



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, MARCH 13, 2023

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: February 13, 2023

PUBLIC HEARINGS: None

NEW BUSINESS:

1. Sherry Saxon, Flamingo Terrace MHC, LLC, requesting site plan approval to expand Flamingo Terrace manufactured home park by 16 units at 17100 Highway 65 NE

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, FEBRUARY 13, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, February 13, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Kyle Lejonvarn, Jeff Entsminger, Scott Heaton, Jonathan Fisher, Dave Ringler and Erin Dixson

MEMBERS ABSENT: Chair Brian Pogalz

OTHERS PRESENT: City Engineer Dave Krugler, Building and Zoning Official, Mark Jones and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Vice Chair Dixson called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Lejonvarn, seconded by Ringler, to approve the minutes of the January 23, 2023 Planning Commission meeting as written. All present in favor, motion carried.

NEW BUSINESS:

Kevin Hentges, Hentges Turf Farm, Inc., requesting Sketch Plan approval for the Hentges Addition Minor Plat (2 lots) in Sections 15 and 22

Mr. Jason Rud, of E.G. Rud and Sons, Inc. was present on behalf of the applicant. Mr. Rud stated this property consists of two tracts of land; a minor plat is being proposed to divide family assets. Mr. Rud stated the existing home is being split off from the turf farm for Mr. Kevin Hentges' sister. Mr. Rud stated City Staff has been providing direction throughout the platting process and the reports included in the packet address issues that have arisen. Vice Chair Dixson asked Engineer Krugler to comment. Engineer Krugler stated there has been discussion about razing some of the buildings to meet the 100-foot distance requirements between the farm buildings and dwelling unit; the current orientation and westerly lot line of Lot 2 meets the distance requirements of 9-370,7; an accessory building within the westerly 10-foot drainage and utility easement of Lot 2 will be removed. Engineer Krugler stated due to this being a minor plat, there is not a requirement to upgrade Naples Street NE or 155th Avenue NE. Engineer Krugler stated Coon Creek Watershed District approval is needed, a \$200 drainage fund contribution

per lot is needed and Public Works Superintendent Witkowski recommends accepting money in lieu of parkland. Vice Chair Dixon asked Building and Zoning Official Jones to comment. Building and Zoning Official Jones stated the current orientation of Lot 2 is being proposed, per a request by the applicant, to meet distance requirements between the farm buildings and the dwelling unit; the existing house has an egress entry on the south side of the house which allows it to be considered the front entry; the front entry parallels 155th Avenue NE and will require a change of address. (Per Articles 11-411.2.C and 11-820.) Building and Zoning Official Jones stated a re-designation of the front yard was needed in order to meet Code requirements with this subdivision request. **Motion by Entsminger, seconded by Lejonvarn, to recommend approval of the Sketch Plan presented by Kevin Hentges, Hentges Turf Farm, Inc., for Hentges Addition Minor Plat (2 lots) in Sections 15 and 22 subject to removing the structure from within the proposed easement on Lot 2, obtaining required demolition and building permits, designating the south side of the existing dwelling unit on Lot 2 as the primary Means of Egress and changing the address, maintaining an unobstructed primary egress, bringing all buildings, the well and the septic system into compliance including bringing the septic system for Lot 2 into compliance within ninety days from the date the final plat is recorded, paying a \$200/lot drainage fee, accepting money of \$2500/lot in lieu of park land, meeting the recommendations of the City Engineer and Building and Zoning Official, and meeting all City, State and County requirements. All present in favor, motion carried. *This application will be placed on the City Council's Tuesday, February 21, 2023 agenda.***

COMMISSION BUSINESS:

City Council Update

Vice Chair Dixon informed the Commissioners that the City Council concurred with the recommendation to approve the commercial site plan/building permit request for Northland Mfg. Inc. at 17808 Central Avenue NE. There will not be a Planning Commissioner present at the February 21, 2023 City Council meeting.

ADJOURNMENT:

Motion by Heaton, seconded by Fisher, to adjourn the Planning Commission meeting at 6:08 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: March 13, 2023

INSPECTION ISSUED TO: Dave Ringler

APPLICANT/CONTACT: Sherry Saxon/Rusty Edmonds

TELEPHONE NUMBER: Site Mgr= Rusty Edmonds, 763-434-5400 or
flamingoterrace@continentalcommunities.com
Sherry Saxon (out of state) 630-645-8109

BUSINESS/PLAT NAME: Flamingo Terrace MHC, LLC

ADDRESS/LOCATION OF INSPECTION: 17100 Hwy 65 NE, Ham Lake, MN 55304

APPLICATION FOR: Manufactured Home Site Plan

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 11/6/20

Date of Receipt 11-23-2020
Receipt # 88913

Meeting Appearance Dates:
Planning Commission 3-13-2023

City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other Comm/Manufactured Home Site Plan

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Flamingo Terrace MHC, LLC

Address/Location of property: 17100 Hwy 65 NE HAM LAKE MN

Legal Description of property: 08-32-23-24-0001, 08-32-23-31-0020

PIN # 08-32-23-32-0003 Current Zoning R-M Proposed Zoning —

Notes: Mobile Home Park Expansion

Applicant's Name: Sherry Saxon

Business Name: Flamingo Terrace MHC, LLC

Address 2015 Springs Rd Suite 600

City Oak Brook State IL Zip Code 60503

Phone 630-645-8109 Cell Phone 312-6031856 Fax 630-645-0310

Email address Sherry.Saxon@continentalcommunities.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE Sherry Saxon

DATE 11/6/20

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO

Flamingo Terrace Manufactured Home Community

Summary of Proposed Expansion Project (January 1, 2023)

Project Description

Following its acquisition of the manufactured home community known as “Flamingo Terrace” October 26, 2018, Flamingo Terrace MHC, LLC, a Delaware limited liability company, engaged the services of local engineers and consultants for the purpose of determining the viability of expanding the existing community to create additional home sites. To accommodate the new home sites within the proposed Expansion Area the Project:

- (a) Extends Edgewood, Heather and Mapleton Drives to the east, linking them with an extension of Pinewood Drive to the south.
- (b) Improves and enhances the infrastructure of the community.
- (c) Creates an additional storm shelter structure.
- (d) Creates a private park for the community.
- (e) Enhances landscaping.
- (f) Enhances the “curb appeal” of the community as viewed from U.S. Highway 65.

Expansion Area

The portion of the property known as “Flamingo Terrace” subject to this application is depicted on the Civil Site Plan along the east side of the existing community bordering the U.S. Highway 65 right-of-way (the “Expansion Area”). The Expansion Area and home sites created will be fully integrated with the existing improvements of Flamingo Terrace.

Property Ownership & Management

Continental Communities is one of the largest fully-integrated real estate operating companies that exclusively owns and operates affordable, high-quality, manufactured housing communities throughout the United States. Since its formation in June 1997, it has acquired and currently operates multiple manufactured home housing communities in Minnesota and other states providing safe, enjoyable and affordable housing for families and active retiree-oriented residents. The Flamingo Terrace manufactured home community has on-site full-time management.

History

Flamingo Terrace was first developed as a manufactured home community by the Osborne family in 1963. In 1982 the community was expanded by the addition of 53 additional home sites and appropriate infrastructure was installed and upgraded. As owned and operated by the Osborne family the Expansion Area appears to have been used for marketing and sale of manufactured homes. A portion of the Expansion Area was previously zoned CD-1 (commercial development district) which permitted such commercial use but precluded the Expansion Area from being improved as additional home sites. In addition, improvement of the Expansion Area with home sites was inconsistent with the then applicable Comprehensive Plan.

Acting upon the Applicant’s request and with the assistance of City staff the Council amended the Comprehensive Plan and the CD-1 portion of the Expansion Area was rezoned Residential

Manufactured Homes (R-M). Notwithstanding the rezoning and Comprehensive Plan changes, practical difficulties in connection with developing the Expansion Area including density restrictions and uncertainties raised by the Covid pandemic frustrated the Applicant's objective. The opportunity to proceed, however, resurfaced and has been reevaluated following the amendment to the R-M zone by Ordinance 21-12 adopted October 18, 2021. Following the change of the Comprehensive Plan, the zoning, and the text amendment to the R-M zone the Applicant has made the determination that the proposed expansion is viable. Therefore, this Application respectfully requests approval for a 16 home site project within the Expansion Area which meets all current requirements of the R-M district.

R-M District Required Features

- (a) *Streets paved and curbed according to same standards as R-1 subdivisions.* The Civil Site and Paving Plan accompanying this application evidences compliance.
- (b) *Central water system (no individual private wells).* Flamingo Terrace utilizes two on-site wells that provide water service to the community. Bergerson-Caswell, Inc. evaluated the wells and report that one well is used as a full-time backup with all water requirements coming from the main well. Also confirmed is adequate capacity from this two well configuration to accommodate the additional 16 home sites. Potable water for each individual home site will be provided in accordance with the Site Utility Plan.
- (c) *Central sewer system privately owned and maintained.* The existing private sewer system has adequate capacity to accommodate the proposed 16 new home sites. The existing waste water treatment plant (WWTP) has the capacity of 45,000 gallons per day (GPD) while the current flow is approximately 30,000 GPD. According to WHKS & Company, the project WWTP engineer calculates the additional 16 home sites are easily accommodated. Each new home site will be connected to the existing system in accordance with the Site Utility Plans accompanying this application.
- (d) *Minimum size of manufactured home to be 600 square feet.* As indicated on the Site Plan each respective home site meets this criteria.
- (e) *Density of not less than 0.08 acres per dwelling unit with a minimum lot size of 36 feet by 100 feet.* As indicated on the Site Plan this requirement is met.
- (f) *Structure setback of 20 feet in front yard and 10 feet on side and back yard.* This criteria is met as evidenced by the Site Plan.
- (g) *Private park on suitable soils of a size equal to at least 10% of total development area.* The private park and related green area as depicted on the Civil Site Plan creates a private park area consistent with the requirement.
- (h) *Paved driveways to all dwelling units.* This criteria is met.
- (i) *Concrete sidewalks along all curbs to City specifications.* This criteria is met as shown on Civil Site Plan.
- (j) *Landscaping acceptable to the City.* A Landscape Plan has been submitted in connection with this Application. As an added amenity and safety factor a split-rail fence is provided along the park perimeter and the U.S. Highway 65 right-of-way.
- (k) *Full impound of storm water runoff.* The criteria is met as evidenced by the Storm Water Pollution Prevention Plan and related support documentation.

- (l) *Concrete block storm shelter to State specifications.* As noted on the Site Plan, a storm shelter is being added which meets Minnesota State structural requirements and consists of 240 square feet and will accommodate 60 people. Based upon the calculations required for Minnesota Department of Health approval this accommodates the expansion and is in a location consistent with requirements.
- (m) *No on-street parking.* This will be complied with and enforced by management through signage and resident communication.
- (n) *Underground utilities.* Underground utilities will be installed in accordance with the Utility Plan and applicable Code requirements.
- (o) *Provision of screened and fenced tenant outside storage area of a size equal to or greater than 200 square feet per dwelling unit.* Storage areas are designated on the Site Plan.

Community Improvement Plan

Since its acquisition of Flamingo Terrace in October 2018 a “Community Improvement Plan” has been implemented and is ongoing to upgrade and improve the infrastructure and aesthetics of the community. The Community Improvement Plan includes the following:

- The Community Office and Laundry Facility have been refurbished.
- The Laundry Facility has been upgraded (new/additional guest seating, upgraded entrance doors, interior painting, etc.).
- Security Cameras have been added to the Community Office, Laundry Facility and Car Wash.
- New community entrance signage and landscape amenities have been installed enhancing the primary entrance.
- Roadways throughout the community have been repaired and replaced where necessary.
- A new storm sewer drainage system has been installed.
- The Community Office Space has been reconfigured.
- New resident mailbox clusters have been installed.
- Signage throughout the community has been improved.
- Tennis court has been resurfaced into a three-season sports court.
- Car wash equipment has been updated.
- Additional and upgraded recreational playground equipment has been installed.
- The Residential Apartment Unit exterior has been ungraded.

Benefits of the Expansion Project

An expansion of Flamingo Terrace will have the following benefits:

- 1) The new home sites will contain new, attractive manufactured homes that will enhance the “curb appeal” of the community along Highway 65.
- 2) Park area and green space will be created with the expansion providing a more attractive and cohesive entrance area.
- 3) The new roadway configuration will significantly improve the traffic flow in the community, enhancing resident safety and will allow easier movement for public life safety vehicles (fire trucks, etc.).
- 4) The existing single family residential structure and shed will be removed.
- 5) A current access point between the community and Highway 65 will be abandoned.
- 6) The expansion will provide additional affordable housing in Ham Lake.

P:\Attorney\Glj\1-Client Folders\Continental Communities LLC\Flamingo Terrace - Summary of Project-D7.docx

March 9, 2023

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building Official

Subject: Flamingo Terrace Expansion

Introduction/Discussion:

Flamingo Terrace MHC LLC wants to expand its Manufactured Home Park, at 17100 Highway 65 NE, by adding 16 new home sites. This expansion will be on the east side of the property on a mostly undeveloped area along Highway 65. Currently a dwelling unit and an accessory building are located in the proposed development area. The existing dwelling unit and accessory building will be demoed for this expansion.

Flamingo Terrace has a well that provides potable water (domestic water) to each of the units and has its own waste water treatment on site, which is governed and license by Minnesota Pollution Control Agency (MPCA).


Recommendation:

I recommend approval of the expansion on the conditions that Flamingo Terrace MCH LLC's waste water treatment system meet MPCA standards for design, construction, and operation, that the City is provided with a copy of the MPCA State Disposal System (SDS) permit for the waste water treatment system on location, and any subsequent renewals of the MPCA SDS permit, that all new potable water lines and waste water piping meet Minnesota Plumbing code and State Plumbing review notes, (Contractor/installer must obtain all required permits and all inspections must be done before covering the lines and piping.) that the storm shelter meets state specifications and that all City codes are met.

Memorandum

Date: March 8, 2023

To: Planning Commissioners

From: David A. Krugler, City Engineer 

Subject: Flamingo Terrace Manufactured Home Community Expansion

Introduction:

The addition of 16 manufactured homes is proposed for the 08-32-23-24-0001 parcel, that is zoned R-M, Residential-Manufactured Homes. The proposal includes the removal of two existing buildings. A 200 scale aerial photo, 400 scale half-section map and a 500 scale zoning map are attached.

Discussion:

The Title Sheet, Construction Notes, Details and Project Legend, Details, Existing Topography and Removals Plan, Grading, Drainage, Erosion and Sediment Control Plan, Staking Plan, Utility Plan and Paving and Restoration Plan received February 28th, 2023 and the Stormwater Pollution Prevention Plan and Stormwater Management Plan received December 5, 2022 address prior review comments.

Two buildings are proposed to be demolished between the extensions of Heather Drive and Edgewood Drive. A demolition permit will be required for the removals.

Comments were received from the Minnesota Department of Labor and Industry (MnDLI) regarding the proposed water piping, existing sanitary treatment plant and subsequent sanitary sewer to meet Minnesota Plumbing Code for material, size and slope which is governed by Minnesota Rules 7080 and the Municipal Plumbing Code Chapter 4714. The MnDLI confirmed that the existing sanitary treatment plant operated by Flamingo Terrace has adequate capacity for the proposed expansion. The February 24th contingent approval report is attached. Revisions to pipe grades were incorporated into the February 28th plan revisions. The Minnesota Department of Health (MDH) reviewed the plans to ensure compliance for safe drinking water and capacity. The MDH review is set to expire March 19th. Extension of the permit will be required. The Minnesota Pollution Control Agency (MPCA) reviewed the existing treatment plant and stated the plant will have adequate capacity for the proposed expansion. The MPCA permit is set to expire on March 24th. Extension of the permit will be required.

A concrete block storm shelter is required per 9-210.2a of City Code. The location has been identified on the plans to the northwest of the proposed stormwater pond. Plans for the structure are required before a building permit can be considered for issuance.

City Code 9-210.2a also requires private park space on suitable soils, of a size equal to a minimum of 10 percent of total development area. The total improvement area is 3.4 acres which equates to a minimum of 14,810 square feet of park area. The plans show a total of 15,515 square feet is provided, in two areas along the east side of the proposed development.

The Flamingo Terrace expansion plan was approved by the Coon Creek Watershed District (CCWD) Board of Managers at their April 12th 2021 meeting. The revised January 9th Notice of Permit Application Status is attached. An Operations and Maintenance Agreement for Stormwater Facilities has been executed between the Flamingo Terrace Manufactured Home Community and CCWD for on-site stormwater treatment. The only condition remaining for the issuance of the CCWD permit is payment of the \$4,170 escrow. Grading cannot commence until the CCWD issues their permit.

MnDOT has provided the attached Drainage Permit for drainage that flows into the Trunk Highway ditch, that expired September 2021. The permit will need to be renewed or re-issued by MnDOT before grading can commence.

Recommendation:

It is recommended that the Flamingo Terrace Manufactured Home Community Expansion plans be recommended for approval conditioned on the storm shelter plans be provided and approval by the Building Official, permit renewals are provided for the MnDOT Drainage Permit, the MDH Watermain Extension Permit and the MPCA Disposal System Permit prior to construction.

FLAMINGO TERRACE

17100 Highway 65 NE Ham Lake, MN

(763) 434-5400

RECEIVED

SEP 14 2022

By:



↑ NORTH

HIGHWAY 65

↓ SOUTH

Expansion Area



171ST LN

1232

17124

17124

B2

MEADOW LN

MEADOW LN

17100

HEMLOCK LN

MAPLETON DR

17065

FLAMINGO TERRACE

IVY LN

HEATHER DR

EDGEWOOD DR

BIRCHVIEW LN

EDGEWOOD DR

PINEWOOD DR

PINEWOOD DR

CHESTNUT LN

LOMBARDY DR

JUNIPER LN

FLAMINGO DR

DEERWOOD DR

UTILITY DITCH #58

6800

OSBORNE TERRACE

B2

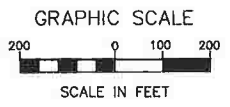
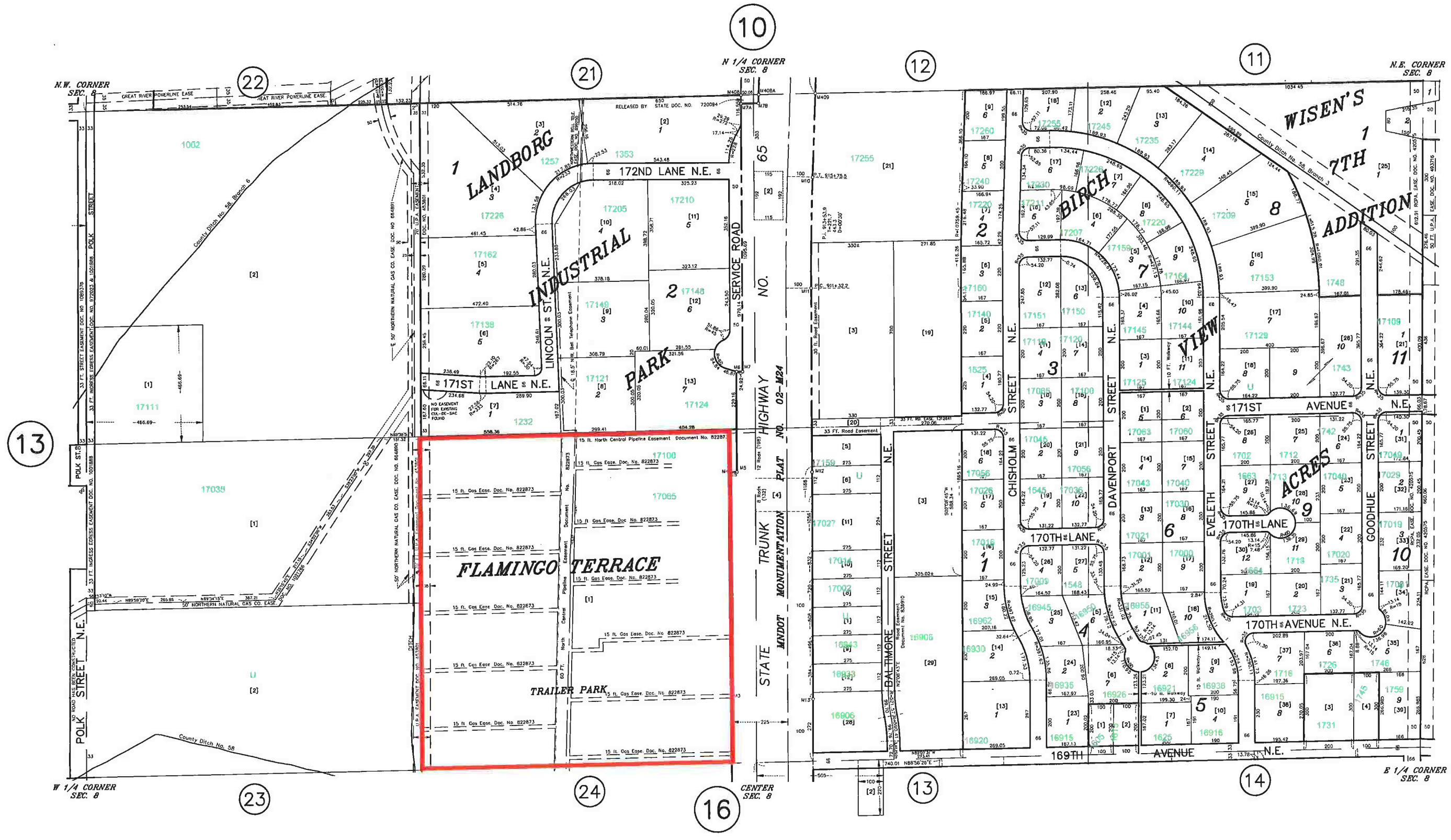
1209 1219 1229 1239 1241 1258 1303 1313 1323 1333
L10 L9 L8 L7 L6 L5 L4 L3 L2 L1

1"=200'

STATE TRUNK HIGHWAY NO. 16

N 1/2 SECTION 8, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

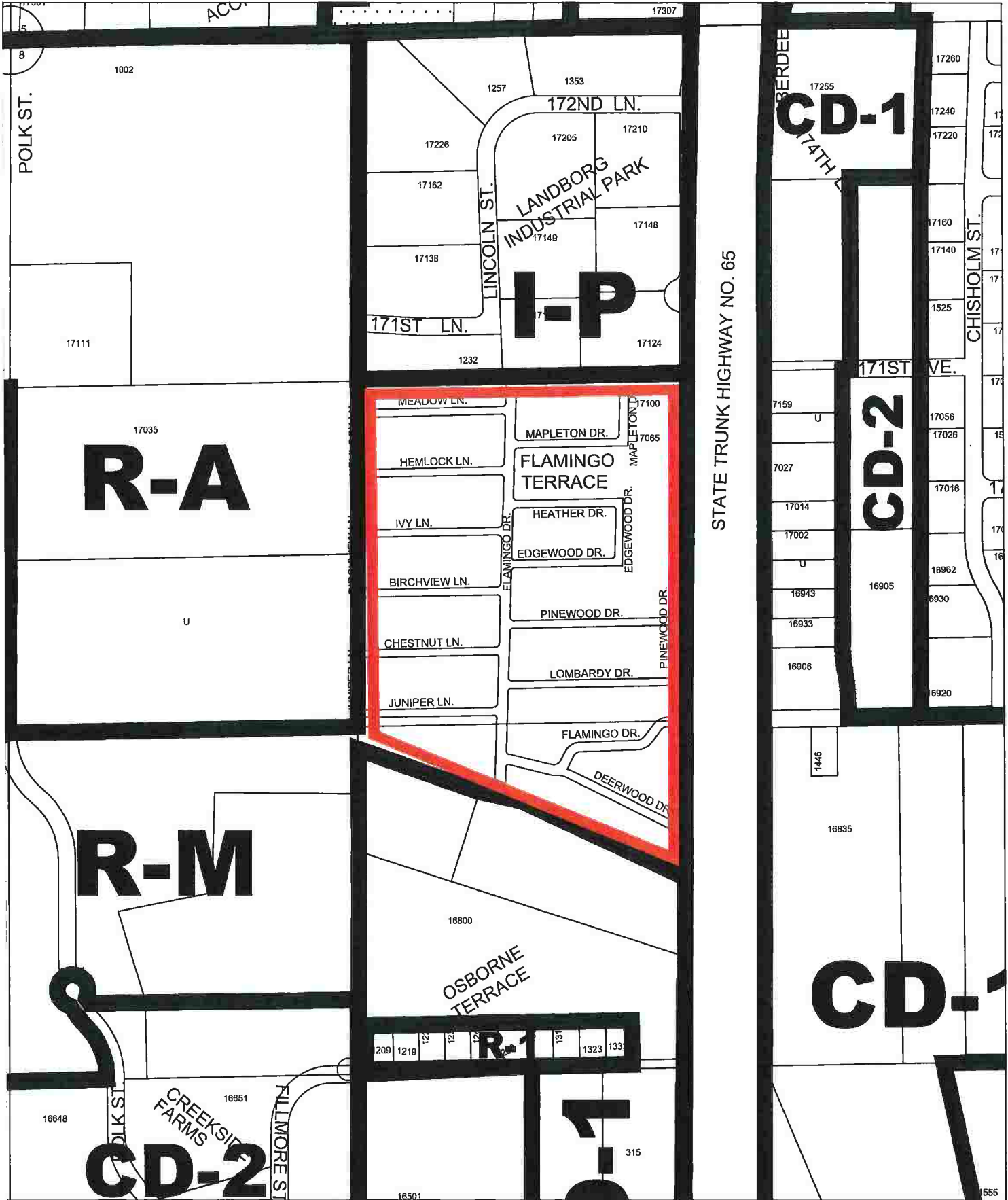
22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 0-32-23-13-0013

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.



STATE TRUNK HIGHWAY NO. 65

1" = 500'

FLAMINGO TERRACE EXPANSION

TITLE SHEET, LEGEND, & EXISTING CONDITIONS

HAM LAKE, MINNESOTA

LEGEND *

OHW	EXISTING OVERHEAD ELECTRIC	— —	PROPOSED WATER PIPE
TEL	EXISTING UNDERGROUND TELEPHONE	— — —	PROPOSED SANITARY SEWER PIPE
CEL	EXISTING UNDERGROUND CABLE	— — — —	PROPOSED STORM SEWER PIPE
□	EXISTING TELEPHONE PEDESTAL	— — — — —	PROPOSED DRAIN TILE AND CLEAN-OUT
□	EXISTING ELECTRICAL PEDESTAL	— — — — — —	PROPOSED ELECTRIC SERVICE *
□	EXISTING CABLE PEDESTAL	— — — — — — —	GAS
□	EXISTING UTILITY POLE	— — — — — — — —	TEL
□	EXISTING LIGHT POLE	— — — — — — — — —	PROPOSED TELEPHONE SERVICE *
— — —	EXISTING STORM SEWER	⊙	PROPOSED STORM MANHOLE
— — —	EXISTING WATER MAIN	□	PROPOSED CATCH BASIN
— — —	EXISTING SANITARY SEWER	△	PROPOSED FLARED-END SECTION
— — —	EXISTING FORCEMAIN	⊗	PROPOSED GATE VALVE
— — —	EXISTING CHAIN LINK FENCE	⊗	PROPOSED HYDRANT
⊙	EXISTING STORM MANHOLE	⊙	PROPOSED SANITARY SEWER MANHOLE
□	EXISTING CATCH BASIN	— — —	PROPOSED CONTOUR
△	EXISTING FLARED-END SECTION	— — —	PROPOSED SPOT ELEVATION (GUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
⊗	EXISTING GATE VALVE	— — —	PROPOSED SILT FENCE
⊗	EXISTING HYDRANT	— — —	PROPOSED BIO ROLLS
⊙	EXISTING WELL	— — —	PROPOSED DIRECTION OF DRAINAGE
⊙	EXISTING SANITARY SEWER MANHOLE	— — —	PROPOSED BITUMINOUS
— — —	EXISTING CONTOUR	— — —	PROPOSED FILTRATION MEDIA
⊗	EXISTING SPOT ELEVATION	— — —	PROPOSED INLET PROTECTION
⊗	EXISTING SPOT ELEVATION (MATCH INTO ELEVATION)	— — —	PROPOSED HEAVY-DUTY PAVEMENT
⊗	EXISTING BITUMINOUS	— — —	PROPOSED ENKAMAT
⊗	EXISTING TREES	— — —	PROPOSED RETAINING WALL
⊗	EXISTING TREE TO BE REMOVED	— — —	BITUMINOUS PAVEMENT REMOVAL
— — —	SURFACE DRAINAGE DIRECTION	— — —	CONCRETE SIDEWALK REMOVAL
— — —	EXISTING FENCE	— — —	PROPOSED CONCRETE SIDEWALK
— — —	EXISTING RETAINING WALL	— — —	
— — —	EXISTING WETLAND	— — —	

* NOT ALL SYMBOLS ARE APPLICABLE.

GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES (IF APPLICABLE).

ALL UTILITIES THAT WILL BE OWNED AND MAINTAINED BY THE CITY AFTER CONSTRUCTION SHALL BE BUILT TO CITY STANDARDS.

THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE CITY AND/OR STATE PRIOR TO ANY WORK.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

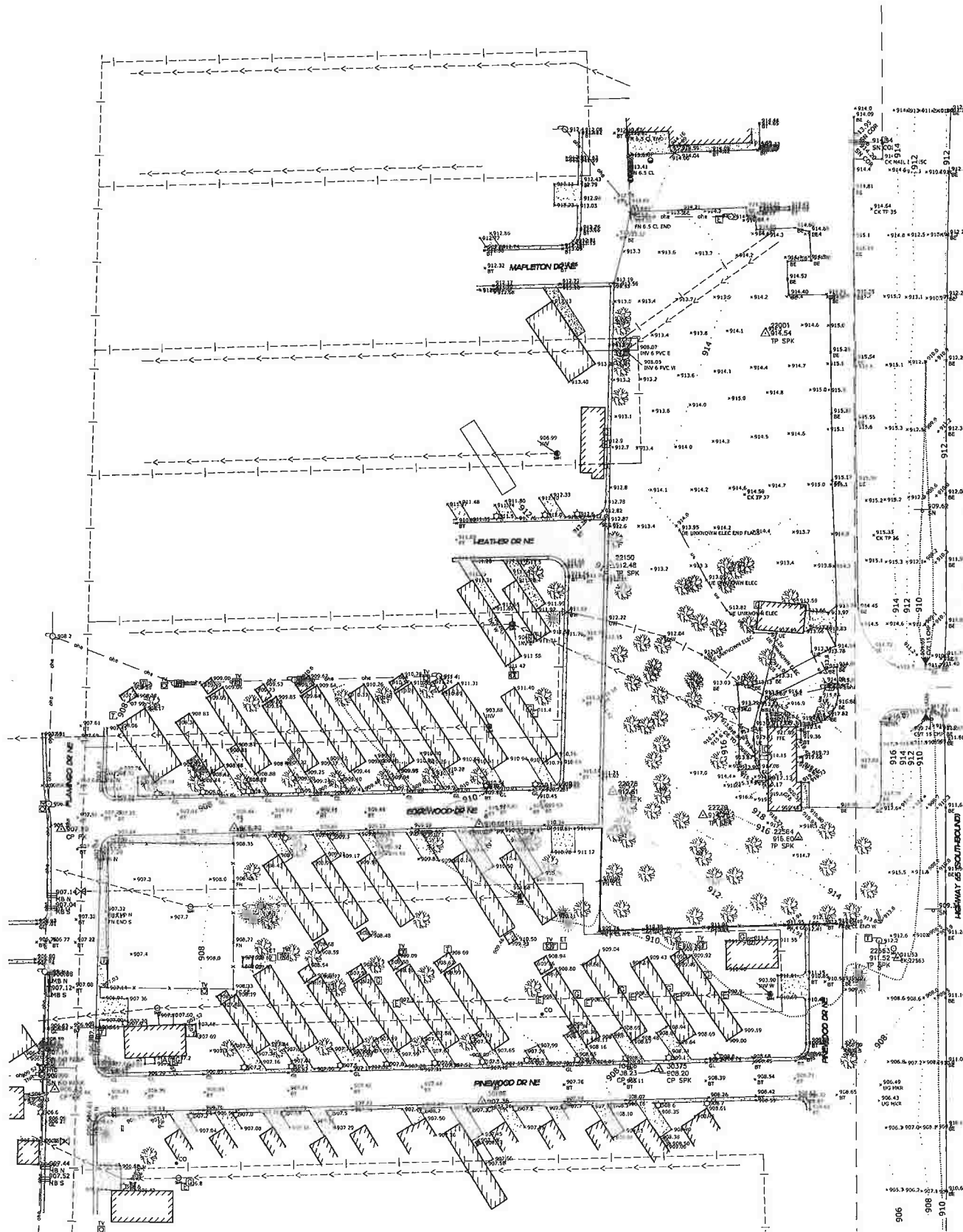
NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

VICINITY MAP



NOT TO SCALE



DRAWN BY:	DESIGN BY:
M.Q.A.	R.L.S.
CHCKD BY:	PROJ. NO.
M.Q.A.	20-1925
ORIGINAL DATE:	
AUGUST 13, 2020	

REVISION DESCRIPTION	
DATE	

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Charles W. Plowe
CHARLES W. PLOWE
LIC. NO. 18227
DATE: 02.28.23

FLAMINGO TERRACE EXPANSION
HAM LAKE, MINNESOTA
TITLE SHEET, LEGEND & EXISTING CONDITIONS

PREPARED FOR:
SHERRY SAXON

SITE PLANNING & ENGINEERING

PLOWE ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINDO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-6701

SHEET INDEX

- C0 TITLE SHEET, LEGEND & EXISTING CONDITIONS
- C1 SITE REMOVALS PLAN
- C2 CIVIL SITE PLAN
- C3 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C4 SITE UTILITY PLAN
- C5.1 DETAILS
- C5.2 DETAILS
- C5.3 DETAILS
- C6.1 STORM WATER POLLUTION PREVENTION PLAN
- C6.2 STORM WATER POLLUTION PREVENTION PLAN

NORTH

0 30 60
1 INCH = 60 FEET

GO

811
below.
Call before you dig.

C:\Users\mca\OneDrive\Documents\2020\FLAMINGO TERRACE EXPANSION\20-1925\DWG\20-1925-TITLE.DWG 2/28/2023

DRAWN BY: M.Q.A. DESIGN BY: R.L.S.
 CHCKD BY: M.Q.A. PROJ. NO: 20-1925
 ORIGINAL DATE: AUGUST 13, 2020

DATE	REVISION DESCRIPTION
11/8/22	REVISED LOCATION FOR FENCE REMOVAL (WEST OF FUTURE POND)

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Charles W. Plowe
 CHARLES W. PLOWE LIC. NO. 18227
 DATE: 02.28.23

FLAMINGO TERRACE EXPANSION
 HAM LAKE, MINNESOTA
 SITE REMOVALS PLAN

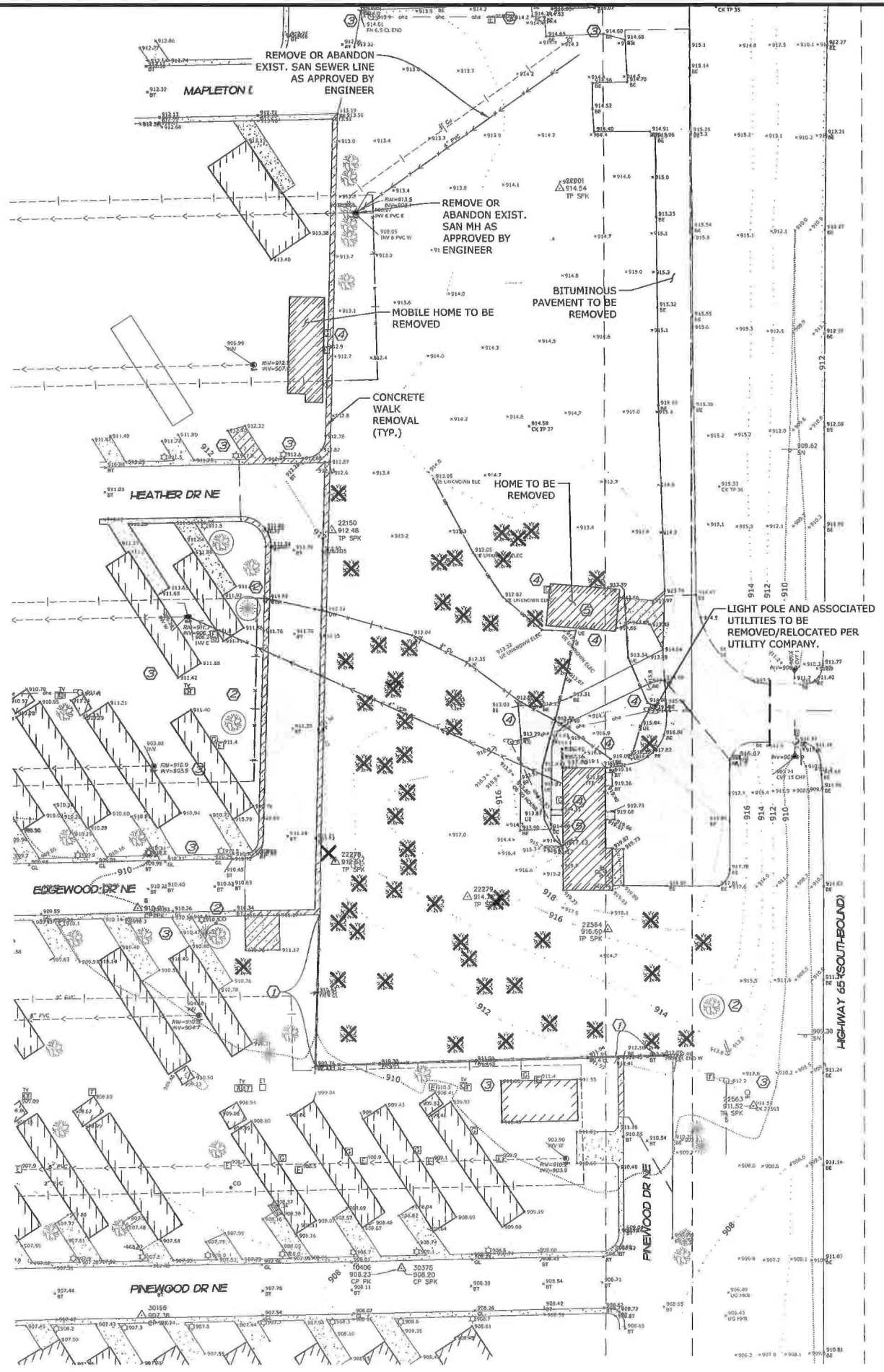
PREPARED FOR:
 SHERRY SAXON

SITE PLANNING & ENGINEERING

PLOWE ENGINEERING, INC.
 6776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (651) 361-8210
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LEGEND

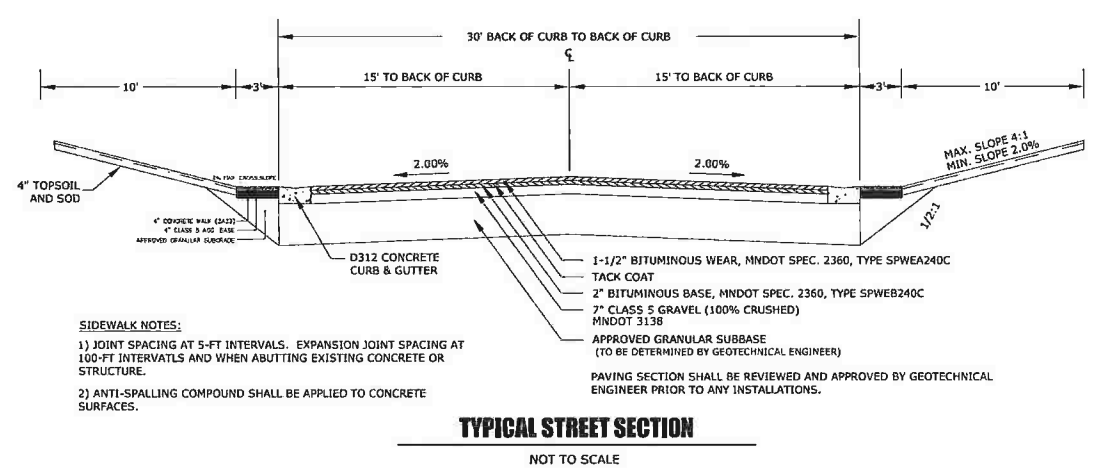
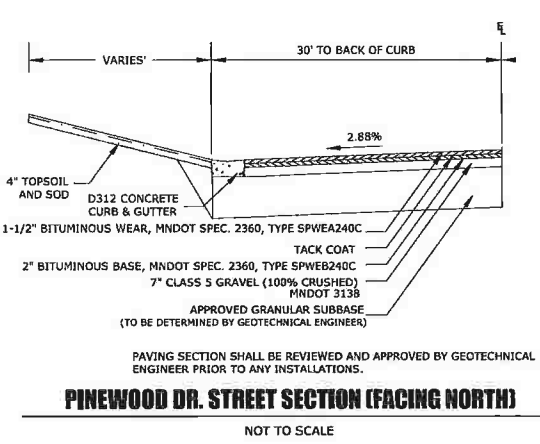
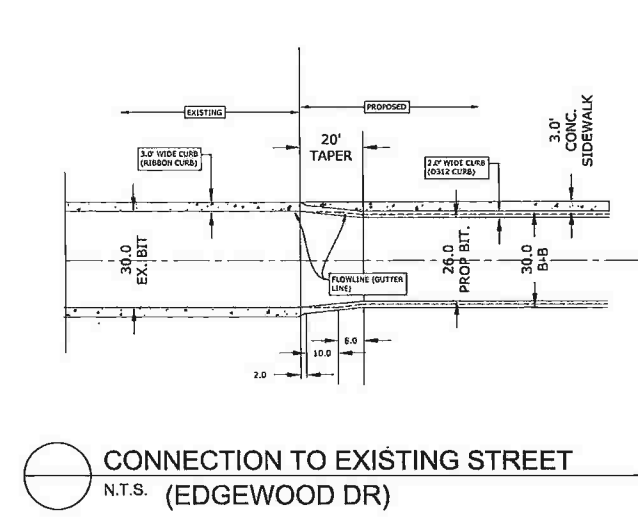
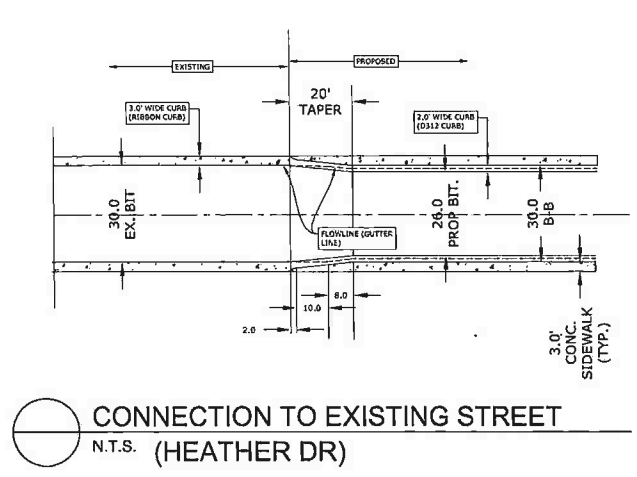
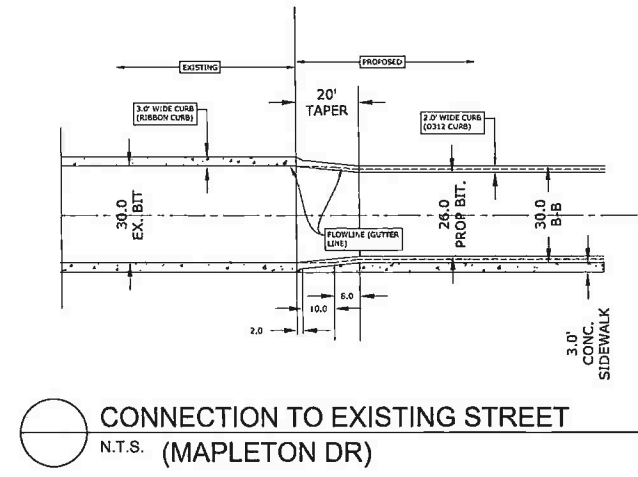
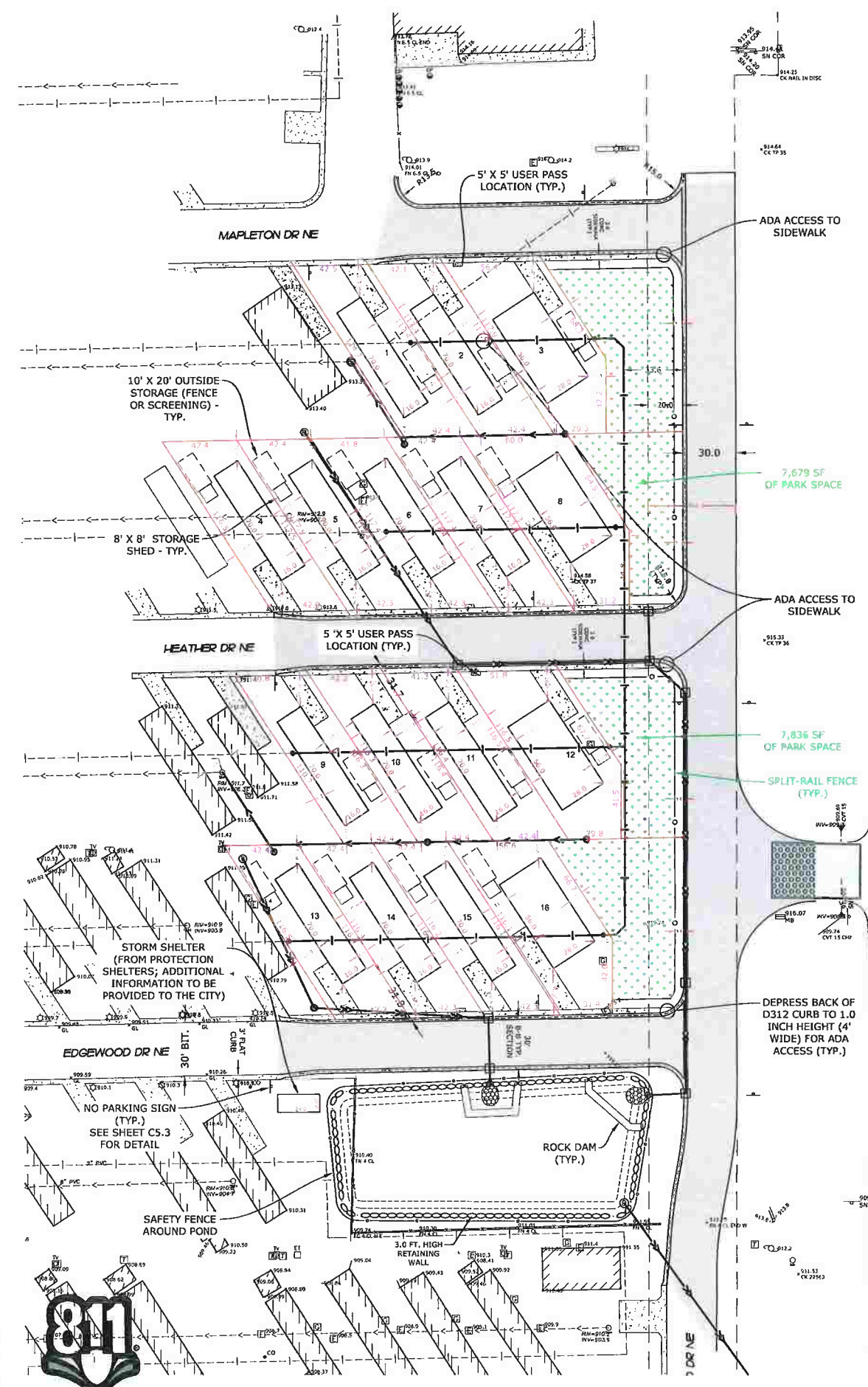
- EXISTING CHAIN LINK FENCE
- BURIED UTILITY PIPING, TO BE REMOVED; OR PROPERLY LEGALLY SEALED AND ABANDONED IN-PLACE.
- EXISTING TREE TO BE SAVED/PRESERVED
- EXISTING TREE TO BE REMOVED
- SILT FENCE/TREE PRESERVATION FENCE

- KEYED NOTES:**
- 1 REMOVE PORTION(S) OF CHAIN-LINK FENCE AS NEEDED FOR STREET CONSTRUCTION, STORM SEWER, AND/OR GRADING.
 - 2 TREE TO BE PROTECTED AND/OR SAVED.
 - 3 PROTECT/PRESERVE EXIST. UTILITY. COORDINATE ANY NECESSARY DISRUPTION OF SERVICE WITH OWNER AND/OR ENGINEER.
 - 4 EXISTING UTILITY TO BE REMOVED. COORDINATE DISCONNECTIONS WITH OWNER AND/OR UTILITY OWNER.
 - 5 BUILDING STRUCTURE AND APPURTENANCES ASSOCIATED WITH THE BUILDING (RETAINING WALLS, STOOPS, WALKS, ETC.) ARE TO BE PROPERLY & LEGALLY REMOVED BY A CERTIFIED DEMOLITION CONTRACTOR, WITH PERMITS/APPROVALS AS NEEDED.

811
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**SITE REMOVALS PLAN
 17100 MN-65**

Submittal: 2/28/2023 2/28/2023



- SIDEWALK NOTES:**
- 1) JOINT SPACING AT 5-FT INTERVALS. EXPANSION JOINT SPACING AT 100-FT INTERVALS AND WHEN ABUTTING EXISTING CONCRETE OR STRUCTURE.
 - 2) ANTI-SPALLING COMPOUND SHALL BE APPLIED TO CONCRETE SURFACES.

- CURB & BITUMINOUS NOTES**
- REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
 - SAW-CUT EXISTING BITUMINOUS AND CONCRETE CURB TO PROVIDE BUTT-JOINT.
 - RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
 - BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.
 - FOUR INCHES OF CLASS 5 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.
 - CURB ENDS SHALL TERMINATE IN A THREE-FOOT BEAVER TAIL.

DRAWN BY:	DESIGN BY:
M.Q.A.	R.L.S.
CHKD BY:	PROJ. NO.
M.Q.A.	20-1925
ORIGINAL DATE:	
AUGUST 13, 2020	
DATE	REVISION DESCRIPTION
3/3/21	ADDED BY-PASS SIDEWALK SECTIONS & ADA NOTES
1/15/21	INCREASED SIZE OF FENCED AREA
1/15/22	REVISED SITE PLAN TO 15 UNITS; ADDED FENCE AROUND BASIN
12/4/22	ADDED LOCATION OF STORM SHELTER

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

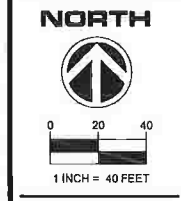
Charles W. Plowe
CHARLES W. PLOWE
DATE: 02.28.23 LIC. NO. 18227

FLAMINGO TERRACE EXPANSION
MAIN LAKE, MINNESOTA
CIVIL SITE & PAVING PLAN

PREPARED FOR:
SHERRY SAXON



SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
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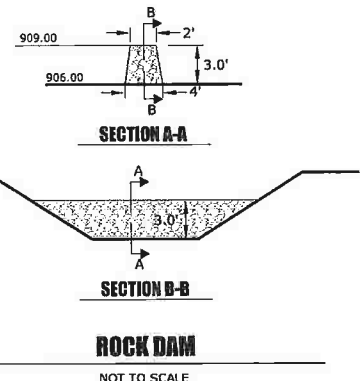
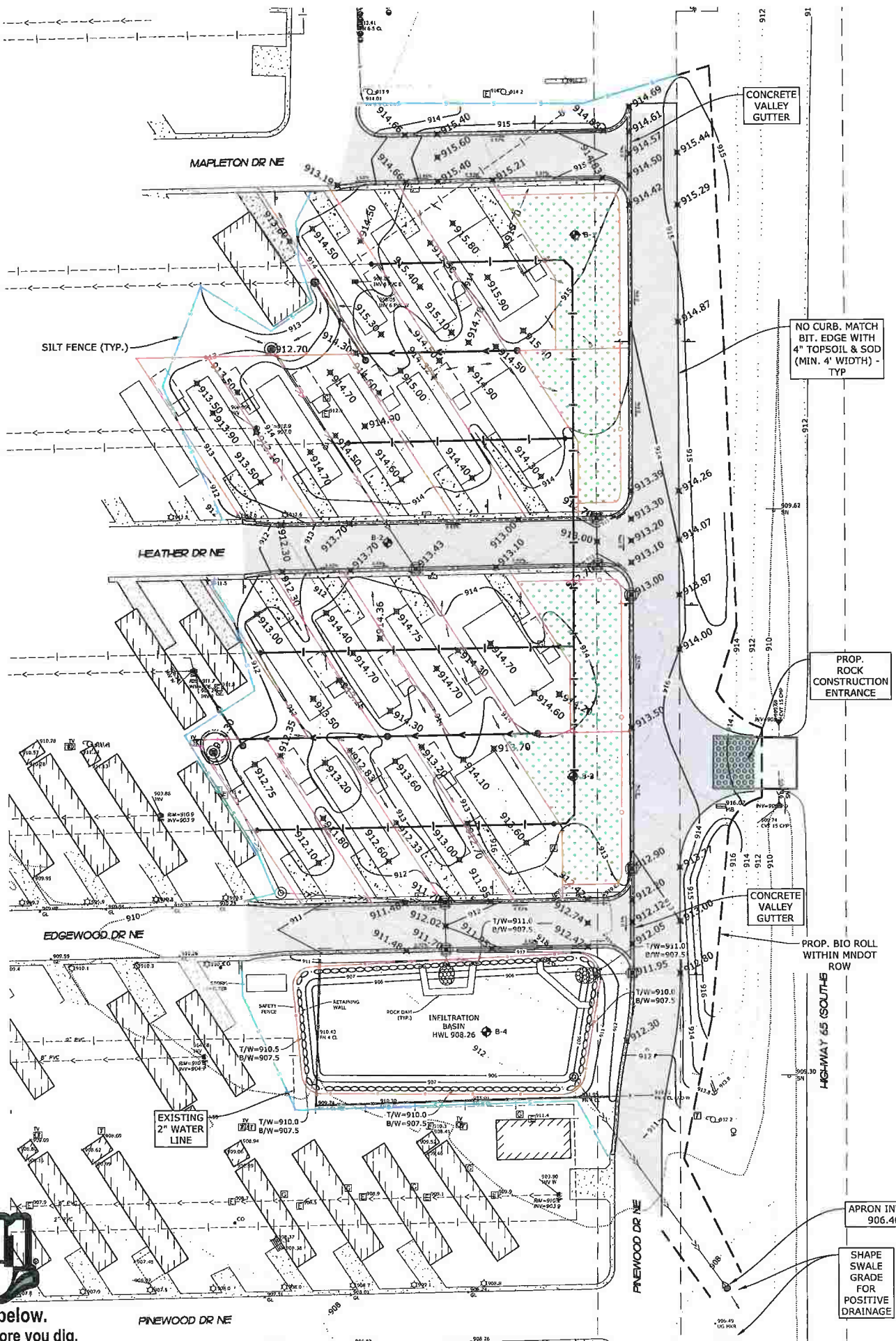
ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

**CIVIL SITE & PAVING PLAN
17100 MN-65**

C2

Know what's below.
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S:\Projects\17100 MN-65\17100 MN-65.dwg 2/28/2021



SOIL BORING INFO:

BORING #	SURFACE ELEV.	MEASURED WATER TABLE ELEV.
1	916.60	905.60
2	914.00	903.00
3	914.00	901.00
4	910.40	897.40
5	907.90	897.90

SITE SEQUENCING

- PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL INSTALL ROCK CONSTRUCTION ENTRANCE (LOCATIONS TO BE DETERMINED - COORDINATE WITH OWNER) AND PERIMETER SILT FENCE AS SHOWN ON PLAN. (CONTACT CITY TO INSPECT EROSION CONTROL MEASURES PRIOR TO GRADING OPERATIONS, IF NECESSARY.) ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
- THE CONTRACTOR SHALL PROVIDE ALL SOD, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING MNDOT SPECIFICATIONS AS MODIFIED BELOW.

ITEM	MNDOT SPECIFICATION/NOTES
SOD	387B
SEED **	3876
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

- * MOW A MINIMUM OF ONCE PER 2 WEEKS
- ** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.
- ALL EXPOSED SOILS MUST HAVE TEMPORARY EROSION CONTROL PROTECTION OR PERMANENT COVER WITHIN SEVEN (7) DAYS.
- THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES IN PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.
- PROTECT ALL STORM WATER MANAGEMENT FACILITIES FROM CONSTRUCTION RUN-OFF. CONTRACTOR TO INSTALL AND CONSTRUCT SAID FACILITIES ONCE SITE HAS BEEN STABILIZED.
- IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BIOROLLS AND EROSION CONTROL BLANKET AS NEEDED.
- THE CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
- THE CONTRACTOR SHALL SOD ALL DISTURBED DRAINAGE AREAS, INCLUDING SWALES & OVERFLOWS.
- UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL WITH SOD OR SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 48 HOURS OF FINAL GRADING.
- EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES.
- IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED.

OTHER POLLUTION CONTROL MEASURES

CONSTRUCTION WASTE MATERIALS - ALL WASTE MATERIALS GENERATED AS A RESULT OF SITE CONSTRUCTION SHALL BE COLLECTED AND REMOVED ACCORDING TO ALL LOCAL AND/OR STATE WASTE MANAGEMENT REGULATIONS BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE CONTRACTOR WILL ENSURE THAT ALL SITE PERSONNEL ARE INSTRUCTED IN THESE PRACTICES.

HAZARDOUS WASTES - ALL HAZARDOUS WASTE MATERIALS SHALL BE STORED PROPERLY TO PREVENT SPILLS AND VANDALISM. WHEN NECESSARY, HAZARDOUS WASTES WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND/OR STATE REGULATION OR BY THE MANUFACTURER.

SANITARY WASTE - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS BY A LOCAL, LICENSED WATER MANAGEMENT COMPANY, AS REQUIRED BY LOCAL REGULATION.

OFFSITE VEHICLE TRACKING - A ROCK CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED. DUMP TRUCKS HAULING LOOSE MATERIALS (SAND, TOPSOIL, ETC.) TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARP.

VEHICLE CLEANING - NO ENGINE DEGREASING IS ALLOWED ON-SITE. EXTERNAL WASHING OF VEHICLES TO BE CONFINED TO A DEFINED AREA ("BONE YARD") ON-SITE. CONTRACTOR TO PROVIDE DESIGNATED TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50' FROM DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE) AND DISPOSED OF PROPERLY.

SPILL PREVENTION AND CONTROL - ALL VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. SPILL KITS WILL BE STORED ON-SITE AND ALL SPILLS WILL BE CLEANED UP IMMEDIATELY. SPENT ABSORBENT MATERIALS AND RAGS WILL BE HAULED OFF-SITE IMMEDIATELY AFTER THE SPILL IS CLEANED UP AND PROPERLY DISPOSED OF. SPILL PREVENTION AND CONTROL MEASURES SHALL BE IMPLEMENTED ONCE CONSTRUCTION BEGINS.

SOIL STOCKPILES - INSTALL SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AROUND ALL TEMPORARY SOIL STOCKPILES. LOCATE SOIL OR DIRT STOCKPILES SUCH THAT DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN 8 M (25 FEET) FROM THE TOE OF THE PILE TO A SURFACE WATER, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. IF REMAINING FOR MORE THAN 7 DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN 8 M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARPS, AND PROTECT STORM SEWER INLETS WITH SILT SOCKS OR STAKED SILT FENCE.

PROVIDE WIMCO (OR APPROVED EQUAL) FOR INLET PROTECTION AT ALL EXISTING STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF DURING CONSTRUCTION. INLET PROTECTION TO REMAIN IN-PLACE UNTIL AT LEAST 70% OF SITE VEGETATION HAS BEEN ESTABLISHED.

CONTRACTOR TO PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. KEEP WASHOUT AREAS AS FAR AS PRACTICAL FROM STORM DRAINS, DITCHES AND PONDS. DO NOT ALLOW RUN-OFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE. AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. THE CONTRACTOR MAY DISCHARGE FROM THE TEMPORARY OR PERMANENT SEDIMENTATION BASINS TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPs, SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES.

ALL PROPOSED SPOT ELEVATIONS ARE GUTTER LINE OR FINISHED GROUND ELEVATIONS UNLESS OTHERWISE NOTED.

SOILS IN ALL DISTURBED PERVIOUS AREAS TO BE DECOMPACTED.

DRAWN BY: M.Q.A. DESIGN BY: R.L.S.
 CHCKD BY: M.Q.A. PROJ. NO. 20-1925
 ORIGINAL DATE: AUGUST 13, 2020

REVISION DESCRIPTION
 DATE: 11/8/22 REVISION: REVISED SITE LAYOUT FOR 16 UNITS
 DATE: 12/5/22 REVISION: REVISED GRADES AROUND CB 9
 DATE: 12/29/22 REVISION: REVISED CONTOUR AND RIPRAP AT BASIN

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Charles W. Plowe
 CHARLES W. PLOWE LIC. NO. 16227
 DATE: 02.28.23

FLAMINGO TERRACE EXPANSION
 WAH LAKE, MINNESOTA
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN

PREPARED FOR:
 SHERRY SAXON

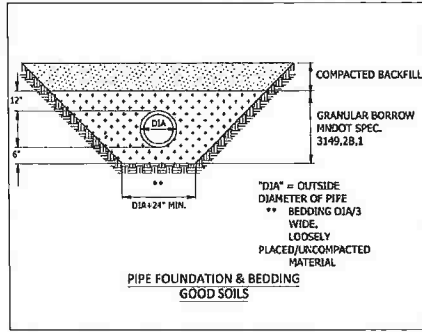
SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
 6776 LAKE DRIVE SUITE 110
 LIND LAKE, MN 55014
 PHONE: (651) 361-8210
 FAX: (651) 361-8701

NORTH
 0 20 40
 1 INCH = 40 FEET

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**GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 17100 MN-65**



PIPE BEDDING DETAILS
N.T.S.

ALL PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS FROM CITY OF HAM LAKE, COON CREEK WATERSHED, MNDOT, AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY CONTRACTOR. INSTALLATION OF UTILITIES SHALL BE CONSTRUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

WATER MAIN NOTES

EXISTING WATER MAIN LOCATION AND SIZE SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROVIDE PIPE INSULATION WHERE SEWER (SANITARY OR STORM) CROSSES WITHIN 18" OF WATER MAIN.

PROPOSED WATER MAIN SHALL BE 2" PVC W/ TRACER WIRE. TWO-INCH PVC PIPE MUST MEET ASTM D2241 OR ASTM D1785 (SEE TABLE 604.1 AND SECTION 605.12). AN ACCESSIBLE BLUE 14 AWG MINIMUM TRACER WIRE SUITABLE FOR DIRECT BURY MUST BE USED (SEE SECTION 604.10.1).

PROPOSED WATER SERVICE SHALL BE HDPE CONFORMING TO ASTM D2737, FOR "ENDO-PURE" WATER SERVICE TUBING, PE 4710-200 PSL, SDR 7 (IPS) AS MANUFACTURED BY ENDOT INDUSTRIES. COMPLETE WITH TRACING WIRE AND LOCATION BOXES AS REQUIRED BY CITY. APPURTENANT FITTINGS FOR HDPE PIPE SHALL BE PER MANUFACTURER'S RECOMMENDATION, AS APPROVED BY CITY ENGINEERING DEPARTMENT. 1/2" MINIMUM INSIDE DIAMETER REQUIRED.

PE WATER SERVICES MUST BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS (SEE TABLE 604.1 AND SECTION 605.6). JOINTS MUST BE HEAT FUSED OR USE APPROVED INSERT FITTINGS WITH STAINLESS STEEL CLAMPS. AN ACCESSIBLE BLUE 14 AWG MINIMUM TRACER WIRE SUITABLE FOR DIRECT BURY MUST BE PROVIDED (SEE SECTION 604.10.1).

TRACER WIRE WILL BE LAID WITH ALL PVC WATER MAINS, VALVE BOXES, AND HYDRANTS. VALVE SHUTOFFS WILL BE 2" CURB STOP & BOX (OR APPROVED EQUAL).

MECHANICAL JOINTS SHALL BE USED FOR WATER MAIN PIPES 4" IN DIAMETER AND LARGER. RUBBER GASKETS SHALL CONFORM TO AWWA C111 (ANSI A21.11).

MAINTAIN MINIMUM 7.5-FT COVER TO TOP OF ALL WATER MAIN PIPE.

SANITARY SEWER NOTES

EXISTING SANITARY SEWER LOCATION, SIZE, AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROPOSED SCHEDULE 40 PVC SANITARY SEWERS MUST MEET ASTM D1785, D2665, F891, OR F1488 WITH APPROVED FITTINGS (SEE TABLE 701.2). SOLVENT WELDED JOINTS MUST USE ASTM F656 PURPLE PRIMER AND ASTM D2564 CEMENT. THE SEWER MUST BE INSTALLED BY OPEN-TRENCH ON A CONTINUOUS GRANULAR BED PER SECTION 314.4.1. ASTM D2241 PVC IS NOT AN APPROVED MATERIAL FOR BUILDING SEWERS.

PROPOSED SANITARY SEWER SERVICES SHALL BE 4" (OR 6" IF REQUIRED) PVC SCHEDULE 40 AT A MINIMUM OF 2.0%.

STORM SEWER NOTES

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

STORM SEWER PIPE SHALL BE PVC SCHEDULE 40 MEETING ASTM D1785, D2665, F891, OR F1488 WITH APPROVED FITTINGS (SEE TABLE 701.2). SOLVENT WELDED JOINTS MUST USE ASTM F656 PURPLE PRIMER AND ASTM D2564 CEMENT. THE SEWER MUST BE INSTALLED BY OPEN-TRENCH ON A CONTINUOUS GRANULAR BED PER SECTION 314.4.1. ASTM D2241 PVC IS NOT AN APPROVED MATERIAL FOR BUILDING SEWERS.

STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION, LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.

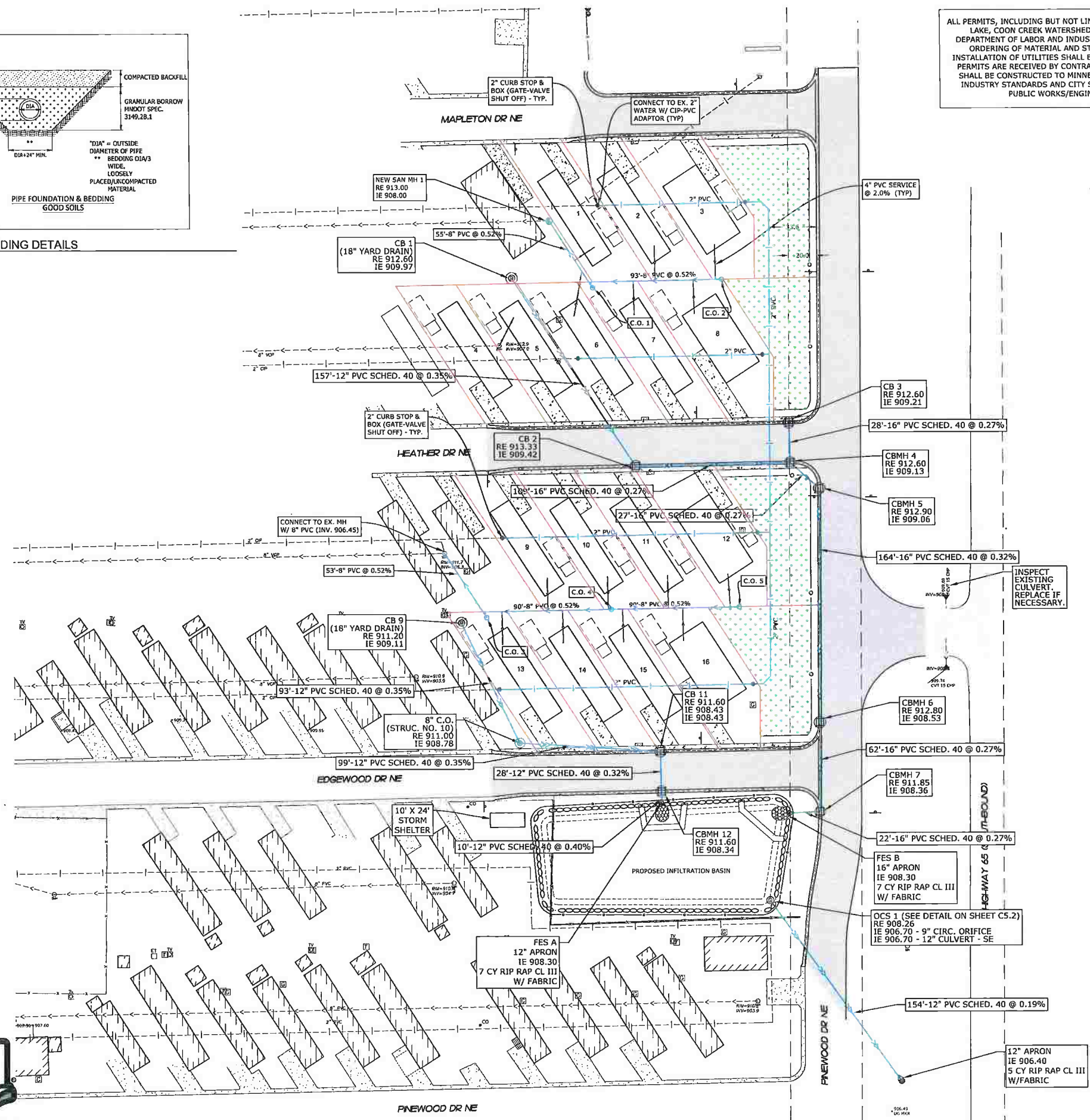
STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESILIENT RUBBER JOINTS TO MAKE THEM GASTIGHT OR WATERTIGHT. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

SANITARY CLEANOUTS:

C.O. #	RIM (TOP) ELEV.	8" INVERT ELEV.
1	914.38	908.29
2	914.45	908.77
3	912.14	906.73
4	913.40	907.20
5	914.10	907.67

*PROPOSED INVERT ELEVATIONS SHOWN HERE ARE BASED ON CALCULATED ELEVATIONS OF EXISTING SANITARY SEWER. MINOR ADJUSTMENTS MAY BE NEEDED FOR PROPOSED ELEVATIONS SHOWN, BUT IN NO CASE SHOULD THE PROPOSED 8" SANITARY PIPE BE FLATTER THAN 0.52%.

STR.	SIZE	CASTING
1	18" YARD DRAIN	-
2	2' x 3'	NEENAH R-3067
3	2' x 3'	NEENAH R-3067
4	48" DIA.	NEENAH R-3067
6	48" DIA.	NEENAH R-3067
6	48" DIA.	NEENAH R-3067
7	48" DIA.	NEENAH R-3067
8	18" YARD DRAIN	-
9	18" YARD DRAIN	-
10	8" DIA. CLEANOUT	-
11	2' x 3'	NEENAH R-3067
12	48" DIA.	NEENAH R-3067
OCS 1	SEE DETAIL	-
A	FES	-
B	FES	-



DRAWN BY: M.O.A. DESIGN BY: R.L.S.
CHKD BY: M.O.A. PROJ. NO: 20-1925
ORIGINAL DATE: AUGUST 13, 2020

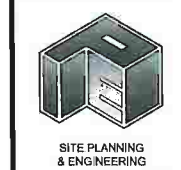
DATE	REVISION DESCRIPTION
5/6/21	REVISED SAN. CO SPACING, ADJUSTED STORM CB INVERTS
5/25/21	REVISED SAN. CO LABELING, CB 1 TO CB 2 PIPE SLOPE
11/9/22	REVISED UTILITIES FOR SITE PLAN CHANGE
11/18/22	REVISED PIPE SIZES AND SLOPES, ADDED PVC PIPE BEDDING
12/29/22	REVISED RIPRAP QUANTITIES AND PIPE SLOPE (CBMH3 TO 5)
2/28/23	REVISED SANITARY SLOPES, CO INVERTS, & UTILITY NOTES

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

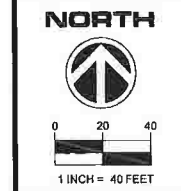
Charles W. Plowe
CHARLES W. PLOWE
DATE: 02.28.23 LIC. NO. 18227

FLAMINGO TERRACE EXPANSION
MAIN LAKE, MINNESOTA
SITE UTILITY PLAN

PREPARED FOR:
SHERRY SAXON



PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701



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2/28/2023



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SITE UTILITY PLAN
17100 MN-65

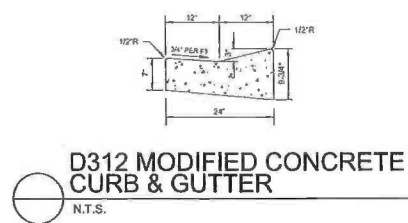
DATE	REVISION DESCRIPTION
1/13/21	REVISED STREET AND POND CROSS-SECTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Charles W. Plowe
 CHARLES W. PLOWE
 L.C. NO. 02 28 23
 DATE: 02/28/23

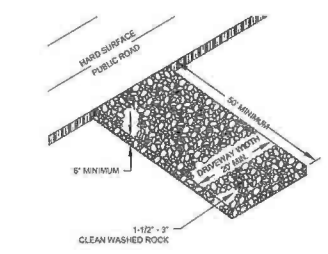
FLAMINGO TERRACE EXPANSION
 HAW LAKE, MINNESOTA
 DETAILS & NOTES

PREPARED FOR:
SHERRY SAXON

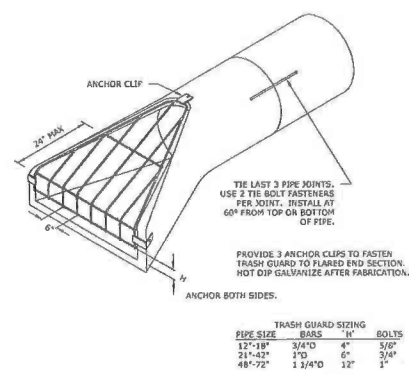
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D312 MODIFIED CONCRETE CURB & GUTTER
 N.T.S.



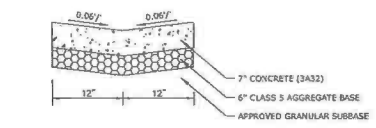
ROCK CONSTRUCTION ENTRANCE
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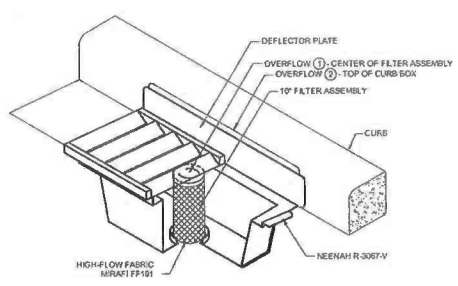
FLARED-END SECTION W/ TRASHGUARD
 N.T.S.

TRASH GUARD SIZING

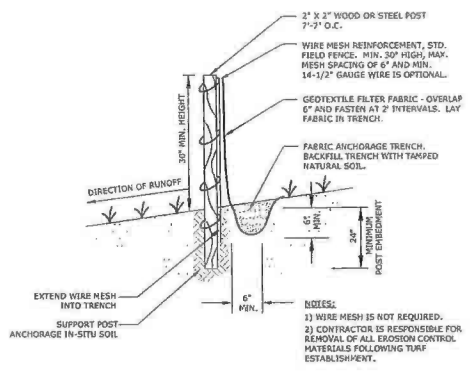
PIPE SIZE	BAR	BOLTS
12"-18"	3/4"D	4"
21"-24"	1"	6"
48"-72"	1 1/4"D	12"



CONCRETE GUTTER SWALE
 NOT TO SCALE



WIMCO INLET PROTECTION
 N.T.S.



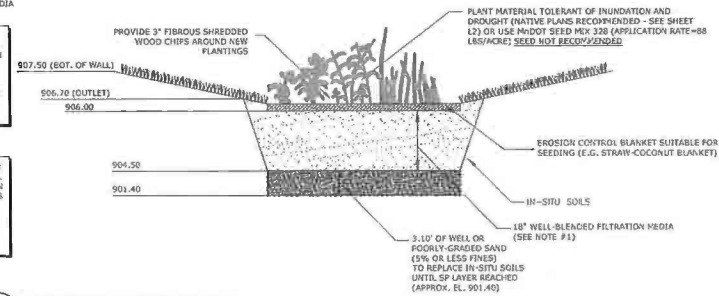
SILTS FENCE
 NOT TO SCALE

NOTE: ALLEVIATE ANY COMPACTED SOILS (BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER) TO 6" MIN. DEPTH PRIOR TO PLACING PLANTING MEDIA.

POST-CONSTRUCTION INFILTRATION TESTING IS REQUIRED: PERFORM TEST BY FILLING BASIN WITH SIX (6) INCHES OF WATER AND MONITORING DRAIN DOWN TIMES.

CONTACT COOK CREEK WATERSHED DISTRICT AT LEAST 24 HOURS PRIOR TO INFILTRATION TEST.

DO NOT EXCAVATE BASIN TO FINAL GRADE, OR WITHIN THREE (3) FEET OF FINAL GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS THEY PROVIDE ROBUST EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BENS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA.



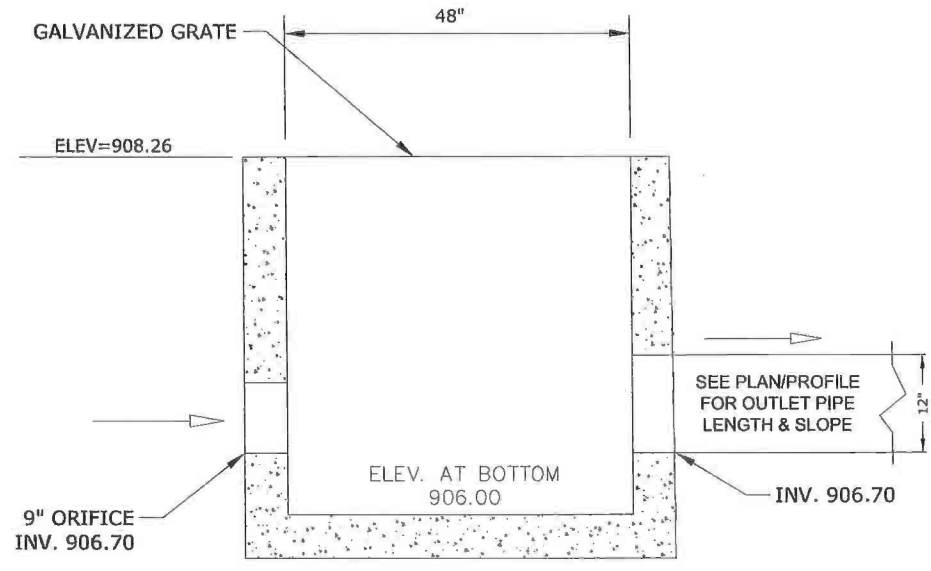
INFILTRATION BASIN
 N.T.S.

PLANTING SUGGESTIONS

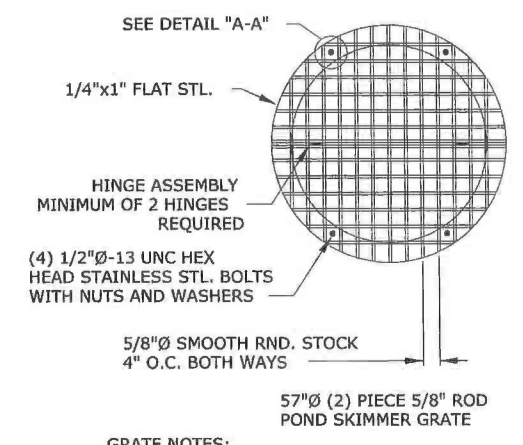
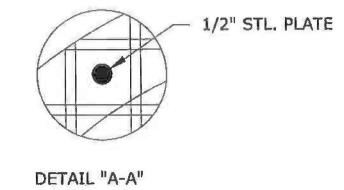
BOTTOM OF BASIN	SIDE SLOPES
NATIVE PLANTINGS GIANT BUR-REED WOOL GRASS SEDGE CORD GRASS BLUE FLAG GRASS SYRAMP MILKWEED TAMARACK 30E-PIE WOOD NEW ENGLAND ASTER PRAIRIE BLAZINGSTAR SUNSET BLACK WILLOW	NATIVE PLANTINGS BIG BLUESTEM BLUE JOINT GRASS SWITCH GRASS BLUE HERON PRAIRIE BLAZINGSTAR TAMARACK NEW ENGLAND ASTER RED-OSIER DOGWOOD SANDRAB WILLOW BLACK CHOCHECHERRY BLACK WILLOW

1. WELL-BLENDED FILTRATION MEDIA TO BE COMPRISED OF (BY VOLUME): 70-85% CLEAN CONSTRUCTION SAND AND 15-30% ON SITE TOPSOIL.
2. FINAL GRADE ONLY UPON STABILIZATION OF UPSTREAM AREAS.
3. BASIN TO REMAIN UNLINED.
4. PROTECT BASIN FROM RUN-OFF DURING LOT CONSTRUCTION ACTIVITIES. EXCAVATE BASIN TO FINAL GRADE ONLY UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREAS.
5. USE LOW-IMPACT, EARTH MOVING EQUIPMENT (WIDE TRACK OR HARSH TRACK EQUIPMENT, OR LIGHT-EQUIPMENT WITH TURF-TYPE TIRES.)

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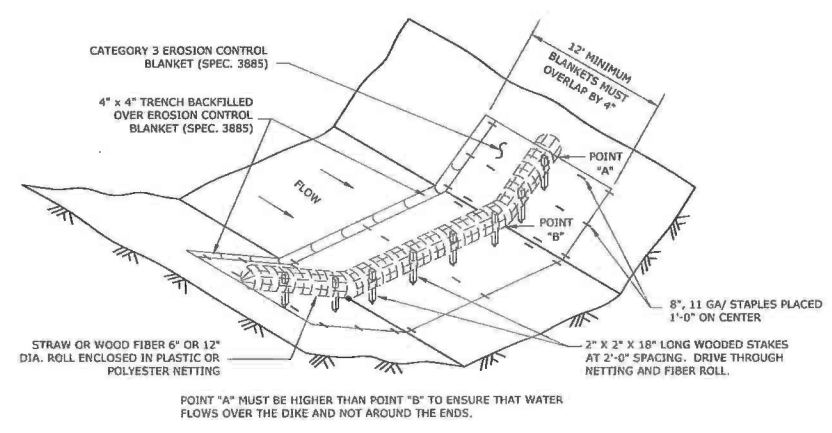


POND 1 OUTLET STRUCTURE
 N.T.S.



- GRATE NOTES:
 1) GRATE TO BE MADE IN TWO (2) PIECES
 2) ALL METAL SHALL BE HOT-DIPPED GALVANIZED

GALVANIZED GRATE
 N.T.S.



BIO-ROLL BLANKET
 N.T.S.

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Charles W. Plowe
 CHARLES W. PLOWE
 LIC. NO. 19227
 DATE: 02.28.23

FLAMINGO TERRACE EXPANSION
 WAUKESHA, MINNESOTA
 DETAILS & NOTES

PREPARED FOR:
 SHERRY SAXON

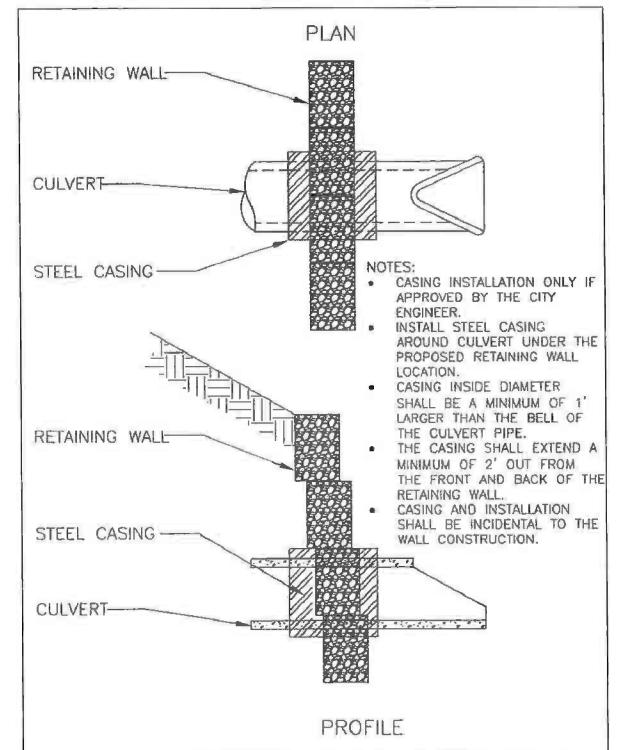
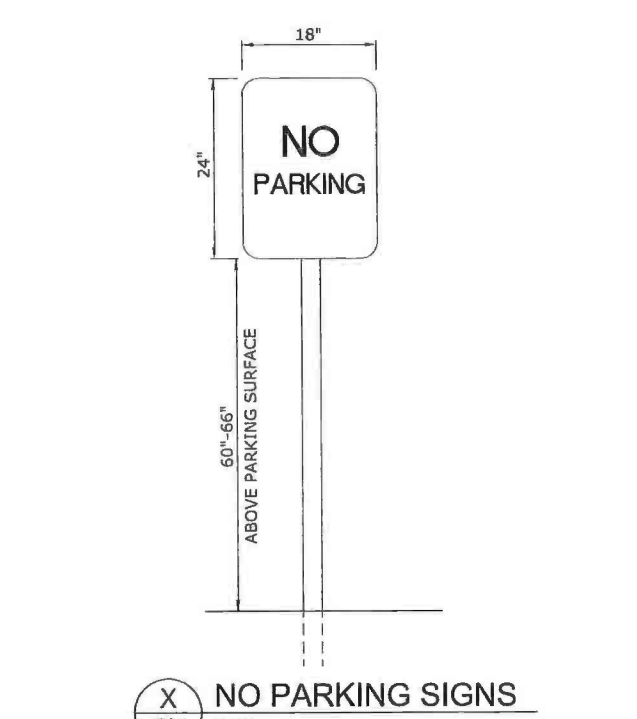
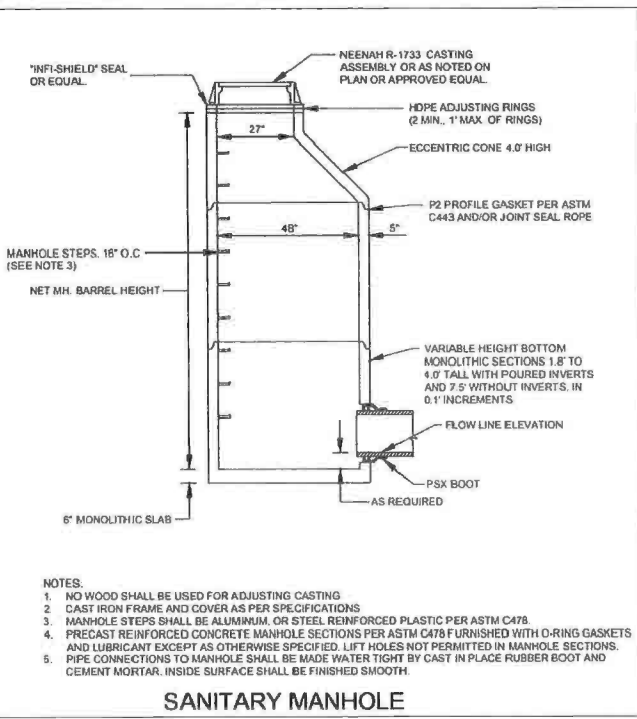
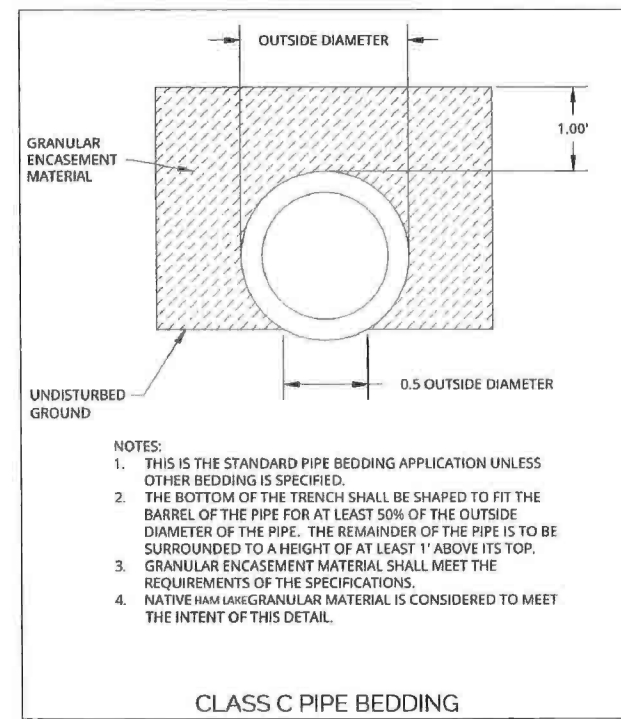
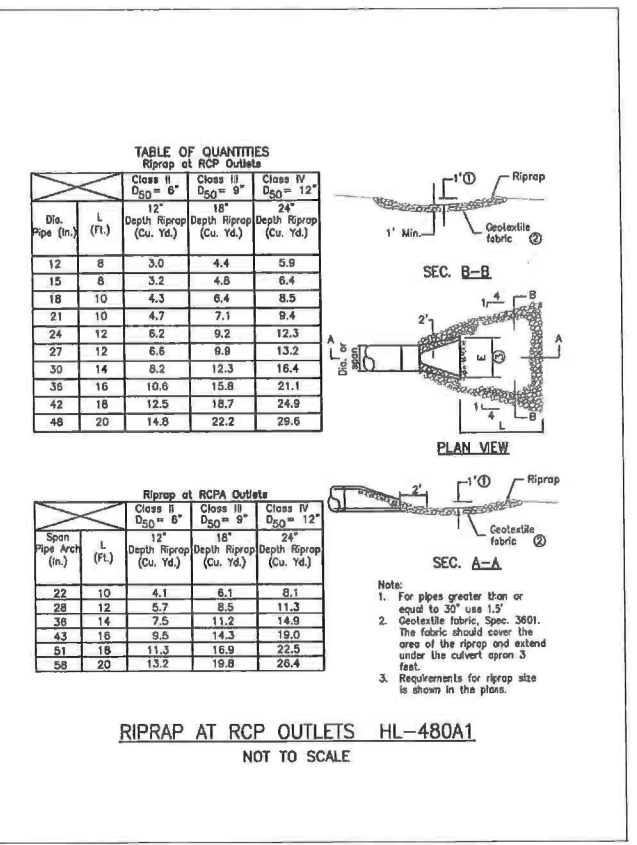
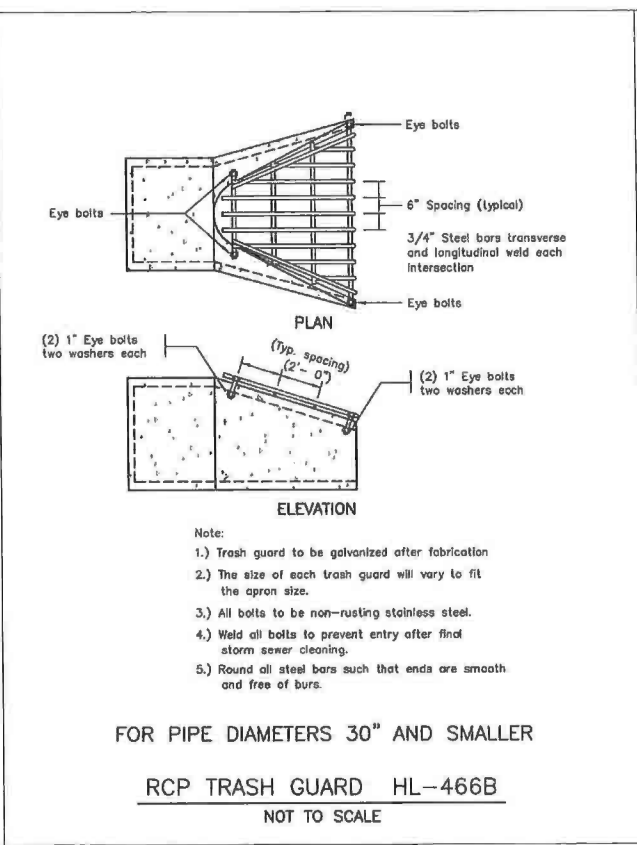
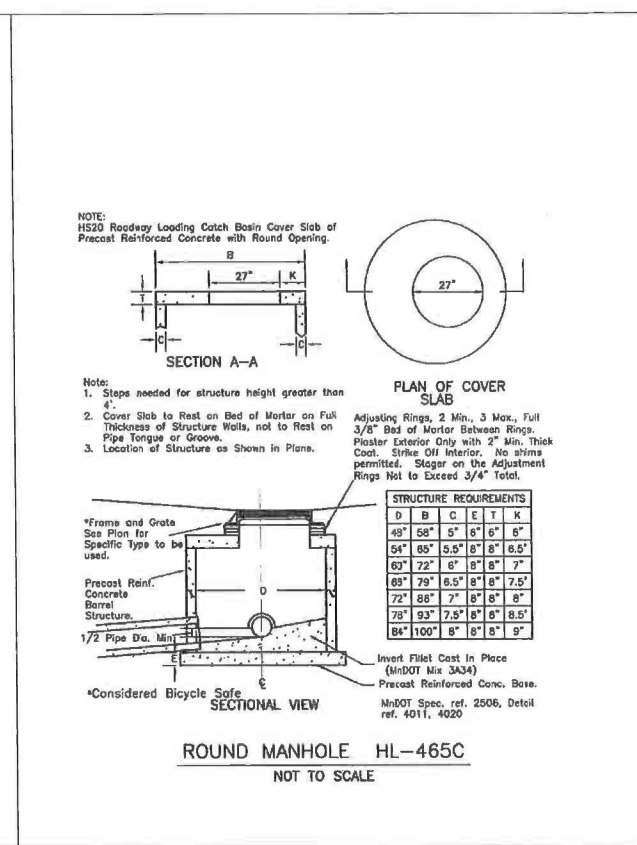
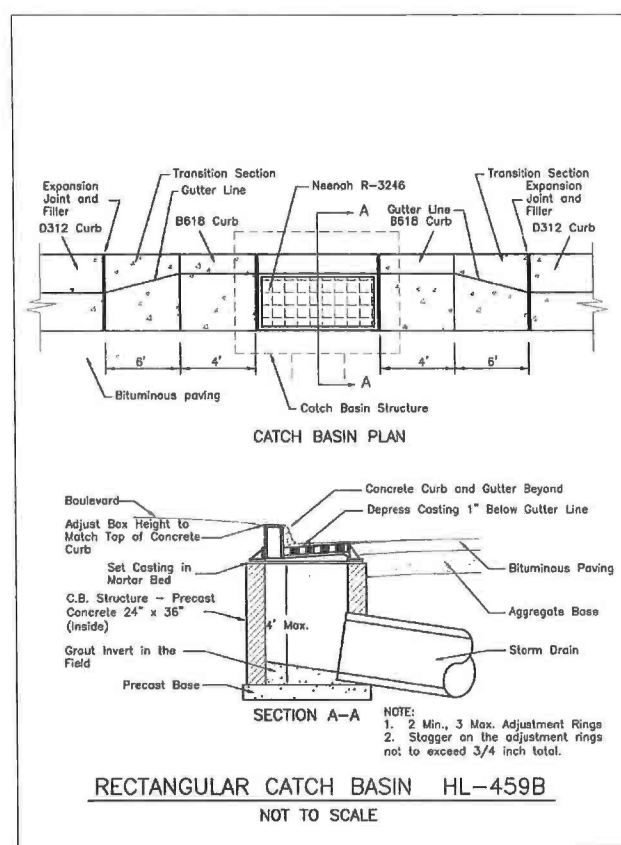
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S:\Projects\17100 MN-65\17100 MN-65.dwg 2/28/2023

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Charles W. Plowe
 CHARLES W. PLOWE
 LIC. NO. 18227
 DATE: 02.28.23



FLAMINGO TERRACE EXPANSION
 HAM LAKE, MINNESOTA

PREPARED FOR:
SHERRY SAXON

PLOWE ENGINEERING, INC.
 6776 LAKE DRIVE SUITE 110
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SITE PLANNING & ENGINEERING

2/28/2023

4.1 TERMINATION OF COVERAGE. [MINN. R. 7090]

- 4.2 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE. [MINN. R. 7090]
- 4.3 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN UP, TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT. [MINN. R. 7090]
- 4.4 PERMITTEES MAY TERMINATE PERMIT COVERAGE PRIOR TO COMPLETION OF ALL CONSTRUCTION ACTIVITY IF THEY MEET ALL OF THE FOLLOWING CONDITIONS:
 - A. CONSTRUCTION ACTIVITY HAS CEASED FOR AT LEAST 90 DAYS; AND
 - B. AT LEAST 90 PERCENT (BY AREA) OF ALL ORIGINALLY PROPOSED CONSTRUCTION ACTIVITY HAS BEEN COMPLETED AND PERMANENT COVER HAS BEEN ESTABLISHED ON THOSE AREAS; AND
 - C. ON AREAS WHERE CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED; AND
 - D. THE SITE COMPLIES WITH ITEM 13.3 THROUGH 13.7.

AFTER PERMIT COVERAGE IS TERMINATED UNDER THIS ITEM, ANY SUBSEQUENT DEVELOPMENT ON THE REMAINING PORTIONS OF THE SITE WILL REQUIRE PERMIT COVERAGE IF THE SUBSEQUENT DEVELOPMENT ITSELF OR AS PART OF THE REMAINING COMMON PLAN OF DEVELOPMENT OR SALE WILL RESULT IN LAND DISTURBING ACTIVITIES OF ONE (1) OR MORE ACRES IN SIZE. [MINN. R. 7090]

4.5 PERMITTEES MAY TERMINATE COVERAGE UPON MPCA APPROVAL AFTER SUBMITTING INFORMATION DOCUMENTING THE OWNER CANCELED THE PROJECT. [MINN. R. 7090]

5.1 STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONTENT [MINN. R. 7090]

- 5.2 THE SWPPP MUST INCORPORATE SPECIFIC BEST MANAGEMENT PRACTICES (BMP) USED TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT. [MINN. R. 7090]
- 5.3 THE SWPPP MUST INCLUDE A NARRATIVE DESCRIBING THE TIMING FOR INSTALLATION OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND A DESCRIPTION OF THE PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]
- 5.4 THE SWPPP MUST INCLUDE THE LOCATION AND TYPE OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs ALONG WITH PROCEDURES USED TO ESTABLISH ADDITIONAL TEMPORARY BMPs AS NECESSARY FOR THE SITE CONDITIONS DURING CONSTRUCTION. STANDARD DETAILS AND/OR SPECIFICATIONS FOR BMPs MUST BE INCLUDED IN THE FINAL PLANS AND SPECIFICATIONS FOR THE PROJECT. [MINN. R. 7090]
- 5.5 THE SWPPP MUST INCLUDE THE CALCULATIONS AND OTHER INFORMATION USED FOR THE DESIGN OF TEMPORARY SEDIMENT BASINS AND ANY OF THE PERMANENT STORMWATER TREATMENT SYSTEMS REQUIRED IN SECTION 15. [MINN. R. 7090]
- 5.7 THE SWPPP MUST INCLUDE ESTIMATED QUANTITIES ANTICIPATED AT THE START OF THE PROJECT FOR THE LIFE OF THE PROJECT FOR ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs (E.G., LINEAR FEET OF SILT FENCE OR SQUARE FEET OF EROSION CONTROL BLANKET). [MINN. R. 7090]
- 5.8 THE SWPPP MUST INCLUDE THE NUMBER OF ACRES OF IMPERVIOUS SURFACE FOR BOTH PRE- AND POST-CONSTRUCTION. [MINN. R. 7090]
- 5.9 THE SWPPP MUST INCLUDE A SITE MAP WITH EXISTING AND FINAL GRADES, INCLUDING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW AND ALL DISCHARGE POINTS WHERE STORMWATER IS LEAVING THE SITE OR ENTERING A SURFACE WATER. THE SITE MAP MUST INDICATE THE AREAS OF STEEP SLOPES. THE SITE MAP MUST ALSO INCLUDE IMPERVIOUS SURFACES, SOIL TYPES AND LOCATIONS OF POTENTIAL POLLUTANT-GENERATING ACTIVITIES AS IDENTIFIED IN SECTION 12. [MINN. R. 7090]
- 5.10 THE SWPPP MUST INCLUDE A MAP OF ALL SURFACE WATERS, EXISTING WETLANDS, AND STORMWATER PONDS OR BASINS THAT CAN BE IDENTIFIED ON MAPS SUCH AS UNITED STATES GEOLOGICAL SURVEY 7.5 MINUTE QUADRANGLE MAPS, THE NATIONAL WETLAND INVENTORY MAP OR EQUIVALENT MAPS AND ARE WITHIN ONE MILE (AERIAL RADIUS MEASUREMENT) FROM THE PROJECT BOUNDARIES THAT WILL RECEIVE STORMWATER FROM THE CONSTRUCTION SITE, DURING OR AFTER CONSTRUCTION. THE SWPPP MUST IDENTIFY IF THE SURFACE WATERS ARE SPECIAL OR IMPAIRED WATERS. [MINN. R. 7090]
- 5.11 THE SWPPP MUST INCLUDE A SITE MAP SHOWING CONSTRUCTION ACTIVITY AREAS THAT ARE ADJACENT TO AND DRAIN TO PUBLIC WATERS FOR WHICH THE DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES. [MINN. R. 7090]
- 5.12 PERMITTEES MUST IDENTIFY LOCATIONS OF 50' BUFFER ZONES AS REQUIRED IN ITEM 9.17 AND 100' PERMANENT BUFFER ZONES AS REQUIRED IN ITEM 23.11, ON PLAN SHEETS IN THE SWPPP. [MINN. R. 7090]
- 5.13 IF PERMITTEES DETERMINE COMPLIANCE WITH THE FOLLOWING REQUIREMENTS IS INFEASIBLE, THEY MUST DOCUMENT THE DETERMINATION IN THE SWPPP:
 - a. TEMPORARY SEDIMENT BASIN AS DESCRIBED IN SECTION 14; AND
 - b. FOR LINEAR PROJECTS, IF THE PERMANENT STORMWATER TREATMENT SYSTEM CANNOT BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY, A REASONABLE ATTEMPT MUST BE MADE TO OBTAIN ADDITIONAL RIGHT-OF-WAY (ITEM 15.9); AND
 - c. BUFFER ZONES AS DESCRIBED IN ITEM 9.17 AND ITEM 23.11. [MINN. R. 7090]
- 5.14 IF PERMITTEES DETERMINE THAT A TEMPORARY SEDIMENT BASIN IS INFEASIBLE AS DESCRIBED IN ITEM 14.10, THE SWPPP MUST DESCRIBE THE ALTERNATIVE BMPs USED. [MINN. R. 7090]
- 5.15 WHERE SYSTEMS CANNOT MEET THE FULL VOLUME REDUCTION REQUIREMENT ON SITE (E.G., THE SITE HAS INFILTRATION PROHIBITIONS, SEE ITEM 16.14 THROUGH ITEM 16.21) THE PERMITTEE MUST DOCUMENT THE REASONS IN THE SWPPP. [MINN. R. 7090]

- 5.16 THE SWPPP MUST INCLUDE ANY STORMWATER MITIGATION MEASURES PROPOSED TO BE PART OF THE FINAL PROJECT IN ANY ENVIRONMENTAL REVIEW DOCUMENT, ENDANGERED SPECIES REVIEW, ARCHEOLOGICAL OR OTHER REQUIRED LOCAL, STATE OR FEDERAL REVIEW CONDUCTED FOR THE PROJECT. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NEEDED TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. [MINN. R. 7090]
- 5.17 THE SWPPP MUST DESCRIBE THE METHODS USED FOR PERMANENT COVER OF ALL EXPOSED SOIL AREAS. [MINN. R. 7090]
- 5.18 PERMITTEES MUST IDENTIFY THE LOCATIONS OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE THE DURATION OF EXPOSED SOIL AREAS IN THE SWPPP. [MINN. R. 7090]
- 5.19 FOR PROJECTS WITH A DISCHARGE POINT ON THE PROJECT WITHIN ONE (1) MILE (AERIAL RADIUS MEASUREMENT) OF AND WHICH FLOWS TO AN IMPAIRED WATER, PERMITTEES MUST IDENTIFY THE IMPAIRED WATER(S), AND ANY UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA)-APPROVED TOTAL MAXIMUM DAILY LOAD (TMMDL) FOR THE POLLUTANT(S) OR STRESSOR(S) DESCRIBED IN ITEM 23.7. PERMITTEES IDENTIFICATION MUST INCLUDE THOSE TMMDLs APPROVED AT ANY TIME PRIOR TO PERMIT APPLICATION SUBMITTAL AND ARE STILL IN EFFECT. [MINN. R. 7090]
- 5.20 PERMITTEES MUST DOCUMENT IN THE SWPPP, ALL TRAINED INDIVIDUALS IDENTIFIED IN ITEM 21.2. DOCUMENTATION MUST INCLUDE:
 - a. NAMES OF PERSONNEL REQUIRED TO BE TRAINED; AND
 - b. DATES OF TRAINING AND NAME OF INSTRUCTOR(S) AND ENTITY PROVIDING TRAINING; AND
 - c. CONTENT OF TRAINING COURSE.

IF PERMITTEES DO NOT KNOW THE NAMES OF THE INDIVIDUALS AT THE TIME OF APPLICATION, THE PERMITTEES MUST ENSURE THEY DOCUMENT TRAINING BEFORE CONSTRUCTION ACTIVITY COMMENCES. [MINN. R. 7090]

- 5.21 THE SWPPP MUST IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs WHO WILL COORDINATE WITH ALL CONTRACTORS, SUBCONTRACTORS, AND OPERATORS ON-SITE TO OVERSEE THE IMPLEMENTATION OF THE SWPPP. [MINN. R. 7090]
- 5.22 THE SWPPP MUST DESCRIBE ANY SPECIFIC CHEMICALS AND CHEMICAL TREATMENT SYSTEMS USED FOR ENHANCING THE SEDIMENTATION PROCESS AND HOW IT ACHIEVES COMPLIANCE WITH ITEM 9.18. [MINN. R. 7090]
- 5.23 THE SWPPP MUST IDENTIFY THE PERSON(S), ORGANIZATION, OR ENTITIES RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]
- 5.24 THE SWPPP MUST DESCRIBE METHODS TO MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL, MINIMIZING SOIL COMPACTION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES COMPACTION. [MINN. R. 7090]
- 5.25 THE SWPPP MUST INCLUDE ANY SITE ASSESSMENTS FOR GROUNDWATER OR SOIL CONTAMINATION REQUIRED IN ITEM 16.15. [MINN. R. 7090]
- 5.26 THE SWPPP MUST ACCOUNT FOR THE FOLLOWING FACTORS IN DESIGNING TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL BMPs:
 - a. THE EXPECTED AMOUNT, FREQUENCY, INTENSITY, AND DURATION OF PRECIPITATION; AND
 - b. THE NATURE OF STORMWATER RUNOFF AND RUN-ON AT THE SITE, INCLUDING FACTORS SUCH AS EXPECTED FLOW FROM IMPERVIOUS SURFACES, SLOPES, AND SITE DRAINAGE FEATURES; AND
 - c. THE STORMWATER VOLUME, VELOCITY, AND PEAK FLOW RATES TO MINIMIZE DISCHARGE OF POLLUTANTS IN STORMWATER AND TO MINIMIZE CHANNEL AND STREAMBANK EROSION AND SOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS; AND
 - d. THE RANGE OF SOIL PARTICLES SIZES EXPECTED TO BE PRESENT. [MINN. R. 7090]

6.1 SWPPP AMENDMENTS [MINN. R. 7090]

- 6.2 ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS. [MINN. R. 7090]
- 6.3 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. [MINN. R. 7090]
- 6.4 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMMDL. [MINN. R. 7050.0210]

7.1 BMP SELECTION AND INSTALLATION. [MINN. R. 7090]

7.2 PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPs IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES. [MINN. R. 7090]

8.1 EROSION PREVENTION PRACTICES. [MINN. R. 7090]

- 8.2 BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED. [MINN. R. 7090]
- 8.3 PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING). [MINN. R. 7090]
- 8.4 PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND NOT RESUME FOR A PERIOD EXCEEDING 7 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 7 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED FOR TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE. [MINN. R. 7090]
- 8.5 FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD. [MINN. R. 7090]
- 8.6 PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 72 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES. [MINN. R. 7090]
- 8.7 TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROCKS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES. [MINN. R. 7090]
- 8.8 PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTIGUOUS SLOPE OF GREATER THAN 2 PERCENT. [MINN. R. 7090]
- 8.9 PERMITTEES MUST PROTECT TEMPORARY OR PERMANENT EROSION PREVENTION PRACTICES WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]
- 9.0 PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11. [MINN. R. 7090]

9.1 SEDIMENT CONTROL PRACTICES. [MINN. R. 7090]

- 9.2 PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPs ON ALL DOWNGRADE PERIMETERS OF THE SITE AND DOWNGRADE AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES CLEAN AND MAINTAINED AT ALL TIMES. [MINN. R. 7090]
- 9.3 IF DOWNGRADE SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3. [MINN. R. 7090]
- 9.4 TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS. [MINN. R. 7090]
- 9.5 A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP) ALONG THE SHORELINE IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER. [MINN. R. 7090]
- 9.6 PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES, IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED. PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT BEGINS IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE. [MINN. R. 7090]
- 9.7 PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPs DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET. [MINN. R. 7090]
- 9.8 PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL OF THE SHORT-TERM PROTECTION. [MINN. R. 7090]
- 9.9 PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADE PERIMETER. [MINN. R. 7090]
- 9.10 PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. [MINN. R. 7090]
- 9.11 PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE. [MINN. R. 7090]
- 9.12 PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET. [MINN. R. 7090]
- 9.13 PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14. [MINN. R. 7090]
- 9.14 IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION. [MINN. R. 7090]
- 9.15 PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE. [MINN. R. 7090]
- 9.16 PERMITTEES MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS UNLESS INFEASIBLE. [MINN. R. 7090]
- 9.17 PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCE TO THE SURFACE OF THE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET AROUND UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER. [MINN. R. 7090]
- 9.18 PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. PERMITTEES MUST USE CLEAN WATER TO PREVENT EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOCC PRIOR TO DISCHARGE. [MINN. R. 7090]

10.1 DEWATERING AND BASIN DRAINING. [MINN. R. 7090]

- 10.2 PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY USUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A GREATER THAN 12 INCH IN 24 HOURS. [MINN. R. 7090]
- 10.3 IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PAOS) PRIOR TO DISCHARGE. [MINN. R. 7090]
- 10.4 PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SOIL IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSE EROSION OR SOIL INUNDATION. [MINN. R. 7090]
- 10.5 IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. [MINN. R. 7090]

11.1 INSPECTIONS AND MAINTENANCE. [MINN. R. 7090]

- 11.2 PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS. [MINN. R. 7090]
- 11.3 PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPs. [MINN. R. 7090]
- 11.4 PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NON-FUNCTIONAL BMPs WITH FUNCTIONAL BMPs BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MUST TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA. [MINN. R. 7090]
- 11.5 DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTORE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS TO THE AREAS. PERMITTEES MUST OBTAIN ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS. [MINN. R. 7090]
- 11.6 PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS. [MINN. R. 7090]

- 11.7 PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NON-FUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE. [MINN. R. 7090]
- 11.8 PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. [MINN. R. 7090]
- 11.9 PERMITTEES MUST MAINTAIN A FULL-TIME PERSON AT EACH BASIN WHO IS TRAINED IN THE MPCA'S BEST MANAGEMENT PRACTICES AND IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B. OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS.] [MINN. R. 7090]
- 11.10 PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:
 - A. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR
 - B. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR
 - C. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST. [MINN. R. 7090]
- 11.11 PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
 - A. DATE AND TIME OF INSPECTIONS; AND
 - B. NAME OF PERSONS CONDUCTING INSPECTIONS; AND
 - C. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
 - D. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
 - E. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ON-SITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND
 - F. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
 - G. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS. [MINN. R. 7090]

12.1 POLLUTION PREVENTION MANAGEMENT MEASURES. [MINN. R. 7090]

- 12.2 PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES MUST PROTECT BUILDING PRODUCTS TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER. [MINN. R. 7090]
- 12.3 PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. [MINN. R. 7090]
- 12.4 PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUID, PAINTS, PAINTS, SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE. [MINN. R. 7090]
- 12.5 PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035. [MINN. R. 7090]
- 12.6 PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041. [MINN. R. 7041]
- 12.7 PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST SURVEY ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE. [MINN. STAT. 115.061]
- 12.8 PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS. [MINN. R. 7090]
- 12.9 PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS RELATED TO THE CONSTRUCTION) AND MUST PROTECT THESE WASTES FROM LEAKING OR SPILLING BY CONTAINMENT FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY. [MINN. R. 7035, MINN. R. 7090]

13.1 PERMIT TERMINATION CONDITIONS. [MINN. R. 7090]

- 13.2 PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF SUBSEQUENT TO ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER. [MINN. R. 7090]
- 13.3 PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED. [MINN. R. 7090]
- 13.4 PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT. [MINN. R. 7090]
- 13.5 PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPs DESIGNED TO DECOMPOSE ON-SITE IN PLACE. [MINN. R. 7090]
- 13.6 FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVER TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADE PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER. [MINN. R. 7090]
- 13.7 FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT. [MINN. R. 7090]

14.1 TEMPORARY SEDIMENT BASINS. [MINN. R. 7090]

- 14.2 WHERE FIVE (5) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN TO PREVENT FLOW OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE AND ENTERS SURFACE WATERS. PERMITTEES MAY CONVERT A TEMPORARY SEDIMENT BASIN TO A PERMANENT BASIN AFTER CONSTRUCTION IS COMPLETE. THE TEMPORARY BASIN IS NO LONGER REQUIRED WHEN PERMANENT COVER HAS REDUCED THE ACREAGE OF DISTURBED SOIL TO LESS THAN FIVE (5) ACRES DRAINING TO A COMMON LOCATION. (PROVISIONS TO MINN. R. 7090)
- 14.3 THE TEMPORARY BASIN MUST PROVIDE LIVE STORAGE FOR A CALCULATED VOLUME OF RUNOFF FROM A TWO (2)-YEAR, 24-HOUR STORM FOR EACH ACRE DRAINING TO THE BASIN OR 1,800 CUBIC FEET OF LIVE STORAGE PER ACRE DRAINING, WHICHEVER IS GREATER. [MINN. R. 7090]
- 14.4 WHERE PERMITTEES HAVE NOT CALCULATED THE TWO (2)-YEAR, 24-HOUR STORM RUNOFF AMOUNT, THE TEMPORARY BASIN MUST PROVIDE 3,800 CUBIC FEET OF LIVE STORAGE PER ACRE OF THE BASIN'S DRAINAGE AREA. [MINN. R. 7090]
- 14.5 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. [MINN. R. 7090]
- 14.6 PERMITTEES MUST DESIGN THE OUTLET STRUCTURE TO WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE DISCHARGE OF POLLUTANTS. PERMITTEES MAY TEMPORARILY SUSPEND THE USE OF A SURFACE WITHDRAWAL MECHANISM DURING FROZEN CONDITIONS. THE BASIN MUST INCLUDE A STABILIZED EMERGENCY OVERFLOW TO PREVENT FAILURE OF POND INTEGRITY. [MINN. R. 7090]
- 14.7 PERMITTEES MUST PROVIDE ENERGY DISSIPATION FOR THE BASIN OUTLET WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER. [MINN. R. 7090]
- 14.8 PERMITTEES MUST LOCATE TEMPORARY BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11. [MINN. R. 7090]
- 14.9 PERMITTEES MUST CONSTRUCT THE TEMPORARY BASIN PRIOR TO DISTURBING 10 OR MORE ACRES OF SOIL DRAINING TO A COMMON LOCATION. [MINN. R. 7090]
- 14.10 WHERE A TEMPORARY SEDIMENT BASIN MEETING THE REQUIREMENTS OF ITEM 14.3 THROUGH 14.9 IS INFEASIBLE, PERMITTEES MUST INSTALL EFFECTIVE SEDIMENT CONTROLS SUCH AS SMALLER SEDIMENT BASINS AND/OR SEDIMENT TRAPS, SILT FENCES, VEGETATIVE EROSION PREVENTION AND SEDIMENT CONTROLS, AND OTHER POLLUTION PREVENTION PRACTICES AT SITE CONDITIONS. IN DETERMINING WHETHER INSTALLING A SEDIMENT BASIN IS INFEASIBLE, PERMITTEES MUST CONSIDER PUBLIC SAFETY AND MAY CONSIDER FACTORS SUCH AS SITE SOILS, SLOPE, AND AVAILABLE AREA ON-SITE. PERMITTEES MUST DOCUMENT THIS DETERMINATION OF INFEASIBILITY IN THE SWPPP. [MINN. R. 7090]

15.1 PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

- 15.2 PERMITTEES MUST DESIGN THE PROJECT SO ALL STORMWATER DISCHARGED FROM THE PROJECT DURING AND AFTER CONSTRUCTION ACTIVITIES DOES NOT CAUSE A VIOLATION OF STATE WATER QUALITY STANDARDS, INCLUDING NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWN-SLOPE PROPERTIES, OR A SIGNIFICANT ADVERSE IMPACT TO WETLANDS CAUSED BY INUNDATION OR DECREASED FLOW. [MINN. R. 7090]
- 15.3 PERMITTEES MUST DESIGN AND CONSTRUCT A PERMANENT STORMWATER TREATMENT SYSTEM TO TREAT THE WATER QUALITY VOLUME OF THE PROJECT'S ULTIMATE DEVELOPMENT REPLACES VEGETATION AND/OR OTHER PERSISTENT SURFACES CREATING A NET INCREASE OF ONE (1) OR MORE ACRES OF

18.1 WET SEDIMENTATION BASIN. [MINN. R. 7090]

18.2 PERMITTEES USING A WET SEDIMENTATION BASIN TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT MUST INCORPORATE THE DESIGN PARAMETERS IN ITEM 18.3 THROUGH 18.10. [MINN. R. 7090]

19.1 REGIONAL WET SEDIMENTATION BASINS. [MINN. R. 7090]

19.2 WHEN THE ENTIRE WATER QUALITY VOLUME CANNOT BE RETAINED ON-SITE, PERMITTEES MAY USE OR CREATE REGIONAL WET SEDIMENTATION BASINS PROVIDED THEY ARE CONSTRUCTED AS NOT A NATURAL WETLAND OR WATER BODY.

20.1 SWPPP AVAILABILITY. [MINN. R. 7090]

20.2 PERMITTEES MUST KEEP THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING NORMAL WORKING HOURS BY PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. [MINN. R. 7090]

21.1 TRAINING REQUIREMENTS. [MINN. R. 7090]

21.2 PERMITTEES MUST ENSURE ALL OF THE FOLLOWING INDIVIDUALS RECEIVE TRAINING AND THE CONTENT AND EXTENT OF THE TRAINING IS COMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THIS PERMIT:

23.1 ADDITIONAL REQUIREMENTS FOR DISCHARGES TO SPECIAL (PROHIBITED, RESTRICTED, OTHER) AND IMPAIRED WATERS. [MINN. R. 7090]

23.2 DISCHARGES TO THE TROUT STREAMS (OTHER SPECIAL WATER) LISTED IN MINN. R. 6264.0050, SUBP. 4 MUST INCORPORATE THE BMPS OUTLINED IN ITEMS 23.9, 23.10, 23.11, AND 23.12. [MINN. R. 6264.0050, SUBP. 4]

24.1 GENERAL PROVISIONS. [MINN. R. 7090]

24.2 IF THE MPCA DETERMINES THAT AN INDIVIDUAL PERMIT WOULD MORE APPROPRIATELY REGULATE THE CONSTRUCTION ACTIVITY, THE MPCA MAY REQUIRE AN INDIVIDUAL PERMIT TO CONTINUE THE CONSTRUCTION ACTIVITY. COVERAGE UNDER THIS GENERAL PERMIT WILL REMAIN IN EFFECT UNTIL THE MPCA ISSUES AN INDIVIDUAL PERMIT. [MINN. R. 7001.0210, SUBP. 6]

DOCUMENTATION OF TRAINED INDIVIDUALS

Table with columns for individual name, title, and company. Includes Adam Ginkel from Plowe Engineering, Inc.

PROJECT NAME

FLAMINGO TERRACE EXPANSION

PROJECT LOCATION

ADDRESS: 17100 MN-65, HAM LAKE, MN

DEVELOPER

TBD

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS

THE PROJECT CONSISTS OF THE CONSTRUCTION OF 16 TRAILER RESIDENCES AND A INFILTRATION BASIN FOR STORMWATER TREATMENT.

PERMANENT STORMWATER MANAGEMENT TREATMENT SYSTEMS PER MPCA RULES, CITY OF HAM LAKE, AND COON CREEK WATERSHED DISTRICT ARE REQUIRED FOR THIS PROJECT.

SITE IMPERVIOUS AREAS

Table with columns: BEFORE CONSTRUCTION, AFTER CONSTRUCTION. Rows: TOTAL SITE AREA, TOTAL ESTIMATED IMPERVIOUS, TOTAL ESTIMATED PERVIOUS.

TOTAL DISTURBED AREA

3.40 ACRES

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS

SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DENOTING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SITE.

RECEIVING WATERS WITHIN ONE MILE

Table with columns: NAME OF WATER BODY, TYPE OF WATER BODY, SPECIAL WATER, IMPAIRED WATER. Rows: COUNTY DITCH 68, INFILTRATION BASIN.

BUFFER TO SURFACE WATER

IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO THE SURFACE WATER PRESERVED?

TEMPORARY SEDIMENTATION BASINS

IF FIVE (5) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS?

INFILTRATION FEASIBILITY

ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 16.14 THROUGH 16.21)?

ADDITIONAL STORMWATER MITIGATION MEASURES

ARE THERE ANY STORMWATER MITIGATION MEASURES PER: ENVIRONMENTAL REVIEW DOCUMENT, ENDANGERED SPECIES REVIEW, ARCHAEOLOGICAL REVIEW, OTHER LOCAL, STATE OR FEDERAL REVIEW?

LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER FACILITIES

THE PERMANENT STORMWATER MANAGEMENT FACILITIES ARE PRIVATELY OWNED AND THE LONG-TERM OPERATIONS AND MAINTENANCE WILL BE PROVIDED BY THE OWNER.

REVEGETATION SPECIFICATIONS

Table with columns: ITEM, MNDOT SPECIFICATION/NOTES. Rows: SOD, SEED, TURF ESTABLISHMENT, TEMPORARY FALL COVER, MULCH, FERTILIZER, WOOD FIBER BLANKET.

* MOW A MINIMUM OF: RESIDENTIAL TURF - ONCE PER 2 WEEKS, COMMERCIAL TURF - ONCE PER 4 WEEKS

QUANTITIES - ESTIMATED QUANTITIES FOR EROSION AND SEDIMENT CONTROL MEASURES

Table with columns: TYPE, QTY, UNIT. Rows: SILT FENCE, RIP-RAP W. GEO-FABRIC, TURF REINFORCEMENT MAT, SEED & MULCH, ROCK CONSTRUCTION ENTRANCE, SOD, EROSION CONTROL BLANKET, INLET PROTECTION.

NARRATIVE - TIMING FOR INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES

- 1. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND SWPPP MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
2.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
2.2. THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION.

LIST OF IMPAIRED WATERS:

NO EPA-APPROVED IMPAIRMENTS WITHIN ONE MILE.

"BEST MANAGEMENT PRACTICES (BMPs)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF EROSION PREVENTION AND SEDIMENT CONTROL, AND WATER QUALITY MANAGEMENT PRACTICES THAT ARE THE MOST EFFECTIVE AND PRACTICABLE MEANS OF TO CONTROL, PREVENT, AND MINIMIZE DEGRADATION OF SURFACE WATER.

"CONSTRUCTION ACTIVITY" MEANS ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATING, THAT RESULT IN A DISTURBANCE OF EQUAL TO OR GREATER THAN ONE ACRE, INCLUDING THE DISTURBANCE OF LESS THAN ONE ACRE OF TOTAL LAND AREA THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE.

"DEWATERING" MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY AND/OR SOLIDIFY A CONSTRUCTION SITE TO ENABLE CONSTRUCTION ACTIVITY.

"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING.

"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS.

"GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER UNDER CONFINED, UNCONFINED, OR PERCHED CONDITIONS.

"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE.

"IMPAIRED IMMEDIATELY" MEANS TAKING AN ACTION TO COMMENCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHEN THE LAND-DISTURBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE.

"NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, TERMINATING, MONITORING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT.

"NATURAL BUFFER" MEANS AN AREA OF UNDISTURBED COVER SURROUNDING SURFACE WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED, NATURAL BUFFER INCLUDES THE VEGETATION, EXPOSED ROCK, OR BARREN GROUND THAT EXISTS PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES.

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT.

"OPERATOR" MEANS THE PERSON (USUALLY THE GENERAL CONTRACTOR), FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY DESIGNATED BY THE OWNER WHO HAS DAY TO DAY OPERATIONAL CONTROL AND/OR THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SWPPP.

"OWNER" MEANS THE PERSON, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY POSSESSING THE TITLE OF THE LAND ON WHICH THE CONSTRUCTION ACTIVITIES WILL OCCUR OR, IF THE CONSTRUCTION ACTIVITY IS FOR A LEASE, EASEMENT, OR MINERAL RIGHTS LICENSE HOLDER.

"PERMANENT COVER" MEANS SURFACE TYPES THAT WILL PREVENT SOIL FAILURE UNDER EROSION CONDITIONS. EXAMPLES INCLUDE: GRAVEL, CONCRETE, PERENNIAL COVER, OR OTHER LANDSCAPED MATERIAL THAT WILL PERMANENTLY ARREST SOIL EROSION.

"PERMITTEES" MEANS THE PERSONS, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY IDENTIFIED AS THE OWNER AND OPERATOR ON THE APPLICATION SUBMITTED TO THE MPCA AND ARE RESPONSIBLE FOR COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT.

"PROJECT" MEANS ALL CONSTRUCTION ACTIVITY PLANNED AND/OR CONDUCTED UNDER A PARTICULAR PERMIT. THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PERMIT APPLICATION, THE SWPPP AND IN THE ASSOCIATED PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS.

"PUBLIC WATERS" MEANS ALL WATER BASINS AND WATERCOURSES DESCRIBED IN MINN. STAT. SECT. 103G.005 SUBP. 15, (MINN. R. 7090)

"SEDIMENT CONTROL" MEANS METHODS EMPLOYED TO PREVENT SUSPENDED SEDIMENT IN STORMWATER FROM LEAVING THE SITE (E.G. SILT FENCES, COMPOST LOGS AND STORM DRAIN INLET PROTECTION).

"STABILIZED" "STABILIZATION" MEANS THE EXPOSED GROUND SURFACE HAS BEEN COVERED BY APPROPRIATE MATERIALS SUCH AS MULCH, STACKED SOIL, RIPRAP, EROSION CONTROL BLANKET, MATS OR OTHER MATERIAL THAT PREVENTS EROSION FROM OCCURRING.

"STORMWATER" MEANS PRECIPITATION RUNOFF, STORMWATER RUNOFF, SNOWMELT RUNOFF, AND ANY OTHER SURFACE RUNOFF AND DRAINAGE.

"STEEP SLOPES" MEANS SLOPES THAT ARE 1:3 (V/H) (33.3 PERCENT) OR STEEPER IN GRADE.

"SURFACE WATER OR WATERS" MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WETLANDS, RESERVOIRS, SPRINGS, RIVERS, DRAINAGE SYSTEMS, WATERWAYS, WATERCOURSES, AND IRRIGATION SYSTEMS WHETHER NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, EXCEPT THAT SURFACE WATERS DO NOT INCLUDE STORMWATER.

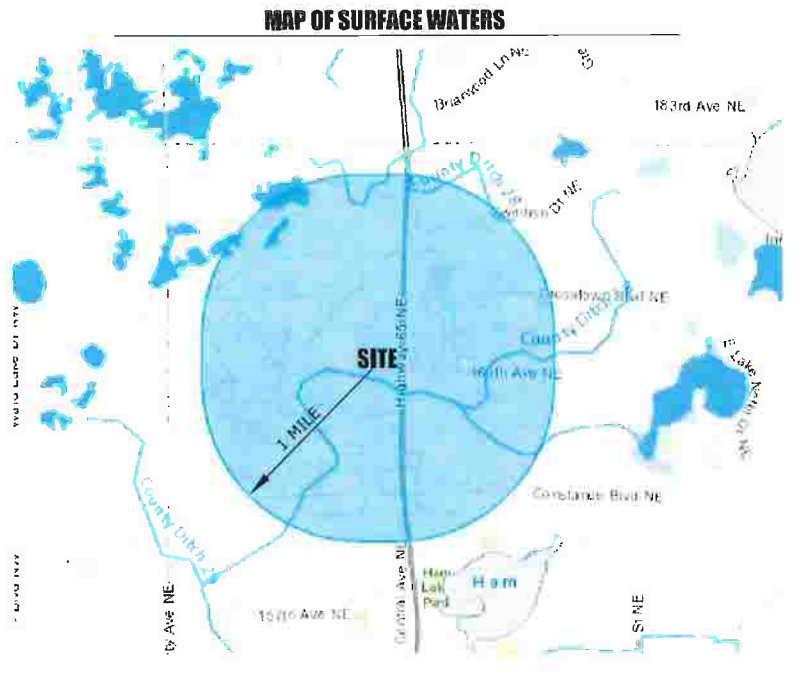
"WATERS OF THE STATE" (AS DEFINED IN MINN. STAT. SECT. 115.01, SUBP. 22) MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WATERCOURSES, WATERWAYS, WELLS, SPRINGS, RESERVOIRS, AQUIFERS, IRRIGATION SYSTEMS, DRAINAGE SYSTEMS AND ALL OTHER BODIES OR ACCUMULATIONS OF WATER, SURFACE OR UNDERGROUND, NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, WHICH ARE CONTAINED WITHIN, FLOW THROUGH, OR BORDER UPON THE STATE OR ANY PORTION THEREOF.

"WATER QUALITY VOLUME" MEANS ONE (1) INCH OF RUNOFF FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT (CALCULATED AS AN INSTANTANEOUS VOLUME).

"WETLANDS" (AS DEFINED IN MINN. R. 7050.0186, SUBP. 1A.B) MEANS THOSE AREAS THAT ARE INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT, AND UNDER NORMAL CIRCUMSTANCES DO SUPPORT, A PREVALENCE OF VEGETATION TYPICALLY ADAPTED FOR LIFE IN SATURATED SOIL CONDITIONS.

"NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, TERMINATING, MONITORING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT, AS AMENDED (33 U.S.C. 1251 ET SEQ. SECTION 1342 AND 40 CFR PARTS 122, 123, 124 AND 450).

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT.



STORM WATER POLLUTION PREVENTION PLAN 17100 MN-65

DRAWN BY: M.Q.A. DESIGN BY: R.L.S.
CHICK BY: M.Q.A. PROJ. NO. 20-1925

ORIGINAL DATE: AUGUST 13, 2020

REVISION DESCRIPTION table with columns: DATE, REVISION DESCRIPTION, UPDATED SWPPP QUANTITIES, REMOVED ONE INLET CONTROL.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
CHARLES W. PLOWE LIC. NO. 18227

FLAMINGO TERRACE EXPANSION
HAM LAKE, MINNESOTA
STORM WATER POLLUTION PREVENTION PLAN

PREPARED FOR: SHERRY SAXON



SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE SUITE 110 LIND LAKES, MN 55014
PHONE: (651) 361-8210 FAX: (651) 361-8701

C6.2

Division of Construction Codes and Licensing
REPORT ON WATER/SEWER SERVICE CONNECTION PLANS

PROJECT: Flamingo Terrace Expansion, 17100 Highway 65 NE, Ham Lake, Anoka County, Minnesota, *Plan No. PB-R2212-0113*

OWNERSHIP: Flamingo Terrace MHC LLC, 17100 Highway 65 NE, Andover, MN 55304
SUBMITTER: Plowe Engineering, 6776 Lakes Drive, Suite 110, Lino Lakes, MN 55014

Plans Dated: August 13, 2020 with revisions through November 18, 2022; signature date December 5, 2022
Initial Date Received: December 20, 2022
Last Date Received: December 20, 2022
Date Approved: February 24, 2023

This review is limited to the provisions of the Minnesota Plumbing Code, Minnesota Rules, Chapter 4714 and assumes the data on which the design is based are correct. Approval is contingent upon meeting the requirements listed below. **A copy of the approved plans and this report must be retained at the project location.**

INSPECTIONS: This project will be inspected by the local municipality. The contractor/installer must obtain all required inspection permits from the Ham Lake Building Official, Mark Jones. All plumbing installations must be tested and inspected in accordance with the requirements of the Minnesota Plumbing Code. No plumbing work may be covered prior to inspection.

REQUIREMENT(S):

1. All plumbing shall be installed in accordance with Chapter 4714. All pipe, fittings, materials, and devices shall be listed or labeled by a third-party listing agency and comply with the applicable standards referenced in the code (see Sections 301.2 and 1701.1).
2. All sanitary drainage piping within the property lines of the premises that is not located in a municipal utility easement where the city of Ham Lake owns and maintains the sewer mains is subject to the Minnesota Plumbing Code. No municipal utility easements appear to be shown on the drawings. Sheet C3 indicates the installation of new 8-inch sanitary sewer sewers sloped at 0.4% slope. This configuration will not meet the minimum slope requirements of Section 718.1 nor the minimum fixture unit loading requirements of Table 717.1. Eight-inch sanitary sewers are required to have a minimum slope of $\frac{1}{16}$ -inch per foot or 0.52% with a minimum loading of 1,500 drainage fixture units at that slope. Each mobile home is assigned 12 drainage fixture units (see Table 702.1). Loadings less than the required minimums for 8-inch sewers in Table 717.1 require approval by the Ham Lake Building Official prior to installation. The building official is not required to approve loadings below the minimums in Table 717.1.

Sheet C4 appears to indicate two new sewers each serving eight and six mobile home sites respectively. These sewers should be 4-inch or 6-inch maximum in size to minimize risk of solids deposition. Four-inch or 6-inch sewers require $\frac{1}{8}$ -inch per foot minimum slope where site conditions preclude $\frac{1}{4}$ -inch per foot (see Section 718.1).

3. Schedule 40 PVC sanitary or storm sewers must meet ASTM D1785, D2665, F891, or F1488 with approved fittings (see Table 701.2). Solvent welded joints must use ASTM F656 purple primer and ASTM D2564 cement. The sewer must be installed by open-trench on a continuous granular bed per Section 314.4.1. ASTM D2241 PVC is not an approved material for building sewers.

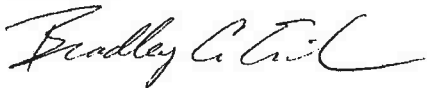
4. Sheet C4 indicates 2-inch PVC water distribution mains. Two-inch PVC pipe must meet ASTM D2241 or ASTM D1785 (see Table 604.1 and Section 605.12). An accessible blue 14 AWG minimum tracer wire suitable for direct bury must be used (see Section 604.10.1).
5. Polyethylene (PE) water services meeting ASTM D2737 must be installed per the manufacturer's instructions (see Table 604.1 and Section 605.6). Joints must be heat fused or use approved insert fittings with stainless steel clamps. An accessible blue 14 AWG minimum tracer wire suitable for direct bury must be provided (see Section 604.10.1).
6. Fittings connecting plastic pipe to other types of plastic water piping must use approved transition fittings designed for the specific transition (see Section 605.16.2). These fittings must be installed per the manufacturer's instructions.
7. Testing shall be in accordance with Sections 609.4 and 712.0.
8. The water distribution system shall be disinfected per Section 609.9.
9. The licensing authority may require additional plans, information, and fee. Changes to the plumbing system may result. Any significant plumbing changes must be approved by this office prior to installation.

NOTE(S):

1. The scope of this project consists of the addition of 16 new mobile home sites at an existing facility. The plumbing installation includes water and sewer service connections and mains to serve the new sites and a site storm drainage system.
2. This facility will be served by existing water supply wells and an individual sewage disposal system.
3. The plans do not indicate potable water or sanitary sewer service connections to the storm shelter.
4. All sanitary mains and storm sewers are indicated to be schedule 40 PVC.

Authorization may be withdrawn if installation does not begin within one year. Additional requirements may result from changed conditions or additional information.

Approved:



Bradley C. Erickson
Public Health Engineer
Plumbing Plan Review and Inspections Unit
<http://www.doli.state.mn.us/business/get-licenses-and-permits/plumbing-plan-review>
bradley.erickson@state.mn.us
651/284-5880

cc: Mark Jones, Building Official
Plowe Engineering Inc.
Flamingo Terrace MHC LLC
File

Division of Environmental Health
PLAN REVIEW APPROVAL

Plans and specifications on watermain: Flamingo Terrace Expansion, Ham Lake, Anoka County,
Plan No. 210399, PWSID 1020002

OWNERSHIP: Flamingo Terrace Mobile Home Park - Continental Community,
17100 Highway 65 Northeast, Ham Lake, Minnesota 55304

SUBMITTER(S): Daniel Van Voorhis, 2015 Spring Road, Suite 600, Oak Brook, Illinois 60523

Plowe Engineering, c/o Mr. Mohammed Abughazleh, 6776 Lake Drive, Suite 110,
Lino Lakes, Minnesota 55014

Date Received: March 10, 2021

Date Reviewed: March 19, 2021

APPROVAL: Based on the information provided to the Minnesota Department of Health (MDH) for review, this project is approved, contingent upon the project meeting all of the requirements listed below. Construction must be according to the plans and specifications provided to MDH.

LIMITED SCOPE: This review is limited to the project design's effect on the safety and sanitary quality of the drinking water and assumes the data on which the design is based are correct. Examination is based on MDH rules and applicable standards. This report applies to this project only, and not to any additional parts of the water system. The project designer is responsible for the project's features and equipment effectiveness.

ALTERATIONS: MDH must approve any changes that deviate from the approved plans before any changes are made. Otherwise, the construction will be considered installed without proper approval.

INSPECTIONS: It is the responsibility of the owner or owner's agent to contact MDH for any inspections that are listed in the requirements of this report. **The project owner must retain the plans at the project location.**

This project consists of the installation of approximately 1,050 lineal feet of 2-inch diameter C901 HPDE watermain for the addition of 21 new lots to the site. The new watermain will also create loops on existing dead ends to improve flow and water quality.

Requirement(s):

1. With the current amount of storage, there is sufficient system capacity to provide water to the additional lots.

2. It is recommended that the system consider adding an additional well for more firm capacity.
3. A minimum vertical separation of 18 inches is required at all watermain and sewer main (house, storm, sanitary and force) crossings. One full length of water pipe shall be centered at the point of crossing so both joints will be equidistant and as far from the sewer as possible.
4. All tees, bends and hydrants should be provided with reaction blocking, tie rods or joints designed to prevent movement.
5. The watermain should be pressure tested at 150 psi for at least two hours with not more than a 2 psi pressure drop during the last hour of the test.
6. Disinfection of the watermain shall be performed according to AWWA Standard C651. However, if the tablet or continuous feed methods are used, the completed watermain shall be disinfected with at least 50 ppm available chlorine rather than the 25 ppm dose specified in AWWA Standard C651.
7. When temporary watermains and water services are used, the following requirements must be met:
 - a. Piping used for temporary watermain shall meet the requirements of MDH. The temporary watermain shall be disinfected in accordance with AWWA Standard C651, with the exception that a minimum chlorine residual of 50 ppm shall be used. The watermain and service lines must be tested for bacteriological quality prior to use in accordance with AWWA Standard C651.
 - b. The temporary water service piping shall be approved by the local administrative authority. MDH requires that the temporary water service line meet the National Sanitation Foundation (NSF) Standard 61. Otherwise, the service line material must meet the requirements of the Plumbing Code, Minnesota Rules, chapter 4714, and must be approved by the manufacturer for above ground use. The temporary water service lines must be disinfected in accordance with either AWWA Standard C651 (with the exception listed above) or the Minnesota Plumbing Code, Minnesota Rules, part 4714.609.9. The watermain and service lines must be tested for bacteriological quality prior to use in accordance with AWWA Standard C651.

Note(s):

1. Plans and specifications must be submitted to the Department of Labor and Industry for review of the sewer piping and water service lines to the requirements of the Minnesota Plumbing Code.

Flamingo Terrace Expansion
PWSID 1020002
Watermain
Plan No. 210399
Page 3
March 19, 2021

2. It is understood that the system is exploring options to replace their storage tank. It is recommended that any public water supply with more than 150 living units provide elevated storage instead of hydropneumatic tanks.
3. With the current wells, any tank replacement should provide at least 650 gallons of actual storage unless other calculations are provided to justify a different size of available water storage.

The approval is valid for two years from the date of this letter. If project construction has not begun within the two-year period, plans and specifications must be resubmitted to MDH for approval before any construction takes place. While the project has been contingently approved, changed conditions or additional information may result in additional requirements.

If you have any questions regarding information contained in this report, please contact me at 651-201-4684 or david.weum@state.mn.us.

Approved:



David Weum, P.E.
Public Health Engineer
Section of Drinking Water Protection
P.O. Box 64975
St. Paul, Minnesota 55164-0975

DW:bcl

cc: Daniel Van Voorhis
Mr. Mohammed Abughazleh, Plowe Engineering

Permit for the Construction and Operation of a Disposal System

Sanitary Sewer Collection System	Flamingo Terrace Collection System (AI#245588)
Wastewater treatment plant	Flamingo Terrace Mobile Home Park
Project title	Flamingo Terrace Expansion
Project proposer	Flamingo Terrace Expansion MHC, LLC
Design engineer	Plowe Engineering, Inc.
Sanitary Sewer Extension Permit number	81779
Issuance date	March 24, 2021

The state of Minnesota, on behalf of its citizens through the Minnesota Pollution Control Agency (MPCA), authorizes the Permittee to construct and operate a sanitary sewer disposal system at the facilities named above in accordance with the requirements of this permit.

The goal of this permit is to protect water quality in accordance with the U.S. Clean Water Act, Minnesota statues and rules, and federal laws and regulations.

This permit is effective on the issuance date identified above.

Questions on this permit? For questions specific to this project contact the MPCA compliance staff assigned to the wastewater treatment facility. Facility specific staff assignments can be found at <http://www.pca.state.mn.us/index.php/view-document.html?gid=19145>.

Project description

Project component	Number of components	Unit type	Design flow per unit (gallons per day)	Total flow (gallons per day)
Homes	21	homes	200	4,200

Special conditions

- None

General conditions

The following General Conditions are applicable for all projects that require a Sanitary Sewer Extension Permit issued by the Minnesota Pollution Control Agency (MPCA). These General Conditions, as well as any Special Conditions listed above, must be followed.

1. This permit authorizes the Permittee to perform the activities described herein under the conditions set forth. In issuing this permit, the State/MPCA assumes no responsibility for any damage to permits, property or the environment caused by the activities of the Permittee in the conduct of its actions, including those activities authorized, directed or undertaken pursuant to this permit. To the extent the State/MPCA may have any liability

for the activities of its employees that liability is explicitly limited to that provided in the Torts Claims Act, Minn. Stat. § 3.736.

2. In addition to this permit, the Permittee may be required to obtain a National Pollutant Discharge Elimination System (NPDES) Permit to discharge stormwater associated with construction activity. Construction activity includes clearing, grading, and excavation. Additional information can be found at <http://www.pca.state.mn.us/water/stormwater/stormwater-c.html>.
3. If an effluent will result from the project, the Contractor shall submit to the MPCA plans, for approval, to provide for the following:
 - a. Water from dewatering operations including effluents from construction activities shall only be discharged when the effluent complies with the applicable water quality and effluent standards. Dewatering shall be performed using well points when feasible and practical. All other dewatering shall be performed so as not to result in increased turbidity in the receiving water. This may require the use of desilting ponds to reduce suspended solids. When the MPCA requires, permits must be obtained.
 - b. A Disposal System Permit shall be obtained by the Contractor from the MPCA prior to any hydraulic dredging, tunneling, or other activity including an effluent which may contain potential pollutants.
4. This permit shall not release the Permittee from any liability or obligation imposed by Minnesota or Federal statutes or local ordinances and shall remain in force subject to all conditions and limitations now or hereafter imposed by law. The permit shall be permissive only and shall not be construed as stopping or limiting any claims against the Permittee for damage or injury to persons or property, or any waters of the State resulting from any acts, operations or omissions of the Permittee, its agents, contractors or assigns for damages to State property, or for any violation of the terms or conditions of this permit.
5. No major alterations or additions to the disposal system shall be made without the written consent of the MPCA.
6. The use of the disposal system shall be limited to the treatment and/or disposal of the sewage, industrial waste, other wastes or substances described in the plans and/or permit application and associated material filed with the MPCA. The MPCA may modify, suspend, or revoke in whole or in part, this permit by taking direct enforcement action, for any just cause including failure: (a) to comply with the terms stated herein; or (b) to comply with MPCA water quality regulations and standards presently in force. Nothing herein shall prohibit the MPCA from exercising its emergency powers.
7. The Permittee acknowledges that nothing contained herein shall prevent the future adoption by the MPCA or its predecessors of any pollution control regulations, standards, orders or statutes more stringent than those now in existence or prevent the enforcement and application of such regulations, standards, orders or statutes to the Permittee.
8. The MPCA, its officers, employees and agency review and comment upon engineering reports and construction plans and specifications solely for the limited purpose of determining whether such report, plans and specifications will enable the facilities to reasonably comply with the regulations and criteria of the MPCA.
9. This permit has not been reviewed by the U.S. Environmental Protection Agency and is not issued pursuant to Section 402 of the Federal Water Pollution Control Act Amendments of 1972.
10. The review of plans and specifications and permit applications is made in accordance with Minn. Stat. § 115.07. Approval of plans and permits is based upon the assumption that the information provided by the applicant is correct and that all necessary legal requirements have been or will be satisfied.

Permit applications are examined with regard to the design features that apply to the operation and maintenance of, the degree of treatment to be provided, the effectiveness and reliability of the system, and compliance of the existing treatment and disposal system. The basis for design review is the most current editions of the following:

- Recommended Standards for Wastewater Facilities, Great Lakes-Upper Mississippi River Board of State and Provincial Public Health and Environmental Managers.

- Standard Utility Specifications, City Engineers Association of Minnesota.
 - Standard Specifications for Construction, Minnesota Department of Transportation.
 - Other accepted engineering references for sewer design and construction.
11. Permit applications are recommended for approval on the basis that the system is to collect only domestic sewage and such industrial or other waste as may have been provided for in the design. Sump pumps, foundation drains, or footing drains to collect groundwater and roof drains or other surface water conduits should not be connected to the sanitary sewer system.
 12. Adequate field supervision and inspection by a qualified representative of the owner should be provided at all times during construction to assure that the project is constructed in compliance with the approved plans and specifications.
 13. The MPCA assumes no responsibility for the integrity of structures or physical features, or for the reliability, durability or efficiency of specific items of proprietary equipment or material. All applicable federal, state and local laws, regulations or ordinances must be followed in the design, location and construction of proposed sewer systems or treatment works. The MPCA reserves the right to withdraw its approval of this permit if construction is not undertaken within a reasonable period after issuance.
 14. The Permittee shall comply with all rules, regulations, and requirements of the Minnesota Environmental Quality Board prior to construction of the proposed project. This permit is not effective until the Permittee completes all applicable environmental review (Environmental Assessment Worksheet or Environmental Impact Statement) which may be required for the project.

a) Permitted Uses

- Single Family Dwellings, except *Manufacture Mobile Homes*
- Structures ancillary to the dwelling – including Non-Commercial
 - Radio Towers less than forty-five feet (45') in height.
- Public Parks
- Schools
- Full-size (9 hole +) golf courses
- Publicly Owned Buildings
- Underground Utilities
- Above Ground Transmission Lines and poles existing prior to the *Enactment Date*
- Private Dog Kennels meeting requirements of Article 5-150
- Home Occupations under Article 9-350
- Accessory Buildings under Article 9-370
- Licensed Day Care Facilities in Dwellings Occupied as Residences
- Beauty Shops having no employees and one station, and possessing Home Occupation Permits issued under 9-350
- Dog grooming businesses having no employees, and possessing Home Occupation Permits issued under Article 9-350

b) Conditional Uses

- Public Utility Structures
- Firewood Sales
- Boarding Houses or Duplexes capable of meeting the provisions of Article 10-300 (Livability) as to each housekeeping unit

c) Temporary Conditional Uses

- Therapeutic Massage Facilities
- Raising Chickens
- Raising of Pigeons under Article 9-330.9

9-210.2 Residential – Manufactured Mobile Home (R-M) R-M districts are intended for privately owned residential communities consisting of *manufactured mobile homes*, each of which is intended for occupancy by a single housekeeping unit, which communities are commonly known as “mobile home parks”.

a) Required Features

- Streets Paved and curbed according to same standards as R-1 subdivisions
- Central Water System (No individual private Wells)
- Central Sewer System, Privately owned and maintained
- Density of not less than one-half acre per dwelling unit
- Minimum size of *Manufactured Home* to be 600 square feet
- Structure Setbacks according to same standards as R-1 Subdivisions
- ~~○~~ Private Park on suitable soils, of a size equal to at least 10% of total development area
- Paved Driveways to all dwelling units
- Concrete sidewalk along all curbs, to City specifications
- Landscaping acceptable to City
- Full impoundment of stormwater runoff
- ~~○~~ Concrete Block Storm Shelter to State Specifications
- No on-street parking
- Underground utilities
- Provision of Screened and fenced Tenant outside storage area of a size equal to or greater than 150 square feet per dwelling unit

b) Permitted Uses

- Maintenance Buildings (to be used for mobile home park equipment)
- *Manufactured Homes*
- Underground Utilities
- A single office structure for park management, of not more than 1500 square feet
- Storm Shelter
- Park
- Outside Tenant Storage Area

c) Conditional Uses and Temporary Conditional Uses

- None

9-210.3 Rural Single Family Residential (R-A) R-A districts are intended for residential dwellings occupied by a single housekeeping unit, located in unplatted areas.

9-210.31 Permitted Uses: The following shall be permitted uses in the R-A Districts:



NOTICE OF PERMIT APPLICATION STATUS

Project: Flamingo Terrace Expansion

Date: January 9, 2023

Applicant: Sherry Saxon
2015 Spring Rd Suite 600
Oak Brook, IL 60523

Permit Application#: 20-172

Purpose: Expansion of mobile home park with 21 new mobile homes and adding an infiltration basin

Location: 17100 Highway 65, Ham Lake

At their meeting on April 12, 2021 the Board of Managers of the Coon Creek Watershed District **conditionally approved** the above referenced project with 3 conditions and 2 stipulations. **This is NOT a permit.**

Since your last submittal on 12/29/2022, the following 1 condition remains which must be addressed before permit issuance (please see note below on how to address conditions).

1. Receipt of escrows.

Please note that there are also 2 stipulations.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rule 5.1. If you have any questions, please call 763-755-0975.

Sincerely,

A handwritten signature in black ink that reads "Erin Edison". The signature is written in a cursive, flowing style.

Erin Edison
Watershed Development Coordinator

cc: File 20-172
Eileen, Weigel
Danielle Tourtillott, Stantec
Tom Collins, City of Ham Lake

Note: Please respond to each of these items in writing when resubmitting the revised plans to the District. Resubmittals can be sent via email to permitsubmittals@cooncreekwd.org. **Please submit written responses below the**

original typed comments, using extra sheets as necessary, addressing comments from the District. If you have any questions, feel free to contact Erin Edison at (763) 755-0975. Pursuant to Coon Creek rule 7.3 deficiencies must be addressed and resubmitted within 60 days. Failure to do so shall be deemed a withdrawal of the permit application.

To: Erin Edison, Tim Kelly From: Brady Schmitz, Stantec Consulting Services Inc.
Coon Creek Watershed Copy: Eileen Weigel, P.E., Stantec Consulting
District Services Inc.
PAN: 20-172 Date: January 6, 2022

Reference: Flamingo Terrace Update

Exhibits:

1. Construction Plans (10 sheets); by Plowe, dated 12/29/2022, received 12/29/2022.

In Response to the Coon Creek Watershed District "Notice of Permit Application Status" dated December 9, 2022:

1. Receipt of escrows. **NO**

Findings: Updated plans were received which included changes from the approved plans per city comments. Changes identified from the approved plans include:

- Minor changes to grading around FES A
- Minor changes to storm sewer
- Extension of rip rap at pipe outlets

These changes have been reviewed and all requirements are still met.

Recommendation: Approval with 1 Condition and 2 Stipulations:

Conditions:

1. Receipt of escrows.

Stipulations:

1. Submittal of as-builts for the following stormwater management practices, including volumes and critical elevations:

Stormwater Treatment Practices	Number
Infiltration basins	1
Sediment Forebay	2
Outlet Control Structure	1

2. Completion of a post construction infiltration test on the infiltration basin by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.



**MINNESOTA DEPARTMENT OF TRANSPORTATION
DRAINAGE PERMIT APPLICATION**

Document Management System # _____
 District M2 Permit # D-21-93763
 C.S. 0208 T.H. 65
 R.P. _____
 (THIS SECTION FOR MnDOT OFFICE USE ONLY.)

**ATTACH REQUIRED TECHNICAL SUBMITTALS (SEE INSTRUCTIONS) TO COMPLETED FORM AND
SUBMIT TO DISTRICT OFFICE OF MINNESOTA DEPARTMENT OF TRANSPORTATION**

APPLICANT PLOWE ENGINEERING, INC.	TELEPHONE 651 361 8233	ADDRESS (Street, City, State, Zip) 6776 LAKE DR NE LINO LAKES MN 55014
PROPERTY OWNER CONTINENTAL PROPERTIES MHC, LL	TELEPHONE 6306458116	ADDRESS (Street, City, State, Zip) 2015 Spring Road, Suite 600 Oak Brook, IL 60523
PARTY PERFORMING WORK to be determined	TELEPHONE 6306458116	ADDRESS (Street, City, State, Zip) 2015 Spring Road Suite 600 Oak Brook IL 60523
LOCATION OF PROPOSED WORK (City/Township) (County) (Distance) (N-S-E-W) SPECIFIC ROAD INTERSECTION OR LANDMARK		
Highway 65 in Ham Lake Anoka 0 Miles of 171st ave ne and HWY 65		

WILL THIS BE WITHIN TRIBAL LANDS? NO IF YES, WHICH ONE?

TYPE OF DRAINAGE (check all that apply)
Change-RW

AREA TO BE DRAINED 3.04 AC	PIPE SIZE AND TYPE 12" DIA	CASING SIZE AND TYPE
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LEGAL DESCRIPTION OF PROPERTY (Attach extra pages as needed)
PART OF NW 1/4 SEC 8 T 32

PERMITS FROM OTHER AFFECTED REGULATORY AGENCIES THAT THE APPLICANT WAS REQUIRED TO OBTAIN
Coon Creek Watershed permit pending

WORK TO START ON OR AFTER 4/1/2021 **WORK TO BE COMPLETED BY** 9/1/2021

COMMENTS
Proposed storm water pond will collect runoff to allow a controlled discharge rate to MNDOT ROW not to exceed existing rates.

APPLICANT'S ACCEPTANCE, WAIVER AND INDEMNIFICATION

The undersigned applicant hereby agrees to comply with applicable statutes, rules and all the terms and conditions of this permit to the satisfaction of the Minnesota Department of Transportation. The applicant understands and agrees that no work in connection with this application will be started until the application has been approved and the permit issued.

The applicant is aware of circumstances, dangers or hazards that may arise while working on a highway right of way that could result in injury, loss, damage or death, and the applicant assumes the risk of such circumstances, dangers and hazards, whether reasonably foreseeable or not.

The applicant also understands that this permit may also be subject to the approval of local road authorities having joint supervision over said street or highway, and may be subject to applicant's compliance with the rules and regulations of the Minnesota Environmental Quality Board and/or any other affected governmental agencies.

The undersigned applicant expressly agrees that except for negligent acts of the State, its agents and employees, the applicant or his/her agents or contractor shall assume all liability for, and save the State, its agents and employees, harmless from any and all claims for damages, actions or causes of action arising out of the work to be done in connection with this application and permit.

NAME AND TITLE CHUCK PLOWE ENGINEERING DEPT SUPERVISOR	EMAIL ADDRESS CHUCK@PLOWE.COM
DATE 12/04/2020	SIGNATURE

DO NOT WRITE BELOW THIS POINT

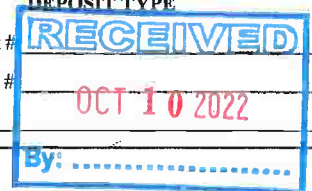
AUTHORIZATION OF PERMIT

In consideration of the applicant's agreement to comply in all respects with the applicable laws and the conditions of the Commissioner of Transportation pertaining to this permit, permission is hereby granted for the work to be performed as described in the above application, said work to be performed in accordance with the following special provisions:

SEE ATTACHED STANDARD CONDITIONS AND SPECIAL PROVISIONS

PERMIT NOT VALID UNLESS BEARING AUTHORIZED MnDOT SIGNATURE AND PERMIT NUMBER

8/1/23	APPROVED By E. Buck Craig at 4:30 pm, Jul 01, 2021	
DATE ALL WORK TO BE COMPLETED BY	AUTHORIZED MnDOT SIGNATURE	DATE OF AUTHORIZED SIGNATURE
DISTRIBUTION	DEPOSIT REQUIREMENTS	DEPOSIT TYPE
Original to Area Maintenance Engineer	No Deposit Required _____	Cashier's Check #
Applicant	Deposit Required in the Amount of \$ _____	Certified Check #
Subarea Supervisor	Date Deposit Received _____	Money Order #



Roadway Regulations Supervisor	<i>Deposit to be returned upon satisfactory completion of all work</i>	Bond # _____
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DATE WORK COMPLETED	<i>(The date when the work is completed must be reported to the MnDOT District Permits Office)</i>
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THIS PERMIT IS SUBJECT TO THE FOLLOWING CONDITIONS:

The installation authorized in this permit will be inspected by Phil Flater, 651-234-7910, MN/DOT Roadway Regulation Inspector. The applicant or its contractor will notify MN/DOT's inspector at least three days prior to starting the installation. Any questions the applicant may have pertaining to MN/DOT's storm water facilities shall be presented at this time. MN/DOT's inspector will approve all highway materials prior to placement, and the total installation must meet with his/her satisfaction.

Attached is a drainage map that satisfies the requirements for MN/DOT storm water utility locates per Minnesota Statutes 216D and Minnesota Rules 7560.0250. By acceptance of a permit from MN/DOT, the applicant agrees that it, and all of its agents or contractors, shall use MN/DOT's drainage map to identify the location of MN/DOT drainage facilities as satisfaction of the requirements of Minnesota Statutes Ch. 216D and Minnesota Rules 7650.0250 with respect to MN/DOT's storm water drainage facilities.

This permit authorizes the applicant to change the drainage in TH65 R/W in the city of Ham Lake as shown on applicant's revised plan sheet(s).

Any lane closures shall be approved by this office at 651-234-7910, 3 days prior to the lane closure. The hours of the lane closure shall be determined by this office.

The applicant shall provide in-house inspection at all times while working on trunk highway right of way.

The applicant shall furnish, install and maintain all required traffic control devices according to the Minnesota Field Manual on Temporary Traffic Control Zone Layouts (see web page @ www.dot.state.mn.us/trafficeng/), while performing the construction authorized by this permit. **Due to the Twin City rush hour restrictions, no work involving interference with or causing a distraction to traffic will be allowed from 6:00 AM to 9:00 AM, or from 3:00 PM to 6:00 PM, unless authorized by the MN/DOT Permit Office at 651-234-7919.**

If the temporary traffic control zone is to remain in one place for more than 3 days or involves a detour, road closure or a situation where the typical layouts do not apply, the applicant shall prepare a specific Traffic Control Plan for approval by Mn/DOT prior to start of any construction.

Temporary lane restrictions will be permitted as detailed at the following link: <http://www.dot.state.mn.us/metro/trafficeng/laneclosure/index.html>

All persons while performing authorized work on Mn/DOT Right of Way shall be required to wear a Mn/DOT approved High Visibility Safety Vest and Soft Cap/Hard Hat. Any authorized night work requires all personnel to wear a Mn/DOT approved full night safety suit (pants and jacket).