



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, JANUARY 23, 2023

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: January 9, 2023

PUBLIC HEARINGS: None

NEW BUSINESS:

1. Brett Slepica Construction, Inc., on behalf of Northland Mfg. Inc., requesting Commercial Site Plan Approval to construct an awning and canopies at 17808 Central Avenue NE.

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, JANUARY 9, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, January 9, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Kyle Lejonvarn, Dave Ringler, Scott Heaton, Jonathan Fisher and Erin Dixon

MEMBERS ABSENT: Commissioner Jeff Entsminger

OTHERS PRESENT: City Attorney Mark Berglund, City Engineer Dave Krugler, Building and Zoning Official Mark Jones and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Lejonvarn, seconded by Dixon, to approve the minutes of the November 14, 2022 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING:

Jeffrey Stalberger, Crosstown Development LLC, requesting Preliminary Plat and Final Plat Approval for the development of Crosstown Rolling Acres Fourth Addition (3 outlots) in Section 6.

Mr. Jeff Stalberger was present. Mr. Stalberger stated this plat is to tie up a loose end remaining from the Crosstown Rolling Acres Third Addition development. Mr. Stalberger stated Outlot A of Crosstown Rolling Acres Third Addition was created when the intersection of 173rd Avenue NE and Crosstown Boulevard NE was realigned. Mr. Stalberger stated now that road construction and right-of-way vacation for 173rd Avenue NE will be completed soon, Outlot A is being divided into three outlots; these outlots will be deeded to the landowners of the parcels to the south after the plat is recorded with Anoka County. Mr. Stalberger stated new paved access onto the street or highway will be done for each of the benefitting property owners. Engineer Krugler stated Coon Creek Watershed approval is not required and there are no FEMA A limits for this plat. Engineer Krugler stated the Anoka County Highway Department (ACHD) letter dated November

16, 2022 provides comment on right of way and right of access requirements for Crosstown Boulevard NE and 173rd Avenue NE and direction on what activities must be reviewed by the ACHD Engineer prior to commencement. Engineer Krugler stated the developer will need to pay a \$200 drainage fund contribution and \$2,500 parkland dedication fee per lot. Engineer Krugler stated because the outlots are being combined with adjacent parcels, the outlots do not have to meet the livability standards of 10-300 of the City Code. Engineer Krugler stated approval of the plat should be made contingent on combining the outlots with the parcels to the south. Commissioner Heaton completed the inspection; a copy which is on file. Commissioner Heaton stated the area is a small open area currently covered in snow. Commissioner Lejonvarn stated he did not feel Mr. Stalberger should have to pay parkland dedication fees as the lots are not buildable and Mr. Stalberger realigned the intersection to make it safer. Commissioner Fisher stated the size of Outlot A isn't even half an acre; it doesn't seem right to charge a parkland dedication fee for such small lots. Chair Pogalz stated he didn't think parkland dedication fees should be charged for the reasons already mentioned and because no infrastructure is needed.

Chair Pogalz opened the public hearing at 6:06 p.m. and asked for public comment; with there being none, he closed the public hearing at 6:07 p.m.

Motion by Heaton, seconded by Fisher, to recommend approval of the request of Jeffrey Stalberger, for Preliminary and Final Plat approval of Crosstown Rolling Acres Fourth Addition, 3 outlots located in Section 6 (PID# 06-32-23-34-0029), subject to meeting the requirements of the City Engineer with consideration being given to waiving the parkland dedication fee for each lot, obtaining approval from Anoka County Property Records & Taxation Division to combine the outlots with the adjacent parcels to the south and meeting all City, State and County requirements. All present in favor, motion carried. *This application will be placed on the City Council's January 17, 2023 agenda.*

Chair Pogalz asked the Commissioners and attendees if there was any objection to reviewing the sketch plan for Toby's Trails before conducting the public hearing for amendments to Article 9; with there being none, the order of the agenda items was adjusted.

NEW BUSINESS:

Richard and Diane Sylvester requesting approval for an amended Sketch Plan for Toby's Trails (3 single family residential lots) located in Section 15.

Mr. & Mrs. Sylvester were present. Mrs. Sylvester stated they are creating this plat to provide lots for their daughters to construct homes on. Mrs. Sylvester stated they have reduced the number of lots from seven to three lots to expedite the platting process. Mrs. Sylvester stated she has concerns about the verbiage or condition noted regarding Naples Street NE needing to be upgraded with any future subdivision. Chair Pogalz and Engineer Krugler stated the current plat does not require an upgrade to Naples Street NE; upgrading Naples Street NE could be a requirement in the future if Lot 1 is subdivided. Commissioner Lejonvarn stated the condition is not verbiage, it is a condition requiring compliance with City Code. Attorney Berglund stated if Lot 1 is subdivided in the future,

City Code states lots must have access to a paved public road; lots created by the subdivision of Lot 1 in the future will likely access Naples Street NE. Attorney Berglund stated the condition is not just verbiage; further subdivision of Lot 1 will need to comply with City Code. Commissioner Heaton asked why the condition of upgrading Naples Street NE with any future subdivision needed to be in the motion. Attorney Berglund stated the condition could be reworded to state any further subdivision of Lot 1 will need to comply with City Code. Engineer Krugler stated the condition was written like it was to inform and make the Sylvester family aware, that if the land is subdivided again in the future, upgrading Naples Street NE will be a condition for plat approval to ensure the development complies with City Code. Mrs. Sylvester stated she did not realize parkland dedication fees would be assessed to all lots; she felt the lot with the existing house should be exempt. Chair Pogalz stated he agreed with her but would discuss parkland dedication fees with the commissioners. Commissioner Lejonvarn stated parkland dedication fees are to be paid for all lots in the development; fees have been charged on all lots in developments in the past. Commissioner Fisher stated he felt charging parkland dedication fees on the lot with the existing lot was unfair. Building and Zoning Clerk Bohr stated parkland dedication fees have been charged on all lots in subdivisions where there has been an existing home citing recent plats of Magers Meadows and Radisson Sunset Estates as examples. **Motion by Pogalz, seconded by Lejonvarn, to recommend approval of the Toby's Trails Sketch Plan presented by Richard and Diane Sylvester for a 3-lot single family residential plat located in Section 15 subject to, accepting monies in lieu of parkland, completing a compliance inspection on the existing septic system on Lot 1, receiving approval from the City Council to allow the existing 3,200 square foot accessory building to remain on the property, obtaining approval from the Anoka County Highway Department for (2) driveway accesses onto Constance Boulevard NE, obtaining Coon Creek Watershed approval, following the requirements of City Code for any future subdivision of Lot 1, meeting the requirements of the City Engineer and meeting all City, State and County requirements.**

Commissioner Fisher questioned if the condition of receiving approval from the City Council to allow the existing 3,200 square foot accessory building to remain on the property was still necessary since Lot 1 is now larger. Building Official Jones stated the accessory building size complies with City Code now that Lot 1 is over 20 acres.

Chair Pogalz amended the motion, which was seconded by Heaton, to recommend approval of the Toby's Trails Sketch Plan presented by Richard and Diane Sylvester for a 3-lot single family residential plat located in Section 15 subject to, accepting monies in lieu of parkland, completing a compliance inspection on the existing septic system on Lot 1, obtaining approval from the Anoka County Highway Department for (2) driveway accesses onto Constance Boulevard NE, obtaining Coon Creek Watershed approval, following the requirements of City Code for any future subdivision of Lot 1, meeting the requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. *This item will be placed on the January 17, 2023 City Council Agenda.*

PUBLIC HEARING:

Consideration of Amendments to Article 9 of the Ham Lake City Code

Chair Pogalz asked the Commissioners for comment on the changes. Commissioner Fisher stated wording proposed in 9-350.1.g of *by single axel vehicles* needs to be modified; it may be better stated as *by single rear axle vehicles*. Commissioner Fisher questioned what was meant by *limited to no more than one vehicle per day*; is the limit in relation to business deliveries only; homeowners may have additional personal deliveries. Attorney Berglund stated the intent is to state no more than one delivery per day by a double rear axle vehicle. Chair Pogalz asked Building and Zoning Official Jones for comment on the pickup and deliveries changes for Home and Special Home Occupation Permits. Building and Zoning Official Jones and Attorney Berglund stated the changes related to pickups and deliveries are intended to eliminate the conflict that existed between Home Occupation and Special Home Occupation permits.

Chair Pogalz opened the public hearing at 6.39 p.m. and asked for public comment; with there being none, he closed the public hearing at 6:39 p.m.

Motion by Heaton, seconded by Fisher, to recommend approval of the following amendments to Article 9 of the Ham Lake City Code as proposed with modification to recommended amendments to criteria under Home Occupation Permits related to pickups and deliveries as noted below.

-Non-substantive text formatting changes throughout Article 9

-Amending permitted Conditional Uses in Commercial Development Districts I (CD-1) to include Event Center/Convention Center in Article 9-220.2

-Amending permitted Conditional Uses in Commercial Development Districts II (CD-2) to include Construction Service Contractors in Article 9-220.3

-Amending permitted Conditional Uses in Commercial Development Districts III (CD-3) to include cemeteries owned by a church and located on the same or adjacent parcel upon which the church is located, provided said parcel or parcels are under common ownership by the church in Article 9-220.4

-Rewording the language identifying Radio Transmission Towers as permitted uses in the Government Facilities (GF) District in Article 9-230

-Amending criteria under Home Occupation Permits by adding Pickups and Deliveries in Article 9-350.1 per the following:

9-350 Home Occupation Permits

...

9-350.1 Criteria The following criteria must be observed for any usage to qualify for a Home Occupation Permit.

...

g) Pickups and Deliveries Pickups and deliveries are allowed by single rear axle vehicles. Notwithstanding the foregoing, deliveries by vehicles possessing more than a single rear axle shall be limited to one such vehicle per day without prior City approval. Semi-trucks are strictly prohibited.

-Amending Special Home Occupation Permits relating to customer traffic, pick-ups and deliveries in Article 9-350.3

-Amending usage under Accessory Buildings and Farm Buildings by requiring City Council approval for business-related uses in Article 9-370.

All present in favor, motion carried. *This item will be placed on the January 10, 2023 Special City Council Agenda.*

NEW BUSINESS: None

COMMISSION BUSINESS:

City Council Update

Commissioner Lejonvarn stated he did not attend the November 21, 2022 City Council meeting but informed the Commissioners that the City Council did concur with their recommendation to approve the commercial site plan for Bobby's Car Wash. Commissioner Ringler will attend the January 17, 2023 City Council meeting.

ADJOURNMENT:

Motion by Heaton, seconded by Fisher, to adjourn the Planning Commission meeting at 6:45 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: 1/23/2023

INSPECTION ISSUED TO: Jonathan Fisher

**APPLICANT/CONTACT: Brett Slepica, Contractor
Mike Goetz, Owner**

**TELEPHONE NUMBER: Brett: 763-267-3734, slepicaconstruction@gmail.com
Mike: 763-493-5107, mike@northlandmfg.com**

BUSINESS/PLAT NAME: Northland Mfg. Inc.

ADDRESS/LOCATION OF INSPECTION: 17808 Central Ave NE

APPLICATION FOR: Commercial Site Plan/Building Permit

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 1/9/23 ~~11/5/22~~

Date of Receipt 1-9-23
Receipt # 95159

Meeting Appearance Dates:

Planning Commission 1-23-23 City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Site
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Northland man f.

Address/Location of property: 17808 Central Ave NE

Legal Description of property: Lot 11 / Block 1 Country Creek

PIN # 05-32-23-24-0018 Current Zoning CD-1/PUD Proposed Zoning —

Notes: Adding awnings and canopy to existing building

Applicant's Name: Boat Stepica Construction Inc

Business Name: Northland Manufacturing

Address 17808 Hwy 65

City Ham Lake State MN Zip Code 55304

Phone 763-267-3734 Cell Phone Same Fax _____

Email address Stepica Construction @ gmail . com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 1/9/23

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO

Meeting Date: January 23, 2023

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

**Subject: Northland Mfg. Inc. requesting to construct an awning and canopies at
17808 Central Avenue NE**

Introduction/Discussion:

Northland Mfg. Inc. is a CNC machining business providing components to the computer, motion control, medical and aerospace markets. Mike Goetz, Owner and President, would like to construct an awning over a portion of the building's south side to cover and protect HVAC equipment from the elements. He also wants to construct canopies over a few of the walk-in doorways to prevent snow and ice build-up as a safety measure. The structures will be constructed with lumber and the roofing material will be blue, metal panels to match the existing roof.

The added structures meet all setbacks and the roofing material is acceptable,

Recommendation:

I recommend approving Northland Mfg. Inc.'s request to construct an awning and canopies.

Company Narrative:

Northland Mfg. Inc.

I have been in business for 31 years.

The last 3½ years of them are right here in Ham Lake at our beautiful facility located at 17808 Hwy 65.

We supply CNC machined components for the computer, motion control, medical and aerospace markets.

Our excellent quality, delivery, price and choice of top-notch customers, employees, and vendors has been the success of

the business. We currently have 5 employees. Our normal hours are 7:00am-5:30pm M-F.

We are not open to the public and do not have any retail traffic issues.

Deliveries are typically straight trucks a few times a week with an occasional semi delivery a few times a year.

I would like to construct an awning over a portion of the south side of the building to cover and protect the mechanicals (HVAC) from the harsh winter elements.

I also want to make permanent canopies over a few of the exit/entrance doors as a safety measure for the snow and ice build-up. (see photos)

The structures will be made of pressure treated lumber.

The roofs on these projects will be like the existing building. Metal panels and blue in color.

I take great pride in the ownership of this building and want it to be safe, look good, and last long into the future.

Sincerely

Mike Goetz

President

Northland Mfg. Inc



Canopy and HVAC southwest



Canopy and HVAC south middle

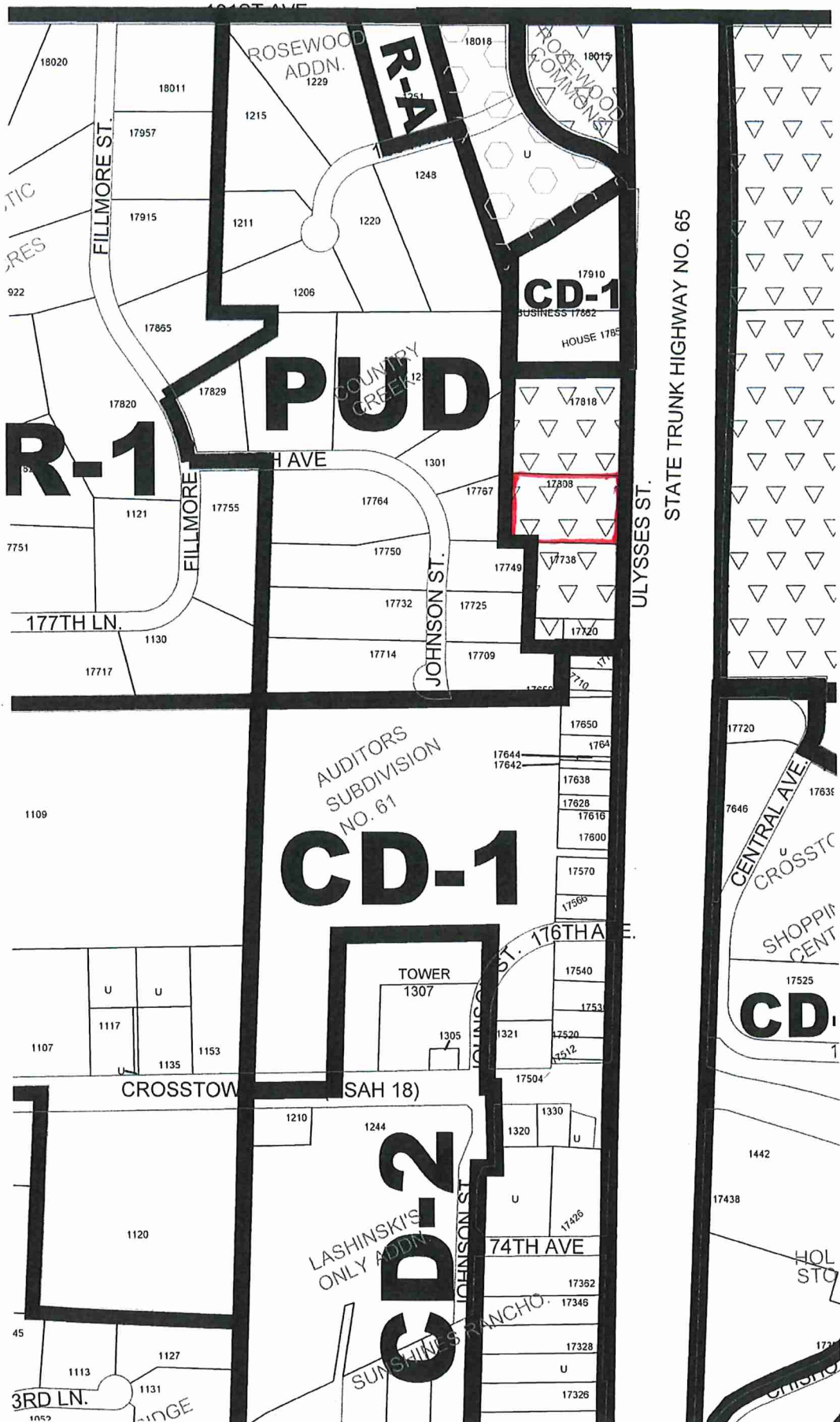


Canopy and HVAC southeast



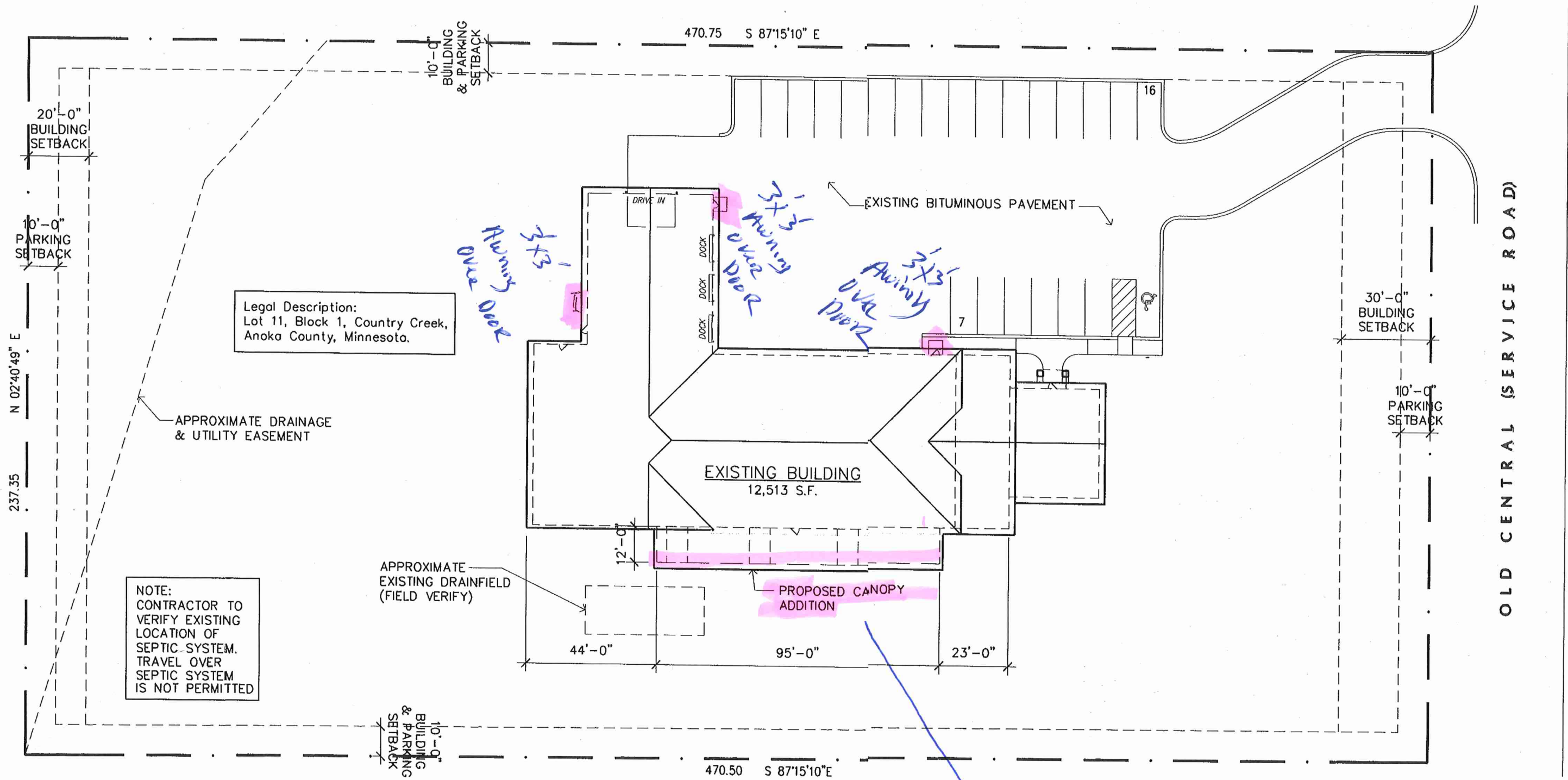
17808 CENTRAL AVE NE





17808 CENTRAL AVE
 PUD-CD-1

1" = 500'



Legal Description:
 Lot 11, Block 1, Country Creek,
 Anoka County, Minnesota.

NOTE:
 CONTRACTOR TO
 VERIFY EXISTING
 LOCATION OF
 SEPTIC SYSTEM.
 TRAVEL OVER
 SEPTIC SYSTEM
 IS NOT PERMITTED

1 SITE PLAN
 A1 SCALE: 1" = 30'-0"



OLD CENTRAL (SERVICE ROAD)

STATE HIGHWAY 65

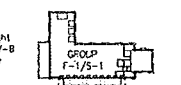
Governing Mechanical

COMMERCIAL PLAN REVIEW FOR CODE COMPLIANCE

GENERAL INFORMATION
 A. PROJECT NAME: Northland Manufacturing
 B. PROJECT LOCATION: 17808 Highway 65, Ham Lake, Minnesota
 C. ZONING AND LAND USE: PUD/CO-1 - Commercial Tier 1
 D. LOT SIZE: 2.55 Acres (111,173 s.f.)

APPLICABLE CODES:
 A. HAM LAKE ZONING ORDINANCE - 2020 Edition
 B. MINNESOTA STATE BUILDING CODE (MSBC) - 2020 Edition
 C. CHAPTER 1305 - INTL BUILDING CODE 2018 Edition
 D. CHAPTER 1311 - INTL EXISTING BUILDING CODE 2018 Edition
 E. CHAPTER 1315 - NATIONAL ELECTRICAL CODE 2020 Edition
 F. CHAPTER 1322/23 - INTL ENERGY CONSERVATION CODE 2018 Edition
 G. CHAPTER 1341 - MN ACCESSIBILITY CODE 2020 Edition
 H. CHAPTER 1348 - INTL MECHANICAL CODE 2018 Edition
 I. CHAPTER 4714 - MN PLUMBING CODE 2020 Edition

BUILDING CLASSIFICATION
 A. OCCUPANCY GROUPS / TYPE OF CONSTR (BC Chpt 3 & IBC Chpt 4)
 1. Machine Shop - Group F-1 & S-1 - 12,513 s.f. (Existing)
 - 1,140 s.f. (Canopy Addition)
 - Building Total - 13,653 s.f.
 2. Mixed Occupancy (BC 508)
 - Groups B, F-1 and S-1 are Non-Separated Uses
 - Group B is Accessory to Group F-1



B. FIRE-RESISTANCE-RATED CONSTRUCTION
 1. Building Elements (BC Tables 601 & 602)

Element	Rating
Structural Frame	0 Hours
Exterior Bearing Walls	0 Hours
Interior Bearing Walls	0 Hours
Exterior Non-Bearing Walls	0 Hours
Interior Non-Bearing Walls	0 Hours
Floor Construction	0 Hours
Roof Construction	0 Hours

2. Exterior Wall Openings (BC Table 705.6)
 - Separation Distance: Greater Than 30 Feet
 Classification: Area of Opening
 Unprotected: No Limit
 Protected: No Limit

C. ROOF AND INTERIOR FINISH REQUIREMENTS
 1. Minimum Wall And Ceiling Finish Requirement (BC Table 803.13)

Building Component	Finish Class
Vertical Exits/Exit Passageways	Class C
Tail Access Corridors/Other Exit Ways	Class C
Rooms and Enclosed Spaces	Class C

AUTOMATIC SPRINKLER REQUIREMENTS
 A. AN EXISTING NFPA 13 AUTOMATIC SPRINKLER SYSTEM IS PROVIDED THROUGHOUT THE BUILDING (BC 903.3.1.1)
 1. Required Location(s) (BC 903.2)
 - Throughout The Building When The Fire Area Containing Group S-1 Exceeds 12,000 s.f., Or Exceeds 3 Stories, Or The Combined Fire Areas Of Group S-1 Exceeds 24,000 s.f.

ALLOWABLE HEIGHT, ALLOWABLE AREA
 A. Non-Separated Uses: Group F-1 is Most Restrictive
 B. ALLOWABLE HEIGHT (BC Table 504.3/504.4)
 1. Group F-1, Type V-B
 - Sprinklered: 60'-0", 2 Stories
 - 1 Story < 2 Stories: 22'-0" < 60'-0"
 2. Height Check
 - 1 Story < 2 Stories: 22'-0" < 60'-0"
 B. ALLOWABLE AREA (BC Table 506.2)
 1. Group S-1, Type V-B
 - Tabular Area: 34,000 s.f.
 - Frontage Increase (BC 506.3)

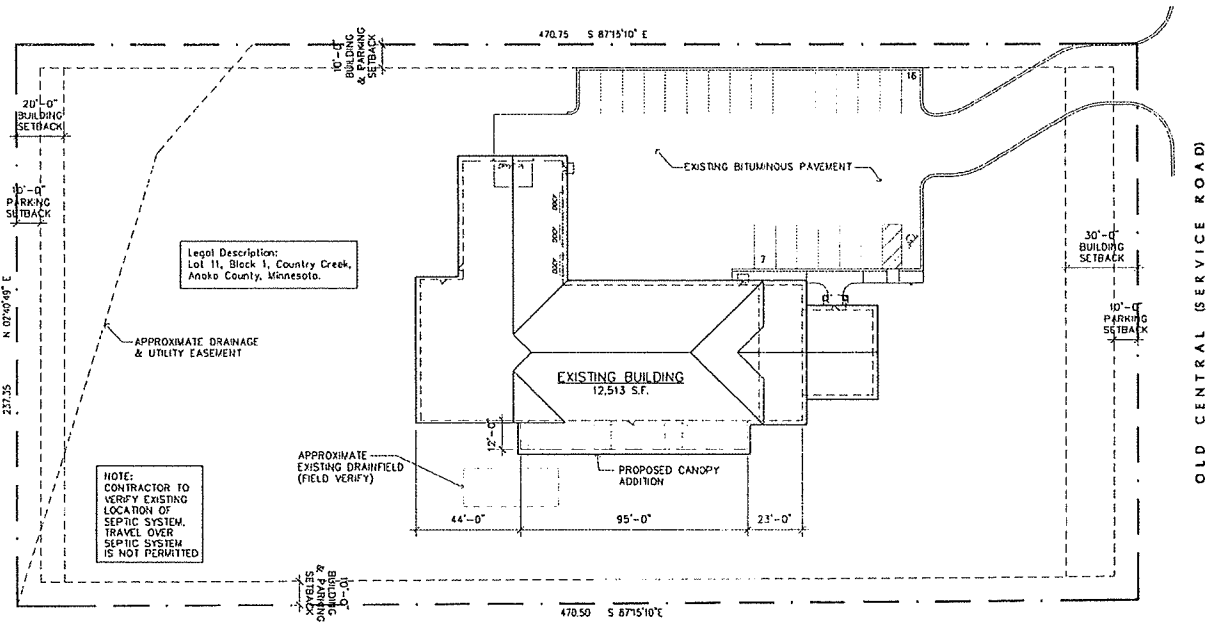
$$\frac{34,000 \times (588 - 0)}{588 - 0} = 6,375 \text{ s.f.}$$

$$\frac{34,000 \times (588 - 0)}{588 - 0} = 40,375 \text{ s.f.}$$
 - Multi-Story Increase (BC 506.4)
 40,375 x 1 Whole Building = 40,375 s.f.
 2. Area Check
 - Whole Building Area Check
 13,653/40,375 = 34% < 100%

MEANS OF EGRESS
 A. Addition Is Non-Occupied, Occupant Load Is Unchanged
 B. EXIT/EXIT ACCESS
 1. Existing Existing Patterns Are Unchanged

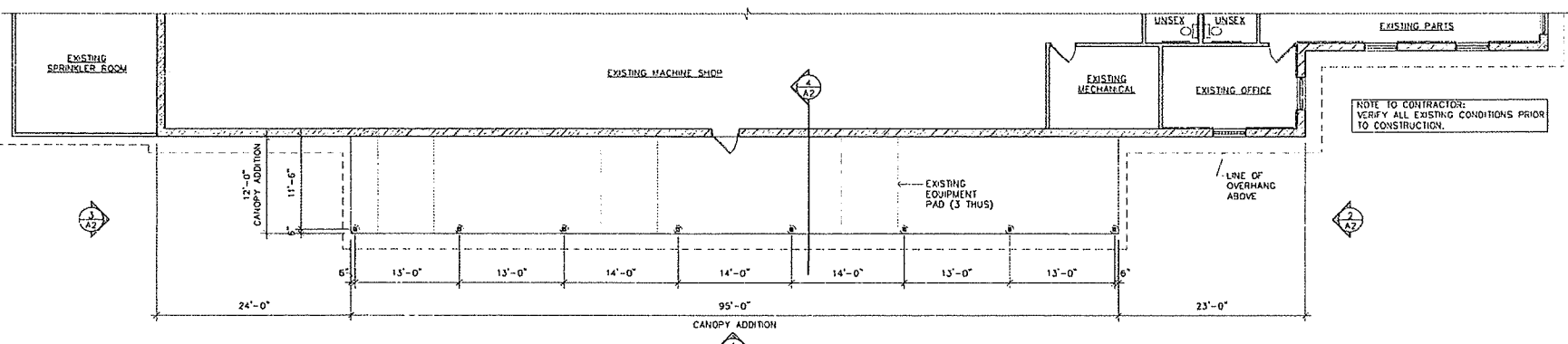
PLUMBING FIXTURES
 A. Occupant Load Is Unchanged, No Additional Fixtures Required

OTHER
 A. ACCESSIBILITY
 1. Building Is Accessible
 B. GUARDS (BC 1015)
 1. 42" High Minimum Guards Shall Be Installed Where A Change In Levels Drops 30" Or More
 C. ROOF ACCESS (BC 306.5)
 1. No Roof-Mounted Equipment, Access Not Required
 D. CONCEALED SPACES
 1. Floors (BC 718.3) - N/A
 2. Attics (BC 718.4) - Draftstops Not Required in Sprinklered Building
 E. VENTILATION
 1. Attics (BC 1202.2)
 - 1 s.f. / 300 s.f. With Vapor Barrier
 - Ventilation At Existing Attic Unchanged By Addition
 2. Under-Floors (BC 1202.4) - N/A
 F. ATTIC ACCESS (BC 1208.2)
 1. No New Attic Space; Existing Attic Access Unchanged
 G. SAFETY GLAZING (BC 2406)
 1. Safety Glazing Shall Be Installed In Hazardous Locations As Specified in BC 2406.4
 J. FIRE ALARM AND DETECTION SYSTEMS
 1. Fire Alarm And Detection System Not Required (BC 907.2)
 2. If Required Provide Audible And Visible Alarm Notification Devices (BC 907.3, NFPA 72)
 K. ENERGY CODE
 1. Canopy Addition Is Unconditioned Space, No Requirements



1 SITE PLAN
 SCALE: 1" = 30'-0"

NOTE TO ALL DESIGN/BUILD CONTRACTORS AND THEIR SUB-CONTRACTORS:
 THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, OR ANY OTHER DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS AS PERTAINING TO THE WORK FOR THIS PROJECT. IT IS THE DESIGN/BUILD SUB-CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN/BUILD CONTRACTOR OF ANY CONFLICTS WITH THE ARCHITECTURAL AND STRUCTURAL DOCUMENTS DUE TO SIZES, LOCATIONS, QUANTITIES, ROOM-IN DIMENSIONS AND CODE INTERPRETATIONS. THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY OF ANY ARCHITECTURAL REVISIONS REQUIRED DUE TO THE COORDINATION OF EACH DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS.



2 PARTIAL FLOOR PLAN
 SCALE: 1/8" = 1'-0"



LAMPERT ARCHITECTS
 420 Summit Avenue
 St. Paul, MN 55102
 Phone: 763.255.1311 Fax: 763.757.1849
 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 LEONARD LAMPERT
 LICENSE NO. 13669
 10/3/22

**Canopy Addition For
 NORTHLAND MANUFACTURING
 17808 Highway 65 - Ham Lake, Minnesota**

Copyright 2022
 Leonard Lampert Architects, Inc.
 Project Designer: L. SCHMIDT
 Drawn By: LL
 Checked By: LL
 Revisions

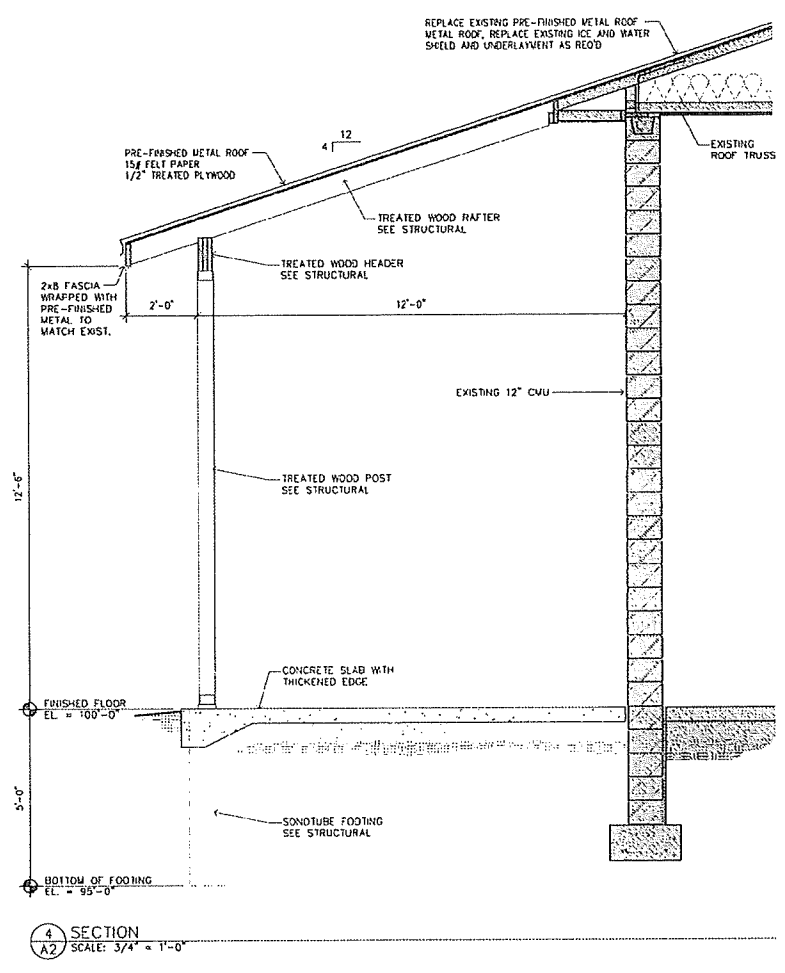
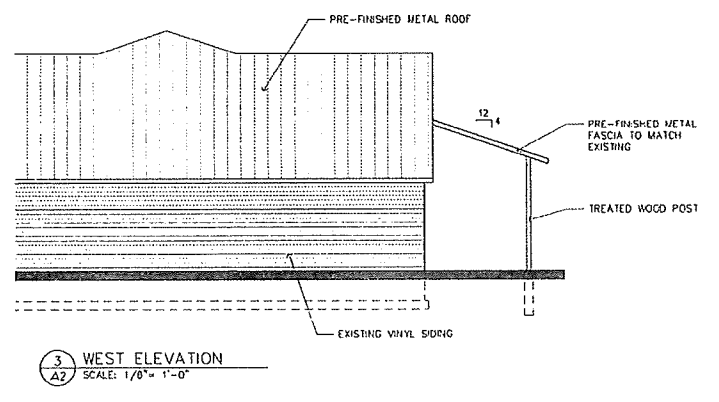
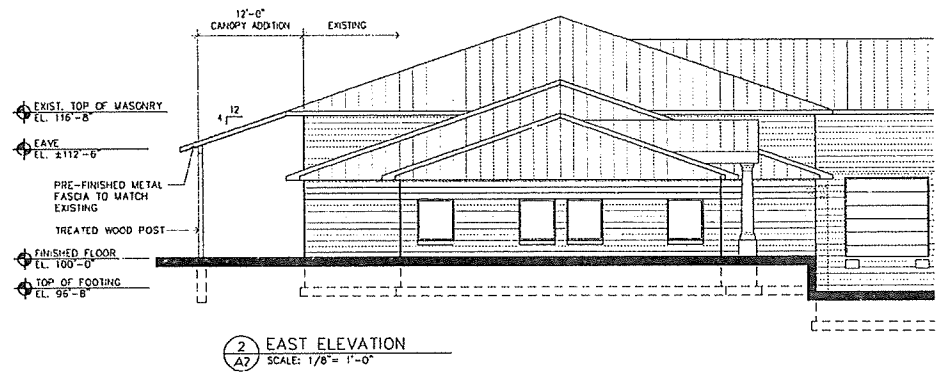
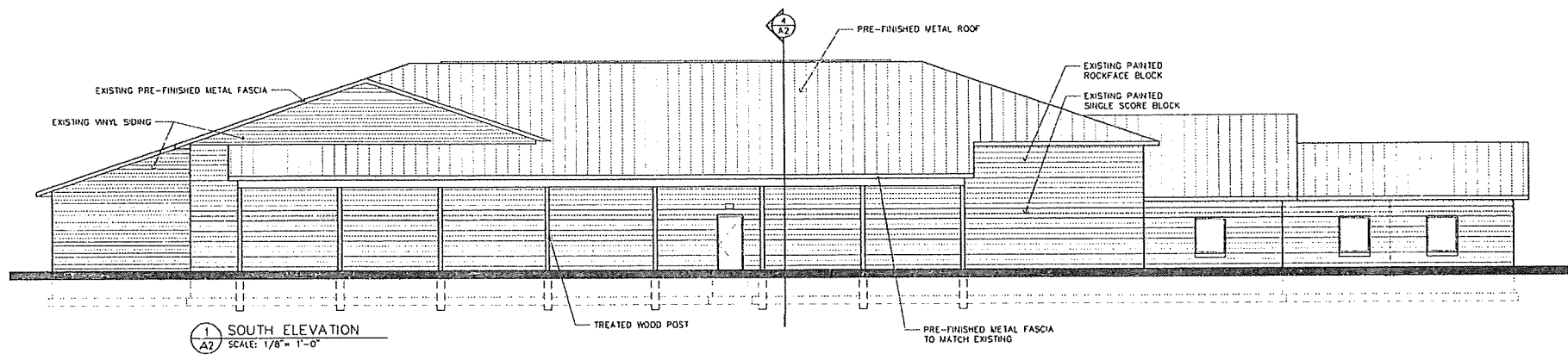
NO.	DATE	DESCRIPTION
10/3/22	FOR PERMIT	

**CODE REVIEW
 SITE PLAN
 FLOOR PLAN**

Sheet Number

A1

Project No. 220818-4



LAMPERT ARCHITECTS
 420 Summit Avenue
 St. Paul, MN 55102
 Phone: 783.755.1211 Fax: 783.757.2847
 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

Leonard Lampert
 LEONARD LAMPERT
 PRINCIPAL
 13669
 LICENSE NO.
 10/3/22

**Canopy Addition For
 NORTHLAND MANUFACTURING**
 17808 Highway 65 - Ham Lake, Minnesota

Copyright 2022
 Leonard Lampert Architects Inc.
 Project Designer: L. SCHMIDT
 Drawn By: LLS
 Checked By: LL
 Revisions

10/3/22	FOR PERMIT

**BUILDING ELEVATIONS
 AND SECTION**

Sheet Number

A2

Project No. 220818-4

GENERAL STRUCTURAL NOTES:

- 1. BUILDING CODE:**
 STRUCTURAL DESIGN CONFORMS TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) & MINNESOTA STATE BLDG CODE (MSBC 2020)
- 2. DESIGN LOADS:**
 WIND LOAD:
 BASIC WIND SPEED (3 SECOND GUST)..... 115 MPH (Vw UH/mph)
 (90 MPH SERVICE)
 WIND IMPORTANCE FACTOR, I..... 1.0
 EXPOSURE..... 0
 INTERNAL PRESSURE COEFFICIENTS, GC..... ±0.18 psf
- ROOF LOAD**
 LIVE LOAD (LL)..... 35 PSF **
 DEAD LOAD (DESIGN D.L.)..... 20 PSF

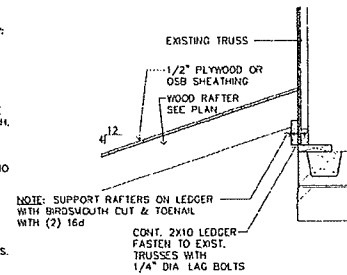
- 3. ROOF SNOW LOAD:**
 GROUND SNOW LOAD, Pg..... 50 PSF
 FLAT ROOF SNOW LOAD, P_f..... 35 PSF
 SNOW EXPOSURE FACTOR, Ce..... 1.0
 SNOW LOAD IMPORTANCE FACTOR, I..... 1.0
 THERMAL FACTOR, Ct..... 1.0
- ** PLUS SNOW ACCUMULATION AS REQUIRED BY IBC, CHAPTER 16, SECTION 1603.

- COORDINATION:**
 1. STRUCTURAL MEMBERS INCLUDING SLABS, BEAMS, JOISTS, COLUMNS AND WALLS ARE DESIGNED FOR "IN PLACE LOADS". CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING, WITHOUT OVERSTRESSING, ALL STRUCTURAL ELEMENTS (AS REQUIRED AT ANY STAGE OF CONSTRUCTION) UNTIL COMPLETION OF THIS PROJECT.

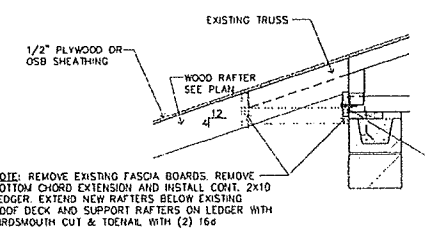
- FOUNDATIONS:**
 1. FOOTINGS WERE DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 2500 PSF. SOIL BEARING PRESSURE SHALL BE VERIFIED PRIOR TO THE CONSTRUCTION OF THE FOOTINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER. LOWER THE FOOTING ELEVATIONS SHOWN IF NECESSARY TO OBTAIN THE REQUIRED BEARING PRESSURE.

- CONCRETE:**
 1. ALL CONCRETE SHALL BE NORMAL WEIGHT (150 PCF.) MINIMUM 28 DAY COMPRESSIVE STRENGTH, AS SPECIFIED BELOW:
 FOOTINGS AND FOUNDATION WALLS..... 3000 PSI
 SLAB ON GRADE..... 4000 PSI (MINIMUM)
 2. PROVIDE 3" CLEAR COVER ON BOTTOM AND SIDES FOR FOOTING REINFORCING.
 3. MAX. DISTANCE BETWEEN SLAB CONTROL OR CONSTRUCTION JOINTS SHALL NOT EXCEED 15'-0"
 4. EXCEPT WHERE OTHERWISE SHOWN, SLABS ON GRADE SHALL BE REINFORCED WITH 6X6-10/10 WELDED WIRE MESH OR FIBERGLASS, EXCEPT WHERE OTHERWISE SHOWN, SLABS ON GRADE SHALL BE 5" THICK CONCRETE.
 5. CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS. ALL SLAB CONCRETE SHALL BE 4000 PSI, W/ WATER CONTENT RATIO LESS THAN .50 AND PLASTERDZER ADDED AT JOB SITE.

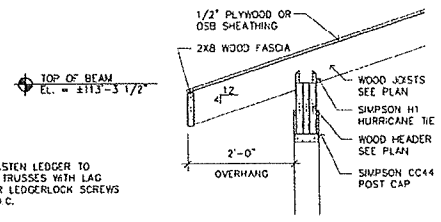
- DIMENSIONAL LUMBER:**
 1. FABRICATION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS.
 2. ALL MEMBER SIZES SHOWN ON PLANS ARE NOMINAL DIMENSIONS.
 3. DIMENSION LUMBER SHALL BE DOUG. FIR, HEM FIR OR S-P-F, NO. 2 OR BETTER.
 4. UNLESS NOTED OTHERWISE, ALL HAIRING SHALL BE IN ACCORDANCE WITH TABLE 2304.9.1 OF THE BUILDING CODE.
 5. ALL BEAMS AND JOISTS NOT BEARING ON SUPPORTING MEMBERS SHALL BE FRAMED WITH JOIST HANGERS.
 6. WOOD MEMBERS SHALL BEAR THE FULL WIDTH OF SUPPORTING MEMBERS UNLESS OTHERWISE NOTED.



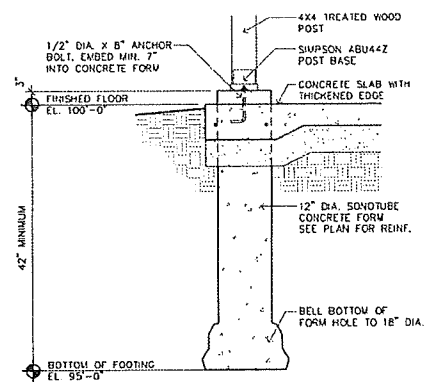
8 TYPICAL DETAIL
 S1 SCALE: 3/4" = 1'-0"



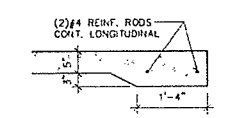
7 TYPICAL DETAIL
 S1 SCALE: 3/4" = 1'-0"



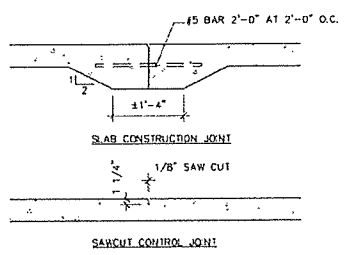
6 TYPICAL DETAIL
 S1 SCALE: 3/4" = 1'-0"



5 TYPICAL DETAIL
 S1 SCALE: 3/4" = 1'-0"

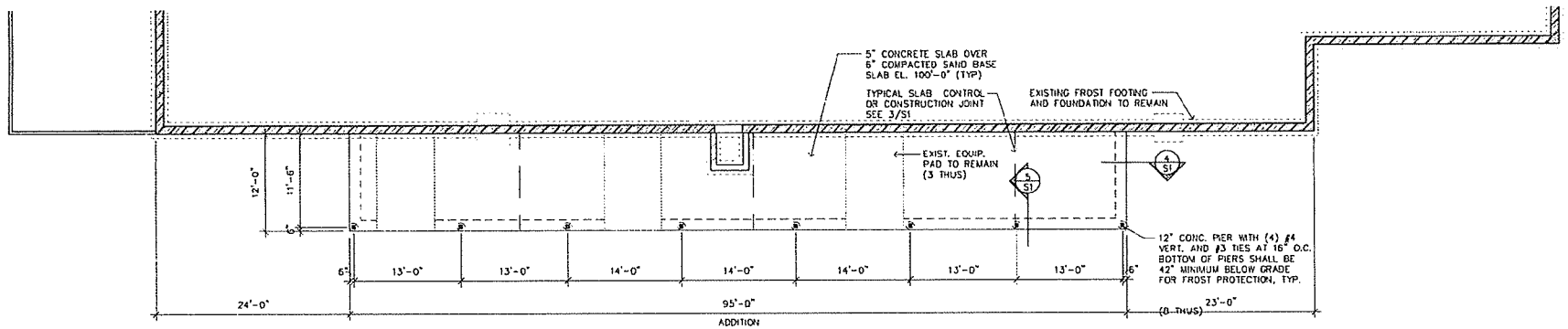


4 TYPICAL DETAIL
 S1 SCALE: 3/4" = 1'-0"

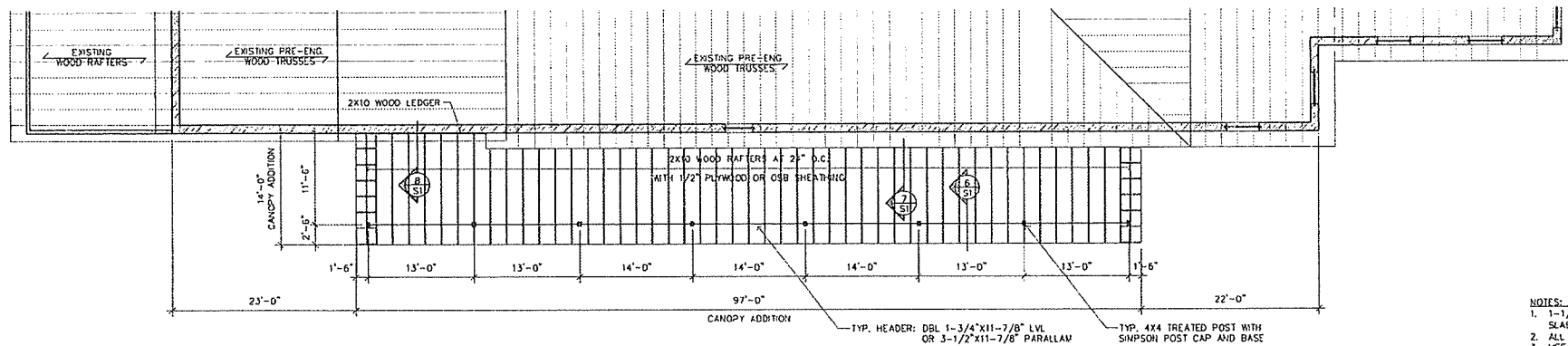


- NOTES:**
 1. 1-1/4" DEEP SAW CUT WITH WET BLADE IMMEDIATELY AFTER FINISHING FOR 4" OR 5" SLABS 1-1/2" DEEP FOR 6" SLABS.
 2. ALL CONTROL/CONSTRUCTION JOINTS MUST BE CONTINUOUS AND NOT STAGGERED.
 3. USE EXPANSION JOINT MATERIAL OR BOARD BREAKER AT ALL WALLS AND TRENCH DRAINS.

3 TYP. SLAB CONSTRUCTION/CONTROL JOINT DETAILS
 S1 SCALE: 3/4" = 1'-0"



1 PARTIAL FOOTING AND FOUNDATION PLAN
 S1 SCALE: 1/8" = 1'-0"



2 PARTIAL EXISTING ROOF FRAMING & NEW CANOPY ROOF FRAMING PLAN
 S1 SCALE: 1/8" = 1'-0"



ENGINEER CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BERNIE STROH
 PROFESSIONAL ENGINEER
 LICENSE NO. 10/3/22

**Canopy Addition For
 NORTHLAND MANUFACTURING**
 17808 Highway 65 - Ham Lake, Minnesota

Structural Engineer:
 Drawn By: LIS
 Checked By: BS
 Revisions:
 10/3/22 FOR PERMIT

**FTG & FDN PLAN
 ROOF FRAMING PLAN
 STRUCTURAL DETAILS**
 Sheet Number

S1

Project No. 220818-4