties prior to acceptance by either party. Customers shall pay within 30 days of the invoice date. The Recycler shall INDEMNIFY and HOLD the Customer and its employees HARMLESS from all claims, demands, and causes of action of any kind, character, including the cost of defense thereof, resulting from the acts, omissions, of the Recycler; of the organization's respective officers, agents, employees, and/or the individuals receiving benefit from the funds or items exchanged relating to the activities conducted under this agreement.

Accepted for Customer: NWhele Date: 11/4/24  
 Title: Recycling Coordinator

Accepted for J.R.'S Appliance: \_\_\_\_\_ Date: \_\_\_\_\_  
 Title: Sales Manager



10619 Courthouse Blvd., Inver Grove Heights, MN 55077  
 Telephone (651) 454-9215 Fax (651) 454-8345 (800) 358-6563  
 Website: advancedrecyclers.com e-mail: recycle@jrsappliance.com

### Appliances

Air Conditioner	
Compressor	
Dehumidifier	
Dishwasher	
Disposable Refrigerant Tank	
Drinking Fountain	
Dryer	
Freezer	
Furnace	
Garage Door Opener	
Garbage Disposal	
Gas Air Conditioner	
Gas Refrigerator 4' & under	
Gas Refrigerator over 4'	
Humidifier	
Microwave	
Refrigerator	
Stove/Oven	
Trash Compactor	
Vent Hood (free with stove)	
Washing Machine	
Water Cooler	
Water Heater	
Water Softener	
<b>Bulk discounts apply for 10 appliances or more.</b>	

CALL

### Electronics

CD Player	\$5.00
Cell Phone	Free
Copier (Small)	\$25.00
Copier (Medium 30-50 lbs)	\$60.00
Copier (Large Over 50 lbs)	\$135.00
Computer/Laptop	\$15.00
Fax Machine	\$20.00
Keyboard & Mouse	Free
Modem (External)	\$10.00
Monitor (CRTs - up to 17")	\$30.00
Monitor (CRTs - 18" and up)	\$35.00
Printer (Small)	\$15.00
Printer (Large/Laser)	\$35.00
Scanner	\$15.00
Small Radio	\$15.00
Stereo Receiver	\$25.00
Stereo (Console)	\$50.00
Telephone	\$3.00
Treadmill	\$25.00
TV (13" & Smaller)	\$25.00
TV (14"-19")	\$30.00
TV (20"-27")	\$35.00
TV (28" and larger)	\$55.00
TV (Console)	\$55.00
TV (Plasma/LCD 4"-20")	\$20.00
TV (Plasma/LCD 21"+)	\$30.00
Typewriter	\$15.00
UPS/Battery Backup	\$25.00
Vacuum Cleaner	\$5.00
VCR/DVD Player	\$5.00
If you have over 20 electronics we charge by the pound. Call for prices!	

### Fluorescents

4 Feet & Smaller	\$0.60
Over 4 foot	\$0.90
Compact	\$0.90
H.I.D	\$1.90
U shape & Circle	\$1.00
Shatter Shield	\$2.40
U.V. Lamps	\$4.35
Broken Bulbs	\$1.60
Neon Bulbs	\$3.60
Ballasts	\$1.50/lb.
Light Fixtures	\$10.00
\$5.00 handling charge added for under 25 bulbs. Boxes available!	

### Batteries

Lead-Acid (Cars)	\$5.00
Lead-Acid (Trucks)	\$7.50
Lead-Acid (Commercial)	\$10.00
Alkaline Batteries	\$0.50/lb.
Laptop Batteries	\$2.00
Lithium	\$1.00
Li-Ion	\$2.00
NiCad	\$2.00
NiMH	\$2.00
Lead-Acid battery bins available for large amounts. Call for pricing.	

### Commercial Appliances

Chiller
Cooler
Deep Fryer
Dishwasher
Display Case
Dryer
Grill
Ice Machine
Incubator
Liebert
Pop Machine
Prep Tables
Roof-Top Air Conditioner
Vending Machine
Washing Machine
Water Heater (75+ gallons)

CALL

### Misc. Items

Air Compressors	\$10.00
BBQ Grills	\$10.00
Generators	\$10.00
Metal Desks/Cabinets	CALL
Power Tools	\$5.00
Propane Tanks Under 3'	\$5.00
Propane Tanks Over 3'	\$10.00
Smoke Detectors	\$2.00
Thermostat/Mercury Dvc.	\$0.00
Toner Cartridges	\$2.00

### Lawn & Garden

Chain Saws	\$10.00
Lawn Mower (Push)	\$10.00
Lawn Mower (Rider)	\$25.00
Leaf Blowers	\$10.00
Pressure Washers	\$10.00
Roto Tillers	\$10.00
Snow Blowers	\$10.00
Weed Whackers	\$10.00

### Tires

Lawn & Garden	\$5.00
Car	\$10.00
Light Truck	\$10.00
Semi	\$15.00
Tractor	CALL
Charge Per Rim	\$2.00

**20, 25, 30 & 40 yd Roll-Off Boxes available for Construction & Demolition, Scrap Metal, Electronics & Tires**

**Pickup charges may apply, please call for quote: (651)454-9215**





MEMORANDUM OF UNDERSTANDING

The City of Ham Lake (CITY), in cooperation with Anoka County and along with other municipalities, encourages annual "Recycling Days", which will be held on Saturday, May 4, 2024 and September 7, 2024. The CITY encourages residents to avail themselves of companies who provide recycling services, and makes the names and rates of such companies known by publishing an article in the Ham Laker, a monthly civic newsletter.

A. Recycle Technologies, Inc. (RECYCLER) is licensed by the State of Minnesota to dispose of the following types of materials:

- \*Fluorescent Lamps and Electronics – see rate sheet
- \*Appliances, Batteries, Electronics, Mattresses, Tires and other items listed on 2024 Event Pricing sheet

*Fluorescent Lamps and Electronics will be collected at events held at City Hall.  
All items will be collected at events held at Recycle Technologies, Inc.*

B. RECYCLER charges the following rates:  
\$45.00/hour, per attendant present at recycling events.  
Four attendants maximum at RTI events/two attendants maximum at City events.

C. RECYCLER makes the following warranties:

- 1) The RECYCLER shall indemnify and hold CITY and its employees harmless from all claims, demands, and causes of action of any kind, character, including the cost of defense thereof, resulting from the acts, omissions, of the RECYCLER, of the organization's respective officers, agents, employees, and/or the individuals receiving benefit from the funds or items exchanged relating to the activities conducted.
- 2) RECYCLER is solely responsible for the safe removal of all items listed above accordance with Federal Law and the Laws of the State of Minnesota. The RECYCLER shall secure and maintain all necessary permits and approvals necessary to process said items. The RECYCLER will also provide any necessary Certificates of Insurance displaying liability limits of at least \$600,000 to the CITY prior to start of work. Insurance shall remain in effect at all times and not be materially charged.

D. RECYCLER shall provide to CITY a complete report of the actual tonnage of items received.

C. RECYCLER and CITY are not involved in any relationship of principal and agent, contract or otherwise. CITY has merely introduced RECYCLER to the community, and is not in any way connected to the chain of ownership or possession of any recycled materials. The contractual relationship that will exist is between RECYCLER and the actual owners of the material recycled.

DATED: \_\_\_\_\_

CITY OF HAM LAKE

DATED: \_\_\_\_\_

RECYCLER

\_\_\_\_\_  
Recycling Coordinator

\_\_\_\_\_  
Recycle Technologies, Inc.

**2024 EVENT PRICING**

**RECYCLE TECHNOLOGIES - MATERIALS ACCEPTED INCLUDE:**

LAMPS	PRICE	
FLUORESCENTS 4' AND UNDER	\$0.50	EACH
FLUORESCENTS 5' AND OVER	\$0.75	EACH
H.I.D.	\$2.50	EACH
COMPACT/CIRCULAR/U SHAPED	\$0.75	EACH
COMPACT LAMPS WITH BASE	\$0.95	EACH
FLUORESCENT LIGHT FIXTURES	\$25.00	EACH
TVs & MONITORS	PRICE	
TVS & MONITORS UP TO 17"	\$20.00	EACH
TVS & MONITORS 18" TO 31"	\$30.00	EACH
TVS & MONITORS 32" AND OVER	\$55.00	EACH
CONSOLE TVS	\$85.00	EACH
REAR PROJECTION TVS	\$85.00	EACH
(Additional \$20.00 each for Broken TVs or CRTS)		
MISC ELECTRONIC ITEMS	PRICE	
TABLETS, SERVERS, CABLES, LAPTOPS, DESKTOPS & CELL PHONES	FREE	
(If computer or laptop has a hard drive in it, there will be a \$7.00 fee)		
SMALL ITEMS	\$6.00	EACH
(DVD & VCR Players, Stereos, Speakers, Coffee Makers, Record Players, Toasters, Toaster Ovens, Phones, Small Appliances & Video Game Consoles)		
SCANNERS & FAX MACHINES	\$10.00	EACH
ALL -IN-ONE PRINTERS	\$35.00	EACH
RESIDENTIAL INJET PRINTER	\$10.00	EACH
RESIDENTION LASERJET PRINTER	\$35.00	EACH
COMMERCIAL COPIER	\$95.00	EACH
APPLIANCES	PRICE	
APPLIANCES & VACUUM CLEANERS	\$12.00	EACH
WATER HEATERS & WATER SOFTENERS (Must be empty of water & salt)	\$15.00	EACH
WATER HEATERS & WATER SOFTENERS (Not empty of water & salt)	\$25.00	EACH
WINDOW AIR CONDITION UNITS	\$20.00	EACH
HUMIDIFIER & MICROWAVE	\$15.00	EACH
DEHUMIDIFIER	\$23.00	EACH
GROUND NON-COMMERCIAL AIR CONDITIONING UNIT	\$30.00	EACH
BATTERIES	PRICE	
ALKALINE, NICKEL CADMIUM, LITHIUM ION, NICKEL METAL HYDRIDE	\$1.75	POUND
LITHIUM	\$6.75	POUND
SEALED LEAD ACID CAR BATTERIES	FREE	

OTHER MISC ITEMS	PRICE	
CAR TIRES (IF RIM, ADD @2.25 PER TIRE)	\$7.00	EACH
SUV/TRUCK TIRES (IF RIM, ADD @2.25 PER TIRE)	\$9.00	EACH
MATTRESS & BOX SPRINGS	\$20.00	EACH
KING SIZE MATTRESS / PILLOWTOP / EXTRA THICK	\$25.00	EACH
WALKING TREADMILLS	\$40.00	EACH
NON-ELECTRIC EXERCISE EQUIPMENT	\$25.00	EACH
ORGAN	\$150.00	EACH
PLAYER PIANO	\$150.00	EACH
DRY CHEMICAL FIRE EXTINGUISHER	\$30.00	EACH
SMOKE DETECTORS (MUST CONTAIN <b>1.0 MICROCURIE OR LESS</b> )	\$20.00	EACH
PROPANE TANKS - 1 LB DISPOSABLE (MUST BE EMPTY)	\$6.00	EACH
PROPANE TANKS - 20 LB DISPOSABLE (MUST BE EMPTY)	\$20.00	EACH
PROPANE BBQ GRILLS WITHOUT TANK	\$15.00	EACH
PROPANE BBQ GRILLS WITH TANK	\$35.00	EACH
CHARCOAL GRILLS (Must be clean with all non-metal material removed)	FREE	
SCRAP METAL (Must be clean with all non-metal material removed)	FREE	
SHREDDING	PRICE	
HARD DRIVE SHREDDING	\$5.00	EACH
ONSITE @ RTI	call	PER EVENT
LABOR	PRICE	
PER RTI EMPLOYEE	\$45.00	HOUR



MEMORANDUM OF UNDERSTANDING

The City of Ham Lake (CITY), in cooperation with Anoka County and along with other municipalities, encourages annual "Recycling Days", which will be held on Saturday, May 4, 2024 and September 7, 2024. The CITY encourages residents to avail themselves of companies who provide recycling services, and makes the names and rates of such companies known by publishing an article in the Ham Laker, a monthly civic newsletter.

A. Evergreen Recycling, LLC, (RECYCLER) licensed by the State of Minnesota to dispose of the following types of refuse: Mattresses and box springs

B. RECYCLER charges the following rates:

- \$200 Trucking fee
- \$40.00/hour – attendant fee (Maximum of 2 attendants)
- \$20.00-\$25.00 per mattress or box spring

C. RECYCLER makes the following warranties:

- 1) The RECYCLER shall indemnify and hold CITY and its employees harmless from all claims, demands, and causes of action of any kind, character, including the cost of defense thereof, resulting from the acts, omissions, of the RECYCLER, of the organization's respective officers, agents, employees, and/or the individuals receiving benefit from the funds or items exchanged relating to the activities conducted.
- 2) RECYCLER is solely responsible for the safe removal of the items listed above in accordance with the Laws of the State of Minnesota. The RECYCLER shall secure and maintain all necessary permits and approvals necessary to process said items. The RECYCLER will provide any necessary Certificates of Insurance displaying liability limits of at least \$600,000 to the CITY prior to start of work. Insurance shall remain in effect at all times and not be materially charged.

D. RECYCLER shall provide to CITY a complete report of the actual tonnage of mattresses and box springs recycled.

E. RECYCLER and CITY are not involved in any relationship of principal and agent, contract or otherwise. CITY has merely introduced RECYCLER to the community, and is not in any way connected to the chain of ownership or possession of any recycled materials. The contractual relationship that will exist is between RECYCLER and the actual owners of the material recycled.

DATED: \_\_\_\_\_

DATED: \_\_\_\_\_

CITY OF HAM LAKE

RECYCLER

\_\_\_\_\_  
Recycling Coordinator

\_\_\_\_\_  
Evergreen Recycling, LLC



Rush City, MN 55069

320-358-3988

Name / Address
Ham Lake



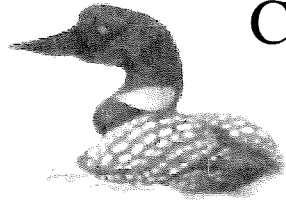
# Estimate

Date	Estimate #
1/4/2024	192

Project

Item	Description	Qty	Rate	Total
Mattress			25.00	25.00T
Box spring			20.00	20.00T
labor		4	40.00	160.00T
trucking		1	200.00	200.00

<b>Subtotal</b>		\$405.00
<b>Sales Tax (0.0%)</b>		\$0.00
<b>Total</b>		\$405.00



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
info@ci.ham-lake.mn.us

## *ARBOR DAY PROCLAMATION*

Whereas, In 1872, J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees, and

Whereas, this holiday, called Arbor Day, was first observed with the planting of more than a million trees in Nebraska, and Arbor Day is now observed throughout the nation and the world, and

Whereas, trees reduce the erosion of our precious topsoil by wind and water, cut heating and cooling costs, moderate the temperature, clean the air, produce oxygen and provide habitat for wildlife, and

Whereas, trees are a renewable resource giving us paper, wood for our homes, fuel for our fires and countless other wood products, and

Whereas, trees in our city increase property values, enhance the economic vitality of business areas, and beautify our community, and

Whereas, trees, wherever they are planted, are a source of joy and spiritual renewal, and

Whereas, the City of Ham Lake, has been recognized as a Tree City USA by the National Arbor Day Foundation and desires to continue its tree planting practices.

Now therefore, I, Brian Kirkham, Mayor of the City of Ham Lake, do hereby proclaim May 4, 2024 as

### *Arbor Day*

in the City of Ham Lake, and urge all citizens to celebrate Arbor Day and to support efforts to protect our trees and woodlands, and

Further, I urge all citizens to plant trees to gladden the heart and promote the well-being of this and future generations.

Dated this 5th day of February, 2024.

---

Brian Kirkham  
Mayor

**ORGANIZATION INFORMATION**

Organization Name: Blaine Central Alano Previous Gambling Permit Number: \_\_\_\_\_  
 Minnesota Tax ID Number, if any: \_\_\_\_\_ Federal Employer ID Number (FEIN), if any: 41-1444295  
 Mailing Address: 13536 Highway 65 NE  
 City: Ham Lake State: MN Zip: 55304 County: Anoka  
 Name of Chief Executive Officer (CEO): Connie S. Matros  
 CEO Daytime Phone: 763-370-9843 CEO Email: thematrosocabin@gmail.com  
(permit will be emailed to this email address unless otherwise indicated below)  
 Email permit to (if other than the CEO): \_\_\_\_\_

**NONPROFIT STATUS**

Type of Nonprofit Organization (check one):

- Fraternal     Religious     Veterans     Other Nonprofit Organization

Attach a copy of at least one of the following showing proof of nonprofit status:

(DO NOT attach a sales tax exempt status or federal employer ID number, as they are not proof of nonprofit status.)

- Current calendar year Certificate of Good Standing**  
 Don't have a copy? This certificate must be obtained each year from:  
 MN Secretary of State, Business Services Division      Secretary of State website, phone numbers:  
 60 Empire Drive, Suite 100      [www.sos.state.mn.us](http://www.sos.state.mn.us)  
 St. Paul, MN 55103      651-296-2803, or toll free 1-877-551-6767
- Internal Revenue Service-IRS income tax exemption 501(c) letter in your organization's name**  
 Don't have a copy? Obtain a copy of your federal income tax exempt letter by having an organization officer contact the IRS at 877-829-5500.
- Internal Revenue Service-Affiliate of national, statewide, or international parent nonprofit organization (charter)**  
 If your organization falls under a parent organization, attach copies of both of the following:  
 1. IRS letter showing your parent organization is a nonprofit 501(c) organization with a group ruling; and  
 2. the charter or letter from your parent organization recognizing your organization as a subordinate.

**EXCLUDED BINGO ACTIVITY**

Has your organization held a bingo event in the current calendar year?  Yes  No

If yes, list the dates when bingo was conducted: \_\_\_\_\_

The proposed bingo event will be:

- one of four or fewer bingo events held this year. Dates: to be 3/7/24; 4/7/24; 10/7/24; 11/7/24  
 -OR-  
 conducted on up to 12 consecutive days in connection with a:  
 county fair      Dates: \_\_\_\_\_  
 civic celebration      Dates: \_\_\_\_\_  
 Minnesota State Fair      Dates: \_\_\_\_\_

Person in charge of bingo event: Connie S. Matros Daytime Phone: 763-370-9843

Name of premises where bingo will be conducted: Blaine Central Alano

Premises street address: 1356 Highway 65 NE

City: Ham Lake If township, township name: \_\_\_\_\_ County: Anoka

**LOCAL UNIT OF GOVERNMENT ACKNOWLEDGMENT (required before submitting application to the Minnesota Gambling Control Board)**

<p style="text-align: center;"><b>CITY APPROVAL</b> <b>for a gambling premises</b> <b>located within city limits</b></p> <p>On behalf of the city, I approve this application for excluded bingo activity at the premises located within the city's jurisdiction.</p> <p>Print City Name: _____</p> <p>Signature of City Personnel: _____</p> <p>Title: _____ Date: _____</p>	<p style="text-align: center;"><b>COUNTY APPROVAL</b> <b>for a gambling premises</b> <b>located in a township</b></p> <p>On behalf of the county, I approve this application for excluded bingo activity at the premises located within the county's jurisdiction.</p> <p>Print County Name: _____</p> <p>Signature of County Personnel: _____</p> <p>Title: _____ Date: _____</p> <p><b>TOWNSHIP (if required by the county)</b> On behalf of the township, I acknowledge that the organization is applying for excluded bingo activity within the township limits. (A township has no statutory authority to approve or deny an application, per Minnesota Statutes, Section 349.213.)</p> <p>Print Township Name: _____</p> <p>Signature of Township Officer: _____</p> <p>Title: _____ Date: _____</p>
---	--

**The city or county must sign before submitting application to the Gambling Control Board.**

**CHIEF EXECUTIVE OFFICER'S SIGNATURE (required)**

The information provided in this application is complete and accurate to the best of my knowledge.

Chief Executive Officer's Signature: Connie S. Matros Date: 25 JAN 2024  
(Signature must be CEO's signature; designee may not sign)

Print Name: CONNIE S. MATROS

**MAIL OR FAX APPLICATION & ATTACHMENTS**

<p>Mail or fax application and a copy of your proof of nonprofit status to:</p> <p style="padding-left: 20px;">Minnesota Gambling Control Board 1711 West County Road B, Suite 300 South Roseville, MN 55113 Fax: 651-639-4032</p> <p>An excluded bingo permit will be mailed to your organization. Your organization must keep its bingo records for 3-1/2 years.</p> <p><b>Questions?</b> Call a Licensing Specialist at 651-539-1900.</p>	<p>Bingo hard cards and bingo number selection devices may be borrowed from another organization authorized to conduct bingo. Otherwise, bingo hard cards, bingo paper, and bingo number selection devices must be obtained from a distributor licensed by the Minnesota Gambling Control Board. To find a licensed distributor, go to <a href="http://www.mn.gov/gcb">www.mn.gov/gcb</a> and click on <b>Distributors</b> under the <b>LIST OF LICENSEES</b> tab, or call 651-539-1900.</p> <p style="text-align: center;">This form will be made available in alternative format (i.e. large print, braille) upon request.</p>
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Data privacy notice: The information requested on this form (and any attachments) will be used by the Gambling Control Board (Board) to determine your organization's qualifications to be involved in lawful gambling activities in Minnesota. Your organization has the right to refuse to supply the information; however, if your organization refuses to supply this information, the Board may not be able to determine your organization's qualifications and, as a consequence, may refuse to issue a permit. If your organization supplies the information requested, the Board

will be able to process the application. Your organization's name and address will be public information when received by the Board. All other information provided will be private data about your organization until the Board issues the permit. When the Board issues the permit, all information provided will become public. If the Board does not issue a permit, all information provided remains private, with the exception of your organization's name and address which will remain public. Private data about your organization are available to Board

members, Board staff whose work requires access to the information; Minnesota's Department of Public Safety; Attorney General; Commissioners of Administration, Minnesota Management & Budget, and Revenue; Legislative Auditor, national and international gambling regulatory agencies; anyone pursuant to court order; other individuals and agencies specifically authorized by state or federal law to have access to the information; individuals and agencies for which law or legal order authorizes a new use or sharing of information after this notice was given; and anyone with your written consent.



## Denise Webster

---

**From:** dixsonerin@gmail.com  
**Sent:** Monday, January 29, 2024 4:25 PM  
**To:** Jennifer Bohr  
**Subject:** Re: Term Renewal

**Caution:** This email originated outside our organization; please use caution.

Jennifer,

Yes, I would like to remain on the Planning Commission for another term.

Please let me know if I need to do anything in addition to this email.

Thanks,  
Erin

On Jan 25, 2024, at 11:39 AM, Jennifer Bohr <JBohr@ci.ham-lake.mn.us> wrote:

Hi Erin!

Another three years has flown by! Your current term on the Planning Commission expires on 3/15/24. You will be receiving the attached letter in the mail but knowing how reliable the postal service is these days, I wanted to email it to you also!

Hope you're having a great day!  
Jennifer

***Jennifer Bohr***  
*Building & Zoning Clerk/Deputy City Clerk*  
City of Ham Lake  
763-434-9555  
[www.ci.ham-lake.mn.us](http://www.ci.ham-lake.mn.us)

<Term Renewal Ltr Erin.pdf>

## Denise Webster

---

**From:** Jonathan Fisher <JonathanFisher@comcast.net>  
**Sent:** Friday, January 26, 2024 10:29 AM  
**To:** Jennifer Bohr  
**Subject:** Re: Term Renewal

**Caution:** This email originated outside our organization; please use caution.

Jennifer,

I have enjoyed my time on the Ham Lake Planning Commission and would like to serve another term as a commissioner.

Thanks.

Jonathan Fisher

On Jan 25, 2024, at 11:40 AM, Jennifer Bohr <JBohr@ci.ham-lake.mn.us> wrote:

Hi Jonathan!

Your current term on the Planning Commission expires on 3/15/24. You will be receiving the attached letter in the mail but knowing how reliable the postal service is these days, I wanted to email it to you also!

Warm regards,  
Jennifer

***Jennifer Bohr***  
*Building & Zoning Clerk/Deputy City Clerk*  
City of Ham Lake  
763-434-9555  
[www.ci.ham-lake.mn.us](http://www.ci.ham-lake.mn.us)

<Term Renewal Ltr Jonathan.pdf>

## Denise Webster

---

**From:** Jeff Entsminger <Jeff@allseasonservices.com>  
**Sent:** Thursday, January 25, 2024 2:47 PM  
**To:** Jennifer Bohr  
**Subject:** Re: Term Renewal

**Caution:** This email originated outside our organization; please use caution.

Thank you!! And yes I would like to serve another term.

I can respond to the letter too

Thanks,  
Jeff

---

**From:** Jennifer Bohr <JBohr@ci.ham-lake.mn.us>  
**Sent:** Thursday, January 25, 2024 11:42 AM  
**To:** Jeff Entsminger <Jeff@allseasonservices.com>  
**Subject:** RE: Term Renewal

Hi Jeff!

Your second term on the Planning Commission expires on 3/15/24. How fast time flies!

You will be receiving the attached letter in the mail but knowing how reliable the postal service is these days, I wanted to email it to you also!

Jennifer

***Jennifer Bohr***

*Building & Zoning Clerk/Deputy City Clerk*

City of Ham Lake

763-434-9555

[www.ci.ham-lake.mn.us](http://www.ci.ham-lake.mn.us)

**Meeting Date: February 5, 2024**

**CITY OF HAM LAKE**  
*STAFF REPORT*

**To: Mayor and Councilmembers**

**From: John Witkowski, Public work Superintendent, on behalf of the Park Committee**

**Subject: Aluminum Park Bleachers and Hip Shade replacement fabric**

**Introduction:**

I discussed with the Park Committee members Mayor Brian Kirkham and Councilmember Al Parranto the need to replace the three deteriorating wood bleachers at Pinger's, Patricia's and Twin Birch Park with aluminum bleachers. These are the last three parks with wood bleachers that need to be updated. The Park and Beach Fund would be used to cover the cost. The cost for purchasing three new aluminum bleachers from MWP Recreation is \$6,165.00.

We also discussed the need to replace three Hip Shades, one at Lion's Park and two at Ham Lake Park. The cost for purchasing three Hip Shade replacement fabrics from MWP Recreation would be \$17,450.00. The Park and Beach Fund would be used to cover the cost.

**Recommendation:**

We are recommending purchasing three new aluminum bleachers from MWP Recreation in the amount of \$6,165.00 for Pinger's, Patricia's and Twin Birch Park and three Hip Shade replacement fabric, one for Lion's Park and two for Ham Lake Park in the amount of \$17,450.00 with the monies coming from the Park and Beach Fund.



MWP Recreation  
 5101 Highway 55, Suite 6000 Golden Valley, Minnesota 55422  
 Ph. 800-622-5425 | 763-546-7787 Fax 763-546-5050 | harlan@mnwiplay.com

01/24/2024  
 Quote #  
 104596-01-01

CONSULTANT: HARLAN LEHMAN

## Bleachers

City of Ham Lake  
 Attn: Jim Kappelhoff  
 15544 Central Avenue NE  
 Ham Lake, MN 55304  
 Phone: 763-286-4079  
 Fax:XXX  
 kappelhoff1@hotmail.com

Ship to Zip 55304

Quantity	Part #	Description	Unit Price	Amount
1	BLA3A15	Kay Park - 3 ROW ALUMINUM FRAME BLEACHER W/ 15' ANOD ALUM SEAT PLAN & MILL ALUM WALKBO	\$1,525.00	\$1,525.00
2	BLA4A15	Kay Park - 4 ROW ALUMINUM BLEACHER FRAMES W/ 15' ALUM. PLANKING	\$2,095.00	\$4,190.00
			<b>Sub Total</b>	<b>\$5,715.00</b>
			<b>Freight</b>	<b>\$450.00</b>
			<b>Total</b>	<b>\$6,165.00</b>

This quotation is subject to current Minnesota/Wisconsin Playground (MWP) policies as well as the following terms and conditions. Our quotation is based on shipment of all items at one time to a single destination, unless noted, and changes are subject to price adjustment. Purchases in excess of \$1,000.00 to be supported by your written purchase order made out to Minnesota/Wisconsin Playground.

Each quote is handled on a per order/project basis. Unless a long-term agreement is in place between purchaser and MWP, terms and conditions of this quotation shall be as outlined herein with no other requirements applicable.

Any changes made to product and/or services after initial order(s) has/have been received by MWP will result in production and/or schedule time frame modifications. Please contact your regional representative to receive a revised schedule for your order/project.

Indemnification; Owner/Owner's Representative will indemnify and hold Minnesota Playground, Inc., dba, Minnesota Wisconsin Playground (MWP), harmless for all claims, damages and related costs, including reasonable legal fees and costs, arising out of Owner/Owner's Representative's negligence or noncompliance with any of its commitments under this document. MWP will indemnify and hold Owner/Owner's Representative harmless for all claims, damages and related costs, including reasonable legal fees and costs, arising out of MWP's negligence or noncompliance with any of its commitments under this document.

Excusable Delays/Additional Costs: MWP, and/or its affiliates, shall be liable for default unless delay of performance, whether supplying materials only or including installation in accordance with our project scope, is caused by an occurrence beyond reasonable control of MWP, and/or its affiliates, such as, but not limited to, acts of Superior Force or the public enemy, acts of Government in either its sovereign or contractual capacity, fire, floods, epidemics, quarantine restrictions, strikes, unusually severe weather, delays of common carriers (for transportation of goods whether raw materials or finished product) and attainability of raw materials. Such events resulting in additional costs are not included in quoted amounts and shall be the responsibility of the Owner/Owner's Representative. Any additional costs shall be provided in writing for purchaser's records and shall be due upon payment of invoice.

Pricing: f.o.b. factory, firm for 15 days from date of quotation. If placing an order after expiration of quote, please contact our office for updated pricing. A tax-exempt certificate is needed at time of order entry for all orders whether from tax-supported government agencies or not. Sales tax, if applicable, will be added at time of invoice unless a tax exempt certificate is provided at time of order entry.

Payment terms: net 30 days provided your account is current and in good standing. A 1.5% per month finance charge will be imposed on all past due accounts. Equipment shall be invoiced separately from other services and shall be payable in advance of those services and project completion. Retainage not accepted.

Unless already on file, please include a tax exempt certificate upon order entry whether a tax supported government agency or other.





MWP Recreation
5101 Highway 55, Suite 6000 Golden Valley, Minnesota 55422
Ph. 800-622-5425 | 763-546-7787 Fax 763-546-5050 | harlan@mnwiplay.com

01/24/2024
Quote #
104596-01-01

CONSULTANT: HARLAN LEHMAN

Bleachers

Freight charges: Prepaid & added

Submittals: the design proposal and/or products herein reflect the spirit and intent of the project plans and specifications. While some variations may exist between our quotation and the project design, the differences do not materially affect the intended use. ENTER IN MANUFACTURER designs and specifications are unique and not intended to be identical in all respects to other manufacturers. We shall submit for review and approval by the owner's representative detailed drawings depicting the equipment to be furnished accompanied by specifications describing materials. Once approved, these drawings and specifications shall constitute the final documents for the project and shall take precedence over all other requirements.

Exclusions: unless specifically included, this quotation excludes all site work and landscaping; removal of existing obstructions/equipment; acceptance of product and off-loading; storage of goods prior to installation; product assembly and installation; concrete work of any type and drainage provisions.

Order Information:

Bill To: \_\_\_\_\_ Ship To: \_\_\_\_\_
Company: \_\_\_\_\_ Project Name: \_\_\_\_\_
Attn: \_\_\_\_\_ Attn: \_\_\_\_\_
Address: \_\_\_\_\_ Address: \_\_\_\_\_
City, State, Zip: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_
Contact: \_\_\_\_\_ Contact: \_\_\_\_\_
Tel: \_\_\_\_\_ Tel: \_\_\_\_\_
Fax: \_\_\_\_\_ Fax: \_\_\_\_\_

Acceptance of quotation:

Accepted By (printed): \_\_\_\_\_ P.O. No: \_\_\_\_\_
Signature: \_\_\_\_\_ Date: \_\_\_\_\_
Title: \_\_\_\_\_ Phone: \_\_\_\_\_
Facsimile: \_\_\_\_\_ Purchase Amount: \$6,165.00





MWP Recreation  
 5101 Highway 55, Suite 6000 Golden Valley, Minnesota 55422  
 Ph. 800-622-5425 | 763-546-7787 Fax 763-546-5050 | harlan@mnwplay.com

01/30/2024  
 Quote #  
 104519-01-02

**CONSULTANT: HARLAN LEHMAN**

## HIP SHADE REPLACEMENT FABRIC

City of Ham Lake  
 Attn: Jim Kappelhoff  
 15544 Central Avenue NE  
 Ham Lake, MN 55304  
 Phone: 763-286-4079  
 Fax:XXX  
 JKappelhoff@ci.ham-lake.mn.us

Ship to Zip 55304

Quantity	Part #	Description	Unit Price	Amount
3	HIP 40 x 28	SRP Shade - Hip Shade Replacement- 40' x28' Corner to Corner HDPE Knitted Fabric Standard Connection- Standard Elbow Custom for Non-SRP Frame Cable & Clamps Included Color TBD	\$5,600.00	\$16,800.00
			<b>Sub Total</b>	\$16,800.00
			<b>Freight</b>	\$650.00
			<b>Total</b>	<b>\$17,450.00</b>

This quotation is subject to current MWP Recreation (MWP) policies as well as the following terms and conditions. Our quotation is based on shipment of all items at one time to a single destination, unless noted, and changes are subject to price adjustment. Purchases in excess of \$1,000.00 to be supported by your written purchase order made out to MWP Recreation.

Each quote is handled on a per order/project basis. Unless a long-term agreement is in place between purchaser and MWP, terms and conditions of this quotation shall be as outlined herein with no other requirements applicable.

Any changes made to product and/or services after initial order(s) has/have been received by MWP will result in production and/or schedule time frame modifications. Please contact your regional representative to receive a revised schedule for your order/project.

Indemnification; Owner/Owner's Representative will indemnify and hold Minnesota Playground, Inc., dba, MWP Recreation (MWP), harmless for all claims, damages and related costs, including reasonable legal fees and costs, arising out of Owner/Owner's Representative's negligence or noncompliance with any of its commitments under this document. MWP will indemnify and hold Owner/Owner's Representative harmless for all claims, damages and related costs, including reasonable legal fees and costs, arising out of MWP's negligence or noncompliance with any of its commitments under this document.

Excusable Delays/Additional Costs: MWP, and/or its affiliates, shall be liable for default unless delay of performance, whether supplying materials only or including installation in accordance with our project scope, is caused by an occurrence beyond reasonable control of MWP, and/or its affiliates, such as, but not limited to, acts of Superior Force or the public enemy, acts of Government in either its sovereign or contractual capacity, fire, floods, epidemics, quarantine restrictions, strikes, unusually severe weather, delays of common carriers (for transportation of goods whether raw materials or finished product) and attainability of raw materials. Such events resulting in additional costs are not included in quoted amounts and shall be the responsibility of the Owner/Owner's Representative. Any additional costs shall be provided in writing for purchaser's records and shall be due upon payment of invoice.

Pricing: f.o.b. factory, firm for 15 days from date of quotation. If placing an order after expiration of quote, please contact our office for updated pricing. A tax-exempt certificate is needed at time of order entry for all orders whether from tax-supported government agencies or not. Sales tax, if applicable, will be added at time of invoice unless a tax exempt certificate is provided at time of order entry.





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5101 Highway 55, Suite 6000 Golden Valley, Minnesota 55422
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01/30/2024
Quote #
104519-01-02

CONSULTANT: HARLAN LEHMAN

HIP SHADE REPLACEMENT FABRIC

Payment terms: net 30 days for tax supported governmental agencies. Should this quotation be forwarded to an agency not listed on this quote, credit terms, as well as other terms and conditions herein, may be need to be altered. For instance, non-tax supported organization purchasing any or all products and/or services quoted herein may require full payment for that amount due at time of order entry. Remaining balance owed by tax supported agency, if any, shall still be net 30 days. A 1.5% per month finance charge will be imposed on all past due accounts. Equipment shall be invoiced separately from other services and shall be payable in advance of those services and project completion. Retainage not accepted.

Unless already on file, please include a tax exempt certificate upon order entry whether a tax supported government agency or other.

Freight charges: Prepaid & added

Submittals: the design proposal and/or products herein reflect the spirit and intent of the project plans and specifications. While some variations may exist between our quotation and the project design, the differences do not materially affect the intended use. ENTER IN MANUFACTURER designs and specifications are unique and not intended to be identical in all respects to other manufacturers. We shall submit for review and approval by the owner's representative detailed drawings depicting the equipment to be furnished accompanied by specifications describing materials. Once approved, these drawings and specifications shall constitute the final documents for the project and shall take precedence over all other requirements.

Exclusions: unless specifically included, this quotation excludes all site work and landscaping; removal of existing obstructions/equipment; acceptance of product and off-loading; storage of goods prior to installation; product assembly and installation; concrete work of any type and drainage provisions.

Order Information:

Bill To: \_\_\_\_\_ Ship To: \_\_\_\_\_
Company: \_\_\_\_\_ Project Name: \_\_\_\_\_
Attn: \_\_\_\_\_ Attn: \_\_\_\_\_
Address: \_\_\_\_\_ Address: \_\_\_\_\_
City, State, Zip: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_
Contact: \_\_\_\_\_ Contact: \_\_\_\_\_
Tel: \_\_\_\_\_ Tel: \_\_\_\_\_
Fax: \_\_\_\_\_ Fax: \_\_\_\_\_

Acceptance of quotation:

Accepted By (printed): \_\_\_\_\_ P.O. No: \_\_\_\_\_
Signature: \_\_\_\_\_ Date: \_\_\_\_\_
Title: \_\_\_\_\_ Phone: \_\_\_\_\_
Facsimile: \_\_\_\_\_ Purchase Amount: \$17,450.00





**Meeting Date: February 5, 2024**

**CITY OF HAM LAKE**

***STAFF REPORT***

**To: Mayor and Councilmembers**

**From: John Witkowski, Public Works Superintendent**

**Subject: Hiring Public Works part-time Seasonal/On-Call Snowplow Operator**

**Introduction:** I am recommending the hiring of one Public Works part-time seasonal/on-call snowplow operator.

**Recommendation:** Listed below is the individual that is being recommended for the Public Works part-time seasonal/on-call snowplow operator position.

John Abbott will be at a pay rate of \$20.40 per hour as a new hire.

RESOLUTION NO. 24-XX

WHEREAS, the City Council of the City of Ham Lake is required by MS 204B.21, Sec. 2, to officially approve the appointment of election judges; and

WHEREAS, the Ham Lake City Council hereby adopts the judges on the attached list, as the official judges for the March 5, 2024 Presidential Nomination Primary Election, with the understanding that amendments may be necessary to the appointments in order to fill vacancies and meet party requirements.

NOW THEREFOR, BE IT RESOLVED, that the names listed on the attached list are the official election judges for the March 5, 2024 Presidential Nomination Primary Election.

Adopted by the City Council of the City of Ham Lake this 5th day of February, 2024.

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Brian Kirkham, Mayor

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Denise Webster, City Clerk

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## ***Poll Worker Report, 2024 Presidential Nomination Primary***

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### **Primary Election, Tuesday, March 5, 2024**

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#### **Ham Lake P-1**

Glen Cary Lutheran Church, 15531 Central Avenue NE, Ham Lake, MN 55304

Jeanne Ullevig-Martin, Head Judge  
Brenda Hovet, Assistant Head Judge  
Andrew Audette, Election Judge  
Jill Bjornson, Election Judge  
Philip Engelmeyer, Election Judge  
James Gutz, Election Judge  
John Rafalski, Election Judge  
Duane Steele, Election Judge

---

#### **Ham Lake P-2**

Ham Lake Senior Center, 15544 Central Avenue NE, Ham Lake, MN 55304

James Hunter, Head Judge  
Jeffrey Holec, Assistant Head Judge  
Robert Breyemeier, Election Judge  
Rita Culshaw, Election Judge  
Mark Glocke, Election Judge  
Patty Kappelhoff, Election Judge  
Roberta McCullough, Election Judge  
Carol Wawers, Election Judge

---

#### **Ham Lake P-3**

Oak Haven Church, 1555 Constance Boulevard NE, Ham Lake, MN 55304

Thomas Martin, Head Judge  
Roger Langerud, Assistant Head Judge  
Patricia Callahan, Election Judge  
Mary Ann Egan, Election Judge  
Shannon Fletcher, Election Judge  
JoAnn Lindgren, Election Judge  
Kristi Phetdara, Election Judge  
Paul Schultz, Election Judge

---

#### **Ham Lake P-4**

Eagle Brook Church - Ham Lake Campus, 1503 157th Avenue NE, Ham Lake, MN 55304

Timothy Hanschen, Head Judge  
Marissa Norman, Assistant Head Judge  
Lori Anshus, Election Judge  
Jean Doolittle, Election Judge  
Edward Hagenbuch, Election Judge  
Kim Hogdal, Election Judge  
John Lund, Election Judge  
Wendy O'Neil, Election Judge

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#### **Ham Lake P-5**

Radisson Road Baptist Church, 13627 Radisson Road NE, Ham Lake, MN 55304

Janis Antinozzi, Head Judge  
Gaelen Kesler, Assistant Head Judge  
Joann Herman, Election Judge  
Mary Jirak, Election Judge  
Marlene Morris, Election Judge  
Corinne Seltz, Election Judge  
Allen Stauffacher, Election Judge  
Judy Wilken, Election Judge

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## ***Poll Worker Report, 2024 Presidential Nomination Primary***

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### **Ham Lake P-6**

Church of Saint Paul, 1740 Bunker Lake Blvd NE, Ham Lake, MN 55304

Rebecca Cook, Head Judge

Dixie Steele, Assistant Head Judge

Darleen Baillargeon, Election Judge

Barb Camarata, Election Judge

James Kappelhoff, Election Judge

Stephen Kesler, Election Judge

Janet Liebsch, Election Judge

Sharon Wolfgram, Election Judge

Meeting Date: February 5, 2024

**CITY OF HAM LAKE**  
*STAFF REPORT*

**To:** Mayor and Councilmembers

**From:** Mike Raczkowski, Fire Chief, on behalf of the Fire Department Liaisons

**Item/Title/Subject:** Pumper Tanker Purchase

**Introduction/Discussion:**

A one-time Public Safety Aid for the City of Ham Lake was received in December, 2023 in the amount of \$721,000. The purpose of the aid is to “provide public safety”. The purchase of a new Pumper Tanker would qualify as a public safety purchase. Fire Department Liaisons Mayor Kirkham and Councilmember Parranto requested we look into a Pumper Tanker for the newly built Fire Station #3. After speaking with the manufacturers Rosenbauer and E-One, two similar bids were received. The significant points we looked at were a 1500 gallon per minute fire pump, the ability to carry 2500-gallons water, suction points, intakes, discharges, valve control, generator/inverter, lighting, motor size, frame, and body warranties. The only difference between those listed items was that E-One had an additional water fill and discharge.

Rosenbauer's quote was for \$996,848, with paying for the chassis upfront and E-One's quote was for \$969,850. E-One also offers a 3% rebate on any money paid up front on the truck to use for any additional equipment needed for the truck.

The cost of fire trucks has drastically increased over the past few years and is expected to increase another 5% this year. Additional funding will need to be used from the Fire Department's Equipment Fund to cover the difference from the Public Safety Aide.

**Recommendation:**

We are recommending purchasing a Pumper Tanker from E-One in the amount of \$969,850 using the \$721,000 received in Public Safety Aid and the additional monies coming from the Fire Department Equipment Fund in the amount of \$248,850.



**FIRE SAFETY USA, INC.**

3253 19<sup>TH</sup> STREET NW  
ROCHESTER, MN 55901

TOLL-FREE: 1-877-699-3473

PHONE: 507-529-8444

FAX: 507-529-8111

[WWW.FIRESAFETYUSA.COM](http://WWW.FIRESAFETYUSA.COM)

Proposal Pricing for  
**HAM LAKE FIRE DEPARTMENT**

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**E-ONE CUSTOM PUMPER TANKER**

**\$969,850.00**

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**OPTIONS INCLUDED IN QUOTED PRICE:**

- Three (3) Year Bumper to Bumper Labor Warranty
- Lifetime Chassis Warranty / 10 Yr. Paint / 25 Yr. Frame Rail Corrosion
- Free Pump / Apparatus Certification 1 year after delivery on Fire Safety USA
- 10% Off Advertised Price product on our website (excludes hose)
- Electric Dump Chute
- NFPA Ladders / Pike Poles / Chocks
- Two (2) Spare Poly Speedlay Trays
- Invertor
- Sourcewell Discount Pricing
- All E-One Specifications and CAD Files approved by Ham Lake FD





# Fire Apparatus Quotation for: Ham Lake, MN



Quotation Number: 128145  
Unit Description: TTAL-CYCN  
Quote Description: Tanker, Tandem Axle, Aluminum, Cyclone

Salescode	Extended Description	Qty
<b>TESTING COMPLIANCE STANDARD</b>		
1001-0065	The E-ONE supplied components of the vehicle shall meet the requirements of NFPA 1901, 2016 edition.	1
3090-0002	OAH. Unit has no overall height restrictions.	1
3090-0004	OAL. Unit has no overall length restrictions.	1
3090-0007	Hosebed hoseload allowance on the apparatus shall be 1200 lbs.	1
3340-1137-11Z	Equipment allowance on the apparatus shall be 1000 lbs. This allowance is in addition to the weight of the hoses and ground ladders listed in the shop order as	1
<b>BUMPERS</b>		
1160-0008	3/16" Front Bumper Gravel Shield.	1
1160-0094	18" Front Bumper Gravel Shield Extension.	1
1160-0345	Heavy duty, formed, 10" front bumper with full wrap around. Corners to be tapered for an 8.5" wide mounting area. Includes support wings for outboard sides (as applicable). To be painted as specified.	1
<b>BUMPER TRAYS</b>		
1150-0055	Hinged diamond plate lid for center bumper tray. Includes: seal, 1/4 turn latch and gas shock hold open device.	1
1150-0121	Bumper tray center of bumper with slats 14 inches deep (approx 13 inches to slats).	1
<b>FRAME ASSEMBLY</b>		
1250-0080	Frame assembly with 10.25 x 3.5 x .375 powder coated galvanized rails.	1
1250-0083	Frame liner 9.375 x 3.125 x .375, galvanized and powder coated.	1
1250-0085	Front chassis frame extensions, crossmembers and battery brackets shall be zinc plated (galvanized) IPOS. Includes rear subframe if applicable (urban interface, straight frame 4x4, etc).	1
1250-0092	GEOMET coated frame assembly fasteners.	1



**AXLE OPTIONS**

1025-0020	Meritor RT-46-160 rear tandem axle 46,000 lb. capacity.	1
1025-0027	Driver controlled rear differential.	1
1025-0028	Koni shock absorbers for front axle - adjustable.	1
1025-0030	Stemco sight glass for front axle hubs. Inboard wheel seals will be Chicago Rawhide (or equivalent).	1
1025-0211	Meritor FL-943 front axle 21,500 lbs. Includes maintenance free bushings.	1

**SUSPENSIONS**

1070-0022	Rear suspension FIREMAAX EX model FMX-482 air ride rated equal to the capacity of the axles (40-48K). Requires TB modification on 4-jack aerials. (Raises OAH .5" over springs)	1
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**WHEEL OPTIONS**

1050-0007	Front axle wheel trim kit. Includes stainless steel lug nut covers (chrome plated plastic if applicable) and center cap with E-ONE logo. Note: Center cap will have an inspection port IPO a logo if equipped with Stemco oil seals.	1
1050-0009	Rear axle (tandem) wheel trim kit. Includes stainless steel lug nut covers (chrome plated plastic if applicable) and center caps with E-ONE logo. E-ONE custom chassis w/steel wheels will have chrome plated plastic lug covers.	1
1050-0044	Accuride aluminum wheels for front axle (2).	1
1050-0046	Accuride aluminum wheels for rear axles (8).	1

**TIRE OPTIONS**

1060-0119	RWC AirGuard LED tire pressure monitoring valve stem caps (10) for tandem rear axle applications.	1
1060-0176	Eight Michelin 11R rear tires with XDS2 mud and snow tread.	1
1060-0212	Two Michelin 425 tires model XZE for front axle.	1

**BRAKE SYSTEMS**

1100-0001	Meritor EX225H 17" disc brakes for front axle.	1
1100-0006	Parking brake release mounted on the driver's side lower dash.	1
1100-0008	Brake system air 6X4/6X6.	1
1100-0014	ArvinMeritor 16-1/2" x 7" S-cam brakes with cast brake drums for a tandem rear axle.	1
1100-0026	G4 Electronic Stability Control (6x4), Includes RSC and ATC.	1

**AIR SYSTEM OPTIONS**

1110-0000-001	Inlet for air system. Location: driver door jamb.	1
1110-0002	Air dryer Bendix AD-9.	1
1110-0005	Automatic moisture ejectors, heated.	1

1110-0006	Air lines nylon.	1
1110-0026	Air horns Hadley e-tone recessed in bumper (PR).	1
1110-0027	Isolated air tank. Includes pressure protection valve.	1
1110-0043	Auxiliary air tank to be plumbed to the following optional accessories (if equipped): Chassis air horns, brake system air outlet, air reel, light tower, air primer, air operated devices and or customer/dealer installed pneumatic add-on(s).	1

#### ENGINES & TRANSMISSIONS

1200-0017	Push-button transmission shift selector.	1
1200-0021	TranSynd, Shell Spirax S6ATF A295, or equivalent synthetic transmission fluid for EVS4000 series.	1
1200-0096	Electronic speed limiting set at 60 MPH. Note: Axle gear ratio will be as low as possible while allowing for 60 MPH top speed to improve acceleration.	1
1200-0474	Eng/Trans Cummins X12 500HP with EVS4000 transmission. 2024 EPA Compliant.	1

#### SECONDARY BRAKING

1125-0002	Jacobs engine compression brake. Note: Brake lights will illuminate when auxiliary brake is activated.	1
1125-0023	Transmission to seek second gear when Jacobs engine brake or Telma retarder is engaged. N/A with Trans retarder.	1

#### COOLING PACKAGE

1800-0013	Cooling system for use with Typhoon, Cyclone and Quest chassis. For use with 2010 - 2024 EPA engines. Includes coolant recovery system.	1
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#### FUEL SYSTEMS

1350-0003	Fuel system 50 gallon.	1
1350-0012-670	Fuel shut-off valve. Location: one (1) inlet side of OEM fuel filter.	1
1350-0022	Fuel line hose rubber.	1

#### ALTERNATOR

1700-0005	Alternator Leece Neville 320 amp. 320 amp SAE/272 amp NFPA.	1
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#### BATTERIES

1400-0002	Battery four group 31 1000 CCA.	1
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#### CHASSIS OPTIONS

1680-0005	Thermatic fan clutch.	1
1680-0007	Drivelines 1810. Required on 1550 lb/ft torque or greater engines. N/A with EVS3000 transmission.	1
1680-0008	Tow eyes front painted below bumper/cab (PR). Tow eyes will be integral when used with a drop style frame extension.	1
1680-0011	Tow eyes rear below body, painted.	1

1680-0250-M58	Diesel Exhaust Fluid (DEF) 5 gallon tank. Location: left side below rear of cab.	1
1680-0284	Radiator mounted power steering cooler.	1

<b>CAB MODEL</b>
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1520-0243	Cyclone medium cab - 100" wide (58" CA).	1
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<b>CAB ROOF TYPE</b>
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1615-0041	Vista cab roof 4F/12R. Includes 4" front raise and 12" rear raise (8" step up). Does not include front or front side Vista windows. For use with 100" wide Cyclone only.	1
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<b>CAB BADGE PACKAGE</b>
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1610-0000	Cab and body to have applicable E-ONE logos.	1
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<b>CAB DOOR OPTIONS</b>
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1550-0003	Rear crew cab doors in the medium position.	1
1550-0015	Stainless steel protective trim on rear edge of cab door openings. E-ONE custom	1
1550-0084	All cab exterior entry doors to have 1250 keyed locks.	1
1550-0159	Interior cab door locks - manual. Will be individually actuated from each respective door. Includes key lock on each exterior cab door handle.	1
1550-0185	Cab door panels aluminum painted multi-tone to match cab interior paint. Includes upper and lower panels with seam below handrail.	1
1550-0285	Driver and officer door windows to be power actuated with HD regulators. Switches to be located at center dash. For use with new Typhoon and 100" wide Cyclone	1
1550-0286	Rear crew cab door windows to be power actuated with HD regulators. Switches to be located on each door with add'l switches accessible by driver. For use with new Typhoon and 100" wide Cyclone cabs.	1
1550-0288	Cab doors to extend down to cover lower step well. For use with new Typhoon cab and 100" wide Cyclone only.	1
1550-0333-000-J7	Red/Fluorescent Yellow Green Reflexite V98 chevron "A" stripe on lower cab door panel of an extended door. Stainless steel/painted door panels only. E-ONE cabs	1
1550-0377	All cab doors shall have exterior pull style handles with integral key lock (glass reinforced nylon).	1

<b>CAB STEP OPTIONS</b>
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1640-0047	Lower steps to extend 3.5" past cab. For use with legacy Typhoon / Cyclone with barrier style doors and new Typhoon / Cyclone with barrier style or extended doors.	1
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<b>MIRRORS</b>
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1670-0002-C14	Ramco 6001MCR mirrors. Remote controlled with bottom manual convex. Location: Driver side mounted on frt cab door, officer side mounted on frt cab corner.	1
1670-0088	Driver and officer Ramco cab mirrors to be heated. Includes all surfaces (flat and convex, as applicable).	1

**MISC EXTERIOR CAB OPTIONS**

1550-0020	Windows cab side fixed driver's side.	1
1550-0033	Windows cab side fixed officer's side.	1
1675-0022	Pair of 18" handrails located just behind driver and officer front door one each side.	1
1675-0024	Pair of 36" handrails located just behind driver and officer rear door (ALS doors if equipped) one each side.	1
1675-0030	Mud flaps, front, black with E-ONE logo.	1
1675-0047	Rear cab wall to be 3/16" aluminum diamond plate.	1
1675-0201	Large radius cab wheel well. Includes bolt-on adjustable wheel well trim.	1
1675-0202	Mounting plate for battery charger receptacle, indicator, air inlet, etc (if applicable). Plate to be removable brushed stainless steel.	1

**HVAC**

1515-0053	Controls for heating and air conditioning shall be located in the center dash area. (Lower area on Typhoon and Cyclone with severe duty dash)	1
1515-0099	Air conditioning with radiator mounted condenser for use with Cummins L9 and X12 engine. Includes reduced profile evaporator w/powder coated cover and electronic controls.	1
1685-0057	Heaters cab rear with covers (PR), and front heater with heat to the feet for the driver and officer.	1

**SEATS**

1510-0003	Seats, Inc. brand 911 cab seats. Color, Black.	1
1510-0038	Driver seat 911 air ride.	1
1510-0042	Officer seat to be 911 fixed SCBA.	1
1510-0050	Rear facing 911 seat with SCBA driver's side.	1
1510-0053	Rear facing 911 seat with SCBA officer's side.	1
1510-0062	Two man bench centered on rear wall with 911 SCBA backs. Includes angled	1
1510-0203-147	Bracket SCBA IMMI SmartDock Gen2 restraint system. Location: officer's seat.	1
1510-0203-148	Bracket SCBA IMMI SmartDock Gen2 restraint system. Location: rear facing driver's side.	1
1510-0203-151	Bracket SCBA IMMI SmartDock Gen2 restraint system. Location: inboard driver's side rear wall.	1
1510-0203-152	Bracket SCBA IMMI SmartDock Gen2 restraint system. Location: inboard officer's side rear wall.	1
1510-0203-215	Bracket SCBA IMMI SmartDock Gen2 restraint system. Location: rear facing officer's side.	1
1510-0234	Seat cover material Turnout Tuff.	1
1685-0033	Seating capacity tag of six occupants.	1

**MISC INTERIOR CAB OPTIONS**

1685-0006	Padded sun visors, driver and officer's side overhead.	1
1685-0008	Control lanyard Y type for air horns.	1
1685-0187	Severe duty engine cover, molded polyurethane.	1
1685-0446	Severe duty overhead console. Includes driver, center and officer overhead ahead of air conditioning plenum. Center overhead includes siren mounting locations. Overhead to match cab interior.	1
1685-0531	Storage at rear of doghouse with center tray and storage below tray.	1
1685-0669	Severe duty dash package with low profile center section. Cast alum construction. Includes smooth plate alum lower kick panels; all painted to match cab interior.	1
1685-0692	Cab insulation package. Includes insulation for ceiling, front wall, rear wall, side walls, below seat risers and in doors.	1
1685-0891	Cab interior padding to be gray.	1

**CAB ELECTRICAL OPTIONS**

1750-0024-179-04	Auto-Eject receptacle inlet 20 amp located outside driver's door next to handrail with a Yellow cover.	1
1750-0030	Switch horn button two position DOT/electronic siren.	1
1750-0046-195	Cab Headlights. Position: lower.	1
1750-0072-592	12 VDC electrical outlet wired battery hot. Location: driver side dash.	1
1750-0072-593	12 VDC electrical outlet wired battery hot. Location: officer side dash.	1
1750-0073-585	Antenna base Tessco P/N 90942 (NMO Motorola Style - also called MATM style) on cab roof. Location: driver side forward with coaxial cable terminating at the center of the dash board.	1
1750-0075	English dominant main cab gauge cluster.	1
1750-0166	ATC override switch.	1
1750-0198-A31	Battery charger to be located behind driver's seat.	1
1750-0199-762	Air compressor to be located behind officer's seat.	1
1750-0265	Speedometer for officer side multiplex display.	1
1750-0343	Battery charger E-ONE LPC 20. 120 volt inlet, 20 amp output. Includes status indicator panel.	1
1750-0449	Momentary DPF regeneration override switch.	1
1750-0482	Control push-button switch officer switch panel for Q2B siren.	1
1750-0483	Control push-button switch on officer's switch panel for Q2B siren brake.	1
1750-0516	Auto drain, Kussmaul model 091-9-086 12V.	1
1750-0554	FireTech LED cab headlights.	1
1750-0764	Daytime Running Light TecNiq LED strip (PR) with polished alum housing located between quad headlight bezels (New Typhoon and Cyclone only).	1

1750-0768	TecNiq D07 LED cab door step area lighting. Includes (2) lights at each door area. Lights to be switched with door ajar.	1
1750-0902-592	Kussmaul dual port USB product code 091-264-N. Includes USB-C and USB-A NGR outlet charger sockets in the cab wired battery hot. Location: driver side dash.	1
1750-0902-593	Kussmaul dual port USB product code 091-264-N. Includes USB-C and USB-A NGR outlet charger sockets in the cab wired battery hot. Location: officer side dash.	1
1750-0936	Dome Lts TecNiq Red/White LED. Package includes two lights mounted in the front and two mounted in the rear of the cab. White light wired through door and light assembly switch. Red light through light assembly switch.	1
1750-0989-172	Turn signal Whelen M6 LED amber pair located upper headlight bezel. Flash pattern will match rear selected pattern.	1
1750-1008	Air compressor, Kussmaul model 091-9C-12V.	1

#### BODY COMPT LEFT SIDE

3100-0222	Driver half side tandem body with 42" wide forward and 42" wide rearward compartmentation.	1
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#### BODY COMPT RIGHT SIDE

3120-0390	Officer side tandem body with full height 42" wide forward and 42" wide rearward compartmentation. Includes (2) 51.5" wide compartments over the wheel well.	1
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#### BODY COMPT REAR

3110-0133	Rear end tanker. Includes smooth plate upper and lower panels, a smooth plate center strip for a Jet or Newton Dump application and upper area access door for thru the tank storage.	1
3110-0238	Bolt-on diamond plate 18" tailboard (full width of body). Includes handrails- (2) vertically on trailing edge of body and handrail(s) horizontally below hosebed.	1

#### DOORS

3300-0195-202	Door roll up tall (greater than 45") with painted finish Amdor. driver side pump	1
3300-0195-203	Door roll up tall (greater than 45") with painted finish Amdor. officer side pump	1
3300-0197-003	Door roll up short (up to 45") with painted finish Amdor. Location(s): L1.	1
3300-0197-004	Door roll up short (up to 45") with painted finish Amdor. Location(s): L2.	1
3300-0195-015	Door roll up tall (greater than 45") with painted finish Amdor. Location(s):R1.	1
3300-0197-016	Door roll up short (up to 45") with painted finish Amdor. Location(s): R2.	1
3300-0197-017	Door roll up short (up to 45") with painted finish Amdor. Location(s): R3.	1
3300-0195-018	Door roll up tall (greater than 45") with painted finish Amdor. Location(s):R4.	1
3300-0368	Pull-down bungee type straps for full height and high side roll-up door(s) on body / pump module. For use with ROM and AMDOR doors only.	1

#### COVERS

3305-0016-000-13	Vinyl Black speedlay side covers. One pair per stacked speedlay.	1
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3305-0022-000-13	Vinyl rear cover for diamond plate hose bed cover. Color: Black.	1
3305-0088	(4) piece aluminum hosebed cover with smooth bottom plate. Includes center hosebed divider with notched rear, fill tower(s) access door(s) and handles (as applicable), (2) gas shocks, positive hold-opens/hold-closed at center and at the rear, (6) grab handles- (4) fwd cover and (2) fwd area of rear cover with (2) handrails on rear cover.	1

<b>PUMP MODULE</b>		
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3130-0167	Pump module to be 76" wide (side to side). Includes upper, lower, crosswalk, speedlay and tranverse module(s) if applicable.	1
3130-0532	Pump panel opening is 39" wide. Pumper / tanker only.	1
3130-0699	Pump module height is 95". Pumper / tanker only.	1
3130-0701	Side Mount Pump Module with 11" wide integral preconnect storage area located forward of pump panel. Includes tool compartment each side below the forward preconnect storage area and running boards.	1
3130-0730	The side mount pump module shall be enclosed with roll up doors on both sides. This option increases the module width to be full width of the body. Roll up doors added seperately.	1

<b>PUMP PANELS</b>		
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3134-0016	Stainless steel driver and officer side pump panels.	1
3134-0055	Officer side upper pump access panel to be horizontally hinged with stainless steel door. Includes (2) push button latches and (2) hold open devices.	1

<b>MISC PUMP PANEL OPTIONS</b>		
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4460-0003	Pump panel tags color coded per NFPA compliance.	1
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<b>PUMP MODULE OPTIONS</b>		
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3136-0000-202	Air horn switch at pump panel. Switch to be labeled "Evacuation Alert". Location: driver side pump panel.	1
3136-0006	Two (2) pump compartment heaters are to be mounted in the pump area. Locate as low as possible.	1
3136-0011	P-Rubber in flex joint(s) between pump module and/or body modules.	1
3136-0050	Heat pan extensions. Includes bolt-on plates added to the front and rear of the heat pan extending up as close as possible to the chassis frame rails and other components to fill all open gaps, further enclosing the pump module for increased	1
3136-0058	E-ONE logo mounted one each side on pump module/preconnect panels. Logos to be sized as applicable to available space on panels.	1
3136-0064	Heat pan. The lower area of the pump compartment to have a four (4) sided heat pan with two (2) removable (side to side) bottoms. Bottoms to be secured in the closed position with butterfly latches.	1

3136-0073	Removable Poly Speedlay Tray(s). The floor of the tray(s) to be slotted to prevent the accumulation of water and allow for ventilation of wet hose. Includes vertical slotted hand hold cutouts on each end to facilitate easy removal of the hose tray.	2
3136-0138	Pump module storage pan.	1
3136-0263	The pump module shall include (2) 1.5" speedlays.	1

#### WATER TANK

4010-0099	Fill tower(s) to be located offset to officer side of water tank.	1
4010-0120	2530 Gallon Tandem "T" Water Tank. Note: Any foam cell(s) and/or storage options thru the tank will reduce the overall water capacity. Tank capacity is 2530 US gallons / 2106 Imperial gallons / 9577 Liters.	1

#### WATER TANK OPTIONS

4020-0004	Newton dump mounting plate.	1
4020-0046	Notch driver/officer side water tank (overall tank capacity will be reduced for application). Notch to allow for hosebed discharge(s) to be routed into the hosebed.	1

#### TANK PLUMBING

4450-0011	2.5" tank fill Akron manual valve. At pump panel.	1
4450-0119	3" tank to pump Akron manual valve w/4" tank connection.	1
4450-0148-198	4" rear direct tank fill. Includes handwheel control, swivel with droop with cap and retainer. Located to driver's side of the rear body.	1
4450-0228	Rear tank dump. Includes stainless steel assembly with electric actuated valve on side of dump assembly. Includes integral 6012 swivel chute with manual telescopic extension and with locking system.	1

#### FOAM TANK

4100-0009-590	30 gallon integral foam tank for Class A foam. Foam tank capacity will reduce the water tank capacity. Tank capacity is 30 US gallon / 25 Imperial gallons / 113 Liters.	1
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#### LADDER STORAGE / RACKS

3365-0023	Ladder storage through tank for (1) 2-section 24' extension, (1) 14' roof, (1) 10' attic with feet and (2) pike poles. Reduces selected water tank capacity by approximately 250 gallons for pumpers and 300 gallons for tankers.	1
3365-0165	Double hard suction storage rack. One (1) rack located above the other. Officer side compartment top. Includes spring hold downs with scuff plates (as applicable).	1
3365-0184-M11-L5	Zico hydraulic drop down portable tank rack. Rack located to driver side on compartment top of body. Rack sized for 2500 gallon aluminum frame portable tank. The control switching to be located on the side pump panel with the rack being in full view of the operator during operations.	1
3365-0188	Zico drop down rack to have smooth plate cover between outboard rack assemblies. Cover to be painted job color.	1



HANDRAILS / STEPS		
3110-0099-524	NFPA hose bed access ladder. Zico model RL12 that gives increased visibility of DOT/NFPA lighting if mounted outboard rear of body. Includes required step lights and additional hand rail(s) if applicable. Location: rear of body driver side.	1
3330-0159	Step rear intermediate. Intermediate rear step to be located above the rear Newton dump.	1
MISC BODY OPTIONS		
3340-0004	Hosebed above the booster tank. Includes forward hosebed and tower(s) cover plate work (as applicable). Hosebed adjustable divider extrusion in the forward area and rearward area of the hose bed to run full width of the hosebed (as is practical with other hosebed mounted equipment).	1
3340-0035	Divider Long. To run full length of hose bed (front to rear).	1
3340-0058	Recessed fuel fill driver side wheel well.	1
3340-0093	Mud flaps, rear, black with E-ONE logo.	1
3340-0107	Diamond plate tandem axle wheel well. Includes bolt-on composite wheel well liners and welded alum fenderettes.	1
3340-0110	The rear of each hose bed divider to have a hand hold cut-out(s).	1
3340-0145	Rub rail for the body and pump area module(s).	1
3340-0681	Body mainframe layout line to be 24". Includes body and all applicable modules.	1
3340-0737	Body mainframe and hosebed side assemblies for a 100" high body.	1
3340-1648	Anodized aluminum trim on bottom edge of all body compartment openings including pump enclosure if applicable with painted edges.	1
SCBA BOTTLE STORAGE		
3320-0100	Strap, loop style to retain SCBA bottle(s). Locate one per bottle in each exterior body storage compartment.	1
3320-0182-498	E-ONE designed (1) SCBA bottle storage officer side rear wheel well offset forward with hinged door and push button latch. Door material to match wheel well material. Holds standard size SCBA bottle, 20lbs ABC Extinguisher (10.25"x7"x24") or 2.5 gal Water Extinguisher (9"x7"x24.5"). Door shall cover the recessed fuel fill if located in the wheel well adjacent to the SCBA storage.	1
3320-0182-500	E-ONE designed (1) SCBA bottle storage officer side rear wheel well offset rearward with hinged door and push button latch. Door material to match wheel well material. Holds standard size SCBA bottle, 20lbs ABC Extinguisher (10.25"x7"x24") or 2.5 gal Water Extinguisher (9"x7"x24.5"). Door shall cover the recessed fuel fill if located in the wheel well adjacent to the SCBA storage.	1
3320-0194-496	E-ONE (4) SCBA bottle storage (2 bottle storage per door) located driver side rear wheel well centered in tandem with hinged doors and push button latches. The doors shall be hinged at the center with one door facing forward and other door facing rearward. Door material to match wheel well material.	1

3320-0194-499	E-ONE (4) SCBA bottle storage (2 bottle storage per door) located officer side rear wheel well centered in tandem with hinged doors and push button latches. The doors shall be hinged at the center with one door facing forward and other door facing rearward. Door material to match wheel well material.	1
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<b>PUMPS</b>
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4005-0031	Rating 1500 GPM.	1
4005-0201	Waterous CSU 1500 GPM single stage pump. Requires primer option.	1

<b>PUMP CERTIFICATION</b>
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4475-0000	Pump certification 1500 GPM	1
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<b>PUMP OPTIONS</b>
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4015-0040	Pump seal packing for Waterous pump.	1
4015-0041-203	Valve Monarch Electric - Waterous. With Waterous intake relief Location: officer side pump panel.	1
4015-0044	Anodes for Waterous pump - (Pair) (1) discharge side and (1) intake side.	1
4015-0053-198	Steamers to be Flush + 1". Location: driver's side.	1
4015-0053-199	Steamers to be Flush + 1". Location: officer's side.	1
4015-0056	Manual operated master pump drain.	1
4015-0130-340	Additional Trident Primer Valve, Located: 5 in. front intake. Requires aux air tank if connected to front or rear intake.	1
4015-0130-341	Additional Trident Primer Valve, Located: 5 in. rear intake. Requires aux air tank if connected to front or rear intake.	1
4015-0242	Trident primer W/3 barrel push button control. For use with 1250 GPM and larger pumps. Requires 15.6 CFM or larger engine air compressor.	1

<b>INTAKES</b>
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4440-0005	2.5" Left Intake Akron Manual Valve.	1
4440-0204	5" Front intake w/ Akron electric valve and relief. Includes fixed 90 degree elbow above bumper when swivel option not selected. (Requires valve controller option and NST adapter if no swivel).	1
4440-0261-230	5" Rear intake w/ Akron electric valve. Requires Akron valve controller, and intake relief valve option. Location: officer rear.	1

<b>INTAKE OPTIONS</b>
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4445-0007	Intake adapter 5" FNPT x 6" MNST for front intake.	1
4445-0009	Intake relief valve, Akron.	1
4445-0025	Intake Adapter 5" FNPT x 5" MNST for Rear Intake.	1

**DISCHARGES AND PRECONNECTS**

4415-0008	1.5" Front bumper discharge Akron manual valve.	1
4415-0176-210	Brass Swivel in Tray center front bumper for Front Bumper Discharge.	1
4415-0016-584	2.5" Right Pump Panel Discharge Akron Manual Valve. Location: right side discharge 2.	1
4415-0057-583	5" Right Pump Panel Discharge with 3" Akron Manual Valve. Location: right side discharge 1.	1
4415-0018	2.5" Left front hose bed discharge Akron manual valve.	1
4415-0323	Second left front hose bed discharge 2.5" Akron manual valve.	1
4415-0065	1.5" Double Speedlay with Akron Manual Valves.	1

**DISCHARGE OPTIONS**

4417-0175	Innovative Controls push/pull valve controls with locking T handles.	1
4417-0177	Innovative Controls 3/4" bleeder/drain valve include 1/4 turn T-handle.	7
4417-0185	Innovative Controls discharge and intake bezels with integral color code and verbiage for side mount pump panel.	1
4417-0313-340	Akron 9333 Navigator Pro 2 electric valve controller with full color LCD display. Locate on pump operator panel to control 5 in. front intake.	1
4417-0313-341	Akron 9333 Navigator Pro 2 electric valve controller with full color LCD display. Locate on pump operator panel to control 5 in. rear intake.	1

**PRESSURE GOVERNORS**

4465-0011	Class 1 TPG pressure governor. Includes, water, oil, volt and tachometer.	1
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**GAUGES**

4435-0084	Innovative Controls 10 LED SL series foam tank level gauge. On pump panel.	1
4435-0085-230	Innovative Controls 10 LED SL series tank level water gauge, additional. Location: officer rear.	1
4435-0347-527	IC 10 LED SL series/Whelen PSTank2 water tank level gauge package. Location of Whelen PSTank2 Strip Lights: each side of cab rear of front doors.	1
4435-0451	Innovative Controls TC Series 2.5" (63MM) pressure gauge with chrome bezel.	7
4435-0453	Innovative Controls TC Series 4" (100MM) Master pressure gauges with dual chrome bezel. Includes integrated test ports and alarm.	1
4435-0458	Pump panel pressure gauges to be 0-400 / Master Intake gauge to be 30-0-400.	1

**FOAM SYSTEMS**

4430-0079	The foam system performance shall be tested and certified in compliance with the applicable NFPA 1901 requirements.	1
4430-0159	Class 1 2.1A foam system with SmartFoam controller.	1

**FOAM SYSTEM OPTIONS**

4432-0053-357	Foam system plumbed to driver's side hose bed preconnect 1.	1
4432-0053-562	Foam system plumbed to 1.5 first speedlay.	1
4432-0053-563	Foam system plumbed to 1.5 second speedlay.	1
4432-0053-566	Foam system plumbed to center bumper front jump line.	1

**WINTERIZATION**

4455-0004	Gasket Material around all Discharges, Intakes and Handle Slots on Pump Panel to hold in heat of Module Plumbing	1
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**ELECTRICAL SYSTEMS**

5010-0036	V-MUX Electrical system for pumper / tanker / rescue.	1
5010-0049	Vehicle data recorder - 2009 / 2016 NFPA compliant. Includes occupant detection shown in multiplex display. E-ONE chassis only.	1
5010-0055-168	Vista IV display for V-MUX electrical system. Location: officer's side engine cover.	1
5010-0055-649	Vista IV display for V-MUX electrical system. Location: driver's side engine cover.	1
5010-0094	Nanoprotech corrosion inhibiting spray coating to be applied on all exposed electrical connections.	1

**LIGHT BARS**

5300-0495	GTT 795H Opticom centered in forward facing Whelen Freedom IV light bar.	1
5300-0504	Whelen MKEZ7 1.5" standard mount for front light bar (PR).	1
5300-0506-000-4T	Front light bar LED color: RED with CLEAR lenses (If applicable, includes side facing when colors are the same.)	1
5300-0511	Light bar Whelen Freedom IV Model F4X7 72" with 8 LED modules. Location: Centered on the front cab roof.	1

**WARNING LIGHTS**

5600-0078-479-4U	Whelen Super LED beacon (PR) model L31H with RED with RED lenses domes. Location rear upper body on aerial style brackets.	1
5600-0850-170	Hazard (door ajar) light TecNiq S38 LED red. Location: center overhead.	1
5600-0948-3RE-4U	Warning light Whelen M6 series Linear Super LED (PR) RED with RED lenses. Location: (1) each side NFPA/ULC required lower zone front facing.	1
5600-0948-3RF-4U	Warning light Whelen M6 series Linear Super LED (PR) RED with RED lenses. Location: (1) each side NFPA/ULC required lower zone forward side facing.	1
5600-0948-3RG-4U	Warning light Whelen M6 series Linear Super LED (PR) RED with RED lenses. Location: (1) each side NFPA/ULC required lower zone midship side facing.	1
5600-0948-3RI-4U	Warning light Whelen M6 series Linear Super LED (PR) RED with RED lenses. Location: (1) each side NFPA/ULC required lower zone rear facing.	1
5600-0958-460-4U	Warning light Whelen 600 series Super LED (PR). Color: RED with RED lenses. Location: (1) each side of cab centered over wheel well.	1

SIRENS		
5500-0009	Federal PA300 electronic siren recessed (if applicable) mounted.	1
5500-0011-209	Federal Q2B siren - Pedestal mounted on bumper. Location: driver side front bumper. Requires activation switch.	1
5500-0024-847	The primary electronic siren control is to be located center overhead console offset to officer side.	1
SPEAKERS		
5510-0029-211	Speaker, Federal Signal Dynamax ES100 with "E-ONE" grille through bumper. Location: officer side front bumper.	1
DOT LIGHTING		
5150-0017	License plate light LED with chrome housing located at the rear of the body.	1
5150-0151	Marker light package cab / body LED. Body lights to be .75" Dia TecNiq for custom pumpers and tankers.	1
5150-0299-5WB	Front (if applicable) and rear turn signal flash pattern: populated full light.	1
5150-0302	Whelen M6 series LED vertical mount tail lights. Includes LED stop/tail, turn and back-up lights with vertical 4 light housing and weatherproof connectors. Requires turn signal flash pattern.	1
LIGHTS - COMPARTMENT, STEP & GROUND		
5380-0280	Ground light package TecNiq T440 4" LED - large.	1
5380-0471	Compartment light package TecNiq E45 LED for small bodies. Includes two lights per compartment (four if transverse).	1
LIGHTS - DECK AND SCENE		
5390-0007	Deck/scene light circuit wiring through chassis reverse. Requires rear deck or scene light.	1
5390-0025	Cab scene lights are to be switched with cab doors in addition to standard.	1
5390-0069-490	Whelen M9 Linear Super LED scene lights (PR). Switched in cab (lights mtd on the sides of apparatus to be switched separately). Locate (1) each side of vista forward of rear doors.	1
5390-0164-3QU	Whelen 900 series model 9SC0ENZR Super LED Opti-Scene light (PR) with weatherproof connectors. Switch in cab (driver and officer side lights switched separately). Locate rear of body, one (1) each side of back-up camera below	1
5390-0164-3QR	Whelen 900 series model 9SC0ENZR Super LED Opti-Scene light (PR) with weatherproof connectors. Switch in cab (driver and officer side lights switched separately). Locate sides of body, one (1) each side up high on body sides offset	1
5390-0215-395	Deck Lights - Optronics Model TLL44 (PR). Location: rear body/beavertail area on the trailing edge up high.	1
5390-0216	Hose bed light Optronics LED model TLL44 Locate at front of hose bed. Switched with work light switch in cab.	1

LIGHTS - NON-WARNING		
5400-0185	LED pump compartment light (EA).	1
5400-0224	Engine compartment light Optronics LED Series ILL22 (EA).	1
5400-0259	TecNiq model E10 pump panel LED light package with (3) lights per side pump panel. Pump panels over 45" may require additional lights. Side mount only.	1
CONTROLS / SWITCHES		
5100-0165	Audible door ajar alarm wired through door ajar light. For use with multiplex display(s) only.	1
CAMERAS / INTERCOM		
5350-0192	Safety Vision back-up camera wired through multiplex display. Video displays automatically when transmission is in reverse. Camera only - does not include monitor.	1
MISC ELECTRICAL		
5110-0017	Back-up alarm 97 dB.	1
LIGHTS - AREA		
5450-0438-4A7	FireTech 72" 12V scene light with white housing. Includes switch accessible to driver. Side facing lights switched seperately. Location: front of cab between top of windshield and drip rail.	1
LIGHT TOWERS		
5460-0098-M42	Command Light light tower model KL415D. Includes (4) 150 watt 12V Whelen Pioneer PFH2 LED lights. Control to be located adjacent to breaker box if equipped or L1 forward wall in available space if not otherwise specified. Location: on top of upper pump module mounted side to side and hinged to driver.	1
RECEPTACLES		
5470-0004-545	Receptacle household 20A/110V duplex 3-prong NEMA 5-20 with cover plate interior mounted wired to inlet receptacle. Location: In cab driver side on 3 x 3 post rear facing just above engine cover (or seat riser if in a Hush).	1
5470-0004-546	Receptacle household 20A/110V duplex 3-prong NEMA 5-20 with cover plate interior mounted wired to inlet receptacle. Location: In cab officer side on 3 x 3 post rear facing just above engine cover (or seat riser if in a Hush).	1
5470-0004-663	Receptacle household 20A/110V duplex 3-prong NEMA 5-20 with cover plate interior mounted wired to inlet receptacle. Location: L1 high on forward wall.	1
5470-0004-744	Receptacle household 20A/110V duplex 3-prong NEMA 5-20 with cover plate interior mounted wired to inlet receptacle. Location: R1 high on forward wall.	1
MISC LOOSE EQUIPMENT		
7900-0014	DOT Required Drive Away Kit - Kit includes three (3) triangular warning reflectors with carrying case. This kit is for the end user and is to remain with the truck.	1

**EXTERIOR PAINT**

8100-0089	All applicable pump/pre-connect application modules are to have a sanded finish (not painted job color). Includes upper and lower pump modules, crosswalk module and/or speedlay/pre-connect module (as applicable). Rear mounted body/pump module to be painted job color.	1
8100-0116	Rear body surface to have a sanded finish (not painted job color). Includes hinged doors that do not have discrete sales codes and removable panels.	1
8100-0176-000-7W	Paint E-ONE chassis cab - Sikkens paint (non-metallic color). Color: As Specified.	1
8100-0177-000-44	Paint cab Sikkens two-tone (non-metallic color). Upper area of cab to be painted FLNA 4001 E-ONE WHITE.	1
8100-0183-000-7W	Paint Body - Large - For Aerials, T/A Tankers, Rear Mounts and Rescues. Sikkens paint (non-metallic color). Color: As Specified.	1
8100-0658	Paint front 5" intake elbow job color above gravelshield (if applicable).	1
8100-0710	Cab paint break - standard with dip to grille. Break is 35.5" inches below the drip rail. 100" wide Cyclone with 4" raised roof only.	1

**INTERIOR PAINT**

8150-0011	The interior of the cab to be painted multi-tone gray finish.	1
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**LETTERING**

8200-0116	Shade and/or outline (EA) for letters as specified by the customer.	60
8200-0117	Sign Gold Letter (Each) upto 6" tall. The exact size and location of the letters as specified by the customer.	60

**STRIPING**

8300-0042	White rubrail scotchlite insert.	1
8300-0274-000-J7	Chevron "A" style 6" Reflexite V98 striping full width on rear of body. Includes rear facing extrusions, panels and doors. Colors to be Red/Fluorescent Yellow Green.	1
8300-0331	Single NFPA Scotchlite Stripe - up to 6" wide with hockey style, Z or S style or other customer specific design style. Stripe to be installed on cab and the body. Size, color and location as specified by the customer.	1
8300-0334	Additional NFPA Scotchlite Stripe - up to 3" wide on cab and the body. Design, size, color and location as specified by the customer.	2
8300-0340	Paint break Sign Gold cab stripe with outline - 3/4" wide total, gold with customer specified outline color. To be located above existing paint break.	1
8300-0381	Yellow perimeter marking to indicate designated standing / walking areas above 48" high in compliance with 2016 NFPA 1901 consisting of individual Reflexite diamonds approximately 1" wide. Steps, ladders and areas with a railing or structure at least 12" high are excluded from this requirement.	1

**GRAPHICS**

8400-0060	Graphics drawing showing striping, lettering and logos. Requires E-ONE installed graphics.	1
8400-0067	E-ONE logo with grey backing on M6 series vertical tail light housing (PR).	1

**WARRANTY / STANDARD & EXTENDED**

9100-0101	Meritor 5 year / unlimited miles parts and labor warranty for front non-drive axle. Exceptions: MFS rated at 22,800 includes a 2 year / 200K miles parts and labor warranty and a front drive axle includes a 2 year / unlimited miles parts and labor warranty.	1
9100-0102	Meritor 5 year unlimited miles, parts and labor rear drive single or rear drive tandem axle warranty.	1
9100-0117	General One (1) year or 24,000 Miles Limited Warranty (RFW0001)	1
9100-0126	Custom chassis One (1) Year or 18,000 Miles Limited Warranty (RFW0101).	1
9100-0131	Regulated Emissions Systems Five (5) Years or 100,000 Miles Limited Warranty (RFW0140). N/A for California. For units going to California use 9100-0162 with L9 and 9100-0163 with X12/15.	1
9100-0132	Electrical One (1) Year or 18,000 Miles Limited Warranty (RFW0201).	1
9100-0136	Body Structure Aluminum Ten (10) years or 100,000 Miles Limited Warranty	1

**WARRANTY / STANDARD & EXTENDED**

	(RFW0502).	
9100-0138	Cab Structural Ten (10) Years or 100,000 Miles Limited Warranty (RFW0602).	1
9100-0139	Plumbing and piping (Stainless Steel) Ten (10) years or 100,000 Miles Limited Warranty (RFW0800).	1
9100-0140	Paint and Finish (Exterior Clear coated) Ten (10) Years Limited Warranty	1
9100-0151	Frame Rail Corrosion (Zinc Plate and Powder Coat) Twenty Five (25) Years or 150,000 Miles Limited Warranty (RFW0316).	1
9100-0152	Frame Components Corrosion (Zinc Plate) Twenty (20) Years or 132,000 Miles Limited Warranty (RFW0314).	1
9100-0165	Frame Rail Lifetime (50) Years or 250,000 Miles Limited Warranty (RFW0305).	1

**SUPPORT, DELIVERY, INSPECTIONS AND MANUALS**

9300-0009	Manuals, Operator and Service in digital format.	1
9300-0012	Pump panel approval drawings. Will be provided on purchased units prior to construction.	1
9300-0016	Approval Drawings-Standard.	1
9300-0031	Dash/Console panel layout approval drawings. Will be provided on purchased units prior to construction.	1
9300-0316	Fire Apparatus Safety Guide published by FAMA, latest edition.	1



**SHELVING**

Three drawer storage system in L1 compartment.	1
Pull Out Floor Tray in R1.	1
Vertical Partition in R1.	1
Two Upper adjustable sheves in R1.	2
PAC Trac panel in R2.	1
Adjustable shelf in R2 compartment.	1
Adjustable shelf in R3 compartment.	1
Adjustable shelf in R4 compartment.	1

**Dealer Supplied Equipment**

Delivery and Training.	1
Includes two wheel chocks and brackets, mounted.	1
Includes NFPA ground ladders and pike poles.	1
Inverter with transfer switch wired to receptacles.	1

**Extended Warranty**

<b>Includes FSUSA 3-Year Labor Warranty.</b>	<b>1</b>
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## Memorandum

Date: January 31, 2024

To: Mayor and Councilmembers

From: Tom Collins, City Engineer *TPC*

Subject: Hidden Forest East 4<sup>th</sup> Addition – Amendment to Development Agreement Request

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**Introduction:**

The Hidden Forest East 4<sup>th</sup> Addition final plat was approved at the October 2, 2023 City Council meeting. The attached Development Agreement was executed December 4, 2023.

**Introduction:**

Per the RFC recommendation for approval memo, final plat approval was subject to FEMA Letter of Map Amendments (LOMAs) for Lots 1, 2, 3, 5, 6 and 7 of Block 1 and Lots 2 and 3 of Block 3. The City Council meeting minutes are attached. Although FEMA LOMAs were only required for 8 of the 22 lots, Section 15 of the Development Agreement stipulates that building permits shall not be issued for any lot unless satisfactory proof of the LOMA has been furnished. This requirement that no building permits can be issued for any lots until LOMA approval is furnished is standard language in City of Ham Lake Development Agreements. The requirement was included in the Developer's plats of Crosstown Rolling Acres 2<sup>nd</sup> Addition, Crosstown Rolling Acres 3<sup>rd</sup> Addition and Hidden Forest East 3<sup>rd</sup> Addition. The language was accepted by The Developer without modification or objection. Now, The Developer has requested an amendment to the Development Agreement to allow for building permits on the 14 lots that do not require FEMA LOMAs and are otherwise in compliance with all City, DNR, Watershed, County, State and Federal requirements.

**Discussion:**

The NOAA Atlas-14 model increased the 100-year projected rainfall event from an average of 5.9 inches to an average of 7.1 inches for one 24-hour rainfall event within Ham Lake. FEMA did not identify elevations for the southeasterly portion of the City. The Coon Creek Watershed District (CCWD) has modeled the District and has the calculated 100-year elevations. The CCWD has revised the 100-year Zone A area to account for the additional Atlas-14 rainfall. This CCWD revision was submitted to the Minnesota DNR for review in 2020, but has not been approved. The Developer coordinated with CCWD to determine 100-year flood elevations within the proposed development. Because the new CCWD Zone A has not been approved yet, the Developer is revising the removal areas based on FEMA's elevation determination. While it is unclear how FEMA determined the flood elevations, it appears that the flood elevation of Carlos Avery was a more significant factor than what the contours or CCWD suggest. CCWD attempted to meet with the FEMA reviewer of the area in question, but was unable to directly communicate with the reviewer. No further communication was attempted as the Developer revised their removal elevation to match FEMA's determination.

With the revised FEMA removals provided by the Developer, the eligible yard areas are reduced. City code 10-302(C) requires 12,000 square feet of contiguous square footage which lies above the 100-year flood contour. The revised FEMA removal boundary proposed by the developer reduces the livability area for each lot. All lots will exceed the minimum yard area of 12,000 square feet. Updated Livability Plans and Livability Charts are required to verify confirmation with City Code.

**Amendment to Development Agreement – Attorney Discussion:**

The requested amendment is not required for the City to take action on. The issues that remained unresolved with FEMA are out of the control of the City and were not caused by any actions taken by the City. That said, the requested amendment is not unreasonable, but to be clear, the amendment is only to allow building permits to be issued for lots that are in compliance with all City, Watershed, DNR, County, State and Federal requirements (“Requirements”). If, after FEMA has made its final determinations some of the lots in the Hidden Forest East 4<sup>th</sup> Addition do not meet all of the Requirements, it will be the Developer’s responsibility to take whatever action is necessary to make the remaining lots compliant before building permits will be issued for those lots. The City will need to review the building permit requests on a lot by lot basis and should only issue building permits to the lots that are compliant with all Requirements.

**Recommendations:**

It is recommended that the City approve the Amendment to Development Agreement that allows for issuance of building permits to lots in Hidden Forrest East 4<sup>th</sup> Addition that are in compliance City, Watershed, DNR, County, State and Federal requirements.

**AMENDMENT TO DEVELOPMENT AGREEMENT**

The undersigned parties in the Development Agreement dated December 4, 2023 for development of Hidden Forest East Fourth Addition in the City of Ham Lake, agree to the following amendment:

**15. FEMA Letter of Map Amendment**

Developer shall apply with the Federal Emergency Management Agency (FEMA) for a Letter of Map Amendment as required for Lots 1, 2, 3, 5, 6 and 7 Block 1, and Lots 2 and 3 of Block 3. While FEMA Letters of Map Amendment are pending for the lots indicated in the Section, the City may, at its own discretion, issue building permits for other lots in the plat that have met all City, Watershed, DNR, County, State and Federal requirements (“Requirements”). Any lot that does not meet all of the Requirements will need to be brought into compliance by the Developer, at the Developer’s sole cost and expense, before any building permits are to be issued for the noncompliant lot.

CITY OF HAM LAKE

Dated: \_\_\_\_\_, 2024

\_\_\_\_\_  
Brian Kirkham, Mayor

Dated: \_\_\_\_\_, 2024

\_\_\_\_\_  
Denise Webster, Clerk

**RESOLUTION NO. 24-XX**  
**A RESOLUTION TO AMEND THE DEVELOPMENT AGREEMENT FOR HIDDEN  
FOREST EAST FOURTH ADDITION**

**WHEREAS**, on October 2, 2023 the City approved the Final Plat for the Hidden Forest East Fourth Addition (“Development”) submitted by HFN Properties, LLC (“Developer”), subject to various compliance requirements;

**WHEREAS**, the City and the Developer entered into that certain Development Agreement Dated December 4, 2023 for the Development of the Hidden Forest East Fourth Addition (“Development Agreement”);

**WHEREAS**, per the RFC recommendation for approval memo, final plat approval was subject to FEMA Letter of Map Amendments (LOMAs) for Lots 1, 2, 3, 5, 6 and 7 of Block 1 and Lots 2 and 3 of Block 3;

**WHEREAS**, Section 15 of the Development Agreement states that building permits shall not be issued for any lot in the Development unless satisfactory proof of the LOMA has been furnished.

**WHEREAS**, Despite the language being accepted by the Developer without modification or objection, the Developer has requested an amendment to the Development Agreement to allow for building permits to be issued by the City on the 14 lots that do not require FEMA LOMAs and are otherwise in compliance with all City, DNR, Watershed, County, State and Federal requirements.

**WHEREAS**, the Developer is obligated to continue to work to obtain the FEMA Letter of Map Amendments for the affected lots;

**WHEREAS**, the City is willing to issue, at its own discretion, building permits for the lots in the Development that are not affected by the FEMA Letter of Map Amendments and are otherwise in compliance with all City, DNR, Watershed, County, State and Federal requirements;

**WHEREAS**, The Developer understands and agrees that the City will not grant a variance to the issuance of a building permit for any lot in the Development that does not meet all City, DNR, Watershed, County, State and Federal requirements.

**NOW THEREFORE**, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HAM LAKE, MINNESOTA AS FOLLOWS:

1. The Development Agreement dated December 4, 2023 for development of Hidden Forest East Fourth Addition in the City of Ham Lake will be amended as follows:

**15. FEMA Letter of Map Amendment**

Developer shall apply with the Federal Emergency Management Agency (FEMA) for a Letter of Map Amendment as required for Lots 1, 2, 3, 5, 6 and 7 Block 1, and Lots 2 and 3 of Block 3. While FEMA Letters of Map Amendment are pending for

the lots indicated in the Section, the City may issue building permits for other lots in the plat that have met all City, Watershed, DNR, County, State and Federal requirements (“Requirements”). Any lot that does not meet all of the Requirements will need to be brought into compliance by the Developer, at the Developer’s sole cost and expense, before any building permits are to be issued for the noncompliant lot.

2. No variance to obtain a building permit will be granted by the City for any lot in the Development now or in the future.

Adopted by the Ham Lake City Council this the 5<sup>th</sup> day of February, 2024.

ATTEST:

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Denise Webster, City Clerk

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Brian Kirkham, Mayor

**DEVELOPMENT AGREEMENT**

(Developer Performance After Plat Execution by City)

**AGREEMENT**, made this 4<sup>th</sup> day of December, 2023, between the City of Ham Lake, a Political Subdivision under the laws of the State of Minnesota ("City"), and HFN Properties, LLC ("Developer").

**RECITALS**

Developer has received final plat approval for a subdivision to be named Hidden Forest East Fourth Addition and desires to record the plat with the Anoka County Recorder. As a condition of executing the plat, City has required, and Developer has agreed, to complete certain improvements in the plat, which may include grading, drainage features, street construction, street lighting, oak wilt abatement or prevention methods, signing, boulevard seeding or sodding, and other items more fully described on the hereto attached Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan, Livability Chart, Utility Plans, Stormwater Pollution Prevention Plan, Stormwater Drainage Report and other project features (the "Plans"), which are made a part hereof.

Final Plat	Exhibit A
Preliminary Plat	Exhibit B
Grading, Drainage & Erosion Control Plan	Exhibit C
Livability Plan	Exhibit D
Livability Chart	Exhibit E
Street & Storm Sewer Plan & Profile	Exhibit F
Storm Sewer Plan & Profile	Exhibit G
Utility Plans	Exhibit H
Stormwater Pollution Prevention Plan	Exhibit I
Stormwater Drainage Report	Exhibit J
Connexus Street Lighting Plan & Agreement	Exhibit K
Tree Protection Plan	Exhibit L

It is therefore agreed as follows:

**1. Release of Plat**

Upon receipt of the performance security noted in paragraph 3 below, and upon remittance of all required municipal fees as described elsewhere in this agreement, City shall execute the plat and release the plat documents for recording. Developer shall be responsible to promptly record the plat and pay all required fees for recording.

**2. Completion of Improvements**

Developer shall complete the improvements (the "Work Items") described on the Plans according to the following timetable:

**Work Item**

**Completion Date**

Turf establishment

June 7, 2024

Storm Sewer as-builts

December 31, 2023

Bituminous Surface Lift

August 15, 2024

**3. Outlot Combination**

Within 30 days after the recording of the plat, Developer shall provide evidence satisfactory to the City Clerk that Outlot A, Outlot B, and Outlot C have been combined for real estate tax purposes with adjacent parcel PIN 24-32-23-43-0001, which is currently owned by Developer. No building permits shall be issued for any lot until and unless this evidence is provided.

**4. Security for Performance**

To guarantee performance of Developer's Work Items in a timely manner, and to guarantee that Developer will perform all other obligations under this Agreement, Developer shall furnish to City security in an amount of **\$328,200**. The security shall be in conformance with Ham Lake City Council Resolution 13-50, a copy of which has been made available for inspection. Resolution 13-50 is hereby incorporated by reference and made a part of this agreement (also see paragraph 13 below). Developer guarantees that Developer will complete all Work Items in accord with the Plans, in and accord with all rules, regulations, statutes or codes of any governmental agency having jurisdiction over any of Developer's construction activities, including, without limitation, the Coon Creek Watershed District, Minnesota Departments of Natural Resources, Pollution Control Agency, and Transportation, Anoka County Highway Department, U.S Army Corps of Engineers, U.S. Environmental Protection Agency and the City of Ham Lake. Developer shall also comply with all rules, regulations, statutes and codes of all agencies of government having jurisdiction over any other of Developer's business activities, including, without limitation, regulatory activity pertaining to all required liability, unemployment and worker's compensation insurance premiums or deposits, and the payment of all withholding taxes, excise taxes, use taxes and income taxes. Developer shall also observe and protect the property or contract rights of all public and quasi-public utility companies maintaining public utility facilities or lines which may be affected by Developer's work, including, without limitation, electrical, natural gas, gas pipeline, cable television, or telephone companies.

**5. Building Permits and Certificates of Occupancy**

Developer and Developer's assigns may receive building permits on any of the completed lots in the plat after the plat is recorded, subject however to the condition that the City may withhold building permits or Certificates of Occupancy on any lot in the subdivision if Developer is in default of its obligations under this agreement.

No certificate of occupancy shall be issued for any structure until and unless the lot upon which the structure is located is situated on a paved road which has been completed with at least one lift of bituminous material, or is, in the opinion of the City's Engineer, substantially completed.



Notwithstanding the foregoing, if Developer defaults in any obligation under this Agreement, City may withhold building permits and certificates of occupancy until all such defaults are cured.

#### **6. Maintenance of Improvements**

Assuming completion of the Work Items described in paragraph 2 above to the satisfaction of the City's Engineer, City will conditionally accept all paving, curb and gutter, lot grading, utilities, drainage and ponding requirements in the plat (the "Work Items") which acceptance will be conditioned on Developer posting security acceptable to the City to guarantee that the quality of all Work Items will be maintained by Developer for a period of one year following the date of acceptance. The security shall be in the sum of **\$203,500**. Upon the posting of this maintenance security, the Performance Security referenced in paragraph 3 above can be released. Developer shall promptly complete all repairs or maintenance to all Work Items during the maintenance period, as directed by the City's Engineer.

#### **7. Damage to Property of Others**

Developer shall take care to insure that neither Developer nor any employee, subcontractor (whether or not retained directly by Developer) or other agent performing work on the project shall cause any damage to the property of others, including City owned or maintained streets or utilities. In the event that such damage occurs, Developer shall make immediate repairs or restitution. Both the Developer's performance security and maintenance security shall be available to City in the event that repairs or restitution has not, in the sole judgment of City, been promptly made. Developer shall also maintain a policy of public liability insurance in a sum of not less than \$300,000 aggregate coverage, insuring against such perils, and shall, upon execution of this Agreement, furnish a certificate of insurance documenting the existence of such coverage for a policy period of not less than one year from the date hereof. If a general contractor is engaged by Developer, the certificate of insurance may be furnished by the general contractor, but the furnishing of insurance by Developer's general contractor shall in no way relieve Developer of ultimate responsibility for compliance with this paragraph.

#### **8. Payment of Deposits, Fees and Deferred Assessments**

Developer shall be required to make the cash deposits or other payments<sup>1</sup> checked below, at the times indicated:

**X A. Parkland Dedication Fee** Developer shall be required to pay a Parkland Dedication Fee in the amount of \$1,216.92 per lot as a condition of this plat.

**X B. Developer Escrow** Developer has deposited with the City a minimum of \$1,000.00 to defray municipal costs in reviewing the plat, including engineering, legal and administrative costs. Developer shall continue to be responsible for all such municipal expenses through the period of time in which a maintenance bond is required, and, should Developer's current escrow balance be depleted, Developer will remit any required amounts within 10 days after invoice

by City. The obligation to remit such sums shall be considered maintenance, and the Developer's maintenance security shall guarantee payment.

**X C. Street Light Electrical Service** A street light program fee in the sum of **\$0.00** shall be due upon execution of this Agreement, in that Developer has already paid this fee to CONNEXUS to place the street lights in the plat within the municipal street lighting service system. A street light electrical service fee in the amount of **\$2,016.00** shall be remitted to the City upon execution of this Agreement, to be used to defray estimated municipal costs and administrative expense for electrical service to the street lighting standards in the plat until private homeowners take over payments in the manner outlined in the Short Form Development Agreement. As certificates of occupancy are issued for new homes, it is understood that CONNEXUS will begin billing to individual homes for ongoing electrical service.

**X D. Drainage Improvement Fund** Developer acknowledges that Developer's plat has increased the need for ditching, ponding or other drainage improvements outside of the plat, as more fully detailed in a letter from RFC Engineering, Inc., to Denise Webster, Ham Lake City Clerk, dated November 7, 2023, and adopted by reference. Developer shall pay the sum of \$200.00 per lot (\$4,400.00 total) at the time of execution of the plat, to be dedicated to a special municipal fund, for eventual use to help in paying for said drainage improvements or easement acquisitions.

**E. Deferred Assessments** The property being platted may be subject to Deferred Assessments. If so, deferred assessments must be paid in full at the time of release of the plat for recording. Regardless of whether or not sub-paragraph 8 E is checked, if any portion of the property being platted is subject to deferred assessments, but discovery of the omission to collect such assessments is not made until after the plat is released for recording, Developer shall nonetheless be responsible for the immediate payment thereof.

## **9. Inspections and Right of Entry**

Developer shall permit agents of City free and unencumbered access to all of the property under Developer's control, for the purpose of conducting such inspections and testing as the City deems appropriate, during the period of time in which Developer continues to have any responsibility for maintenance. Further, Developer hereby grants to City the right of entry on any lot, which right shall run with the land, for the purpose of inspecting and curing any breaches by Developer of any of Developer's performance or maintenance obligations. This right of entry shall continue during the period of time during which Developer is responsible for maintenance, and for a period of six months thereafter to enable City to cure such breaches as time and weather conditions permit.

## **10. Oak Wilt Policies**

Developer shall comply with the following regarding Oak Wilt detection, prevention and disclosure:

**A. Inspection** Prior to commencing any construction activity, Developer shall arrange to have the property within the plat inspected by the City's Tree Inspector, provided, that if the plat and a perimeter of 100 feet around the plat does not contain any trees of the variety or varieties of trees

susceptible to Oak Wilt ("endangered trees") the inspection may be performed by the City's Building Official, for the purpose of confirming that no such trees exist.

**B. Prevention** Developer shall observe the following practices at all times:

- 1) All diseased trees shall be removed and transported from the site, for proper disposal, between July 15 and April 1 of any given calendar period;
- 2) Between April 1 and July 15 of any given year, no construction activity shall take place in any manner which might tend to cause, aggravate or accelerate the introduction of oak wilt in any endangered tree within the plat or within a 100-foot perimeter around the plat;
- 3) Vibratory plowing shall be performed by Developer around the perimeter of each tree or grouping of trees identified as afflicted with oak wilt during the inspection process.
- 4) Developer shall follow the recommendations of the Tree Inspector regarding any other preventive measures designed to protect endangered trees inside the plat or within a 100-foot perimeter around the plat.

**C. Disclosure** If, following the initial inspection by the City's Tree Inspector, Developer observes any diseased trees on lots owned by or controlled by Developer, Developer shall promptly notify the City Building Official of the existence of such trees. City may require, as a condition of the issuance of any building permit on a lot containing diseased trees, that the application for building permit contain a signed acknowledgment by the end-user of the lot that the end-user has been informed of the existence of diseased trees on the lot. It shall be a condition of issuance of a certificate of occupancy for any structure on a lot known to contain diseased trees that all diseased trees on the lot be properly removed and disposed of, or, if the certificate of occupancy is requested during a time period in which removal is not prudent due to the risk to endangered trees, it shall be a condition of issuance of a certificate of occupancy that a deposit of security acceptable to City be made to guarantee removal and proper disposal of diseased trees at the earliest safe time.

## **11. General Indemnification**

Developer shall indemnify and save harmless City from any liability whatsoever to any third parties arising out of this Agreement, or arising out of any aspect of Developer's activities, which indemnification includes indemnification against all claims, damages, attorneys' fees and other litigation costs which may arise during or after the term of this Agreement as a direct or indirect result of any of Developer's activities in connection with construction, maintenance, marketing or sales.

## **12. Assignment**

Developer shall not be permitted to assign its rights or duties under this agreement unless City shall have consented in writing to such assignment. City shall not be required to state any reason for a refusal to consent to such an assignment.

### 13. Rain Gardens

Rain Gardens are designed depressions in the topography intended to impound surface water runoff so that it may percolate into the soil. They are compatible with certain types of decorative improvements, such as rock and vegetation, and exterior decorative low-profile fencing or bordering.

X This subdivision contains no Rain Gardens.

   This subdivision contains Rain Gardens, abutting the following lots:

By virtue of Article 10-420 (J) of the Ham Lake City Code, abutting property owners are allowed to, but not required to maintain the Rain Gardens on which their lot abuts, subject to certain limiting conditions:

1. No obstruction to the flow or percolation of surface water may be imposed within or affecting any Rain Garden.
2. The Rain Garden shall not be permitted to fill with silt, debris or decaying or dead vegetation;
3. Decorative bordering, such as stone, commercial paver/landscaping block or decorative mini-fencing may be placed around the Rain Garden, but not to exceed six inches in height, and not to be placed in a manner that hinders the receiving of surface water into the rain garden in accord with the original approved drainage plan for the subdivision.
4. No alteration of the Rain Garden shall be permitted beyond the original footprint.
5. The City reserves the right to supersede any owner maintenance, including, without notice or cause, the removal of items placed in the Rain Garden.

The Short-Form Development Agreement shall make reference to the lots abutting Rain Gardens.

### 14. Letter of Credit Expirations

If any security required by this agreement is in the form of a Letter of Credit which by its terms expires prior to the time of expiration of the obligations of developer for which the Letter of Credit serves, the Letter of Credit shall be replaced by either a cash deposit or a replacement Letter of Credit at least thirty days prior to the expiration date on the expiring Letter of Credit. If no such replacement security is provided, City shall make a claim for the entire balance guaranteed by the Letter of Credit and hold the proceeds as cash security for the remainder of the obligation term, with no accruing interest to Developer. *Consistent with City policy regarding the financial stability of banks, if the issuer of a Letter of Credit is no longer qualified to issue Letters of Credit at the time that a renewal is due, such condition will be a condition of default in this agreement and the City shall be entitled to make a claim on the current Letter of Credit to convert the security to a cash deposit.*

### 15. FEMA Letter of Map Amendments

Developer shall apply with the Federal Emergency Management Agency (FEMA) for a Letter of Map Amendment as required for Lots 1, 2, 3, 5, 6 and 7 of Block 1, and Lots 2 and 3 of Block 3. The City shall not issue a building permit for any lot in the plat until and unless satisfactory proof of the map amendment has been furnished to the City Clerk.

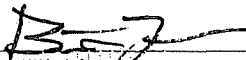
**16. Encroachment Agreement**

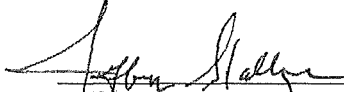
Developer shall execute an encroachment agreement for Lot 10, Block 1 for a required sewer pipe that across the drainage and utility easement to access the proposed drain fields.

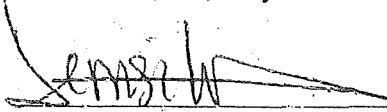
**In witness whereof, the parties have executed this agreement the date above written.**

**City of Ham Lake**

**Developer: HFN Properties, LLC**

  
\_\_\_\_\_  
Brian Kirkham, Mayor

  
\_\_\_\_\_  
Jeffrey Stalberger, Co-Administrator

  
\_\_\_\_\_  
Denise Webster, City Clerk

- 4.3 Approval of a Letter of Support for the TH65 and Bunker Lake Boulevard NE Interchange funding application
- 4.4 Approval of the 2024 Residential Recycling Agreement with Anoka County
- 4.5 Approval of Ordinance No. 23-09 rezoning Hidden Forest East Fourth Addition
- 4.6 Approval of Ordinance No. 23-10 rezoning portions of land of Entsminger Farms from R-A (Rural Single Family Residential) to CD-2 (Commercial Development II) and a portion of land of the Coon Creek Commercial Park from CD-2 (Commercial Development II) to R-A (Rural Single Family Residential) in Section 29
- 4.7 Approval of appointing David Ross to the Planning Commission with the term of October 9, 2023 to March 15, 2026
- 4.8 Approval of Plans and Specifications for replacement of the 152<sup>nd</sup> Avenue NE cross-culverts in Brook View Meadows
- 4.9 Approval of a lot line adjustment for Tom Elwell (4611 139<sup>th</sup> Lane NE) in Section 36
- 4.10 Approval of the proposed Sunrise Watershed Management Organization Funding Formula and invoice to complete the revisions of the Joint Powers Agreement (JPA)
- 4.11 Approval of Resolution No. 23-45 accepting a \$5,000 donation from the Ham Lake Chamber of Commerce
- 4.12 Approval of Resolution No. 23-46 scheduling a public hearing to vacate a portion of Stutz Street NE dedicated on the recorded plat of Hidden Forest East Third Addition

**Motion by Kirkeide, seconded by Doyle, to approve the October 2, 2023 Consent Agenda as written. All present in favor, motion carried.**

## **5.0 PLANNING COMMISSION RECOMMENDATIONS**

- 5.1 Tom Elwell requesting rezoning of 4611 139<sup>th</sup> Lane NE from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) (first reading of an ordinance)

**Motion by Kirkeide, seconded by Parranto, to concur with the Planning Commission and approve Tom Elwell's request to rezone parcel 4611 139<sup>th</sup> Lane NE from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) in Section 36 subject to the City Council approving the requested lot line adjustment, documentation of the 66-foot wide easement over the eastern 66-foot of parcel 4653 138<sup>th</sup> Avenue NE, the drainage and utility and County Ditch drainage easements being filed with the County, meeting the conditions of the City Engineer and meeting all City, County and State requirements. All present in favor, motion carried. This is considered the first reading of a rezoning ordinance.**

- 5.2 Jeff Stalberger, HFN Properties, LLC, requesting Final Plat approval for Hidden Forest East Fourth Addition (22 Single Family Residential lots and 3 Out lots) in Sections 24 and 25

**Motion by Kirkeide, seconded by Parranto, to concur with the Planning Commission and approve the Final Plat of Hidden Forest East Fourth Addition, 22 Single Family Residential lots and 3 out-lots, in Sections 24 and 25 as presented by HFN Properties, LLC subject to parkland dedications fees to be determined by the City Attorney, filing an encroachment agreement for Lot 10, Block 1, for a septic sewer pipe crossing a drainage and utility easement, obtaining FEMA LOMA's for Lots 1, 2, 3, 5, 6 and 7 of Block 1 and Lots 2 and 3 of Block 3, prior to the issuance of building permits, vacating right-of-way for the Stutz Street NE cul-de-sac dedicated with the Hidden Forest East Third Addition, the developer agreeing to provide an additional ingress/egress point for the Hidden Forest East development in the next phase of development, meeting all requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. Mr.**

Stalberger stated that blacktop is scheduled for October 26<sup>th</sup> and asked if the development agreement could be ready so he could proceed with filing the plat as soon as the blacktop is finished. Engineer Krugler will get the necessary information to the City Attorney so he can proceed with drafting the development agreement.

**6.0 ECONOMIC DEVELOPMENT AUTHORITY – None**

**7.0 APPEARANCES – None**

**8.0 CITY ATTORNEY – None**

**9.0 CITY ENGINEER**

Engineer Krugler stated that they are going to have grants through MnDOT that will be paying for the installation of the culvert at 152<sup>nd</sup> Avenue NE in Brook View Meadows.

**10.0 CITY ADMINISTRATOR – None**

**11.0 COUNCIL BUSINESS**

**11.1 Committee Reports**

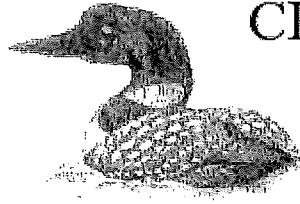
Councilmember Doyle stated that a Road Committee meeting was held prior to the City Council meeting and the discussion regarding Constance Boulevard NE and the proposed backage road at Buchanan Street NE discussion is continuing.

**11.2 Announcements and future agenda items**

Mayor Kirkham reminded the Councilmembers that there is a workshop meeting to discuss the Sheriff's contract at 3:00 p.m. on Tuesday, October 3, 2023.

**Motion by Kirkeide, seconded by Doyle, to adjourn the meeting at 6:09 p.m. All present in favor, motion carried.**

  
\_\_\_\_\_  
Dawnette Shimek, Deputy City Clerk



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, JANUARY 22, 2024

**CALL TO ORDER:** 6:00 p.m.

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF MINUTES:** December 11, 2023

**PUBLIC HEARING:**

**6:01 p.m.** Angela Oldenburger of Paxton Properties, LLC, requesting a Conditional Use Permit to operate White & Sable, LLC, an event center, at 15485 Baltimore Street NE

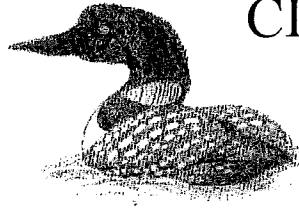
**NEW BUSINESS:**

1. Angela Oldenburger of Paxton Properties, LLC, requesting Commercial Site Plan approval to construct a 10,381 square foot event center at 15485 Baltimore Street NE. PID# 20-32-23-12-0027

**COMMISSION BUSINESS:**

1. City Council Update





# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## CITY OF HAM LAKE PLANNING COMMISSION MINUTES MONDAY, JANUARY 22, 2024

The Ham Lake Planning Commission met for its regular meeting on Monday, January 22, 2024 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Commissioners Brian Pogalz, Kyle Lejonvarn, Dave Ringler, Jeff Entsminger and David Ross

**MEMBERS ABSENT:** Commissioners Erin Dixson and Jonathan Fisher

**OTHERS PRESENT:** City Engineer Dave Krugler and Building and Zoning Clerk Jennifer Bohr

**CALL TO ORDER:** Chair Pogalz called the meeting to order at 6:00 p.m.

### **PLEDGE OF ALLEGIANCE:**

The pledge of allegiance was recited by all in attendance.

### **APPROVAL OF MINUTES:**

**Motion by Lejonvarn, seconded by Ross, to approve the minutes of the December 11, 2023 Planning Commission meeting as written. All present in favor, motion carried.**

### **PUBLIC HEARING:**

Angela Oldenburger of Paxton Properties, LLC, requesting a Conditional Use Permit to operate White & Sable, LLC, an event center, at 15485 Baltimore Street NE

Mr. Landon Oldenburger and Mrs. Angela Oldenburger were present as well as architects Mr. Nick Kineke and Mr. Michael Roehr. Mrs. Oldenburger stated she and her husband want to construct a wedding and event venue. Mrs. Oldenburger stated when clients rent the facility they will be able to bring in their own vendors as long as they are licensed, insured and pre-approved by them. Mrs. Oldenburger stated clients renting the facility for weddings will be able to get ready, take photos, have an indoor or outdoor ceremony and hold a reception on site. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated the plans comply with the City's Shoreland Ordinance in regard to impervious surface coverage. Engineer Krugler stated the landscaping plan shows decorative trees will be planted. Engineer Krugler stated City Code suggests the planting of conifer trees but the Commission would need to determine if decorative trees are acceptable for this site. Engineer Krugler stated the Coon Creek Watershed District (CCWD) has conditionally approved the plans and is requiring an Operation and

Maintenance Agreement for storm water treatment. Engineer Krugler stated a CCWD permit is required before grading operations can commence. Engineer Krugler stated a Minnesota Pollution Control Agency National Pollutant Discharge Elimination System (NPDES) Construction Stormwater Permit is also required before grading operations can commence. Engineer Krugler stated Great River Energy and Minnesota Pipeline easements traverse through the parcel; both agencies have approved the plans. Commissioner Lejonvarn completed the inspection; a copy which is on file. Commissioner Lejonvarn stated the property has a few buildings on it. Commissioner Lejonvarn stated two structures will be demolished and the garage, that will be used for storage, will be improved to match the event center. Commissioner Lejonvarn stated parking was discussed. Commissioner Lejonvarn stated no parking will be allowed along Baltimore Street NE. There was discussion on how parking would be managed if clients have food trucks onsite. Mrs. Oldenburger stated clients may have to give up some parking spots if they have food trucks. Mrs. Oldenburger stated they will suggest the clients shuttle guests or recommend carpooling or the use of Uber ride services if there may not be enough parking spaces. Commissioner Lejonvarn stated the landscaping plan was sufficient and added that some existing ash trees, that are dead or dying, will need to be removed from the site.

**Chair Pogalz opened the public hearing at 6:11 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 6:12 p.m.**

**Motion by Lejonvarn, seconded by Ross, to recommend approval of Angela Oldenburger's request for a Conditional Use Permit to operate White and Sable, LLC, an event center, at 15485 Baltimore Street NE, subject to not exceeding the total occupant load of 299 at any time, outdoor event activities only occurring between the hours of 7:01 am and 10:00 pm, no outside storage, maintaining the landscaping, outdoor lighting, parking lot surface and parking lot striping, clearly marking fire truck access with no parking signs and meeting all City, County and State requirements. All present in favor, motion carried. *This application will be placed on the City Council's Monday, February 5, 2024 agenda.***

**NEW BUSINESS:**

Angela Oldenburger of Paxton Properties, LLC, requesting Commercial Site Plan approval to construct a 10,381 square foot event center at 15485 Baltimore Street NE. PID# 20-32-23-12-0027

Chair Pogalz stated this request is also from Mrs. Oldenburger. There was no additional discussion. **Motion by Lejonvarn, seconded by Ross, to recommend approval of Angela Oldenburger's request for commercial site plan approval to construct a 10,381 square foot event center at 15485 Baltimore Street NE, subject to the following conditions: not exceeding the total occupant load of 299 at any time, outdoor event activities only occurring between the hours 7:01 am and 10:00 pm, meeting the requirements of the DNR, obtaining a demolition permit to demolish the existing office and small shed, the exterior finish of the buildings meeting CD-1 building standards, meeting the requirements of the Building Official and City Engineer and meeting all City, County and State requirements. All present in favor,**

**motion carried.** *This application will be placed on the City Council's Monday, February 5, 2024 agenda.*

**COMMISSION BUSINESS:**

City Council Update

Chair Pogalz stated the City Council concurred with the Planning Commission's recommendations to approve the Conditional Use Permit and Commercial Site Plan for Twin Town Demolition. A planning commissioner will not be present at the February 5, 2024 City Council meeting.

**ADJOURNMENT:**

**Motion by Lejonvarn, seconded by Entsminger, to adjourn the Planning Commission meeting at 6:18 p.m. All present in favor, motion carried.**

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Jennifer Bohr  
Building and Zoning Clerk

**CITY OF HAM LAKE, MINNESOTA  
RESOLUTION NO. 24-XX**

**APPROVAL OF CONDITIONAL USE PERMIT  
15485 BALTIMORE STREET NE**

**WHEREAS**, Paxton Properties, LLC, filed an application dated December 19, 2023, Receipt #98454, requesting a Conditional Use Permit to operate White & Sable, LLC, an event center on property located at 15485 Baltimore Street NE. The subject property is legally described as follows:

PID# 20-32-23-12-0027 (the "Property")

**WHEREAS**, the Property is located in the Commercial Development I (CD-1) Zoning District; and

**WHEREAS**, CD-1 Zoning Districts are intended to apply to certain commercial uses on lands abutting the City's only major thoroughfare, Trunk Highway 65 corridor. In that these lands have high visibility to the traveling public, it is considered important to the preservation of land values in general, as well as important to the continuing ability of the City to generate the establishment of quality commercial development and the concomitant tax and employment base, that structures in the CD-1 Zoning Districts observe specific construction and aesthetic standards.

**WHEREAS**, the intended use of the Property is for the operation of an event center to facilitate contracted preplanned events and gatherings; and

**WHEREAS**, under Section 9-220.2 (c) of the Ham Lake City Code, an event center is a conditional use in CD-1 Zoning Districts; and

**WHEREAS**, pursuant to Section 9-310.2 of the Ham Lake City Code, the Ham Lake Planning Commission reviewed the conditional use application and held a public hearing at their regular meeting on January 22, 2024, and recommended approval of the Conditional Use Permit with conditions;

**WHEREAS**, the Ham Lake Planning Commissions meeting minutes and materials from its January 22, 2024 meeting shall be used to support the Ham Lake City Council's findings of fact.

**NOW, THEREFORE, BE IT RESOLVED** that the Ham Lake City Council hereby approves the Conditional Use Permit for the property located at 15485 Baltimore Street NE subject to the conditions and approval as recommended by the Planning Commission to wit:

1. The events held at the event center shall not exceed the total occupant load of 299 at any time.
2. Outdoor event activities shall only occur between the hours of 7:01 am and 10:00 pm.
3. No outside storage of any kind is allowed on the Property.
4. The Applicant shall, at all times, maintain the landscaping, outdoor lighting, parking lot surface and parking lot striping to the satisfaction of the City.

5. There shall be clearly marked fire truck access with no parking signs to indicate and ensure such access to the City's satisfaction.
6. All events held are pursuant to contract and preplanned.
7. Any outside vendor providing food, products, materials or services of any kind shall be properly licensed and insured by its controlling agency, proof of which shall be readily available upon request from the City.
8. The Applicant, Property and any structure on the Property shall meet all City, DNR, County and State requirements for the intended use approved by the City Council.

**FURTHERMORE**, the Ham Lake City Council hereby approves the Conditional Use Permit for 15485 Baltimore Street NE subject to the following additional conditions:

1. Written receipt by the City, and approval by the City Attorney, of acknowledgement and approval of the Conditional Use Permit by the owner of the Property located at 15485 Baltimore Street NE.
2. Ongoing and complete compliance with all applicable Ham Lake City Code, DNR, County of Anoka and State of Minnesota codes, ordinances, provisions, statutes and/or laws.

Adopted by the Ham Lake City Council this the 5<sup>th</sup> day of February, 2024.

ATTEST:

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Denise Webster, City Clerk

---

Brian Kirkham, Mayor



# CITY OF HAM LAKE

## PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 12/18/23

Date of Receipt 12-19-23

Receipt # 98454

### Meeting Appearance Dates:

Planning Commission 1-22-24

City Council 2-5-24

### Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval\*
- Final Plat Approval
- Rezoning\*
- Multiple Dog License\*

- Commercial Building Site
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)\*
- Conditional Use Permit (Renewal)
- Other

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: White & Sable, LLC

Address/Location of property: 15485 Baltimore St NE, Ham Lake, MN 55304

Legal Description of property: \_\_\_\_\_

PIN # 20-32-23-12-0027 Current Zoning CD-1 Proposed Zoning —

Notes: Construction of a new event center.  
Parcels 20-32-23-12-0024 + 20-32-23-13-0013 Combined.

Applicant's Name: Angela Oldenburger

Business Name: Paxton Properties, LLC

Address 12718 Legacy Creek Pkwy NE

City Blaine State MN Zip Code 55449

Phone \_\_\_\_\_ Cell Phone 507-581-6453 Fax \_\_\_\_\_

Email address ang.oldenburger@gmail.com

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

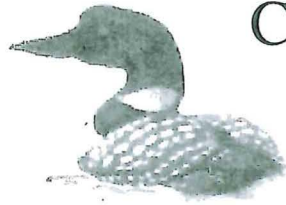
SIGNATURE Angela Oldenburger DATE 12/18/23

\*\*\*\*\*

### - FOR STAFF USE ONLY -

ACTION BY: Planning Commission 1-22-24

Property Taxes Paid



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
info@ci.ham-lake.mn.us

NOTICE OF PUBLIC HEARING  
CITY OF HAM LAKE  
COUNTY OF ANOKA  
STATE OF MINNESOTA

TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a Public Hearing shall be held before the Ham Lake Planning Commission on Monday, January 22, 2024 at 6:01 p.m. at the Ham Lake City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Angela Oldenburger of Paxton Properties, LLC, requesting a Conditional Use Permit to operate White & Sable, LLC, an event center, at 15485 Baltimore Street NE, a parcel of certain land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

THAT PRT OF GOVT LOT 2, SEC 20 TWP 32 RGE 23, LYG S OF N 300 FT OF FOL DESC TRACT: THAT PRT OF SD GOVT LOT 2 LYG S OF LINE COM ON W LINE OF SD GOVT LOT 2, 680 FT S OF NW COR THEREOF, TH ELY PRL/W N LINE OF SD GOVT LOT 2 TO E LINE THEREOF, AND LYG E OF LINE BEG AT PT ON S LINE OF SD SEC 20 , 100 FT ELY OF S 1/4 COR THEREOF; TH RUN NLY AT ANG 89 DEG 18 MIN WITH SD S SEC LINE (MEAS E TO N) 248.5 FT, TH DEFL RT AT ANG 7 DEG 11 MIN 3629.9 FT, TH DEFL TO LFT 0 DEG 45 MIN COR (DELTA ANG 13 DEG 33 MIN 30 SEC) 1807.7 FT AND THERE TERM, AND WHICH LYS WLY OF FOL DESC LINE: COM ON W LINE OF SD GOVT LOT 2, 680 FT S OF NW COR OF SD GOVT LOT 2, TH N 89 DEG 09 MIN 35 SEC E (ASSD BRG) ON LINE PRL/W N LINE OF SD GOV'T LOT 2, 1033.74 FT TO POB OF LINE TO BE DESC, TH S 27 DEG 32 MIN 01 SEC E 166.05 FT, TH S 00 DEG 50 MIN 09 SEC E 252.24 FT, TH S 38 DEG 25 MIN 17 SEC E 181.81 FT, TH S 53 DEG 39 MIN 03 SEC E 86.55 FT, TH S 00 DEG 50 MIN 09 SEC E 64.32 FT TO S LINE OF SD GOVT LOT 2, SD LINE THERE TERM, TOG/W THAT PRT OF SW1/4 OF NE1/4 SD SEC 20 LYG ELY OF ELY R/W LINE OF T H NO 65 & NLY OF NLY R/W LINE

OF ISLAND DR; LYG WLY OF E 38.67 FT THEREOF, EX RD SUBJ  
TO EASE OF REC

At such hearing both written and oral comments will be heard.

DATED: January 12, 2024

Jennifer Bohr  
Building and Zoning Clerk  
City of Ham Lake



# White & Sable

## Business Narrative for Commercial Site Plan & Conditional Use Permit

*December 18, 2023*

*Submitted to:*

*City of Ham Lake*

*15544 Central Ave NE*

*Ham Lake, MN 55304*

*Attn: Jennifer Bohr*

*Prepared by:*

*Angela and Landon Oldenburger / Paxton Properties, LLC*

## Opportunity

The proposed venue, White & Sable, is addressing an opportunity in the wedding and event venue market in Ham Lake, Minnesota. The venue has been conceived to apply a proven and profitable business model to a growing market. We are thrilled to have the opportunity to bring our thoughtfully-designed venue to the Ham Lake community!

## Offerings and Services

White & Sable will be a purpose-built, stand-alone venue offering flexibility in vendor selection, and an open catering policy with a target event capacity between 50 and 200 guests. We will have a preferred list of caterers and other vendors who we know and trust, but ultimately clients can bring in any vendor they choose as long as the vendor is licensed and insured. We will partner exclusively with a local licensed and insured beverage service company, LiquidMotion, in order to ensure quality service and control over the serving of alcohol. We will also require clients to hire an event security service anytime alcohol is served or there are more than 100 guests.

The venue is targeting a market leading position. We have designed a unique, high-level facility that will stand out in the Twin Cities. An event capacity of approximately 200 people has been selected due to the flexibility of not being perceived as “too large” for smaller events but also not too small to be eliminated from consideration when initial guest lists are being compiled. Additionally, the space is flexible enough to host both weddings, as well as other event types during weekdays and other periods which are not booked for weddings.

### *White & Sable's Offerings & Services:*

- 13-hour rental days for weddings, with the option to add-on extra morning hours
- Custom rental periods for non-wedding events, based on the client's needs
- Use of the entire facility, including multiple indoor event spaces, and outdoor event space, and getting-ready suites
- Use of and setup/teardown of tables and chairs
- A Venue Manager on-site for the duration of the event
- “Blank Canvas” business model, giving clients the option to bring in vendors of their choice

### *White & Sable's Potential Add-on Services:*

- Wedding/event coordination services
- Linen rental
- Décor rental

### *Other/Non-Wedding Events to be Hosted (not an exhaustive list):*

- Rehearsals and rehearsal dinners
- Corporate meetings, events, and holiday parties
- Social gatherings including birthday and anniversary parties, baby and bridal showers, etc.
- Family reunions
- Conferences and retreats

- Galas and charity/fundraising events
- Dances (prom, homecoming, father/daughter, etc.)
- Photo shoots
- Book releases, craft fairs, holiday markets, card shows

*Outside Vendors to Provide Services (hired by Clients):*

- Caterers and Food Trucks
- Bartending Services
- Photographers
- Videographers
- Wedding & Event Planners
- Event Designers/Decorators
- Florists
- Audio/Visual Services
- Pet Attendants
- Limo/Valet Services
- DJ and/or Band
- Bakery/Dessert Caterers
- Event Security Providers

## Operations

### Team & Key Roles

This venture will require a minimal number of key personnel to ensure successful operation. The key roles and responsibilities will include:

- **Weekday Operations (2-3 full-time employees):** Leading the ongoing maintenance functions, weekday tours, preparation for upcoming events, fielding leads, and general business functions.
- **Weekend Operations (6-8 part-time employees):** Ensuring client satisfaction during events, weekend tours prior to events, addressing 'emergency' maintenance issues, fielding client questions while on-site and potentially serving as backup to prevent event failure in the event a particular vendor (such as a planner) fails to perform. Majority of weddings and events will require only 1 or 2 employees to be on-site for the day.

### Hours of Operation

- **Non-Event Days:** The building will not open to the public. The office will be open for weekday operations employees only, and for scheduled client tours/by appointment only.
- **Event Days:** For weddings, clients may have access to the building for 13 hours beginning at 11:30am and concluding at 12:30am. All music, food and beverage service must stop by 11:30pm. Bar service must stop 30 minutes prior to the client's exit or the event ending time, whichever comes first. Extra hours can be added in the morning by request/for an additional fee. For non-wedding events, access hours will vary based on the client's needs, and will be determined at the time of booking.

**Storage Needs**

A designated storage space to house White & Sable's tables, chairs, and equipment is included in the building design. There is also an existing garage that will remain on property for any additional storage needs.

**Anticipated Traffic**

Anticipated traffic to the venue will vary based on event type and size. Fridays, Saturdays, and Sundays will bring in the most traffic when weddings are being hosted. On wedding days, most traffic will arrive within a half hour window of the ceremony start-time, but departures will be spread out later in the evening. Weekday traffic will be very minimal.

January 22, 2024

**CITY OF HAM LAKE**  
**STAFF REPORT**

**To: Members of the Planning Commission**

**From: Mark Jones, Building Official**

**Subject: Conditional Use Permit and Site Plan approval for White & Sable, LLC, an event center, at 15485 Baltimore Street NE**

**Introduction/Discussion:**

Angela and Landon Oldenburger of Paxton Properties, LLC are proposing to construct a 10,381 square foot event center located at 15485 Baltimore Street NE. The venue will be a site for weddings as well as other event types during weekdays and other periods which are not booked for weddings such as, rehearsals and rehearsal dinners, corporate meetings, events, and holiday parties, social gatherings, including birthday and anniversary parties and baby and bridal showers. The White & Sable, LLC event center, will offer flexibility in vendor selection and an open catering policy with a target event capacity between 50 and 200 guests. The event center meets the definition of Minnesota Statute 326B.108, Places of Public Accommodation Subject to Code which states a fire protection system is not required, for new construction, in a place of public accommodation if the occupant load is less than 300.

Business operations will consist of tours, weddings, events, preparation for events, ongoing maintenance functions, and general business functions. Two to three full-time employees will typically be on-site during the week. One or two full-time and/or six to eight part-time employees will be on-site for weekend events.

Hours of Operation: For non-event days, the building will not be open to the public. The office will be open for weekday operations for employees only, and for scheduled client tours that will be by appointment only. For event days with wedding events, clients may have access to the building for 13 hours beginning at 11:30 am and concluding at 12:30 am. All music, food and beverage service must stop by 11:30 pm. Bar service must stop 30 minutes prior to the client's exit or the event's ending time, whichever comes first. Extra hours can be added in the morning by request. For non-wedding events, access hours will vary based on the client's needs.

All storage of tables, chairs, and equipment will be stored within the building. An existing garage will be used for any additional storage needs.

Anticipated traffic will vary based on event type and size. Weekday traffic will be very minimal. Fridays, Saturdays, and Sundays will bring in the most traffic when weddings

are being hosted. On wedding days, most traffic will arrive within a half hour window of the ceremony start-time, but departures will be spread out later into the evening.

**Recommendation:**

I recommend approval of the Conditional Use Permit (CUP) for White & Sable, LLC event center with these conditions:

1. At no time is the total occupant load of the building to exceed 299.
2. No outdoor event activities are to start before 7:01 am and must end by 10:00 pm.
3. No outside storage is permitted.
4. Outside lighting, parking lot surface and parking lot striping are to be maintained.
5. Fire truck access is to be clearly marked with No Parking signage.
6. Meeting all City, County and State requirements.


I recommend approval of the site plan for the White & Sable, LLC event center with these conditions:

1. At no time is the total occupant load of the building to exceed 299.
2. No outdoor event activities are to start before 7:01 am and must end by 10:00 pm.
3. Meeting the requirements of the Minnesota DNR.
4. Obtaining a demo permit to demolish the existing office and small shed.
5. Exterior finish of the building must meet CD-1 building standards.
6. Meeting the requirements of the Building Official and City Engineer.
7. Meeting all City, County and State requirements.

## Memorandum

Date: January 17, 2024

To: Planning Commissioners

From: David A. Krugler, City Engineer 

Subject: White and Sable

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**Introduction:**

The proposed 10,381 square-foot White and Sable wedding venue is located on the 6.60-acre 15485 Baltimore Street parcel. The parcel is zoned Commercial Development Tier 1 (CD-1). A 500-scale aerial photo, a 1,000-scale zoning map and a 400-scale half section map are attached.

**Discussion:**

The Title Sheet, Code Info & ADA Details, Site Demolition Plan, Details and Specifications, Details, SWPPP, Architectural Site & Site Lighting Plan, Landscape Plan, Architectural Plans, Detailed Site Plan and Site Illumination Plan that were received January 12<sup>th</sup> address prior review comments.

The parcel is within 1,000 feet of Ham Lake which is defined as a Recreational Development Lake by the DNR. The plans comply with Shoreland Ordinance 92-35, a portion of which is attached, including the 25-percent maximum impervious surface coverage per Section 12-5.52A.

The attached Landscape Plan which was received on January 12<sup>th</sup> shows existing trees to the east and west of the proposed building. Per 11-1853(B) of the City code, decorative trees shall be planted along the right-of-way lines of adjacent public roadways. Per 11-1853(C) of the City Code, the use of conifers shall be encouraged and preferred. 11-1860 allows for case-by-case evaluation for landscape approval and "strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan". A determination needs to be made as to whether the proposed Landscaping is adequate where adjacent to Ham Lake Park and the City right-of-way or if additional screening is required. There are several locations within the site that contain rare plants. The Minnesota DNR has reviewed the plan and has approved the attached avoidance plan to avoid and protect the plants.

White and Sable was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their January 8<sup>th</sup> meeting. The Notice of Application Status is attached. The execution of an Operation and Maintenance Agreement for storm water treatment is required to obtain the CCWD Permit. A CCWD permit is required before grading operations can commence. A Minnesota Pollution Control Agency National Pollutant Discharge

Elimination System Construction Stormwater Permit is also required before grading operations can commence because the disturbed area is over one-acre.

Great Rivers Energy and Minnesota Pipeline easements traverse thru the parcel. Both agencies have approved the plans, per the attached correspondence.

**Recommendation:**

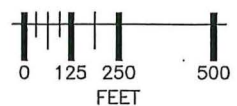
It is recommended that the White and Sable commercial site plan be recommended for approval. The Planning Commission will also need to determine if the existing screening with the additional planting is adequate.

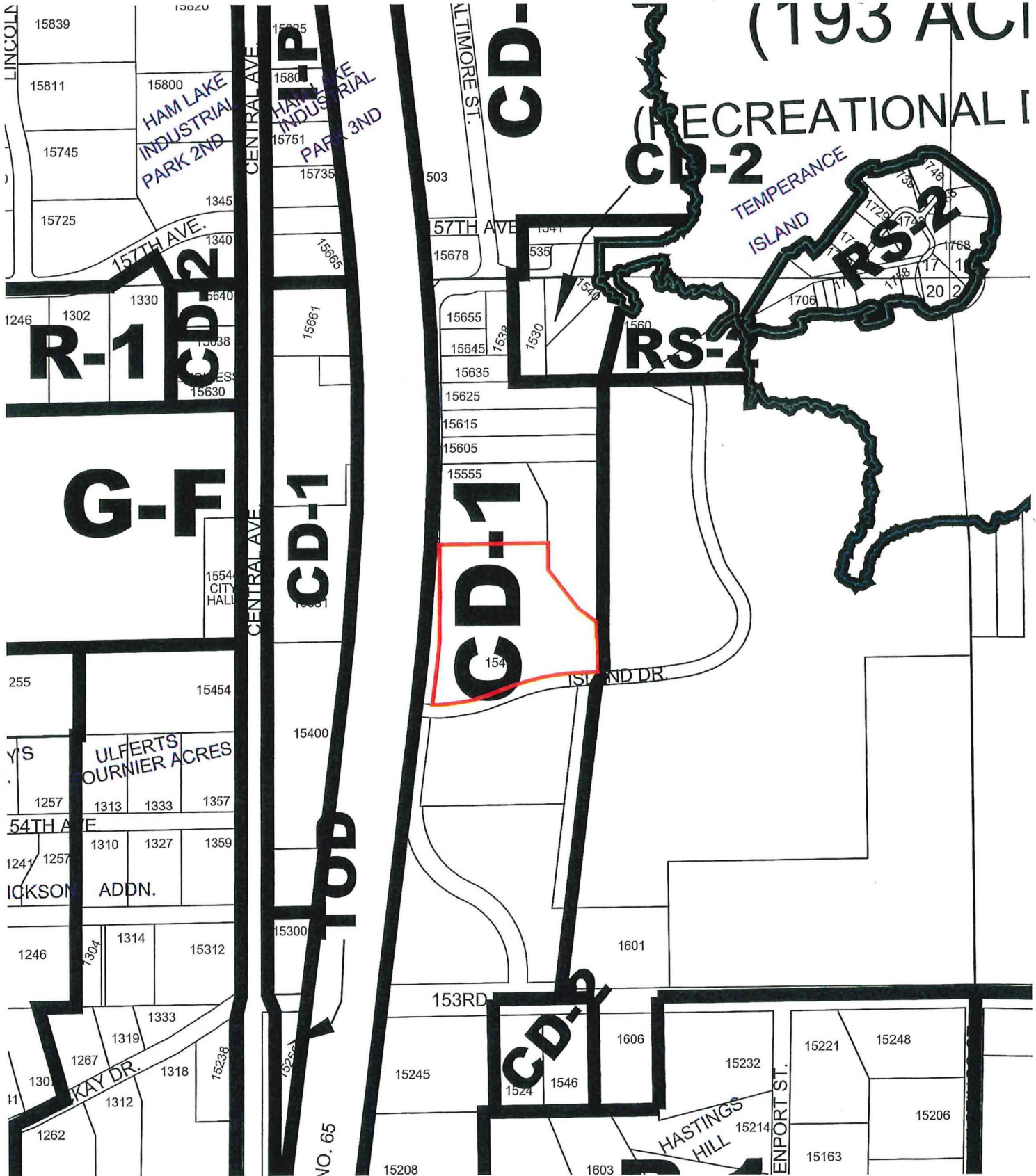


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15485

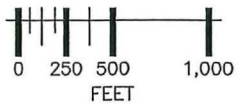
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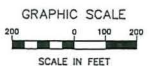
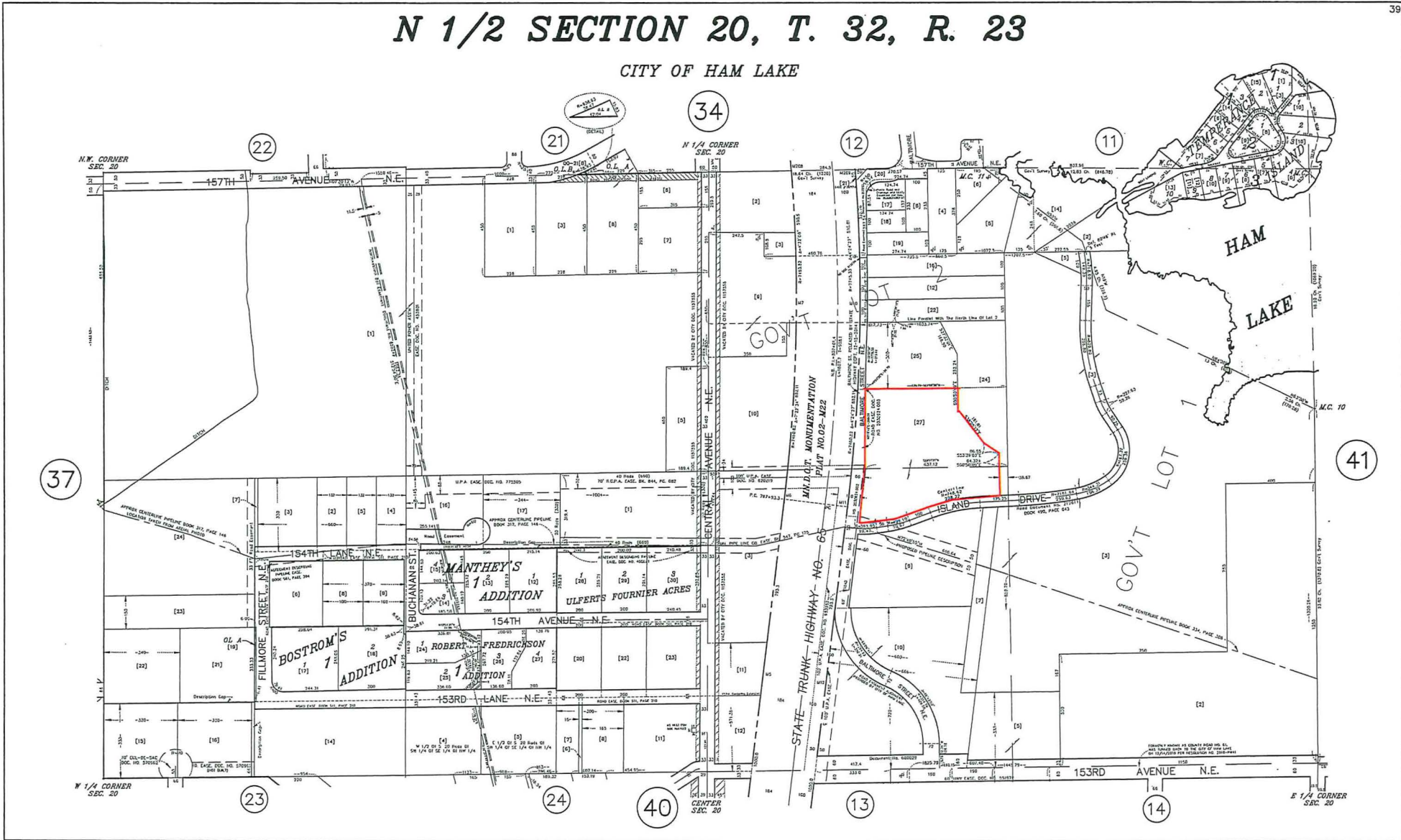
(193 AC)

(RECREATIONAL I



# N 1/2 SECTION 20, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY  
SURVEYOR'S OFFICE  
ROOM 224  
2100 3RD AVENUE  
ANOKA, MN 55303  
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section	Township	Range	Quarter	Specific
Number	Number	Number	Number	Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]  
EXAMPLE OF PIN NUMBER: 20-32-23-13-0010

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

STATE TRUNK HIGHWAY NO. 65

BALTIMORE STREET

DRIVE

ISLAND



Scale in Feet

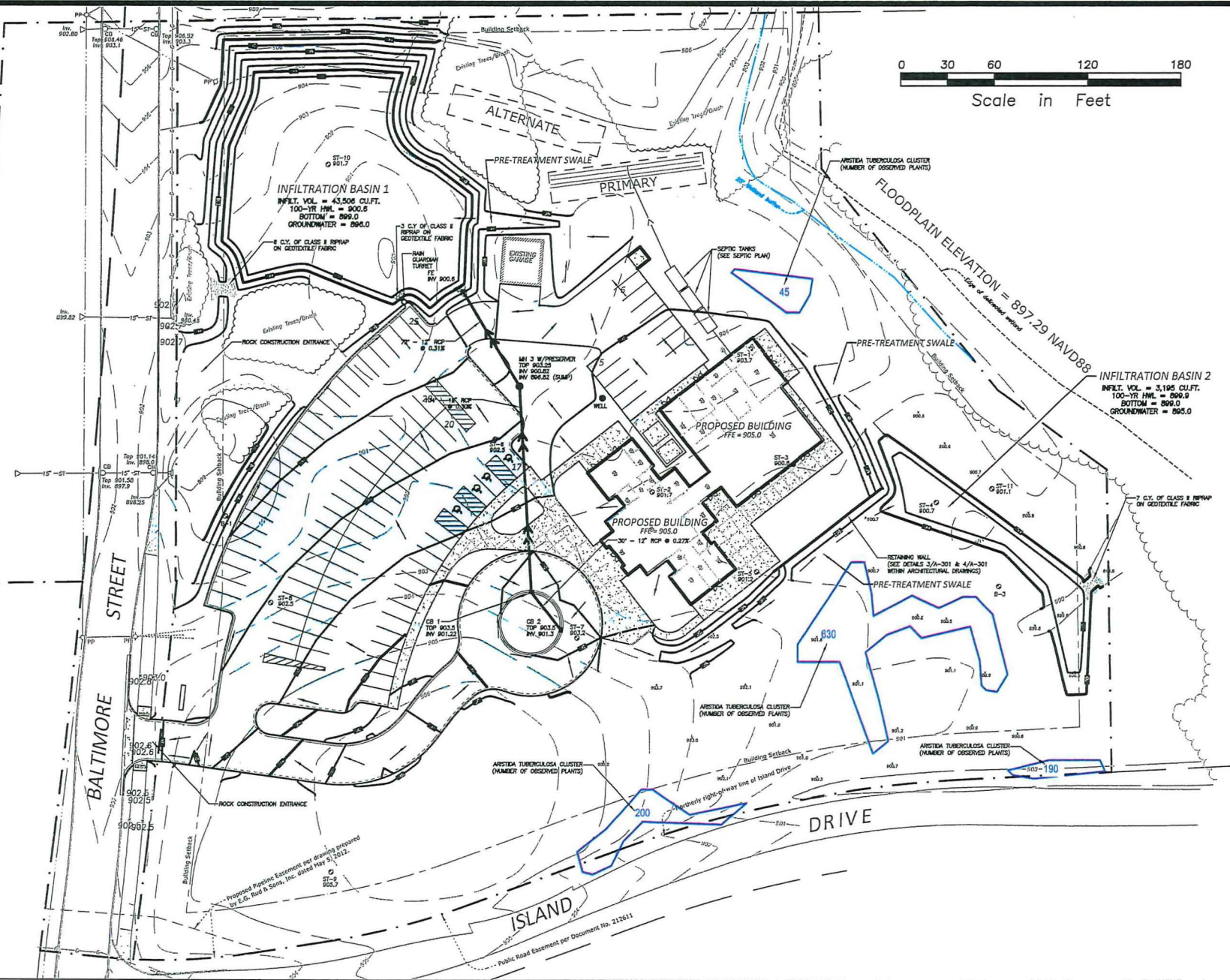


DATE:  
1-12-24

DETAILED SITE PLAN

3440 Federal Drive, Suite 110  
Eagan, MN 55122  
Telephone: 651-452-5051  
www.rehder.com

**REHDER**  
& ASSOCIATES, INC.  
Civil Engineers & Land Surveyors

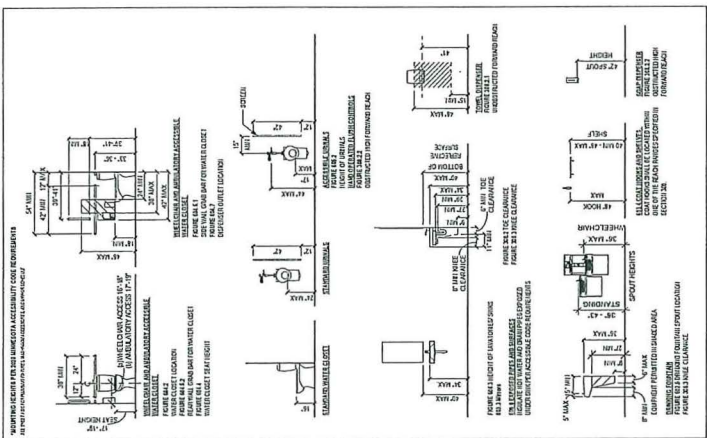


Proposed Pipeline Easement per drawing prepared by S.C. Rood & Sons, Inc. dated May 31, 2012.

Public Road Easement per Document No. 212611

# WHITE AND SABLE WEDDING VENUE

01/12/2024 - Commercial Site  
Plan - Rev03



**GENERAL NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
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**LOCATION MAP**  
Map to site

**PROJECT CONTACTS**

Architect:  
Roberts Architects, LLC  
1229 Tyler Street NE, Suite 275  
Minneapolis, MN 55413  
(P) 612.676.4191  
(F) www.robertsarch.com

Contractor:  
Diversified Construction  
4811 West 38th, Suite 116  
St. Louis Park, MN 55426  
(P) 952.926.7233  
(F) www.diversifiedconstruction.com

SHEET	SHEET NAME
General	General
A-001	Title Sheet, Civil Plan, E. Main Details
C-001	Site Elevation Plan
C-002	Site Elevation Plan
C-003	Site Elevation Plan
C-004	Site Elevation Plan
C-005	Site Elevation Plan
C-006	Site Elevation Plan
C-007	Site Elevation Plan
C-008	Site Elevation Plan
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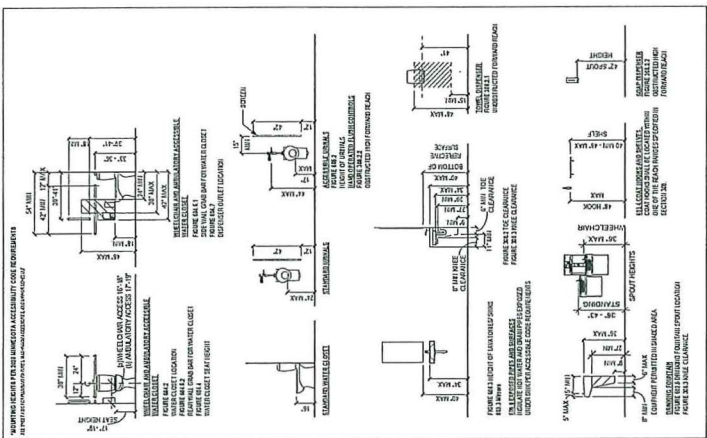
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect of Minnesota.

Michael G. Roehr, AIA  
Professional License # 47471  
DATE: 01/01/2023  
1033 BALDWIN AVENUE, SUITE 200  
MINNEAPOLIS, MN 55413

**TITLE SHEET, CODE INFO, & ADA DETAILS**

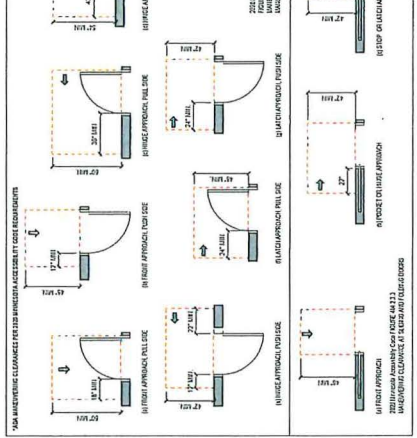
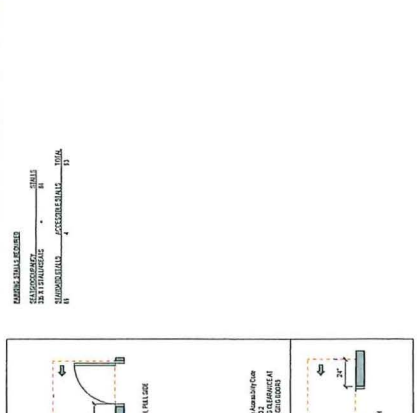
**A-001**

Project Number: 1229 Tyler Street  
Sheet No: A-001  
Revision No: Rev03  
Date: 01/12/2024



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**GOPHER STATE ONE CALL**  
 CALL 48 HOURS BEFORE YOU DIG  
 TRIN CITY AREA 651-454-0002  
 MN, TOLL FREE 1-800-332-1166



REDEMPTION ADMINISTRATIVE, LLC  
 1230 TYLER STREET N.E., SUITE 275  
 MINNEAPOLIS, MN 55413  
 TEL: 612-338-4433  
 FAX: 612-338-4433



**WHITE AND  
 SABLE  
 WEDDING  
 VENUE**

15485 BALTIMORE ST.  
 HAN LAKE, MN 55304

No.	Description	DATE
1	Adopted/Revised	12-23-23
2	Commercial Site Plan	12-21-23
3	Permit Submittal	12-21-23
4	Commercial Site Plan	12-21-23
5	Permit Submittal	12-21-23
6	Commercial Site Plan	12-21-23
7	Permit Submittal	12-21-23

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

Nicholas P. Adam, P.E.

*Nicholas P. Adam*

Minnesota License # 43856

DATE: 01/22/24

PROJECT: WHITE AND SABLE WEDDING VENUE

**SITE  
 DEMOLITION  
 PLAN**

PROJECT NUMBER	011923024
DRAWN BY	NS
CHECKED BY	NS
DATE	01/22/24

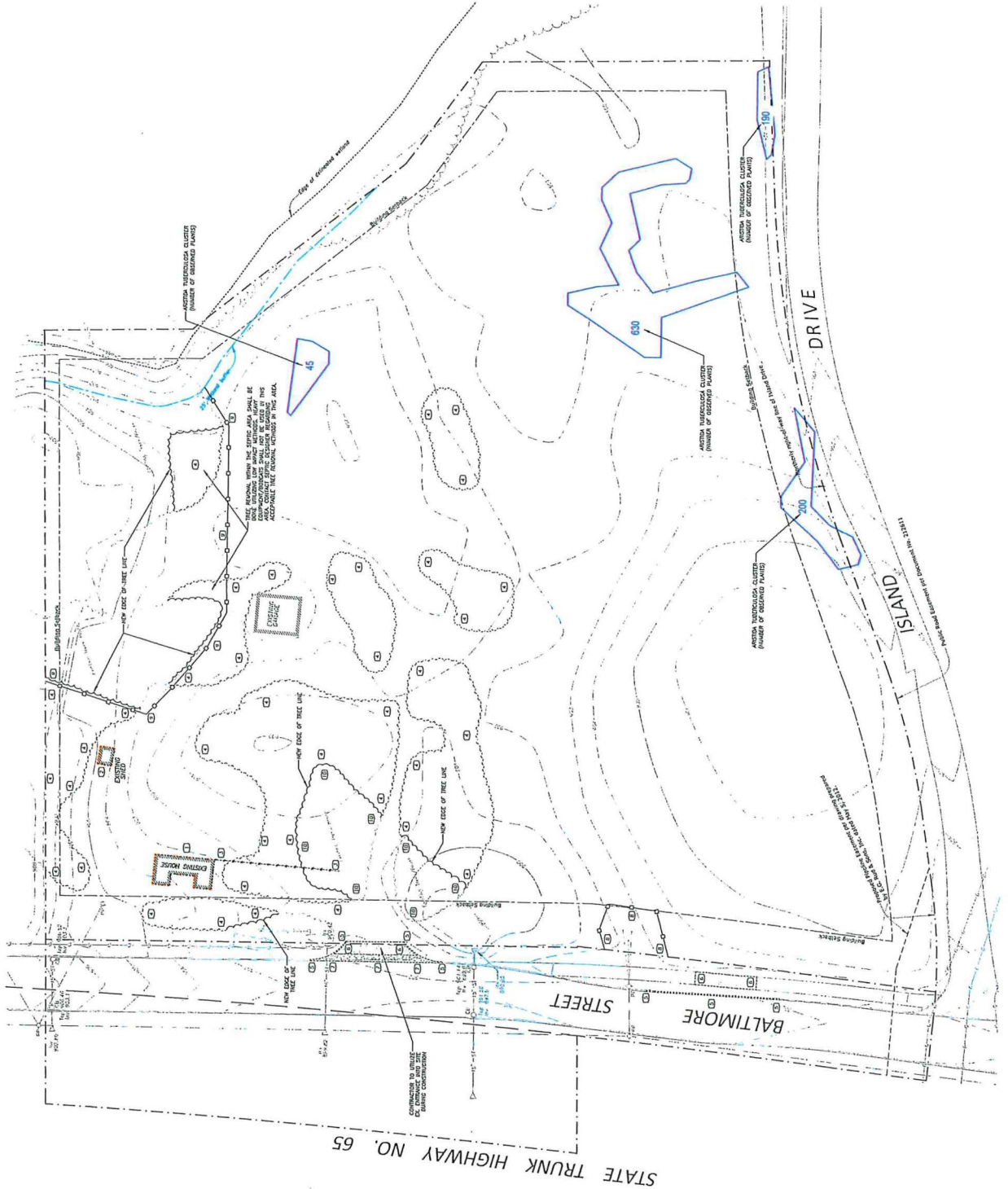
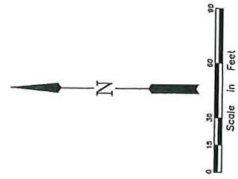
**C101**

**DEMOLITION NOTES**

- 1 - Remove house
- 2 - Remove garage
- 3 - Remove fence
- 4 - Remove tree(s)
- 5 - Remove curb & gutter
- 6 - Remove concrete pavement
- 7 - Protect dry areas with fill fence
- 8 - Protect trees/brush to remain

**LEGEND**

- EXISTING STRUCTURES TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- BOUNDARY/ROW/BLACK LINE
- EXISTING
- BUILDING/FENCING SETBACK LINE
- EXISTING STORM SEWER
- EXISTING BURIED GAS LINE
- EXISTING POWER POLE
- EXISTING CONTOUR
- EXISTING ELEVATION



**GOPHER STATE ONE CALL**

CALL 48 HOURS BEFORE YOU DIG  
 1-800-487-4773  
 MN. TOLL FREE 1-800-282-1166

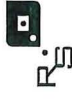
**OWNER/DEVELOPER**  
 Apple Hospitality, LLC  
 Apple Hospitality

ZONING: CD-1 COMMERCIAL DEVELOPMENT TIER 1

**SITE SUMMARY**

EXISTING DISTURBED AREA = 2.42 ACRES  
 EXISTING UNDISTURBED AREA = 1.17 ACRES (25%)  
 POST CONSTRUCTION IMPERVIOUS AREA = 112,700 S.F.  
 BUILDING AREA = 10,895 S.F.  
 DRIVEWAY/CONCRETE PAVING = 61,840 S.F.

PARKING STALLS REQUIRED  
 335 X 1 STALL/4 SEATS = 84  
 PARKING STALLS PROVIDED  
 STALLS TOTAL 89  
 ACCESSIBLE STALLS TOTAL 93



REHDER  
 1207 TUCKER STREET, N.E. SUITE 275  
 MINNEAPOLIS, MN 55413  
 TEL: 612-316-6191  
 FAX: 612-316-6191  
 WWW.REHDER.COM



PROJECT NO: 211-202022  
 SHEET NO: 211-202022-02

**WHITE AND SABLE WEDDING VENUE**

15648E BALTIMORE ST.  
 HAWK LAKE, MN 55304

No.	Description	DIA
1	Address Washed	12-23
2	Commercial Site Plan	12-23-23
3	Final Plat	12-23-23
4	Address Plat	12-23-23
5	Commercial Site Plan	12-23-23
6	Commercial Site Plan	12-23-23

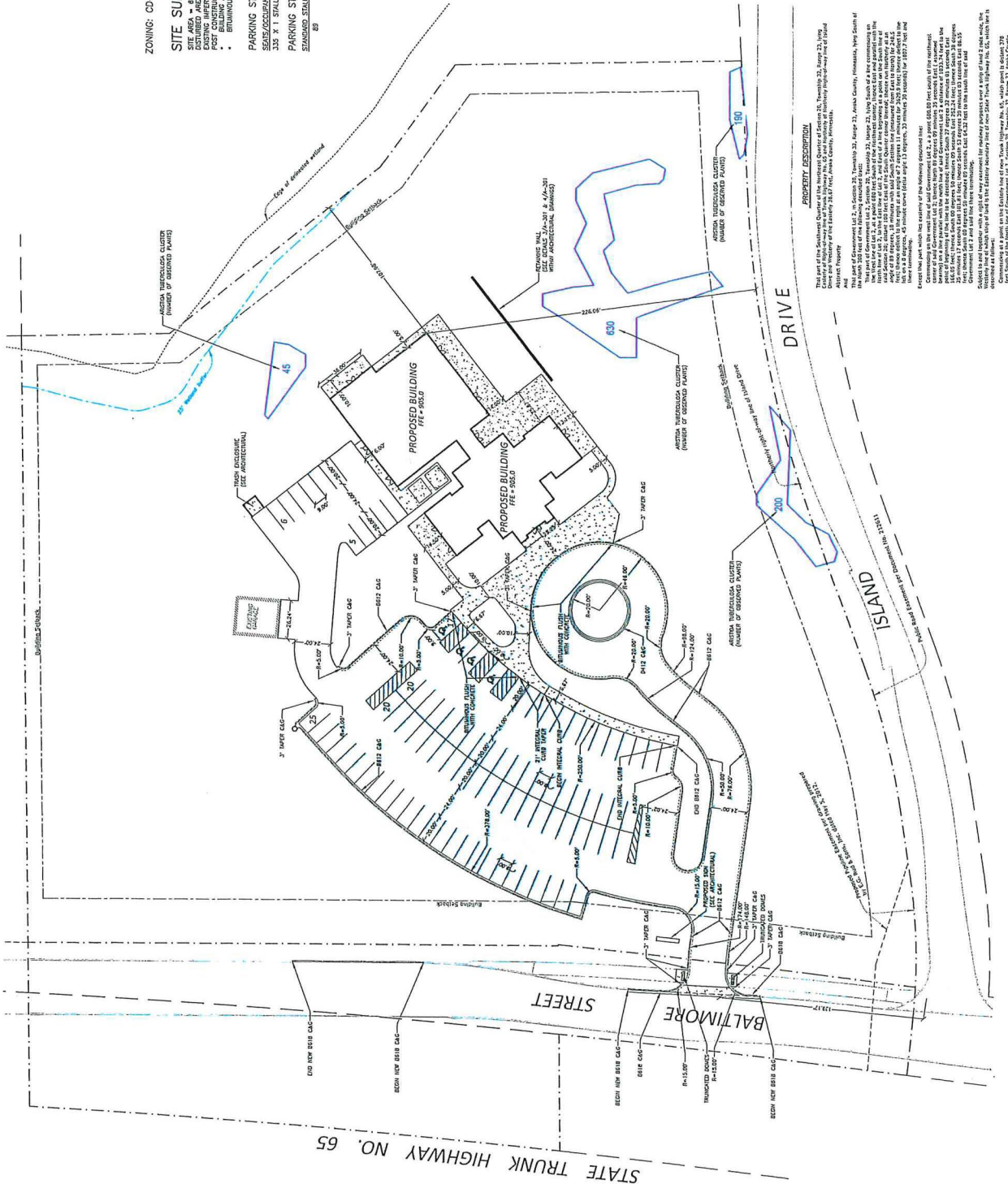
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Nicholas P. Adam, P.E.  
 Nicholas P. Adam

Minnesota License # 43656  
 DATE: 01/22/24  
 © 2024 REHDER ENGINEERING, LLC

**SITE DIMENSION PLAN**

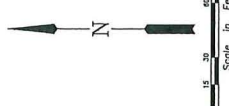
PROJECT NUMBER	DATE	SCALE
211-202022	01/22/24	AS SHOWN

**G102**



**LEGEND**

- BOUNDARY/ROW/BLOCK LINE
- - - EXISTING
- ===== BUILDING/PARKING SETBACK LINE
- ===== PROPOSED CURB & CUTTER
- ===== PROPOSED CONCRETE
- ===== PROPOSED BRUSHWOOD PAVEMENT



**PROPERTY DESCRIPTION**  
 The property is located in the Township of Appleton, County of Hennepin, State of Minnesota. The property is bounded by State Trunk Highway No. 65 to the north, by Baltimore Street to the east, by Island Drive to the south, and by an unnamed street to the west. The property is approximately 1.17 acres in size. The property is currently zoned CD-1 Commercial Development Tier 1. The property is being developed for a wedding venue. The proposed buildings are located on the east side of the property. The parking stalls are located on the west side of the property. The site plan shows the proposed buildings, parking stalls, and site boundaries. The site plan also shows the existing site conditions, including the existing buildings and parking stalls. The site plan is subject to the approval of the Hennepin County Board of Commissioners. The site plan is also subject to the approval of the State of Minnesota. The site plan is prepared by REHDER ENGINEERING, LLC. The site plan is dated 01/22/24. The site plan is prepared by Nicholas P. Adam, P.E. The site plan is prepared for Apple Hospitality, LLC. The site plan is prepared for the White and Sable Wedding Venue. The site plan is prepared for the property located at 15648E Baltimore St., Hawk Lake, MN 55304.

STATE TRUNK HIGHWAY NO. 65

BALTIMORE STREET

ISLAND DRIVE

- GRADING NOTES**
- All elevations shown are to final surfaces.
  - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.
  - All disturbed areas to remain pervious shall be ripped to a minimum depth of 6-inches prior to final stabilization.
- EROSION CONTROL NOTES**
- Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
  - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
  - Sweep paved public streets as necessary where construction sediment has been deposited.
  - Each area disturbed by construction shall be restored per the specifications within 7 days after the construction activity in that portion of the site has temporarily or permanently ceased.
  - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
  - The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 linear feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 linear feet must be completed within 24 hours after connecting to a surface water.
  - All pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours of connection to a surface water.
  - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.
  - Exposed soils and soil stockpiles shall be stabilized within 7 days of inactivity.

**CATCH BASIN/MANHOLE SCHEDULE**

STRUCTURE NO.	BARREL SIZE	NEENAH CASTING NO.
CB 1	48"	R-3508-C
CB 2	48"	R-3508-C
MH 3	48"	R-1422B

NOTE: INSTALL INLET PROTECTION DEVICES IN NEAREST DOWNSTREAM CATCH BASINS OR AS REQUIRED BY THE CITY

- LEGEND**
- PROPOSED FLARED END
  - PROPOSED STORM SEWER
  - PROPOSED CURB & GUTTER
  - PROPOSED CURB & GUTTER "TIP OUT"
  - PROPOSED CONCRETE
  - PROPOSED BITUMINOUS PAVEMENT
  - PROPOSED CONTOUR
  - PROPOSED ELEVATION
  - SILT FENCE
  - BIO-LOGS
  - INLET PROTECTION DEVICE
  - PROPOSED EC BLANKET CATEGORY 3D (RAN-3085)
  - DRAINAGE ARROW
  - BOUNDARY/TROW/BLOCK LINE
  - EASEMENT
  - BUILDING/PARKING SETBACK LINE
  - EXISTING STORM SEWER
  - EXISTING BURIED GAS LINE
  - EXISTING CONTOUR
  - EXISTING ELEVATION

REHDER & ASSOCIATES, INC.  
1229 TYLER STREET NE, SUITE 275  
MINNEAPOLIS, MN 55413  
PH 612.216.4191  
E-MAIL: INFO@REHDERMHT.COM

**REHDER & ASSOCIATES, INC.**  
1229 TYLER STREET NE, SUITE 275  
MINNEAPOLIS, MN 55413  
PH 612.216.4191  
E-MAIL: INFO@REHDERMHT.COM

**WHITE AND SABLE WEDDING VENUE**

15485 BALTIMORE ST.  
HAM LAKE, MN 55304

No.	Description	Date
1	Address Worksheet	12-5-23
	Comments	
2	Commercial Site Plan	12-21-23
	Permit Submittal	
3	Addendum #1	12-21-23
4	Commercial Site Plan 1-3-24 & Conditional Use Permit - Rev#1	1-3-24
5	Commercial Site Plan 1-6-24 & Conditional Use Permit - Rev#2	1-6-24
6	Commercial Site Plan 1-12-24 & Conditional Use Permit - Rev#3	1-12-24

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Nicholas P. Adam, P.E.

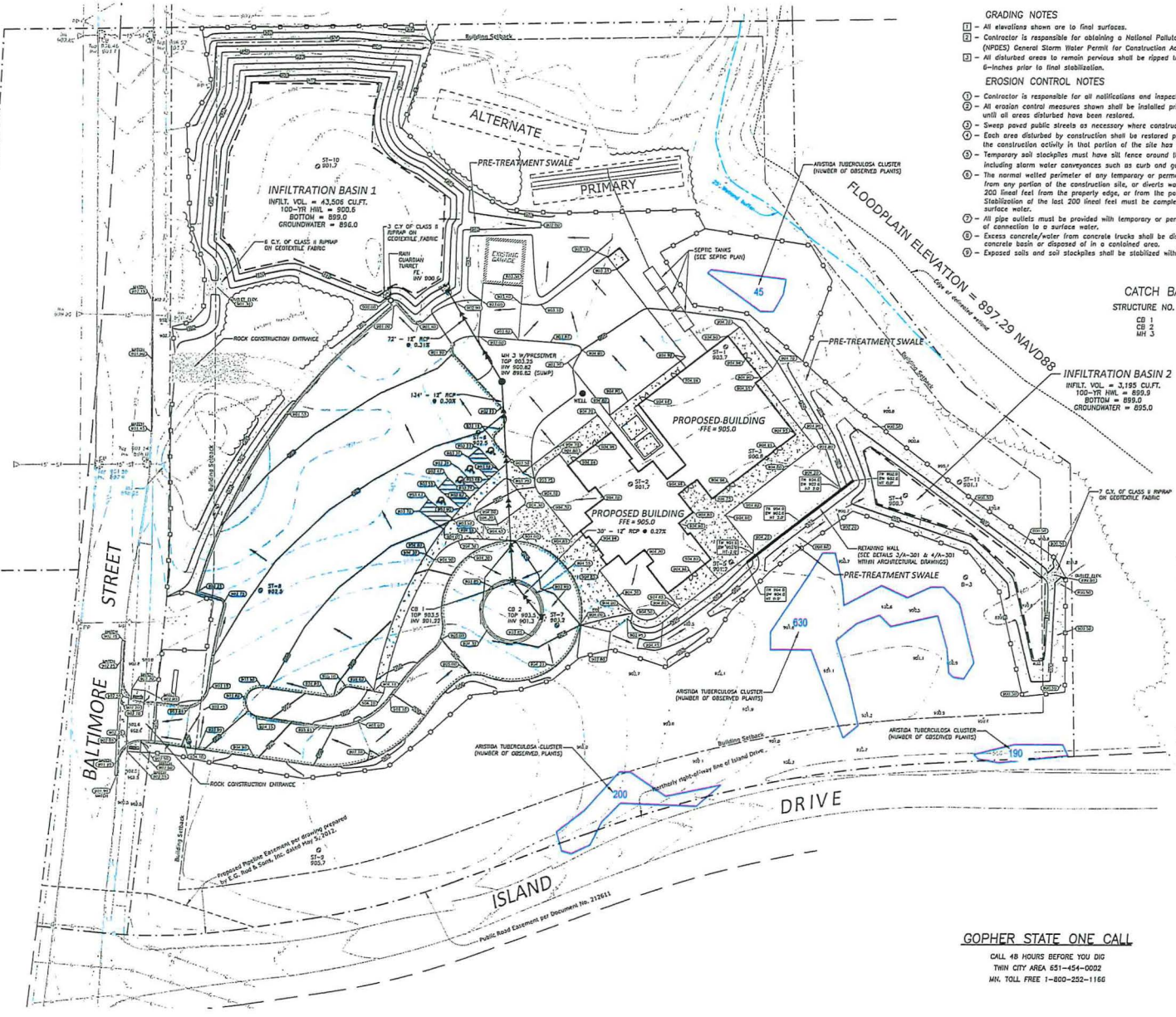
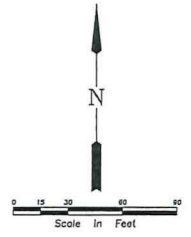
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3183 REHDERMHT ASSOCIATES, INC.

**GRADING, DRAINAGE & EROSION CONTROL PLAN**

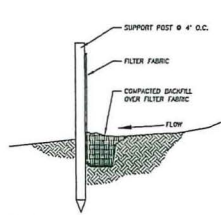
PROJECT NUMBER	DATE	DESIGNED BY	CHECKED BY
	01/12/2024	NAJ	HFA

**G103**  
SCALE AS INDICATED

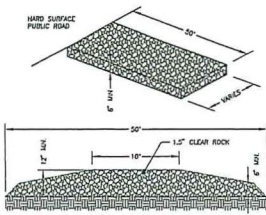
**GOPHER STATE ONE CALL**  
CALL 48 HOURS BEFORE YOU DIG  
TWIN CITY AREA 651-454-0002  
MN TOLL FREE 1-800-252-1166



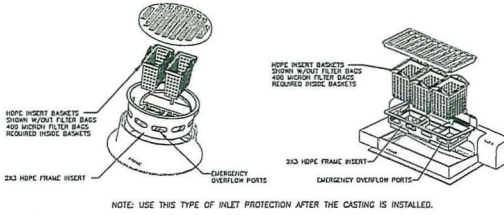




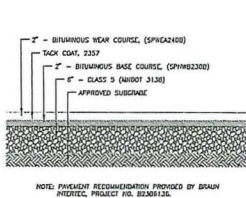
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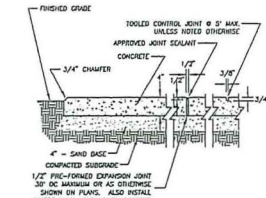
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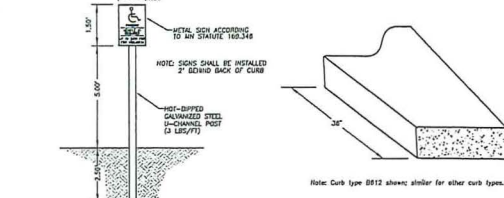
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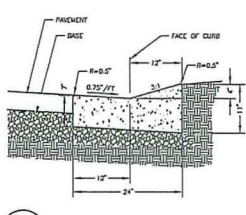
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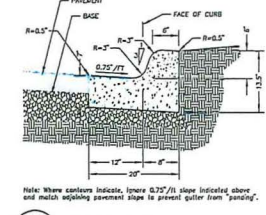
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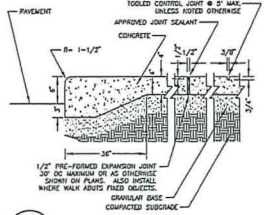
6 ACCESSIBLE PARKING SIGN AND POST  
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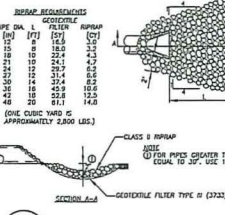
8 D412 CONCRETE CURB & GUTTER  
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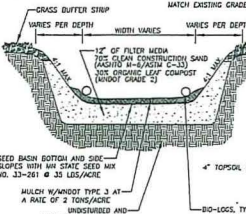
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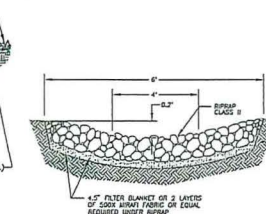
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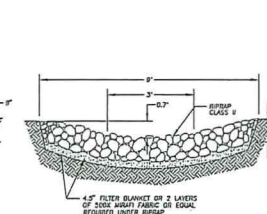
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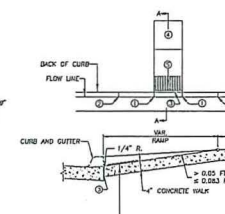
12 INFILTRATION BASIN X-SECTION  
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13 BASIN 1 OUTLET/OVERFLOW  
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14 BASIN 2 OUTLET/OVERFLOW  
NO SCALE



15 PEDESTRIAN RAMP  
NO SCALE

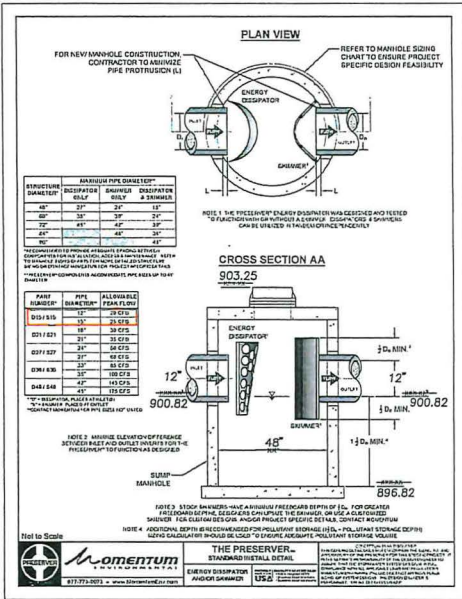
**SPECIFICATIONS**

- GENERAL**
- Before construction begins, the Contractor shall contact all utility companies, both public and private and have them locate all utilities within the construction limits.
  - The Contractor shall be responsible for arranging all required inspections with the governing authority that has jurisdiction over the work that is to be performed.
  - The Contractor shall comply with the construction limits unless approved otherwise by the Owner and/or Engineer. Construction limits are defined by the property boundary unless shown otherwise on the plan.
  - The Contractor shall be responsible for protecting all existing structures, utilities, trees, etc. from damage during construction.
  - The Contractor shall be responsible for correcting any damage (at Contractor's expense).
  - Any discrepancies found on the site that affect the proposed work shall be reported to the Owner and/or Engineer before the completion of any additional work.
  - Safe and permanent reconnection provided by Boston Electric, project number 820312K.
  - Grading, Erosion Control and Stormwater Survey provided by Andros & Associates, Inc.

- SITE CLEARING**
- GENERAL**
- Remove trees, shrubs, grass, and other vegetation or obstructions, as required, to permit installation of improvements shown on the plans.
- EXECUTION**
- Trees and shrubs shall be banded from the site. Banded removal or banding of trees and shrubs will not be allowed.
  - Where existing trees are indicated to remain, those existing located in place within six feet of ground surface to root system.
  - Limbs shall be clipped from diseased areas and visible in place and existing defects in logs.
  - Remove all bark and unsuitable material from under eaves and recesses within 3'-feet of final pavement subsurface.
  - Remove all water materials and materials or excess listed from Owner's property.

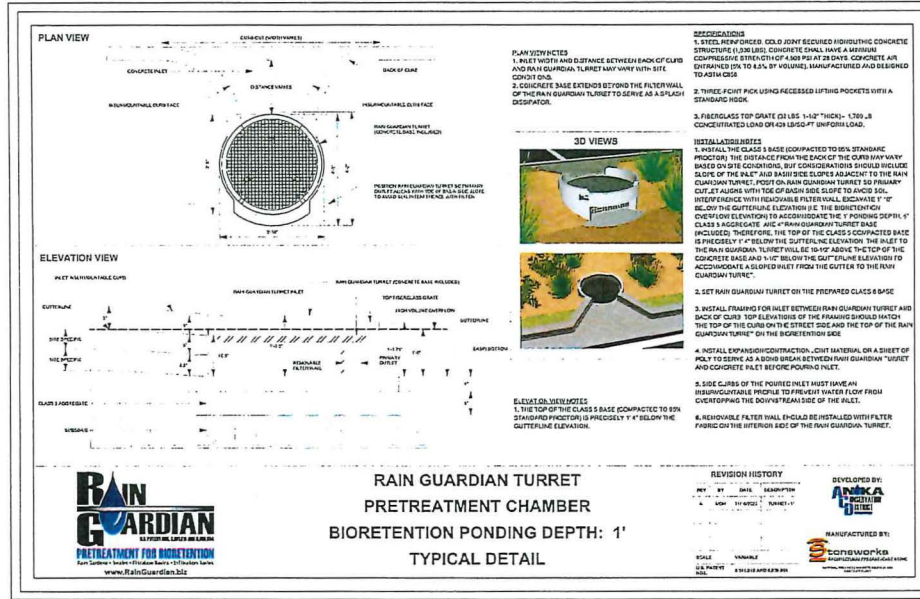
- GRADING, EROSION CONTROL, AND TURF ESTABLISHMENT**
- GENERAL**
- All grading, erosion control and turf establishment shall be according to the materials, workmanship, and other applicable requirements of the Massachusetts Department of Transportation "Standard Specifications for Construction", latest edition, unless otherwise specified.
  - All erosion control measures shown on the plans shall be installed prior to commencement of ground excavation and maintained until all areas affected on the site have been restored.
  - All areas disturbed by construction shall be restored with seed and straw mulch, and, where they blend, or be best surfaced with an erosion resistant composite of construction.
  - Produce approved borrow soil materials from soil-when suitable approved soil materials are not available from excavations, borrow all erosion resistant materials from the site.
  - Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, protruding material, and other hazards created by earthwork operations.
  - Construction shall not be less than the following percentages of maximum dry density according to ASTM D 1557.
  - Under temporary filling, building, walls, and pavements, compact the top 12 inches below subgrade and each layer of backfill or fill material at 100 percent maximum dry density.
  - Under subgrade, compact the top 6 inches below subgrade and each layer of backfill or fill material at 100 percent maximum dry density.
  - Under lean or unleaned areas, compact the top 6 inches below subgrade and each layer of backfill or fill material at 95 percent maximum dry density.
  - Grades as shown on the plan may be finished grade.
  - Soil backfill bearing surface under building shall be designed by Others (see their requirements).

- PRODUCTS**
- Geotextiles shall include ASTM D 2957 soil classification grade: G1, G2, G3, G4, G5, G6, G7, G8, G9, G10, G11, G12, G13, G14, G15, G16, G17, G18, G19, G20, G21, G22, G23, G24, G25, G26, G27, G28, G29, G30, G31, G32, G33, G34, G35, G36, G37, G38, G39, G40, G41, G42, G43, G44, G45, G46, G47, G48, G49, G50, G51, G52, G53, G54, G55, G56, G57, G58, G59, G60, G61, G62, G63, G64, G65, G66, G67, G68, G69, G70, G71, G72, G73, G74, G75, G76, G77, G78, G79, G80, G81, G82, G83, G84, G85, G86, G87, G88, G89, G90, G91, G92, G93, G94, G95, G96, G97, G98, G99, G100, G101, G102, G103, G104, G105, G106, G107, G108, G109, G110, G111, G112, G113, G114, G115, G116, G117, G118, G119, G120, G121, G122, G123, G124, G125, G126, G127, G128, G129, G130, G131, G132, G133, G134, G135, G136, G137, G138, G139, G140, G141, G142, G143, G144, G145, G146, G147, G148, G149, G150, G151, G152, G153, G154, G155, G156, G157, G158, G159, G160, G161, G162, G163, G164, G165, G166, G167, G168, G169, G170, G171, G172, G173, 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PRESERVER DETAIL FOR MH 3  
NO SCALE

C5



REIDER ARCHITECTURE, LLC  
1229 TYLER STREET NE, SUITE 275  
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PH: 612.216.4191  
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**REHDER & ASSOCIATES, INC.**  
15485 BALTIMORE ST.  
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PH: 763.437.3300  
WWW.REHDER.COM

**WHITE AND SABLE WEDDING VENUE**

15485 BALTIMORE ST.  
HAM LAKE, MN 55304

No.	Description	Date
1	Address Waterlined	12-23
2	Commercial Site Plan & Conditional Use Permit Submittal	12-21-23
3	Commercial Site Plan & Conditional Use Permit - Rev'd	1-5-24
4	Commercial Site Plan & Conditional Use Permit - REV'D	1-5-24
5	Commercial Site Plan 1-12-24 & Conditional Use Permit - Rev'd	1-12-24

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Nicholas P. Adam, P.E.

Minnesota License # 43856  
DATE: 01/12/2024

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DETAILS

PROJECT NUMBER	DATE
105	01/11/2024
DRAWN BY	SCALE
AK	AS SHOWN
CHECKED BY	DATE
AK	01/11/2024

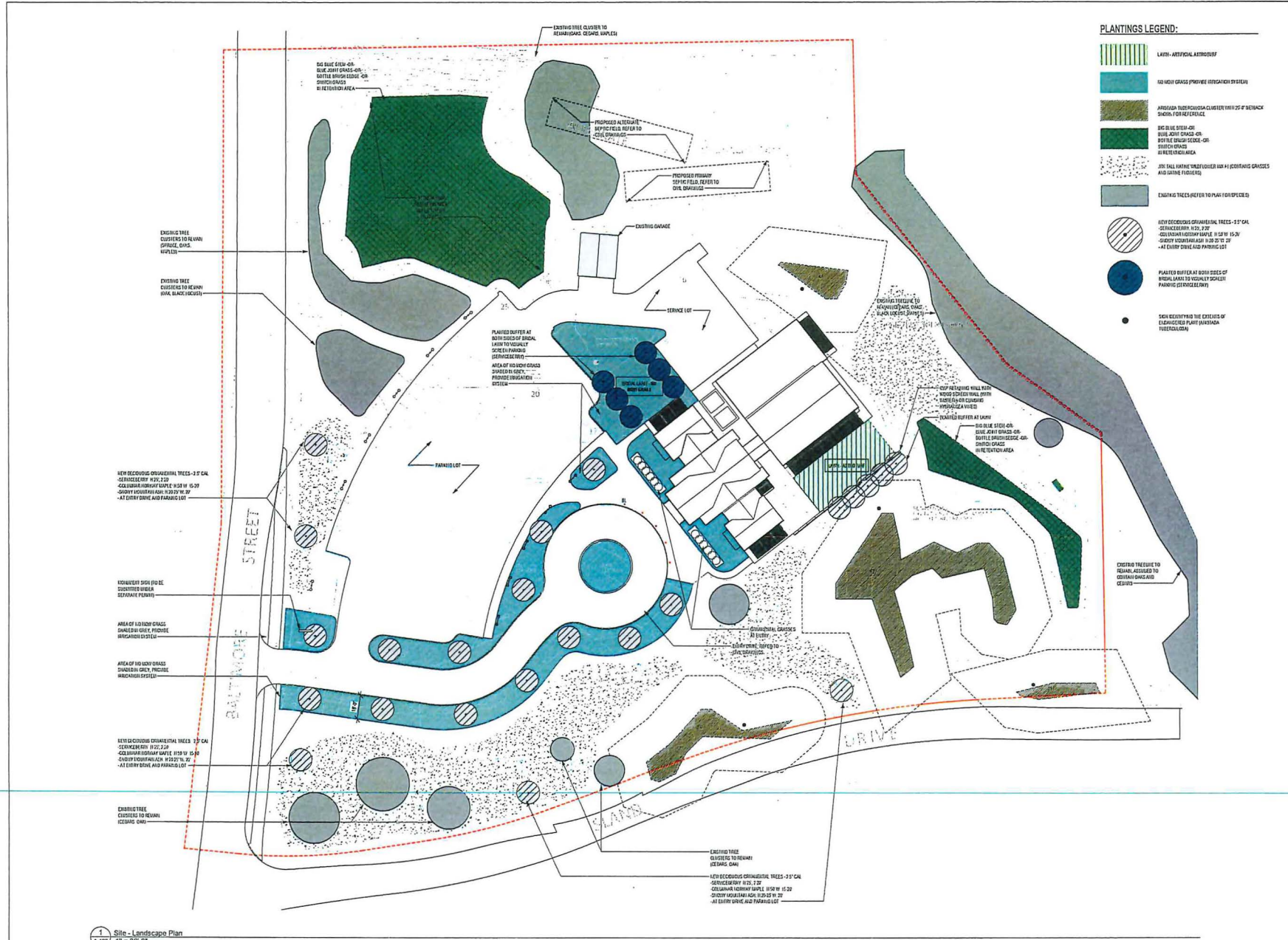
**C105**

SCALE AS INDICATED

05 JANUARY, 2024







**PLANTINGS LEGEND:**

- LAWN - ARTIFICIAL TURF
- 10' HIGH GRASS (PROVIDE VEGETATION SCREEN)
- ARRANGED PERENNIALS CLUSTER 10' W/ 2' BUFFER FROM REFERENCE POINT
- BIG BLUE STEEL OR BLUE JOINT GRASS OR POT TO DRUG GRASS OR STURCH GRASS IN RESTORATION AREA
- JOY FALL WATERS (REDUCED OR 4' (CONTAIN GRASSES AND (ARTIFICIAL TURF))
- EXISTING TREES (REFER TO PLAN FOR SPECIES)
- NEW DECIDUOUS ORNAMENTAL TREES - 12" CAL SERVICE BERRY 10-20' 20' CAL SERVICE BERRY 10-20' 15-20' SWEET GUM 10-15' 15-20' AT ENTRY DRIVE AND PARKING LOT
- PLANTED BUFFER AT BOTH ENDS OF BRUSH LAWN TO VISUALLY SCREEN PARKING (SEE SCHEDULE)
- SOIL RECOVERY THE EXTENTS OF EXISTING TREE PLANT (PUNDAVA TUBEROSA)

**R.S.A.**  
 ROSEHECHMITH ARCHITECTURE, LLC  
 1329 TYLEN STREET NE, SUITE 270  
 MINNEAPOLIS, MN 55413  
 (612) 216-4101  
 info@rosehechmith.com

**WHITE AND SABLE WEDDING VENUE**

15485 BALTIMORE STREET  
 HAM LAKE, MN 55304

No.	Description	Date
1	Final Set	12/18/2023
2	Commercial Site Plan	12/18/2023
3	Addendum #1	12/21/2023
4	Commercial Site Plan - Rev#1	01/03/2024
5	Commercial Site Plan - Rev#2	01/05/2024
6	Commercial Site Plan - Rev#3	01/12/2024
7	Commercial Site Plan - Rev#4	01/12/2024

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
 Michael G. Roehr, AIA  
  
 Minnesota License # 47471  
 DATE: 12/01/2023  
 © 2023 ROSEHECHMITH ARCHITECTURE, LLC

**LANDSCAPE PLAN**

Project Number	Date	Scale
	12/01/2023	1" = 30'-0"
Author	Checker	
Designer	Checker	

**A-102**  
 SCALE: AS SHOWN

**EXTERIOR ASSEMBLIES LEGEND:**

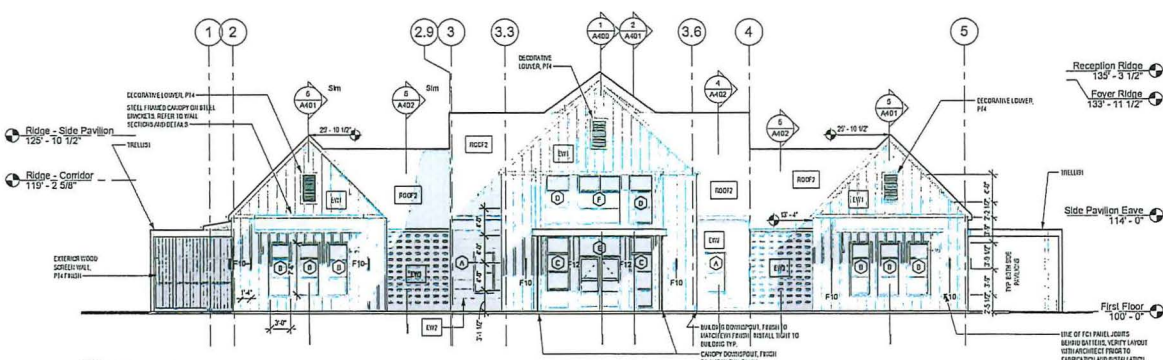
**WALL ASSEMBLIES**  
 FW - FIBER CEMENT PANELS WITH VERTICAL BATTEN (FINISH GREEN WITH CONTINUOUS FIBERGLASS)  
 DW - FIBER CEMENT (FINISH GREEN LAPPING WITH FINISH GREEN WITH CONTINUOUS FIBERGLASS)  
 SW - STUCCO (FINISH GREEN WITH CONTINUOUS FIBERGLASS AND ANCHOR SYSTEM)  
**ROOF ASSEMBLIES**  
 RP1 - ARCHITECTURAL GRADE ASPH/FLT SINGLE DECK ROOF  
 RP2 - ARCHITECTURAL GRADE ASPH/FLT SINGLE DECK OVER EXISTING SIA ANCHOR & STRUCTURE (AT EXISTING GRADE)  
 RP3 - BACK OF STUCCO BRICKS/CLAY BRICKS OVER ARCHITECTURAL DECK (CONCRETE ON TOP OF CONCRETE, 6" GRADE, COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S LINE. IMAGE OF COLORS (AS ACCEPTED BY OWNER) FROM MANUFACTURER'S WEBSITE)  
**CLADDING**  
 FC1 - FIBER CEMENT PANELS - VERTICAL PANEL BATTEN B O D  
 FC2 - FIBER CEMENT PANELS - HORIZONTAL PANEL LAP BATTEN B O D  
 FC3 - STUCCO (FINISH GREEN WITH CONTINUOUS FIBERGLASS)  
 FC4 - CONCRETE (FINISH GREEN WITH CONTINUOUS FIBERGLASS)

**EXTERIOR ASSEMBLIES LEGEND:**

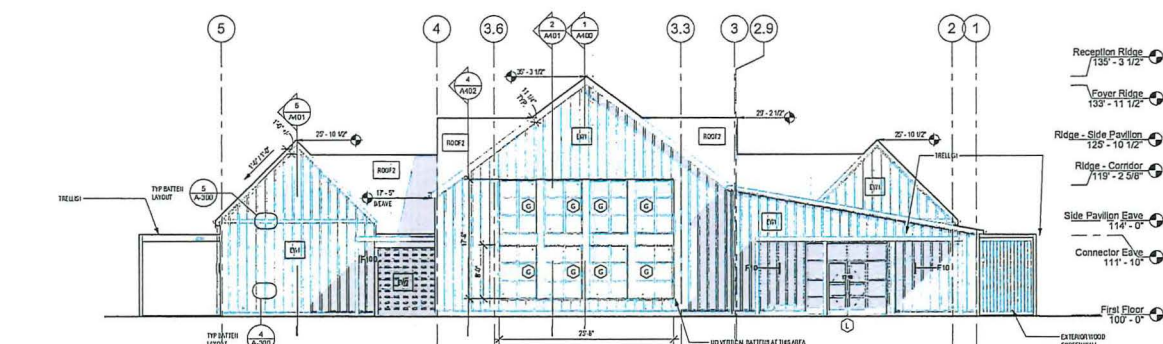
**INSULATION**  
 IS1 - R-19 FIBERGLASS WOOL INSULATION  
 IS2 - 2" EXTERIOR POLYISOCYANURATE (XPS) INSULATION  
 IS3 - 1" EXTERIOR POLYISOCYANURATE (XPS) INSULATION  
 IS4 - 1" GYPSUM BOARD INSULATION  
**ROOFING**  
 RP1 - ARCHITECTURAL GRADE ASPH/FLT (SINGLE DECK)  
 RP2 - ARCHITECTURAL GRADE ASPH/FLT (SINGLE DECK)  
 RP3 - ARCHITECTURAL GRADE ASPH/FLT (SINGLE DECK)  
**FLASHING/METAL**  
 FM1 - FLEXIBLE MEMBRANE FLASHING  
 FM2 - FLEXIBLE MEMBRANE FLASHING  
 FM3 - FLEXIBLE MEMBRANE FLASHING  
 FM4 - FLEXIBLE MEMBRANE FLASHING  
 FM5 - FLEXIBLE MEMBRANE FLASHING  
 FM6 - FLEXIBLE MEMBRANE FLASHING  
 FM7 - FLEXIBLE MEMBRANE FLASHING  
 FM8 - FLEXIBLE MEMBRANE FLASHING  
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 FM99 - FLEXIBLE MEMBRANE FLASHING  
 FM100 - FLEXIBLE MEMBRANE FLASHING

**EXTERIOR GENERAL NOTES**

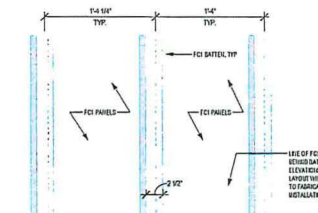
1. PROVIDE GUTTER AND DOWNSPOUT SYSTEM AT ROOF ASSEMBLIES. DOWNSPOUT LOCATIONS ARE DESIGNATED WITH THE NOTE "D".
2. REFER TO EXTERIOR GENERAL NOTES FOR ALL MATERIAL REVISIONS. REFER TO ARCHITECT FOR TYPICAL ROOF AND WALL ASSEMBLIES.
3. PROVIDE FLASHING AND CONFIGURED VENT MATERIAL AT BASE OF ALL WALL ASSEMBLIES.
4. PROVIDE ONE OF EACH REQUIRED TRAVELER IN EACH ROOF AND WALL ASSEMBLY.
5. ALL EXTERIOR WALL AND ROOF ASSEMBLIES TO MEET THE REQUIREMENTS OF APPLICABLE ENERGY CODE.
6. INSULATE EXTERIOR WALLS AND ROOF ASSEMBLIES FOR CLIMATE ZONE 4 (AS SHOWN ON THE DRAWING). FOR WALLS, INSULATE WITH R-19 FIBERGLASS WOOL INSULATION. FOR ROOFS, INSULATE WITH R-19 FIBERGLASS WOOL INSULATION.
7. PROVIDE INSULATION FOR ALL ROOF EDGES AND CHIMNEYS (SEE DETAIL) REFER TO NOTES FOR ENERGY CODE.
8. PROVIDE ONE OF EACH REQUIRED TRAVELER IN EACH ROOF AND WALL ASSEMBLY.
9. CONTRACTOR TO VERIFY ALL FINISHES AND COLORS WITH ARCHITECT PRIOR TO INSTALLATION AND FINISHES.
10. REFER TO CIVIL DRAWINGS FOR ALL FINISH GRADE ELEVATIONS.



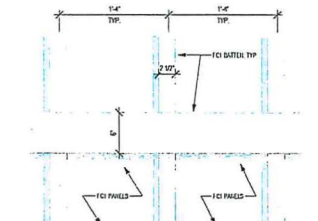
1 SOUTH ELEVATION  
 1/8" = 1'-0"



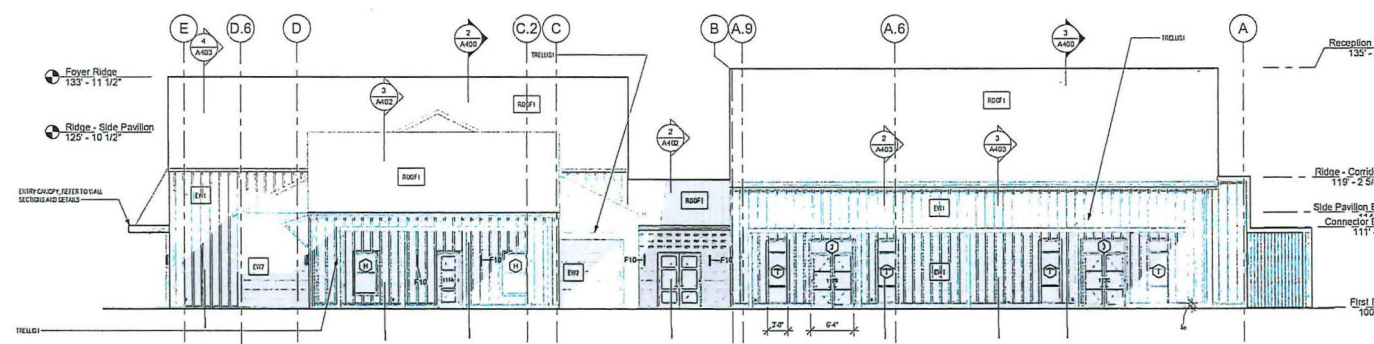
2 NORTH ELEVATION  
 1/8" = 1'-0"



4 ENLARGED BATTEN ELEVATION  
 1 1/2" = 1'-0"



5 ENLARGED BATTEN ELEVATION  
 1 1/2" = 1'-0"



3 EAST ELEVATION  
 1/8" = 1'-0"

**R.S.**  
 ROSSBISHOP ARCHITECTURE, LLC  
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 MINNEAPOLIS, MN 55414  
 PH: 612.216.1151  
 EC: INFO@ROSSBISHOP.AA

**WHITE AND SABLE WEDDING VENUE**

15485 BALTIMORE STREET  
 HAM LAKE, MN 55304

No.	Description	Date
1	Final Set	12/16/2023
2	Commercial Site Plan	12/16/2023
3	Accession #1	12/21/2023
4	Commercial Site Plan - 01/02/2024	Rev01
5	Commercial Site Plan - 01/05/2024	Rev02
6	Commercial Site Plan - 01/12/2024	Rev03

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Michael G. Roehr, AIA  
  
 Minnesota License # 47471  
 DATE: 12/01/2023  
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**EXTERIOR ELEVATIONS**

PROJECT NUMBER	DATE	12/01/2023
DRAWN BY	AUTHOR	
CHECKED BY	DATE	
<b>A-300</b>		
SCALE	AS SHOWN	





ROCKSWORTH ARCHITECTURAL, LLC  
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WHITE AND  
SABLE  
WEDDING  
VENUE  
15485 BALTIMORE  
STREET  
HAM LAKE, MN 55304

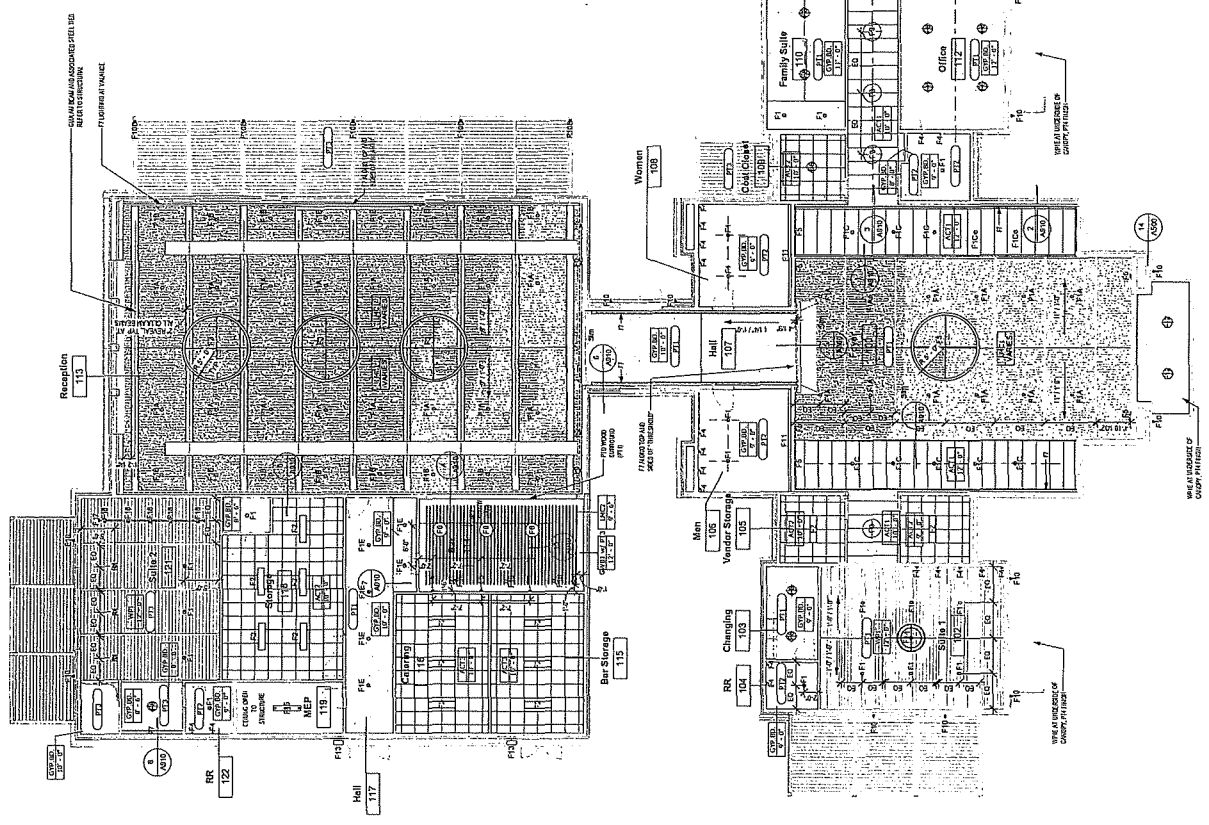
No.	Description	Date
1	Final Set	12/18/2023
2	Revisions	01/02/2024
3	Contract Addendum	01/02/2024
4	Revisions	01/02/2024
5	Revisions	01/02/2024
6	Revisions	01/02/2024
7	Revisions	01/02/2024

I hereby certify that this plan, specification, or contract was prepared by me or under my direct supervision and that I am a duly Licensed Architect of Minnesota.  
Michael S. Roehr, AIA  
Minnesota License # 47471  
DATE: 12/01/2023  
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FIRST FLOOR  
RCP & LIGHTING PLAN

PROJECT NUMBER	15485 WEDDING
DATE	12/18/2023
DRAWING NO.	01-01

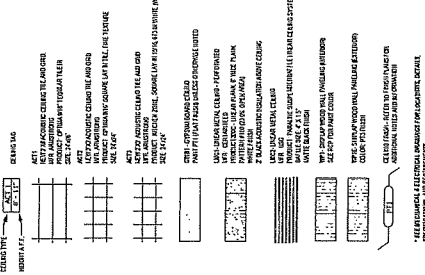
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SCALE



RCP GENERAL NOTES

1. PROVIDE ALL LIGHTING FIXTURES, CONNECTIONS TO POWER, AND ELECTRICAL CONNECTIONS TO THE ELECTRICAL SYSTEM.
2. ELECTRICAL CONNECTIONS TO POWER, LIGHTING FIXTURES, AND ELECTRICAL CONNECTIONS TO THE ELECTRICAL SYSTEM SHALL BE PROVIDED BY THE CONTRACTOR.
3. PROVIDE ALL LIGHTING FIXTURES, CONNECTIONS TO POWER, AND ELECTRICAL CONNECTIONS TO THE ELECTRICAL SYSTEM.
4. PROVIDE ALL LIGHTING FIXTURES, CONNECTIONS TO POWER, AND ELECTRICAL CONNECTIONS TO THE ELECTRICAL SYSTEM.

RCP LEGEND:



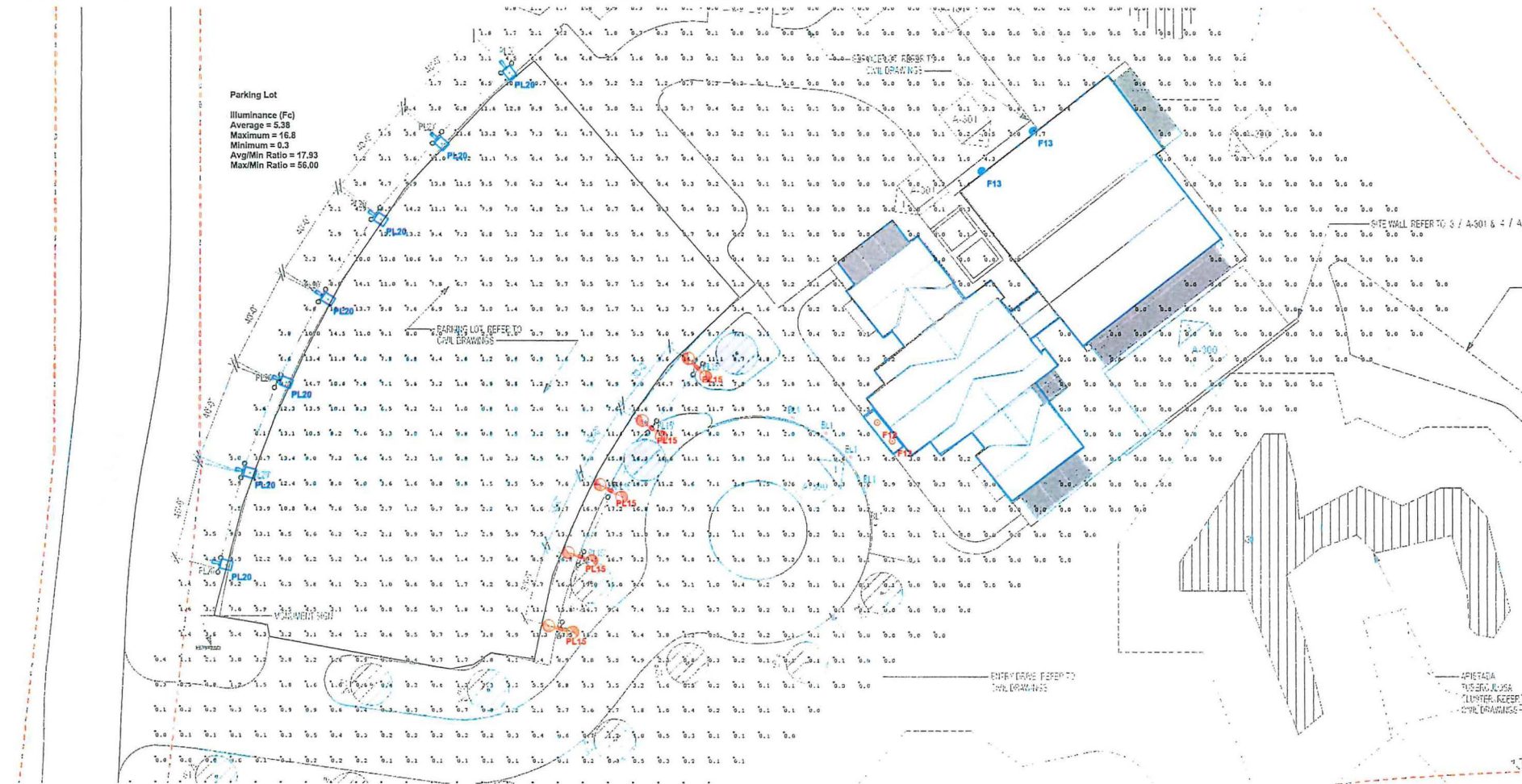
NEW LIGHT FIXTURE LEGEND:

- 1. RECESSED DOWNLIGHT
- 2. SURFACE MOUNTED DOWNLIGHT
- 3. TRACK LIGHTING
- 4. TRACK LIGHTING
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Luminaire Schedule						
Symbol	Qty	Label	Mounting Height	Lum. Watts	LLF	Description
	7	PL20	20	268	0.900	ORX-3-T4-128L-7-30K7-SPT
	5	PL15	15	152	0.900	ORX-3-T4-96L-530-30K7-SPT
	2	F12	11	31.61	0.900	7200-BL-L32-30K-UP1
	2	F13	9	19.9	0.900	7075-L12-TB-H21-30K

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site	Fc	2.44	18.0	0.0	N.A.	N.A.
Parking Lot	Fc	5.38	16.8	0.3	17.93	56.00



DISCLAIMER: Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping or any other architectural elements unless noted.

Fixture nomenclature to be finalized by engineer and/or architect. This drawings is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Illuminated Design Service



PULSE never ordinary

Designed By: K. Tomczak  
 Checked By: Jan Straburg  
 Date: 1/10/2024  
 Scale: 1" = 20'

White and Sable Wedding Venue  
 Ham Lake, MN

discharge to public waters.

- B. Development must be planned and conducted in a manner that will minimize the extent of disturbed areas, runoff velocities, erosion potential, and reduce and delay runoff volumes. Disturbed areas must be stabilized and protected as soon as possible and facilities or methods used to retain sediment on the site.
- C. When development density, topographic features, and soil and vegetation conditions are not sufficient to adequately handle stormwater runoff using natural features and vegetation, various types of constructed facilities such as diversions, settling basins, skimming devices, dikes, waterways, and ponds may be used. Preference must be given to designs using surface drainage, vegetation, and infiltration rather than buried pipes and man-made materials and facilities.

12-5.52 Specific Standards:

- A. Impervious surface coverage of lots must not exceed 25 percent of the lot area.
- B. When constructed facilities are used for stormwater management, documentation must be provided by a qualified individual that they are designed and installed consistent with the field office technical guide of the local soil and water conservation districts.
- C. New constructed stormwater outfalls to public waters must provide for filtering or settling of suspended solids and skimming of surface debris before discharge.

12-5.6 Special Provisions for Commercial, Industrial, Public/Semipublic, Agricultural, Forestry and Extractive Uses and Mining of Metallic Minerals and Peat.

12-5.61 Standards for Commercial, Industrial, Public, and Semipublic Uses.

- A. Surface water-oriented commercial uses and industrial, public, or semipublic uses with similar needs to have access to and use of public waters may be located on parcels or lots with frontage on public waters. Those uses with water-oriented needs must meet the following standards:
  - (1) in addition to meeting impervious coverage limits, setbacks, and other zoning standards in this ordinance, the uses must be designed to incorporate topographic and vegetative screening of parking areas and structures;
  - (2) uses that require short-term watercraft mooring for patrons must centralize these facilities and design

## Excerpt from Article 11 of the Ham Lake City Code

....

### **11-1800 LANDSCAPING IN COMMERCIALY ZONED AREAS**

In all areas of the City zoned CD-1, CD-2, CD-3 or CD-4, the following conditions shall apply to landscaping and ground cover.

**11-1810 Landscape Plan Required** No building permit shall be issued for construction on a vacant lot, nor for any addition to an existing building involving the addition of 500 square feet or more of additional building space, unless the applicant shall have first submitted and obtained approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

**11-1820 Installation Required** No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

**11-1830 Time for Submission** The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

#### **11-1840 Contents and Specifications**

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

- A. Perimeter of all buildings, signs or other structures;
- B. Parking lots and walkways, identifying pavement material;
- C. Areas of decorative rock, identifying type of rock;
- D. Areas of lawn;
- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

### **11-1850 MINIMUM LANDSCAPING REQUIREMENTS**

**11-1851 Paved Surfaces** All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

**11-1852 Ground Cover** On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

**11-1853 Tree Plantings** Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;
- B. The use of conifers shall be encouraged and preferred.
- C. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

### **11-1860 Case by Case Evaluation**

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

**From:** Horton, Becky (DNR) <[becky.horton@state.mn.us](mailto:becky.horton@state.mn.us)>  
**Sent:** Thursday, October 12, 2023 1:11 PM  
**To:** Landon Oldenburger <[landon@cooperfilmsco.com](mailto:landon@cooperfilmsco.com)>  
**Cc:** Joyal, Lisa (DNR) <[lisa.joyal@state.mn.us](mailto:lisa.joyal@state.mn.us)>; Drake, James F (DNR) <[James.F.Drake@state.mn.us](mailto:James.F.Drake@state.mn.us)>;  
Weise, Amanda (She/They) (DNR) <[Amanda.Weise@state.mn.us](mailto:Amanda.Weise@state.mn.us)>; Henning-Randa, Bridget (DNR)  
<[Bridget.Henning-Randa@state.mn.us](mailto:Bridget.Henning-Randa@state.mn.us)>; Collins, Melissa (DNR) <[Melissa.Collins@state.mn.us](mailto:Melissa.Collins@state.mn.us)>  
**Subject:** RE: Venue/Species Avoidance Plan - Ham Lake - DNR comments

Hi Landon,

Thank you for submitting the attached avoidance plan for the White and Sable venue, located in Ham Lake, MN. The plan contains avoidance measures for seaside three-awn (*Aristida tuberculosa*), a state listed threatened species. EWR has reviewed the plan and determined that the avoidance measures identified in the plan are sufficient. Provided the measures are implemented, impacts to state-protected plants are not anticipated and a Permit to Take is not needed.

Amanda Weise has not had a chance to review the restoration plan. We understand that this is the initial draft, and additional input from Anoka Conservation District and Amanda Weise, could lead to additions or modifications. Please continue to work with Amanda on review of the restoration plan, including efforts to reseed the site with seeds collected from the plants.

Thank you for your efforts to protect these rare plants.

Any questions, please let me know.

Becky

**Rebecca Horton**

Planner Principal | Division of Ecological and Water Resources

**Minnesota Department of Natural Resources**

500 Lafayette Road N

St. Paul, MN 55155-4025

Phone: 651-259-5122

Email: [becky.horton@state.mn.us](mailto:becky.horton@state.mn.us)

[mndnr.gov](http://mndnr.gov)

 **DEPARTMENT OF  
NATURAL RESOURCES**



[mndnr.gov](http://mndnr.gov)



## **NOTICE OF PERMIT APPLICATION STATUS**

**Project:** Oldenburger Wedding Venue

**Date:** January 9, 2024

**Applicant:** Paxton Properties, LLC  
Attn: Angela Oldenburger  
12718 Legacy Creek Parkway NE  
Blaine, MN 55449

**Permit Application#:** P-23-074

**Purpose:** Construction of a new 11,000 square foot wedding venue, parking lot and other associated site improvements.

**Location:** 15525 Highway 65 NE, Ham Lake

At their meeting on 01/08/2024 the Board of Managers of the Coon Creek Watershed District **Approved with Conditions** the above referenced project with 4 conditions and 3 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled. Please respond to each of these items in writing when resubmitting application materials to the District.

### **Conditions:**

1. Submittal of a performance escrow in the amount of \$3,700.00.
2. Provide proof that an application has been submitted to the MPCA for an NPDES permit.
3. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.
4. Update the erosion and sediment control plan to include the following:
  - a. A note that exposed soils and soil stockpiles will be stabilized within 7 days of inactivity.
  - b. Show rock construction entrance on construction plan sheet C103.

After issuance, the permit will include the following stipulations that need to be fulfilled before permit closeout:

### **Stipulations:**

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3 of the Permit Application Review Report dated 1/4/2024, including volume, critical elevations and proof of installation for hydrodynamic separators.
2. Completion of post construction infiltration tests on the Bioinfiltration Basin by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to

witness the results.

3. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,



Erin Margl  
Watershed Development Coordinator

cc: File P-23-074  
Eileen Weigel, Stantec  
Tom Collins, City of Ham Lake  
Jennifer Bohr, City of Ham Lake



12300 Elm Creek Boulevard  
Maple Grove, Minnesota 55369-4718  
763-445-5000  
greatriverenergy.com

January 4, 2024

PS Line

Landon Oldenburger  
12718 Legacy Creek Parkway, NE  
Blaine, MN 55449  
sent via email to landon@cooperfilmsco.com

SUBJECT: Encroachment Application  
15485 Baltimore Street, Ham Lake, MN  
Easement No. PS-AC-025B

Dear Landon:

Great River Energy has reviewed your site plans with a date of January 3, 2024. Your application for encroachment has been approved as submitted. Please notify Great River Energy once construction is complete.

We appreciate an opportunity to review your project locations. As a reminder, Great River Energy's facilities are overhead, so they will not show up in your Gopher One-Call locates. Use great caution when working near our transmission lines, this transmission line carries 69,000 volts of electricity and has the capability of arcing if objects come too close. You are required to maintain all clearances by OSHA regulations and National Electric Safety Code (NESC) any time while working near any power line. Please be advised that Great River Energy does not assume any liability that arises out of construction in its right-of-way.

Please visit our website at <http://www.greatriverenergy.com/deliveringelectricity/safety> for more on safety when working near transmission lines. Please contact me at 612-845-1204 or email [mmacmillan@grenergy.com](mailto:mmacmillan@grenergy.com), if you have any questions or concerns.

Sincerely,

GREAT RIVER ENERGY

A handwritten signature in cursive script that reads 'Michelle MacMillan'.

Michelle MacMillan  
Land Rights Technician

MM:dp\R:\ALL- ENCROACHMENTS & CLEARANCE VIOLATIONS\PS Line\PS-AC-025B Oldenburger Encroachment Ltr.docx



## David Krugler

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**Subject:** FW: Ham Lake Venue Property/Pipeline Avoidance

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**From:** Bartley, Elizabeth S <[ELIZABETH.BARTLEY@FHR.COM](mailto:ELIZABETH.BARTLEY@FHR.COM)>  
**Sent:** Thursday, December 21, 2023 3:26 PM  
**To:** Landon Oldenburger <[landon@cooperfilmsco.com](mailto:landon@cooperfilmsco.com)>  
**Subject:** Re: Ham Lake Venue Property/Pipeline Avoidance

Hi Landon,

Per our discussions, I do not see any conflict with our pipelines and your building plans.

Thank you,

### Elizabeth Bartley

Senior Right of Way Agent | Flint Hills Resources LC

O: 651-481-7341 (Preferred)

C: 612-244-9950

USPS Address 3120 117<sup>th</sup> St E. Inver Grove Heights MN 55077

FedEx | UPS | Large Pkg Delivery Address 13775 Clark Rd Rosemount MN 55068

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**From:** Landon Oldenburger <[landon@cooperfilmsco.com](mailto:landon@cooperfilmsco.com)>  
**Sent:** Thursday, December 21, 2023 12:15:02 PM  
**To:** Bartley, Elizabeth S <[ELIZABETH.BARTLEY@FHR.COM](mailto:ELIZABETH.BARTLEY@FHR.COM)>  
**Subject:** Ham Lake Venue Property/Pipeline Avoidance

Sent by an external sender

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Hi Elizabeth,

Thank you again for your prompt assistance and response to our build. We would just like to provide the city notice that you have seen and reviewed our plans (attached), and that you don't have any concerns about build impacting the pipeline south of Island Drive. You may simply respond to this email.

Thanks again and Happy Holidays!

Landon