



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, OCTOBER 23, 2023

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: October 9, 2023

PUBLIC HEARINGS:

6:01 p.m. Ryan Becker of Unlimited Concrete Concepts, LLC requesting a Conditional Use Permit to operate a construction service contractor business at 16651 Polk Street NE

NEW BUSINESS:

1. Ryan Becker of Unlimited Concrete Concepts, LLC requesting Commercial Site Plan approval to construct a 4,608 square foot office/warehouse building at 16651 Polk Street NE. PID# 08-32-23-33-0007
2. Jeff Stalberger, MN Development LLC, requesting Sketch Plan approval for a development located at 2506 Swedish Drive NE (47 Residential Single Family lots and 1 out lot) in Section 4

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, OCTOBER 9, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, October 9, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Kyle Lejonvarn, Jeff Entsminger, Jonathan Fisher and David Ross

MEMBERS ABSENT: Commissioners Dave Ringler and Erin Dixon

OTHERS PRESENT: City Engineer Dave Krugler, Building and Zoning Official Mark Jones and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

Chair Pogalz welcomed members of BSA Troop 3509 who were in attendance.

Chair Pogalz introduced newly appointed Commissioner David Ross. Commissioner Ross was recently chosen to fill the seat vacated by Scott Heaton.

APPROVAL OF MINUTES:

Motion by Lejonvarn, seconded by Entsminger, to approve the minutes of the September 25, 2023 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING:

Jeremy Larson of Hampton Companies requesting to rezone certain parcels of land, 1016 Bunker Lake Boulevard NE, from R-1 (Single Family Residential) to R-AH (Affordable Housing District)

Mr. Jeremy Larson from Hampton Companies/Suite Living was present. Mr. Larson stated Suite Living provides high-acuity through end of life specialty care to its residents. Mr. Larson stated his company intends to construct a Suite Living Senior Care facility featuring 32 units on this parcel, with 20 units dedicated to assisted living and 12 units dedicated to memory care; hospice services will be provided to residents as well. Mr. Larson stated there are currently 14 Suite Living Senior Care facilities in the Twin Cities area; there will be 18 by the end of the year. Mr. Larson stated there will be 20-25 part-

time or full-time basis employees. Chair Pogalz stated a memo was provided by Building and Zoning Official Mark Jones recommending approval of the rezoning request. Commissioner Fisher completed the inspection; a copy which is on file. Commissioner Fisher stated the parcel has no structures on it, it is adjacent to townhomes and Majestic Oaks Golf Course and appears to be a suitable location for an assisted living facility. Building and Zoning Official Jones stated the Willows of Ham Lake and Majestic Greens senior apartment buildings are nearby. Chair Pogalz asked Mr. Larson if access to the parcel will only be from Bunker Lake Boulevard NE. Mr. Larson stated that it would be and that the access would be directly across from the 138th Lane NE access point onto Bunker Lake Boulevard NE to the north. Commissioner Lejonvarn asked Mr. Larson if he had plans to use the facility for anything other than an affordable housing memory care and assisted living unit. Mr. Larson stated he did not. Mr. Larson stated no other uses are being proposed and added they do offer 20% of their rooms on Elderly Waiver paid by the State of Minnesota which could be considered affordable housing. Mr. Larson stated most residents are private pay. Mr. Larson stated the company is a family owned business; he and his Dad own the company and have one business partner. Mr. Larson stated they have a unique business model as they own the real estate company, construction company and care facility; they do not hire third-party operators.

Chair Pogalz opened the public hearing at 6:09 p.m. and asked for public comment.

Joan Olchefske, 967 138th Lane NE. Ms. Olchefske asked what happens if the parcel is rezoned and the project isn't completed. Ms. Olchefske asked if that opened it up to something else.

Nancy Schardin, 912 136th Lane NE. Ms. Schardin stated she lives in the townhomes adjacent to the property. Ms. Schardin stated she has a few questions based on concerns from townhome owners. Ms. Schardin stated there is a path through the woods near the townhomes that golf carts drive on to get to the tunnel that leads to the golf course. Ms. Schardin asked if that path is on the 1016 Bunker Lake Boulevard NE parcel and will that path no longer be available to the townhome residents. Ms. Schardin asked if the lighting will be intrusive to homes nearby. Ms. Schardin stated there is currently woods between the townhomes facing the southern border of the property and owners of those townhomes are concerned about the view they will have if all of the trees are removed. Ms. Schardin stated the residents are concerned about where the well and septic system will be located and will the water usage by the facility cause their wells to dry up.

Terry Blackwelder, 13830 Pierce Street NE. Ms. Blackwelder stated her property is across Bunker Lake Boulevard NE, northeast of the parcel being considered for rezoning. Ms. Blackwelder stated she is one of the board members of the Majestic Oaks Townhome Association for the first through third townhome additions. Ms. Blackwelder asked if the property is rezoned to R-AH, and the current assisted living facility project falls through, could a larger apartment complex be constructed on the parcel; residents are concerned about the size of the structure that could be built on the small parcel. Ms. Blackwelder asked if there was an investigation being done to determine if there is enough land mass to support a well and septic system for the proposed facility so the residents water supply is not compromised; some residents has issues with their wells when the City of Blaine

turned on several wells at a time. Ms. Blackwelder asked if zoning is converted from single family homes to multiple family homes does an environmental impact statement or Phase 1 Analysis need to be done on the property. Ms. Blackwelder stated Bunker Lake Boulevard NE is pretty busy and there are plans to widen it to two lanes in each direction. Ms. Blackwelder asked if additional traffic control will be needed. Ms. Blackwelder asked if the addition of this building would affect traffic patterns and are there plans to do a study to determine if a traffic circle or traffic light is needed. Ms. Blackwelder stated an alternative to an assisted living facility could be townhomes that match those that have already been constructed.

George Dahlman, 954 136th Lane NE. Mr. Dahlman stated he lives to the southwest of 1016 Bunker Lake Boulevard NE. Mr. Dahlman stated he and his wife purchased their property approximately seven years ago. Mr. Dahlman stated they have enjoyed the privacy the grove of trees along 136th Lane NE has afforded them. Mr. Dahlman stated he would like an agreement stating the trees will remain for privacy so they will not be looking at a building or a parking lot.

Paul Thinesen, 911 138th Lane NE. Mr. Thinesen stated his property is across Bunker Lake Boulevard NE, northwest of the parcel being considered for rezoning. Mr. Thinesen stated he has many concerns related to traffic and traffic control, lighting, the fundamental change to the area, water and sewage. Mr. Thinesen stated he would like to see a sketch of what is proposed to be constructed. Mr. Thinesen asked what the process is moving forward if rezoning was recommended for approval tonight, and how does the community continue to provide input.

Bill Zawislak, 1062 137th Lane NE. Mr. Zawislak stated he has two concerns: where will the parking be and where will the well be placed.

Jim Donald, 932 136th Lane NE. Mr. Donald stated he lives west of the parcel being considered for rezoning. Mr. Donald has a concern on how much water will be drawn from the aquifer. Mr. Donald stated he has a brother that lives off of Madison Street NE and 142nd Avenue NE who is having difficulties with water and is having to put filtration systems in his house. Mr. Donald asked if access to the parcel will be off of Bunker Lake Boulevard NE and how will that impact traffic now and when Bunker Lake Boulevard NE is widened. Mr. Donald asked if the septic system will have a drainfield or holding tank.

Chair Pogalz addressed the questions asked related to the following:

Rezoning. If the rezoning request is approved for the parcel and the assisted living/memory care project is abandoned, the property will remain in the R-AH zoning district. Building and Zoning Clerk Bohr read what was written in the City Code for R-AH zoning.

Well, Septic and Water Use. Chair Pogalz asked how many acres the parcel is. Mr. Larson stated the parcel is just under three acres. Mr. Larson stated the building will take up just under two acres which leaves adequate space for a well and septic system. Chair Pogalz asked Building and Zoning Official Jones how much space would be needed for

the septic system. Building and Zoning Official Jones stated the area needed for the septic system will be determined by the State of Minnesota Rules. The Minnesota Department of Health will regulate the well drilling. Building and Zoning Official Jones stated the well problems in other parts of the city occurred when the City of Blaine opened up four new wells all at once when they were only supposed to open one. Building and Zoning Official Jones stated the size of the well for this project will not be anywhere near the size of the well(s) opened up in Blaine.

Traffic. Mr. Larson stated there will be 32 units in the building. Mr. Larson stated none of the residents drive and they have very few visitors. Mr. Larson stated there will be a total of 20-25 full and part-time employees. Mr. Larson stated six to eight employees will be working during the day and three to five at night. Chair Pogalz stated he did not know if a traffic study had been done but the project will be reviewed by the Anoka County Highway Department.

Site Plan/Size of Project. Commissioner Lejonvarn asked if a site plan was available. Mr. Larson stated a site plan will be presented during the commercial site plan approval process. Chair Pogalz stated considering the space needed for the building, setbacks, a well, a septic system and parking, this project is one of a few that will fit well on the parcel.

Path for golf carts. Chair Pogalz stated if golf carts are driving on the property now, that will no longer be possible when Mr. Larson purchases the land and constructs the facility.

Lighting. Building and Zoning Official Jones stated City Code regulates outdoor lighting and proposed lighting will be evaluated during the commercial site plan review process. Mr. Larson stated the city and state regulate lighting and lighting typically shines down not out.

Existing trees. Chair Pogalz stated tree removal will be part of the construction process. Chair Pogalz asked Mr. Larson if he intends to keep as many existing trees as possible. Mr. Larson stated he does plan to keep as many existing trees as possible and will plant new trees as they want the site to look nice. Building and Zoning Official Jones stated City Code outlines screening requirements.

Parking. Chair Pogalz stated information on parking will also be available during the commercial site plan and Conditional Use Permit review process.

Environmental Impact Statement/Phase One Assessment. Chair Pogalz stated an environmental impact statement is not required for a project of this size. Mr. Larson stated a Phase One Assessment is required by his lender.

Availability of information on process/Process going forward. Chair Pogalz explained the City provides notification on projects as required by State Statute. Chair Pogalz stated notices were mailed to residents as required and a sign was posted at the location. Building and Zoning Clerk Bohr stated notices were sent as required to residents within a 350-foot radius of the parcel, a notice was published in the Star Tribune and on the City's website and was also posted on the bulletin board in the vestibule of City Hall.

Chair Pogalz stated the Planning Commission is a board that provides recommendations to the City Council. Chair Pogalz stated the City Council will review the recommendation and determine if they want to approve the request. Chair Pogalz stated there is a public comment period at the beginning of each City Council meeting for residents who want to bring issues to the attention of the City Council, but there is not a discussion period like there is during a public hearing. Commissioner Fisher stated another public hearing will be held in the future for the review of a Conditional Use Permit application for this project.

Suggestion of constructing townhomes on the parcel. Building and Zoning Official Jones stated the City Code allows one dwelling unit per acre; this parcel is under three acres allowing for a maximum of two units. Building and Zoning Official Jones stated the townhomes that were constructed in the area in the past utilized density from the golf course. (The Majestic Oaks Golf Course and townhome area is in a PUD zoning district which permits the construction of townhomes.)

Mark Taube, 13814 Pierce Street NE. Mr. Taube stated he is concerned about property values. Mr. Taube stated his concern is if rezoning is approved, and the assisted living/memory care project doesn't go through, the lot could become affordable housing for low income families. Mr. Taube stated he has seen affordable housing built in nice neighborhoods where he has lived in the past. Mr. Taube stated property values were affected and traffic and crime increased. Mr. Taube asked if any restrictions would be put in place to prevent that from happening.

Chair Pogalz asked if anyone else wanted to comment on the project. A woman in the audience stated she had questions about the type of building that would be constructed-would it be a high-rise. The woman stated this meeting has provided her with some of the answers she was seeking. Mr. Larson confirmed his plans are to construct a single-story building.

Paul Thinesen, 911 138th Lane NE. Mr. Thinesen stated, there has been discussion about how many living units the parcel could support. Mr. Thinesen asked how many could it support? Building and Zoning Official Jones stated a high-rise building would require a large septic area. Building and Zoning Official Jones stated it would be difficult to put in a parking lot and septic system to support a multi-level building on a lot under 3 acres. Mr. Thinesen stated per the discussion, the City believes the parcel can support a building that houses 32 residents. Engineer Krugler stated the plans and septic design will be evaluated by the City to determine if the parcel can support the proposed occupancy of the proposed facility. Mr. Thinesen asked why evaluation of the plans and septic design wasn't done prior to rezoning the parcel. Chair Pogalz stated if the land did not get rezoned, Mr. Larson would not be able to move forward with the project.

Property value. Chair Pogalz stated property value is not something the Planning Commission can speculate on. Chair Pogalz stated the City's goal is to keep properties maintained to the highest level possible within the limits of the City's control. Building and Zoning Official Jones stated he has seen the Suite Living Senior Care facility in Ramsey and it is a nice-looking building.

Mark Taube, 13814 Pierce Street NE. Mr. Taube asked if restrictions could be put in place to prevent the parcel from being converted to low-income, affordable housing usage should the property be sold to someone else in the future. Chair Pogalz stated that could be a discussed during public hearing for the Conditional Use Permit.

Terry Blackwelder, 13830 Pierce Street NE. Ms. Blackwelder had a document of the area and stated it appears the corner of the property actually intersects with 136th Lane NE. Ms. Blackwelder asked if there is some kind of easement that will be between the street and where Mr. Larson's company will build or plant. Engineer Krugler stated right-of-way requirements are typically 33-feet from one side to the other and an additional ten-feet of drainage and utility easement is required. Engineer Krugler stated easements will be included on the site plan and reviewed during the commercial site plan process. Ms. Blackwelder asked what the City knew about the parcel immediately west of 1016 Bunker Lake Boulevard NE. Chair Pogalz stated it is a separate parcel with a different owner not subject to being reviewed with the rezoning request.

Chair Pogalz closed the public hearing at 6:55 p.m.

Motion by Fisher, seconded by Lejonvarn, to recommend approval of Jeremy Larson's request to rezone parcel 1016 Bunker Lake Boulevard NE from R-1 (Single Family Residential) to R-AH (Affordable Housing District) subject to meeting all City, County and State requirements. All present in favor, motion carried. *This application will be placed on the City Council's Monday, October 16, 2023 agenda.*

Chair Pogalz informed the residents in attendance there is a public comment period at the beginning of City Council meetings if they have comments to share. Chair Pogalz stated when the commercial site plan is reviewed, a public hearing will be held to discuss the Conditional Use Permit as well. Chair Pogalz stated a land use sign will be put in place again and notices will be sent and published on the City's website.

Jesse Osborne requesting a revision to the approved conditions of the final plat for the Creekside Farms Commercial Development in Sections 7 and 8

Mr. Jesse Osborne stated the original screening plan for the east side of the property was going to use part of the buildings and some fencing in addition to trees. Mr. Osborne stated he is not going to construct the buildings at this time. Mr. Osborne stated he would like to modify the screening proposal originally approved so he will be able complete his final performance requirement for the plat's Development Agreement. Mr. Osborne stated he has decided he would like to plant three to four-foot pine trees along the eastern property line of the plat. Chair Pogalz asked the Commissioners if they had any questions. There were none. Commissioner Lejonvarn completed the inspection; a copy which is on file. Commissioner Lejonvarn stated he spoke with Mr. Osborne and visited the site. Commissioner Lejonvarn stated he and Mr. Osborne discussed all landscaping plans that had been presented, including the plan suggested by Building and Zoning Official Jones. Commissioner Lejonvarn stated the screening plan will create a barrier between the development, a field and some residential homes. Commissioner Lejonvarn stated City Code states coniferous trees planted for screening should be five feet tall; the plans propose three and four-foot coniferous trees. Commissioner Lejonvarn stated

along the eastern property line there are residential parcels, utility easements, an infiltration basin and the locations Mr. Osborne proposes to construct the buildings. Commissioner Lejonvarn stated he will describe the plan he and Mr. Osborne discussed starting from the northeast corner of the plat and going to the southeast corner. Commissioner Lejonvarn detailed where trees would be planted, the number of rows of trees to be planted in each area, the spacing and placement of the trees as well as the type and height of trees for Phase 1 of the screening plan. Commissioner Lejonvarn stated the trees are not to be dug up and moved. Chair Lejonvarn stated the screening for Phase 2 will be done when buildings have been constructed and will consist of fencing being constructed between the east-facing walls of the buildings. (The original fencing approved is six-foot, slatted, chain link fencing.) Commissioner Lejonvarn stated the screening will consist of trees as the first barrier and then the buildings and fencing will be another barrier. Engineer Krugler stated there is a thirty-five-foot U.P.A. (a.k.a. rural Cooperative Power Association and Great River Energy) easement on the east side of the plat; no trees are to be planted in that easement. Building and Zoning Official Jones asked Mr. Osborne for verification that all the trees would be planted in Phase 1 and that the trees would not be moved. Mr. Osborne stated the trees will stay there. Mr. Osborne stated he will plant four-foot trees near 167th Avenue NE and at the south entrance to the development along Buchanan St NE. Building and Zoning Official Jones stated he had concerns with the original screening plan as he does not believe the use of buildings for screening is the intent of the Code. Building and Zoning Official Jones stated Phase 2 of the proposed, new screening plan will use the buildings as screening, but the overall screening plan being proposed is an improvement to what was originally presented.

Chair Pogalz opened the public hearing at 7:10 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 7:10 p.m.

Motion by Lejonvarn, seconded by Fisher, to recommend approval of Jesse Osborne's request to revise the approved conditions of the final plat for the Creekside Farms Commercial Development in Sections 7 and 8 related to screening subject to adhering to the screening plan exhibit modified by Commissioner Lejonvarn and meeting the approval of the Building Official. The Phase 1 screening exhibit has green lines indicating where trees are to be planted and is described as:

- 1. From the northeast corner of the plat to the north edge of 167th Avenue NE a single row of four-foot conifers are to be planted ten-feet apart.**
- 2. From the south edge of 167th Avenue NE to where the line begins to angle slightly to the west, a single row of three-foot conifers are to be planted ten-feet apart.**
- 3. From the point where the line begins to angle to the west again, south to just north of the infiltration basin located in the southeast corner of the plat, two rows of three-foot conifers are to be planted ten-feet apart with the second row of trees being staggered to give the appearance that all trees are planted five-feet apart.**
- 4. From the point just north of the southeast infiltration basin, to the edge of Buchanan Street NE, a single row of three-foot conifers are to be planted ten-feet apart.**

5. From the southeast corner of the infiltration basin, to the eastern edge of Buchanan Street NE, a single row of four-foot conifers are to be planted ten-feet apart.

Trees for Phase 1 are to be planted by December 1, 2023. Phase 2 screening to include six-foot, slatted, chain link fencing which is to be constructed between the proposed buildings, no trees are to be moved or removed and all screening must be outside of nearby easements. Chair Pogalz asked if a new screening plan will be submitted for the record. Commissioner Lejonvarn stated he would modify the screening exhibit to reflect what he discussed with Mr. Osborne, and what Mr. Osborne agreed to. **All present in favor, motion carried.** *This application will be placed on the City Council's Monday, October 16, 2023 agenda.*

NEW BUSINESS: None

COMMISSION BUSINESS:

City Council Update

Chair Pogalz stated the City Council concurred with the Commission's recommendations to approve Tom Elwell's rezoning request and the final plat of Hidden Forest East Fourth Addition. Chair Pogalz will attend the October 16, 2023 City Council meeting.

ADJOURNMENT:

Motion by Fisher, seconded by Entsminger, to adjourn the Planning Commission meeting at 7:16 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: October 23, 2023

INSPECTION ISSUED TO: Brian Pogalz

APPLICANT/CONTACT: Ryan Becker, Unlimited Concrete Concepts

TELEPHONE NUMBER: 763-442-4943/ ryan@unlimitedconcreteconcepts.com

BUSINESS/PLAT NAME: Unlimited Concrete Concepts

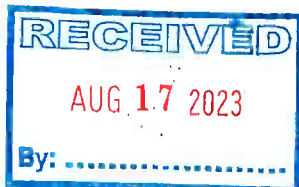
ADDRESS/LOCATION OF INSPECTION: 16651 Polk St NE (Creekside Farms Dev)

APPLICATION FOR: Commercial Site Plan/Conditional Use Permit

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application ^{17 RB} 08/08/2023

Date of Receipt 8-17-23 / 10-5-23
Receipt # 97122 / 97170

Meeting Appearance Dates:
Planning Commission 10-23-2023 City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*
- Commercial Building Site
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Creekside Farms

Address/Location of property: 16651 Polk St NE

Legal Description of property: LOT 2 BLOCK 2 CREEKSIDE FARMS

PIN # 08-32-23-33-0007 Current Zoning CD-2 Proposed Zoning _____

Notes: Construction of a 4,608 sq ft office/warehouse for construction service contractor business

Applicant's Name: Ryan Becker

Business Name: Unlimited Concrete Concepts, LLC

Address 13739 Lincoln St NE Suite A

City Ham Lake State MN Zip Code 55304

Phone 7637533903 *Cell Phone 7634424943 Fax _____

Email address rvan@unlimitedconcreteconcepts

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 8/17/23

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO



Office - (763) 753-3903

unlimitedconcreteconcepts.com

Lic. # BC634700

Narrative of Business

Unlimited Concrete is a concrete contractor specializing in concrete driveways and stamped concrete.

I, Ryan Becker, started the business in 2007. We have been located in Ham Lake since 2015.

Our storage needs are a few trucks and trailers outside and some materials such as rebar and forms.

We currently have 20 employees. 4 office staff and 4 foremen are regulars at the building. The other 12 workers do not come to the building often.

Our hours of operation are 6am to 5pm Monday through Friday and sometimes Saturday mornings.

Most of the traffic from our building will be the vehicles in the morning and afternoon hours when employees are leaving and returning from jobsites. We occasionally have customers come into our office, maybe twice a week, to select finishes, sign contracts, and pay bills. Since we are seasonal, winter months are much slower with little to no traffic.

Sincerely,

A handwritten signature in blue ink that reads 'Ryan Becker'.


8/3/23

Ryan Becker, Owner

Memorandum

Date: October 4, 2023

To: Planning Commissioners

From: David A. Krugler, City Engineer 

Subject: Unlimited Concrete Concepts, LLC

Introduction:

The proposed 4,608 square-foot Unlimited Concrete Concepts building is located on the 5.70-acre Lot 2, Block 2, Creekside Farms parcel. The parcel is zoned Commercial Development Tier 2 (CD-2). A 100-scale aerial photo, a 500-scale zoning map and a 400-scale half section map are attached.

Discussion:

The Site Plan, Standard Notes & Specifications, Standard Details, Grading Plan, SWPPP – Standard Notes, SWPPP – Plan View, Utility Plan and Storm Sewer Design received October 2nd, the Exterior Photometrics received September 18th and the Architectural Plans received September 12th address prior review comments.

The attached Landscape Plan which was received on September 15th, shows trees surrounding the proposed building. Per 11-1853(B) of the City Code, decorative trees shall be planted along the right-of-way lines of adjacent public roadways. 11-1860 allows for case-by-case evaluation of landscape requirements for commercial land approval and "...strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan". A determination needs to be made as to whether the proposed landscaping is adequate adjacent to the public roadway or if additional screening should be required.

The Unlimited Concrete Concepts project was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their August 28th meeting. The Notice of Application Status is attached. A CCWD permit is required before grading operations can commence. A Minnesota Pollution Control Agency National Pollutant Discharge Elimination System Construction Stormwater Permit is also required before grading operations can commence because the disturbed area is over one-acre.

Recommendation:

It is recommended that the Unlimited Concrete Concepts commercial site plan be recommended for approval, including the determination if the proposed screening is adequate.

Meeting Date: October 23, 2023

CITY OF HAM LAKE
STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: Unlimited Concrete Concepts, LLC requesting Site Plan Approval to build a 4,608 square foot office/warehouse building and a Conditional Use Permit to operate a construction service contractor business at 16651 Polk Street NE

Introduction/Discussion:

Unlimited Concrete, a business specializing in concrete driveways and stamped concrete, is owned by Mr. Ryan Becker and has been operating since 2007. Mr. Becker is requesting site plan approval, and approval to operate under a Conditional Use Permit, at 16651 Polk Street NE. The business currently has 20 employees, 8 of which work out of the office and 12 that primarily work off-site. Unlimited Concrete's regular hours of operation are 6:00 am to 5:00 pm Monday through Friday with an occasional need to be on-site on Saturday mornings. Mr. Becker indicates outside storage will be needed at the site for company trucks, trailers and some project materials such as rebar and concrete forms. The site plan does not show a location for a refuse container. Per Mr. Becker, the refuse container will be stored inside of the building.

Per Article 9-220.1(2)(bb), Standards Common to All Mercantile Districts, Permitted Outside Storage, aesthetically screened outside storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel. Aesthetically screened storage is storage defined as inventory... behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building. The screening chosen should be a code compliant fence that is at least eight-feet high. The surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point, shall be surfaced with asphalt or concrete, to specifications established by the City's Engineer per Article 11-1851. The surface inside of the screened area can be Class V.

Recommendation:

I recommend approval of the site plan with the following conditions:

1. All surfaces used for customer and employee parking and for storage of over the road vehicles shall be asphalt or concrete to specifications established and approved by the City Engineer.
2. All refuse containers are to be stored inside of the building. If refuse containers are stored outside, they must comply with Article 9-220.1.f.
3. Exterior finish of the building must meet CD-2 building standards.

I recommend approval of the Conditional Use Permit with the following conditions:

1. All outside storage is to be on a Class V surface screened by a code compliant fence that is at least eight-feet high.
2. Hours of operation are to be between 7:01 am and 10:00 pm



POLK ST

FILLMORE ST

166TH AVE
BUCHANAN ST

CREEKSIDE
FARMS

16648

1181

16651

1139

16612

1170

16578

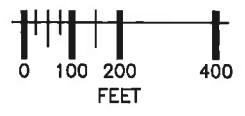
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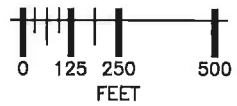
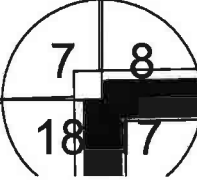
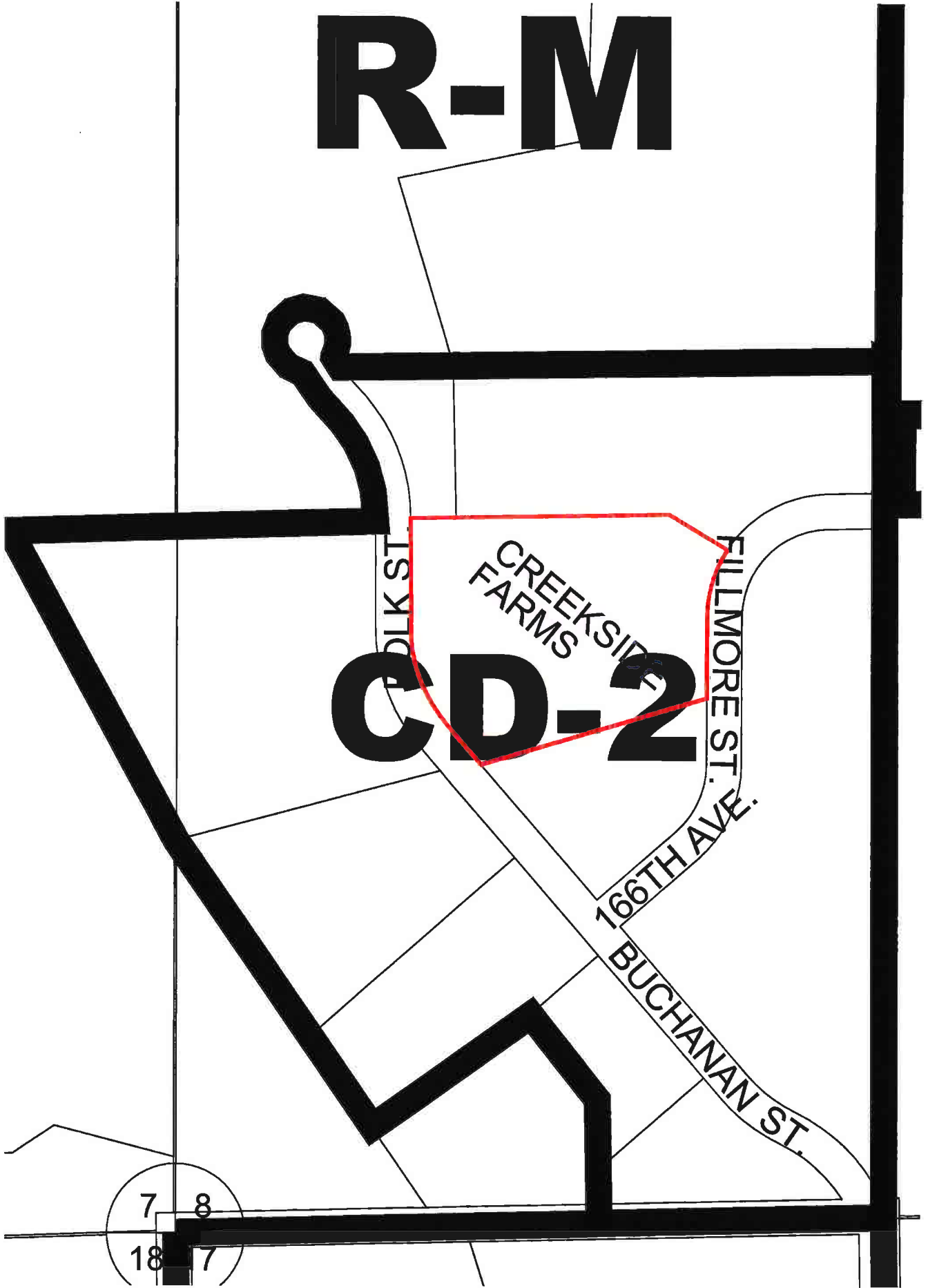
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16522

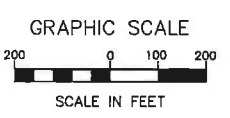
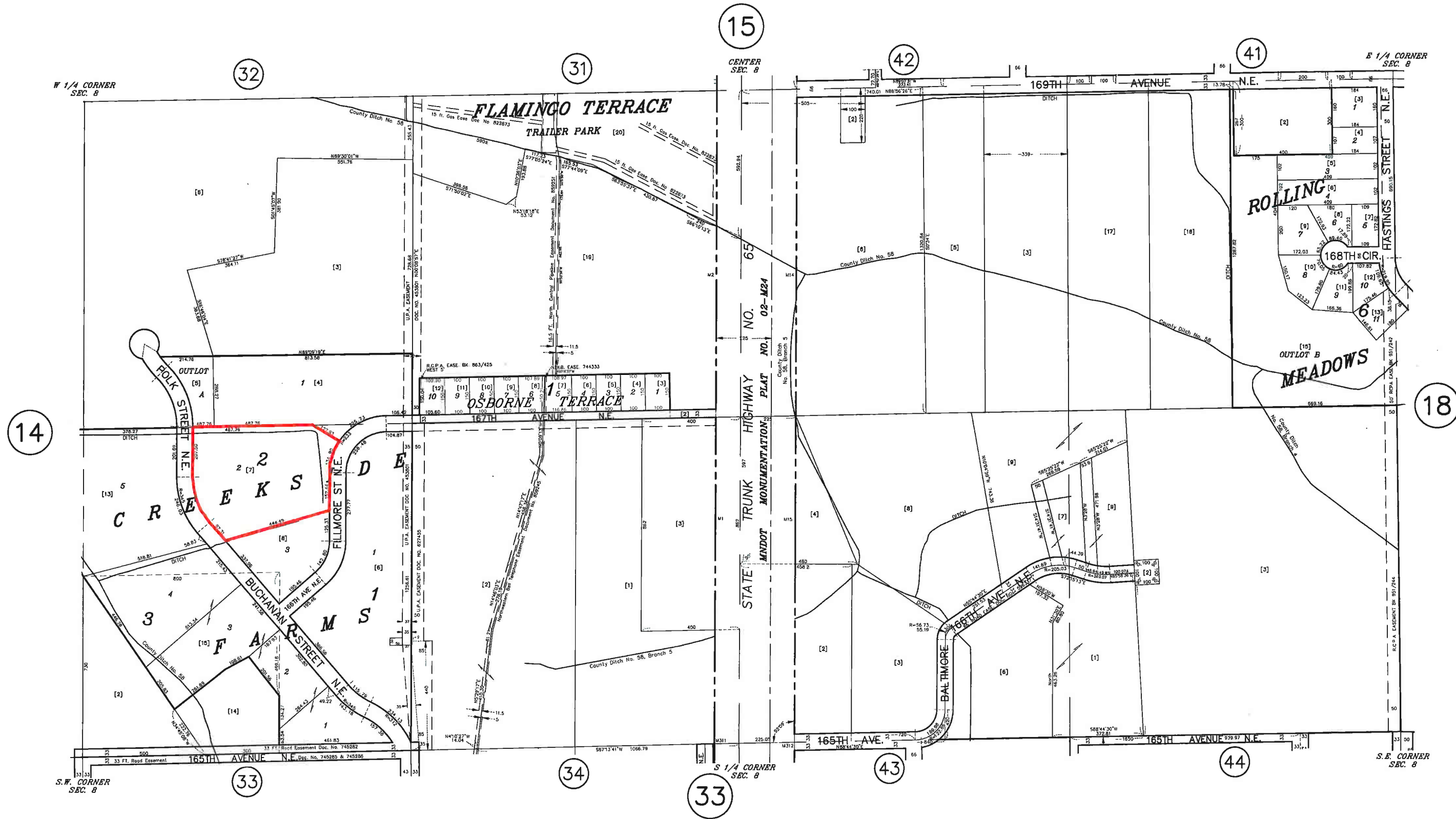


R-M



S 1/2 SECTION 8, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

NORTH HALF OF SECTION

SOUTH HALF OF SECTION

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 08-32-23-43-0003

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

LEGEND

<p>PROPOSED CONCRETE PAVEMENT/APRON</p> <p>PROPOSED BITUMINOUS PAVEMENT</p> <p>PROPOSED CLASS 2 GRAVEL SURFACING</p>	<p>EXISTING STORM SEWER LINE</p> <p>EXISTING UNDERGROUND GAS</p> <p>EXISTING UNDERGROUND ELECTRIC</p> <p>EXISTING UNDERGROUND CABLE</p> <p>EXISTING OVERHEAD POWER</p>	<p>EXISTING CATCH BASIN</p> <p>EXISTING POWER POLE</p> <p>SOIL BORING</p> <p>EXISTING GAS PEDESTAL</p> <p>EXISTING UNDERGROUND GAS SIGN</p> <p>EXISTING CABLE PEDESTAL</p> <p>EXISTING SEPTIC CLEANOUT</p> <p>EXISTING WELL</p>	<p>EXISTING CATCH BASIN</p> <p>EXISTING POWER POLE</p> <p>SOIL BORING</p> <p>EXISTING GAS PEDESTAL</p> <p>EXISTING UNDERGROUND GAS SIGN</p> <p>EXISTING CABLE PEDESTAL</p> <p>EXISTING SEPTIC CLEANOUT</p> <p>EXISTING WELL</p>
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- #### SURFACING NOTES:
- SUBGRADES SHALL BE SCARIFIED AND/OR COMPACTED AS NECESSARY TO ATTAIN THE REQUIRED COMPACTION DESCRIBED IN THE GENERAL NOTES (SHEET C1). TEST ROLLING OF THE SUBGRADE SHALL BE OBSERVED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN. LOCATIONS EXHIBITING EXCESSIVE BUITING (PER ANDOT SPEC. 211) SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER PRIOR TO THE PLACEMENT OF AGGREGATE BASE. COMPACTION TESTING IN UTILITY TRENCHES SHALL BE PERFORMED BY AN INDEPENDENT TESTING FIRM.
 - GRAVEL BASE COURSES SHALL BE ROLLED AND COMPACTED. TEST ROLLING OF THE GRAVEL BASE SHALL BE OBSERVED BY A SOILS ENGINEER TO VERIFY STABILITY.
 - ALL EXISTING BITUMINOUS OR CONCRETE EDGES, WHICH WILL ABUT NEW BITUMINOUS OR CONCRETE SURFACING SHALL BE SAWCUT TO OBTAIN A VERTICAL EDGE.
 - EXPANSION JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE NEW CONCRETE ABUTS EXISTING CONCRETE, AND AT ALL LOCATIONS WHERE SEPARATE CONCRETE FLOORS ABUT EACH OTHER.
 - CONCRETE PAVEMENT OR APRONS, WHICH ABUT DOORWAY OPENINGS SHALL BE TIED TO THE FLOOR SLAB WITH #4 BARS ALONG THE ENTIRE WIDTH OF THE DOORWAY. SEE DETAIL ON SHEET C2.
 - SEE SHEET C1 FOR SPECIFICATIONS REGARDING THE CONSTRUCTION OF PAVEMENTS, AND CURB AND GUTTER.

ZONING REQUIREMENTS

PROPERTY ZONING: CD-2 COMMERCIAL DEVELOPMENT II

SETBACKS

FRONT BUILDING SETBACK = 30 FT
 SIDE BUILDING SETBACK = 10 FT
 REAR BUILDING SETBACK = 20 FT

PARKING SPACE CALCULATION

REQUIRED PARKING SPACES (PER ZONING OFFICIAL)

COMMERCIAL BUILDINGS
 REQUIRED PARKING SPACES = BUILDING OCCUPANCY
 BUILDING OCCUPANCY = 28
 TOTAL REQUIRED PARKING SPACES = 28 SPACES

PROVIDED PARKING SPACES

PROPOSED PARKING SPACES = 21 SPACES
 PROOF OF PARKING SPACES = 7 SPACES
 TOTAL PROVIDED PARKING SPACES = 28 SPACES

IMPERVIOUS SURFACE CALCULATION

IMPERVIOUS AREA INDICATED ON CREEKSIDE FARMS PLAT ENGINEERING DRAWINGS FOR LOT 2, BLOCK 2 = APPROX. 30,000-SF

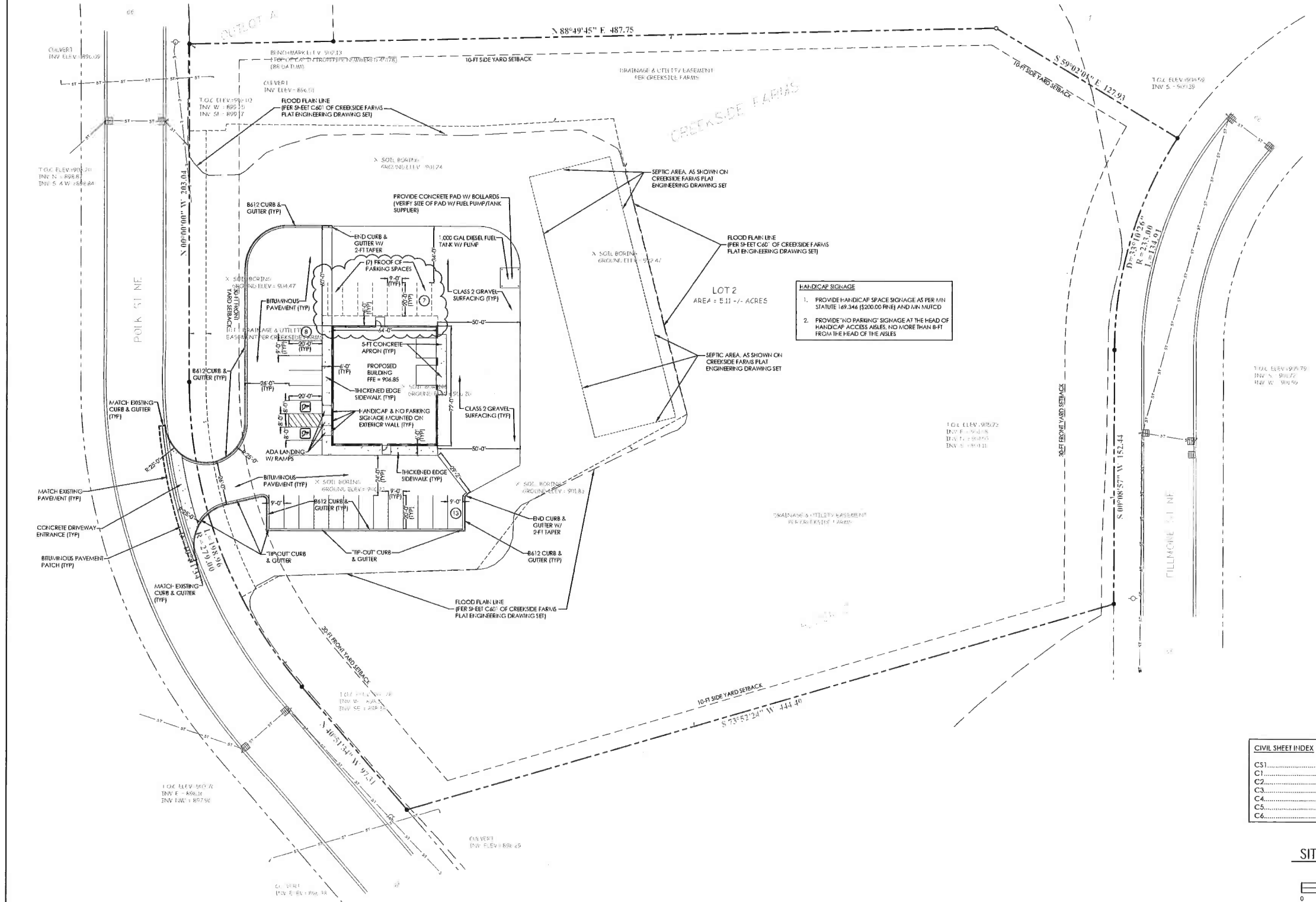
CURRENTLY PROPOSED IMPERVIOUS AREA FOR UNLIMITED CONCRETE PROJECT = 29,800-SF

BUILDING SQUARE FOOTAGE = 4,608-SF

PARKING AREA SQUARE FOOTAGE = 12,760-SF (INCLUDES PROOF-OF-PARKING SPACES & ADJACENT DRIVEABLES)

HANDICAP SIGNAGE

- PROVIDE HANDICAP SPACE SIGNAGE AS PER MIN STATUTE 169.344 (1200.00 PNE) AND AIN MUTCD
- PROVIDE NO PARKING SIGNAGE AT THE HEAD OF HANDICAP ACCESS AISLES, NO MORE THAN 8-FT FROM THE HEAD OF THE AISLES



CIVIL SHEET INDEX

CS1.....	SITE PLAN
C1.....	STANDARD NOTES & SPECIFICATIONS
C2.....	STANDARD DETAILS
C3.....	GRADING PLAN
C4.....	SWPPP - STANDARD NOTES
C5.....	SWPPP - PLAN VIEW
C6.....	UTILITY PLAN



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Engineer under the laws of the state of Minnesota

Brian U. Schultz, PE
 License No.: 43179
 Date: 09/11/2023

SCHULTZ ENGINEERING & SITE DESIGN

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 Fax: (320) 339-0668
 schultzeng@me.com
 www.schultzengdesign.com

REVISIONS

NO.	DATE	DESCRIPTION
1	09/29/2023	PER 09/20/2023 CITY ENGINEER COMMENTS
2		
3		
4		

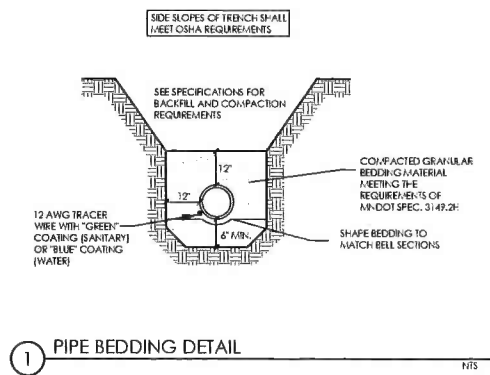
UNLIMITED CONCRETE NEW FACILITY

16651 POLK STREET NE
 HAWAII, MN

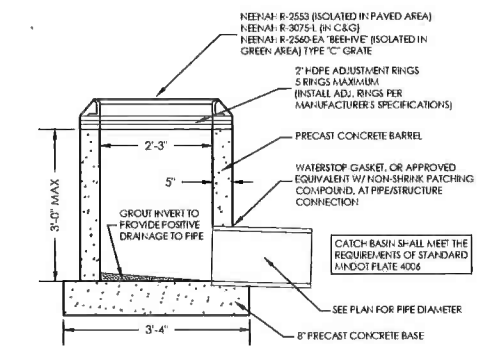
PROJECT NUMBER: 23031

SCALE: 1"=30'

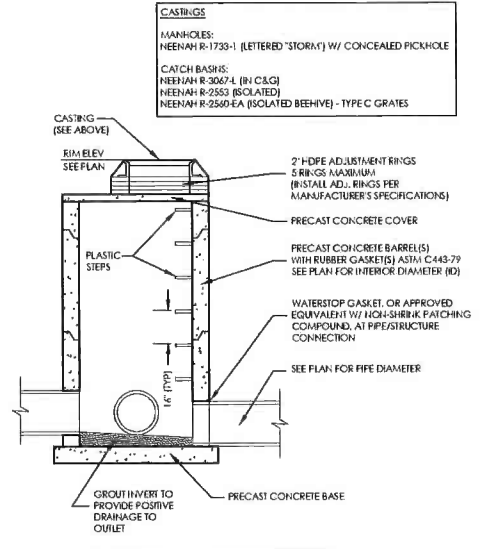
CS1 of 1



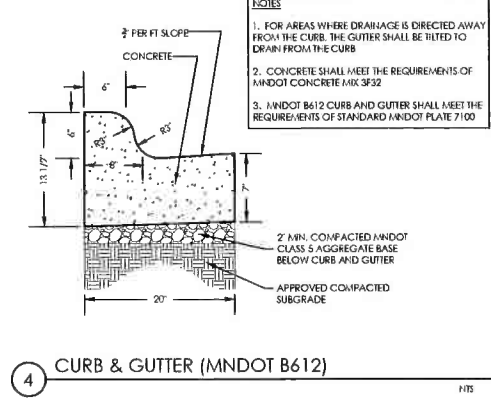
1 PIPE BEDDING DETAIL NTS



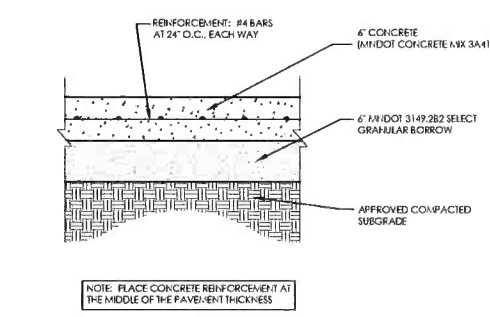
2 CATCH BASIN (MNDOT DESIGN 'H') NTS



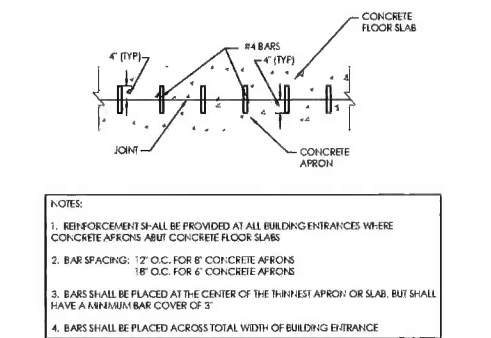
3 STORM MANHOLE OR CATCH BASIN NTS



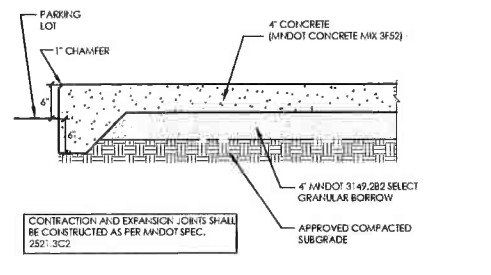
4 CURB & GUTTER (MNDOT B612) NTS



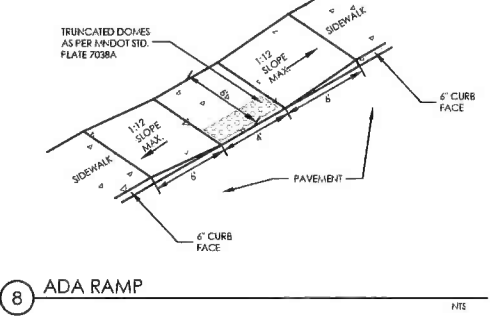
5 CONCRETE APRON/PAVEMENT SECTION NTS



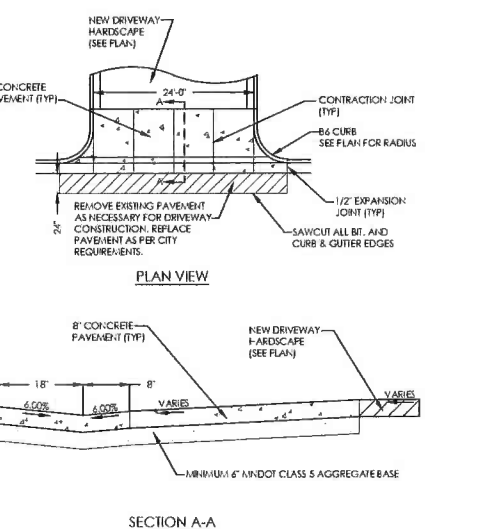
6 APRON/FLOOR SLAB JOINT REINFORCEMENT NTS



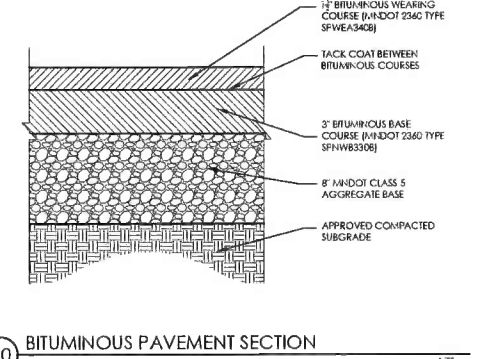
7 THICKENED EDGE SIDEWALK NTS



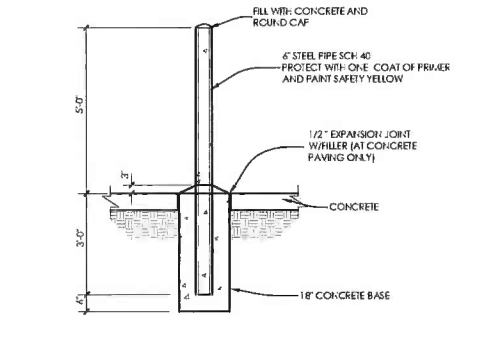
8 ADA RAMP NTS



9 CONCRETE DRIVEWAY APRON NTS



10 BITUMINOUS PAVEMENT SECTION NTS



11 BOLLARD NTS

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Engineer under the laws of the state of Minnesota.
 Brian Schultz, PE
 License No.: 43179
 Date: 07/11/2023

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 schultzeng@me.com
 www.schultzengdesign.com

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

UNLIMITED CONCRETE
 NEW FACILITY
 14651 POLK STREET NE
 HAMLET, MN

PROJECT NUMBER: 23031

LEGEND

<ul style="list-style-type: none"> PROPOSED CONTOUR PROPOSED STORM SEWER PROPOSED SPOT ELEVATION PROPOSED CATCH BASIN PROPOSED CATCH BASIN ALONG CURB & GUTTER PROPOSED SLOPE & DIRECTIONAL ARROW PROPOSED SLOPE & DIRECTIONAL ARROW 	<ul style="list-style-type: none"> EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR EXISTING STORM SEWER LINE EXISTING UNDERGROUND GAS EXISTING UNDERGROUND ELECTRIC EXISTING UNDERGROUND CABLE EXISTING OVERHEAD POWER 	<ul style="list-style-type: none"> EXISTING CATCH BASIN EXISTING POWER POLE SOIL BORING EXISTING GAS PEDESTAL EXISTING UNDERGROUND GAS SIGN EXISTING CABLE PEDESTAL EXISTING SEPTIC CLEANOUT EXISTING WELL
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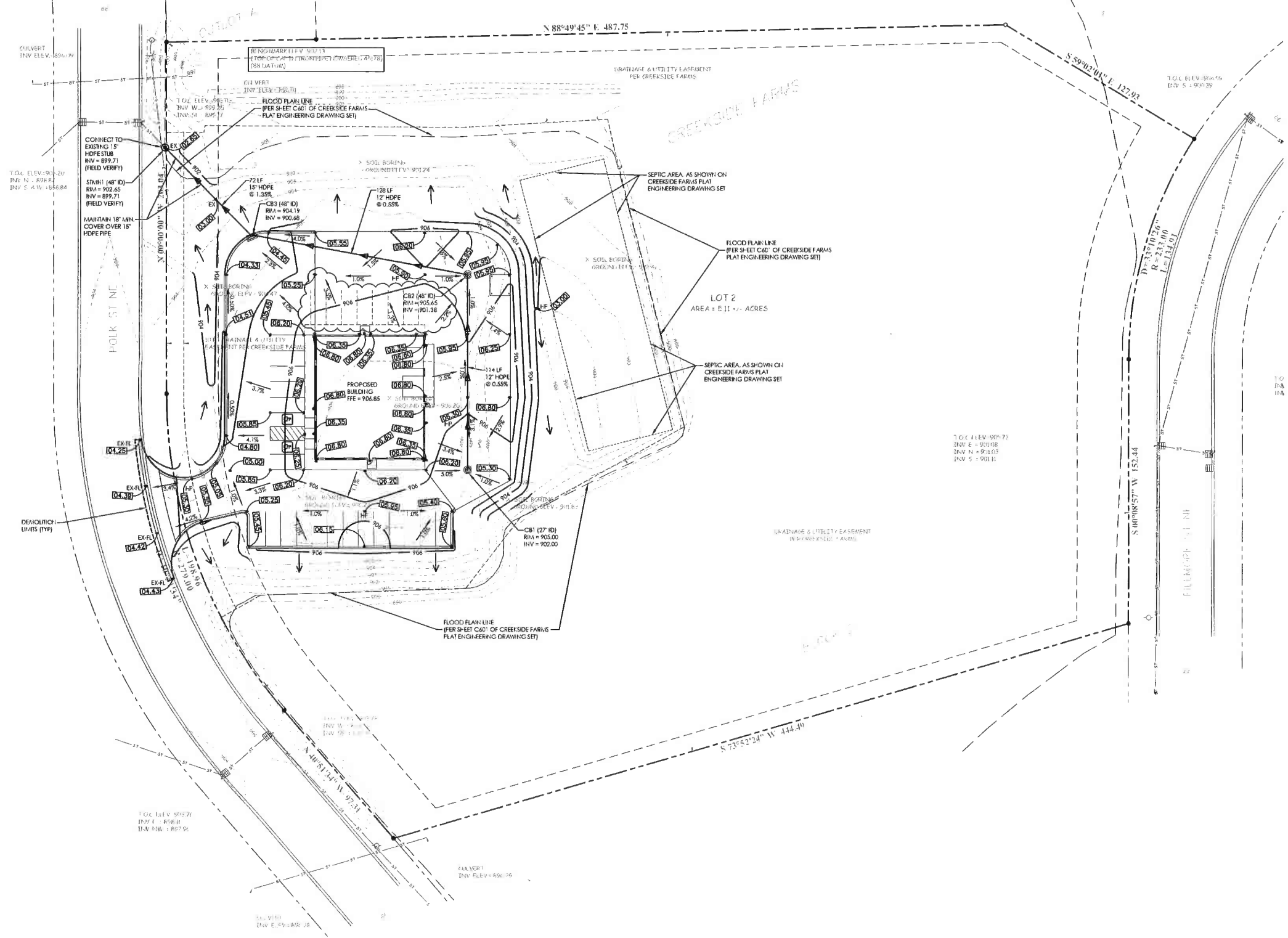
GRADING NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - LOCATIONS, DEPTHS, SIZES, AND MATERIAL TYPES OF EXISTING SANITARY, WATER, AND STORM SEWER UTILITIES, INCLUDING EXISTING STUBS
 - FIN AND INVERT ELEVATIONS OF EXISTING SANITARY AND STORM SEWER UTILITIES, INCLUDING EXISTING STUBS
 - LOCATIONS AND DEPTHS OF EXISTING NON-SEWER AND NON-WATER UTILITIES (E.G. GAS, ELECTRIC, COMMUNICATIONS, ETC.)
 - EXISTING ABOVE-GROUND INFRASTRUCTURE AND SITE FEATURES
2. NOTIFY ENGINEER IMMEDIATELY IF ANY INCONSISTENCIES ARE DISCOVERED BETWEEN ACTUAL SITE CONDITIONS AND WHAT IS SHOWN ON THE PLANS, WHICH ARE SIGNIFICANT ENOUGH TO ALTER THE INTENT OF THE DRAWINGS.
3. EXISTING TOPOGRAPHICAL INFORMATION WAS OBTAINED FROM A TOPOGRAPHICAL SURVEY COMPLETED BY O'MALLEY & KRON LAND SURVEYORS, COLD SPRING, MN, (320) 685-5905
4. BENCHMARK: T.C.F. OF CAP IN RCH FIVE NUMBERED 45178 LOCATED AT THE NORTH-WEST PROPERTY CORNER, ON THE EAST SIDE OF POLK STREET (SEE PLAN) - ELEV = 902.13 (88 DATUM).
5. CONTRACTOR SHALL CONTACT Gopher One Call at (800) 352-1166 FOR A UTILITY LOCATE PRIOR TO THE START OF CONSTRUCTION AND VERIFY LOCATIONS OF EXISTING UTILITIES BEFORE BEGINNING WORK.
6. SEE SHEET C2 FOR STANDARD DETAILS.
7. FINISHED ELEVATIONS OF LANDSCAPED AREAS IMMEDIATELY ADJACENT TO BUILDINGS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR OR TOP-OF-BLOCK ELEVATION UNLESS NOTED OTHERWISE ON THE PLAN.
8. CONTRACTOR SHALL PERFORM ALL NECESSARY CALCULATIONS TO VERIFY EARTHWORK QUANTITIES. CONTRACTOR'S BID RELATED TO EARTHWORK, CUTTING, FILLING, GRADING, ETC. SHALL BE BASED ON EARTHWORK CALCULATIONS COMPLETED BY THE CONTRACTOR.
9. SPOT ELEVATIONS INDICATED ON THIS PLAN REPRESENT FINISHED SURFACE ELEVATIONS, UNLESS NOTED OTHERWISE.
10. SPOT ELEVATION DESIGNATIONS:
 - 'EX' DENOTES EXISTING SPOT ELEVATION
 - 'HF' DENOTES HIGH POINT
 - 'FL' DENOTES FLOWLINE
 - 'BC' DENOTES BACK OF CURB
 - 'EC' DENOTES EDGE OF CONCRETE
 - 'EP' DENOTES EDGE OF PAVEMENT
11. ALL SPOT ELEVATIONS AND CONTOURS INDICATED ON THIS PLAN ARE INTENDED TO PROVIDE ADEQUATE POSITIVE DRAINAGE TOWARDS CATCH BASINS, CURB CUTS, PONES, BASKS AND/OR OTHER OUTLETS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT SPECIFIED SURFACE INFRASTRUCTURE TO ELEVATIONS AND GRADES INDICATED ON THIS PLAN, AS WELL AS ENSURE THAT ADEQUATE POSITIVE DRAINAGE IS CONSTRUCTED AND MAINTAINED THROUGHOUT THE ENTIRE SITE AND/OR CONSTRUCTION AREA.

IF REQUIRED BY THE MN DEPT. OF LABOR AND INDUSTRY (MNDU), OWNER AND/OR CONTRACTOR SHALL SUBMIT FOR STATE PLUMBING REVIEW, AND OBTAIN AN APPROVED PLUMBING REVIEW REPORT FROM MNDU, PRIOR TO THE INSTALLATION OF ANY STORM SEWER UTILITIES.

CONSTRUCTION OF STORM SEWER UTILITIES SHALL NOT COMMENCE UNTIL AFTER THE APPROVED PLUMBING REVIEW REPORT HAS BEEN OBTAINED, AND ANY AND ALL PERTINENT COMMENTS HAVE BEEN ADDRESSED ON THE PLANS AND IN THE PROJECT SPECIFICATIONS. CONTRACTOR IS ADVISED TO ORDER STORM SEWER UTILITY MATERIALS AFTER APPROVED PLUMBING REVIEW REPORT HAS BEEN OBTAINED FROM MNDU.

NOTE: CADD FILES FOR ESTIMATING EARTHWORK QUANTITIES ARE AVAILABLE TO CONTRACTORS FOR PREPARING BIDS. IN ORDER TO RECEIVE THE CADD FILES, THE CONTRACTOR WILL NEED TO SIGN A HOLD-HAVELESS AGREEMENT PROVIDED BY SCHULTZ ENGINEERING & SITE DESIGN, AND AGREE TO PAY A \$50 PROCESSING FEE. THE CADD FILES WILL BE RELEASED UPON RECEIPT OF THE CHECK.



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Engineer under the laws of the state of Minnesota

Brian J. Schultz, PE
Date: 09/11/2023
License No.: 43179

SCHULTZ ENGINEERING & SITE DESIGN

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Spring, MN 56377
www.schultzengdesign.com

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schultzeng@msn.com

NO.	DATE	DESCRIPTION
1	09/29/2023	PER 09/20/2023 CITY ENGINEER COMMENTS
2		
3		
4		

**UNLIMITED CONCRETE
NEW FACILITY**

14651 POLK STREET NE
HAM LAKE, MN

PROJECT NUMBER: 23031

SCALE: 1"=30'

C3 OF 6

GRADING PLAN

T.O.C. ELEV. 902.76
INV. S. & W. 807.96

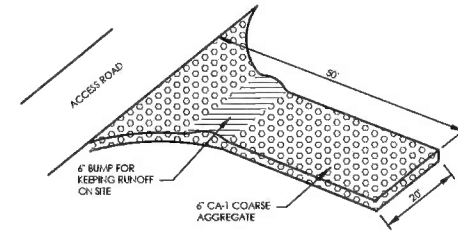
T.O.C. ELEV. 902.76
INV. S. & W. 807.96

T.O.C. ELEV. 902.72
INV. E. = 901.08
INV. N. = 901.03
INV. S. = 901.11

T.O.
DA
HA

2:30:31 Grading.dwg

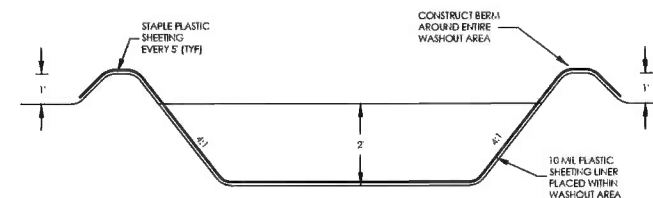
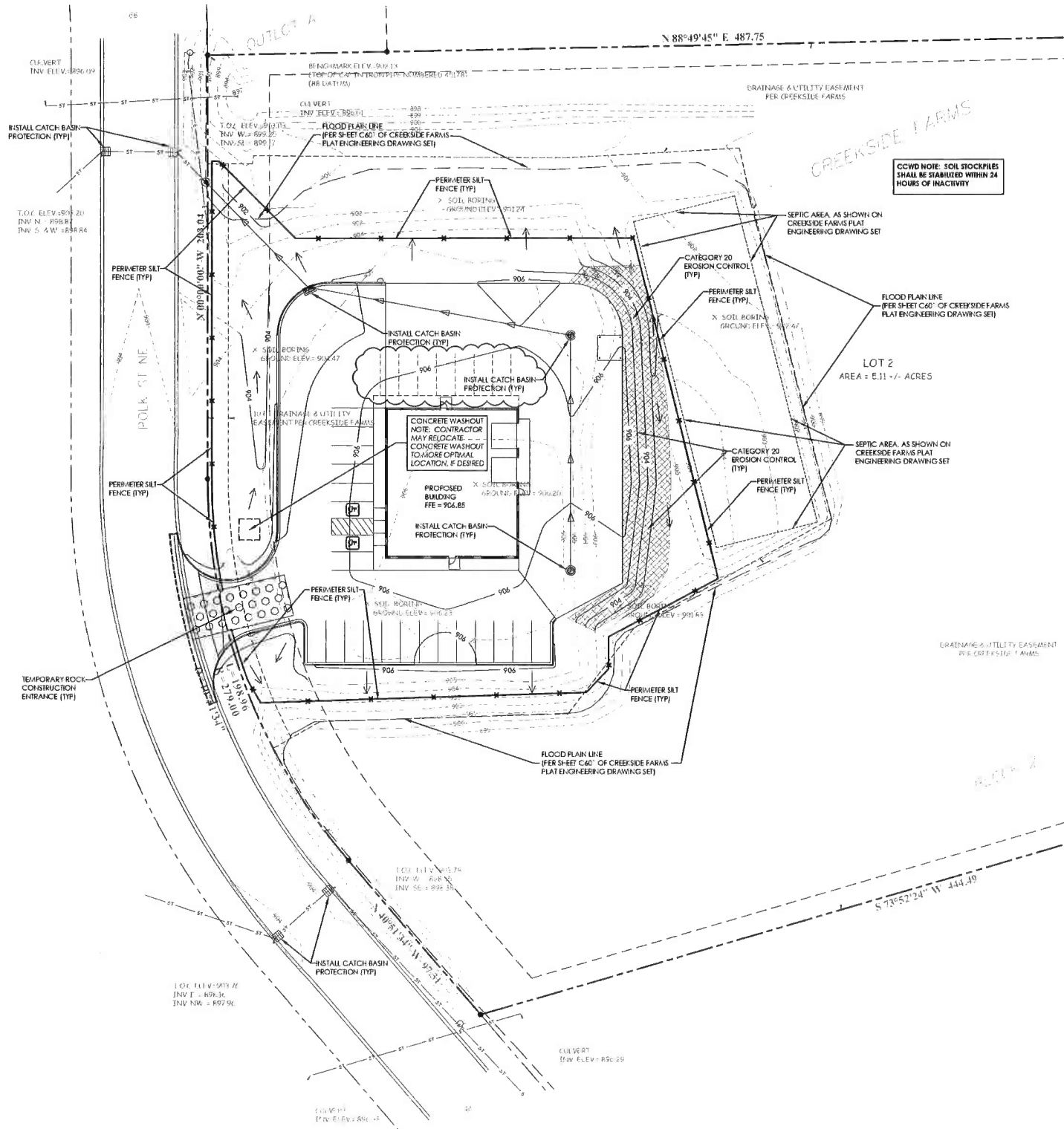
LEGEND						
	900	PROPOSED CONTOUR	---	EXISTING MAJOR CONTOUR		EXISTING CATCH BASIN
		PROPOSED STORM SEWER		EXISTING MINOR CONTOUR		EXISTING POWER POLE
		PROPOSED CATCH BASIN		EXISTING STORM SEWER LINE		SOIL BORING
		PROPOSED CATCH BASIN ALONG CURB & GUTTER		EXISTING UNDERGROUND GAS		EXISTING GAS PEDESTAL
		PROPOSED SLOPE & DIRECTIONAL ARROW		EXISTING UNDERGROUND ELECTRIC		EXISTING UNDERGROUND GAS SIGN
				EXISTING UNDERGROUND CABLE		EXISTING CABLE PEDESTAL
				EXISTING OVERHEAD POWER		EXISTING SEPTIC CLEANOUT
						EXISTING WELL



1. THE ROCK ENTRANCE SHALL BE CONSTRUCTED PRIOR TO THE START OF GRADING OPERATIONS.
2. THE ENTRANCE SHALL BE GRADED SUCH THAT POSITIVE DRAINAGE DURING CONSTRUCTION IS PROVIDED.
3. THE ENTRANCE SHALL BE MAINTAINED IN SUCH A CONDITION SUCH THAT IT PREVENTS MUD TRACKING OFF SITE. ADDITIONAL ROCK OR REPLACEMENT OF THE ENTRANCE MAY BE REQUIRED PERIODICALLY IF MUD STARTS TO TRACK OFF SITE.
4. THE ROCK ENTRANCE MAY BE REMOVED JUST PRIOR TO THE PLACEMENT OF AGGREGATE BASE.

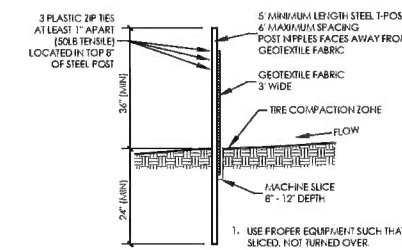
NOTE: PLACING FILTER FABRIC UNDER THE ROCK ENTRANCE MAY REDUCE THE AMOUNT OF MAINTENANCE IT WOULD REQUIRE.

1 TEMPORARY ROCK CONSTRUCTION ENTRANCE



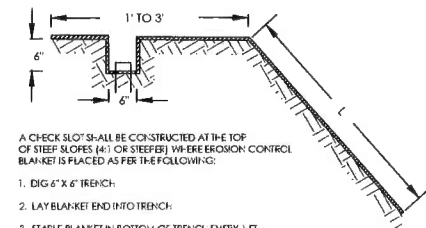
1. BOTTOM OF CONCRETE WASHOUT AREA SHALL BE 10' X 10'.
2. CONTRACTOR SHALL REMOVE WASH LIQUID FROM CONCRETE WASHOUT AREA AND DISPOSE OF PER MPCA REQUIREMENTS. WHEN WASHOUT AREA BECOMES HALF FULL.
3. CONTRACTOR SHALL SELECT THE MOST OPTIMAL LOCATION FOR THE CONCRETE WASHOUT.

2 CONCRETE WASHOUT



1. USE PROPER EQUIPMENT SUCH THAT THE SOIL IS SLICED, NOT TURNED OVER.
2. AFTER SILT FENCE IS INSTALLED, COMPACT THE SOIL IMMEDIATELY NEXT TO THE GEOTEXTILE BY DRIVING OVER IT WITH A TRACTOR TIRE AT LEAST TWICE.

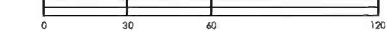
3 SILT FENCE (MACHINE SLICED)



- A CHECK SLOT SHALL BE CONSTRUCTED AT THE TOP OF STEEP SLOPES (4:1 OR STEEPER) WHERE EROSION CONTROL BLANKET IS PLACED AS PER THE FOLLOWING:
1. DIG 6\"/>

4 EROSION CONTROL BLANKET

SWPPP - PLAN VIEW



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Engineer under the laws of the State of Minnesota.

Brian U. Schaffert, PE
Date: 09/11/2023 License No.: 43179

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UNLIMITED CONCRETE
NEW FACILITY

14651 POLK STREET NE
HAM LAKE, MN

PROJECT NUMBER:
23031

SCALE:
1"=30'

C5 OF 6

LEGEND

<p>→ PROPOSED SANITARY SERVICE</p> <p>→ PROPOSED WATER SERVICE</p> <p>○ PROPOSED WELL</p> <p>→ PROPOSED STORM SEWER</p> <p>● PROPOSED CATCH BASIN</p> <p>■ PROPOSED CATCH BASIN ALONG CURB & GUTTER</p>	<p>--- 900 --- EXISTING MAJOR CONTOUR</p> <p>--- 899 --- EXISTING MINOR CONTOUR</p> <p>—S—S—S— EXISTING STORM SEWER LINE</p> <p>—G—G—G— EXISTING UNDERGROUND GAS</p> <p>—E—E—E— EXISTING UNDERGROUND ELECTRIC</p> <p>—C—C—C— EXISTING UNDERGROUND CABLE</p> <p>CHP-CHP-CHP EXISTING OVERHEAD POWER</p>	<p>▭ EXISTING CATCH BASIN</p> <p>⊕ EXISTING POWER POLE</p> <p>⊕ SOIL BORING</p> <p>⊕ EXISTING GAS PEDESTAL</p> <p>⊕ EXISTING UNDERGROUND GAS SIGN</p> <p>⊕ EXISTING CABLE PEDESTAL</p> <p>○ EXISTING SEPTIC CLEANOUT</p> <p>○ EXISTING WELL</p>
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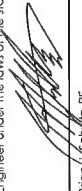
UTILITY NOTES:

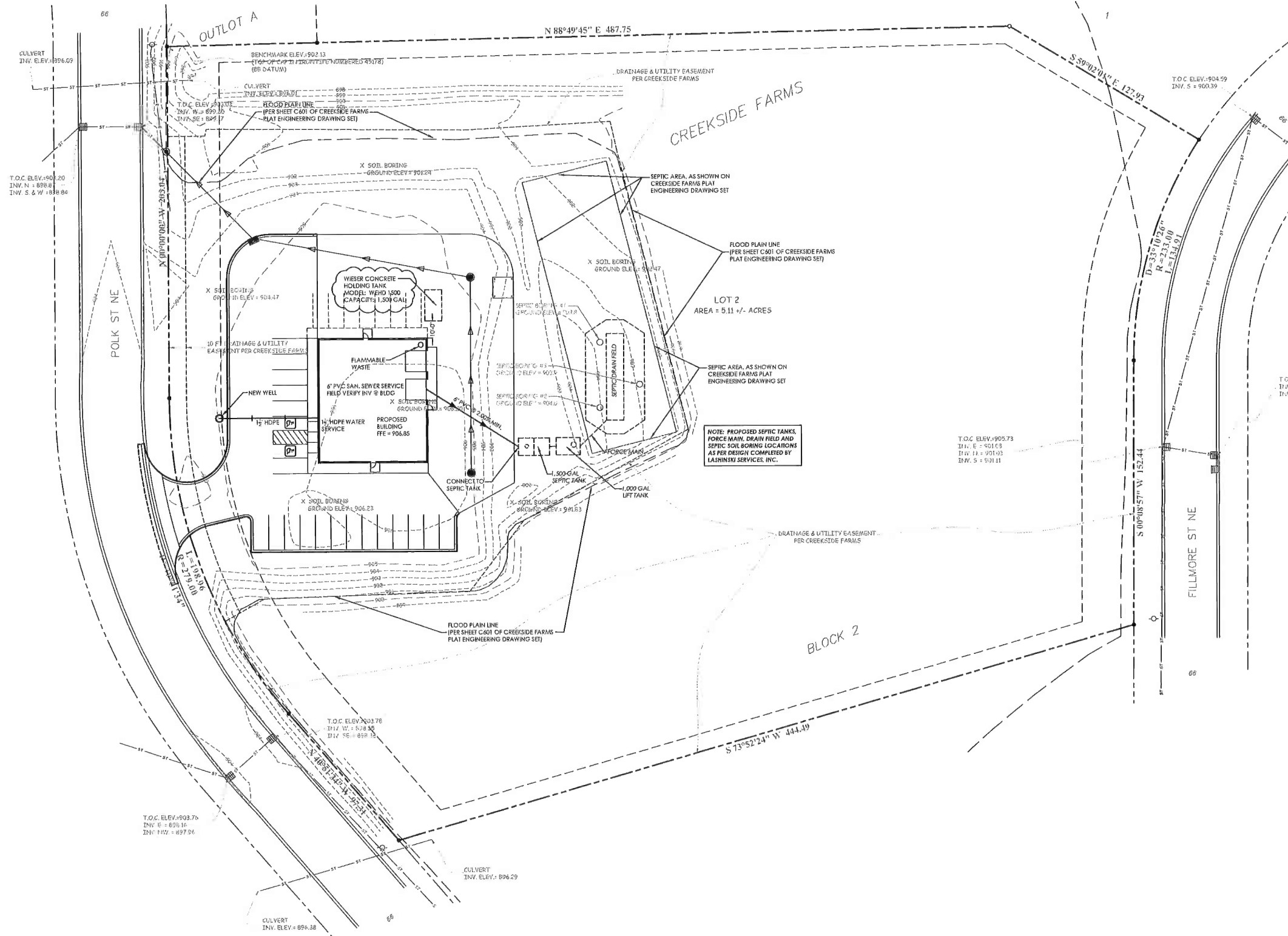
1. WATER MAIN AND ANY WATER SERVICE LINES SHALL BE PLACED AT A MINIMUM DEPTH OF 6 FEET BELOW FINISHED GRADE.
2. IF CONFLICTS ARE DISCOVERED WHERE WATER MAIN OR SERVICES CROSS EXISTING OR PROPOSED SANITARY SEWER, SERVICE LINES, OR STORM SEWER, THE WATER MAIN SHALL BE RAISED OR LOWERED APPROPRIATELY WHILE STILL MAINTAINING A MINIMUM DEPTH OF 8 FEET BELOW FINISHED GRADE.
3. INSULATION SHALL BE PLACED AT ALL LOCATIONS WHERE STORM SEWER CROSSES SANITARY SEWER, WATER MAIN, OR ASSOCIATED SERVICES. INSULATION SHALL CONSIST OF AN 8-FT X 8-FT SQUARE OF 3" THICK RIGID INSULATION. INSULATION SHALL BE PLACED BETWEEN THE STORM SEWER AND PIPE CROSSING WITH THE EDGES OF THE INSULATION PARALLEL TO THE PIPING AS MUCH AS POSSIBLE.
4. INSTALL SANITARY SEWER SERVICE LINE CLEANOUTS AS REQUIRED BY THE MINNESOTA PLUMBING CODE.
4. INSTALL TRACER WIRE ALONG PROPOSED UNDERGROUND UTILITY PIPE AS PER MINNESOTA RURAL WATER ASSOCIATION STANDARDS AND SPECIFICATIONS.
<https://www.mnra.com/wp-content/uploads/2022/06/TracerWireSpecGuideFinalweb3.pdf>
5. SEE SHEET C3 FOR STORM SEWER ELEVATIONS AND SLOPE, AND SHEET C2 FOR STANDARD DETAILS RELATING TO THE PLACEMENT OF THE UTILITIES.
6. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

OWNER AND/OR CONTRACTOR SHALL SUBMIT FOR STATE PLUMBING REVIEW, AND OBTAIN AN APPROVED PLUMBING REVIEW REPORT FROM MN DL, PRIOR TO THE INSTALLATION OF ANY SANITARY SEWER OR WATER UTILITIES.


CONSTRUCTION OF SANITARY SEWER OR WATER UTILITIES SHALL NOT COMMENCE UNTIL AFTER THE APPROVED PLUMBING REVIEW REPORT HAS BEEN OBTAINED, AND ANY AND ALL PERTINENT COMMENTS HAVE BEEN ADDRESSED ON THE PLANS AND IN THE PROJECT SPECIFICATIONS. CONTRACTOR IS ADVISED TO ORDER UTILITY MATERIALS AFTER APPROVED PLUMBING REVIEW REPORT HAS BEEN OBTAINED FROM MN DL.

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 Brian U. Schultz, PE
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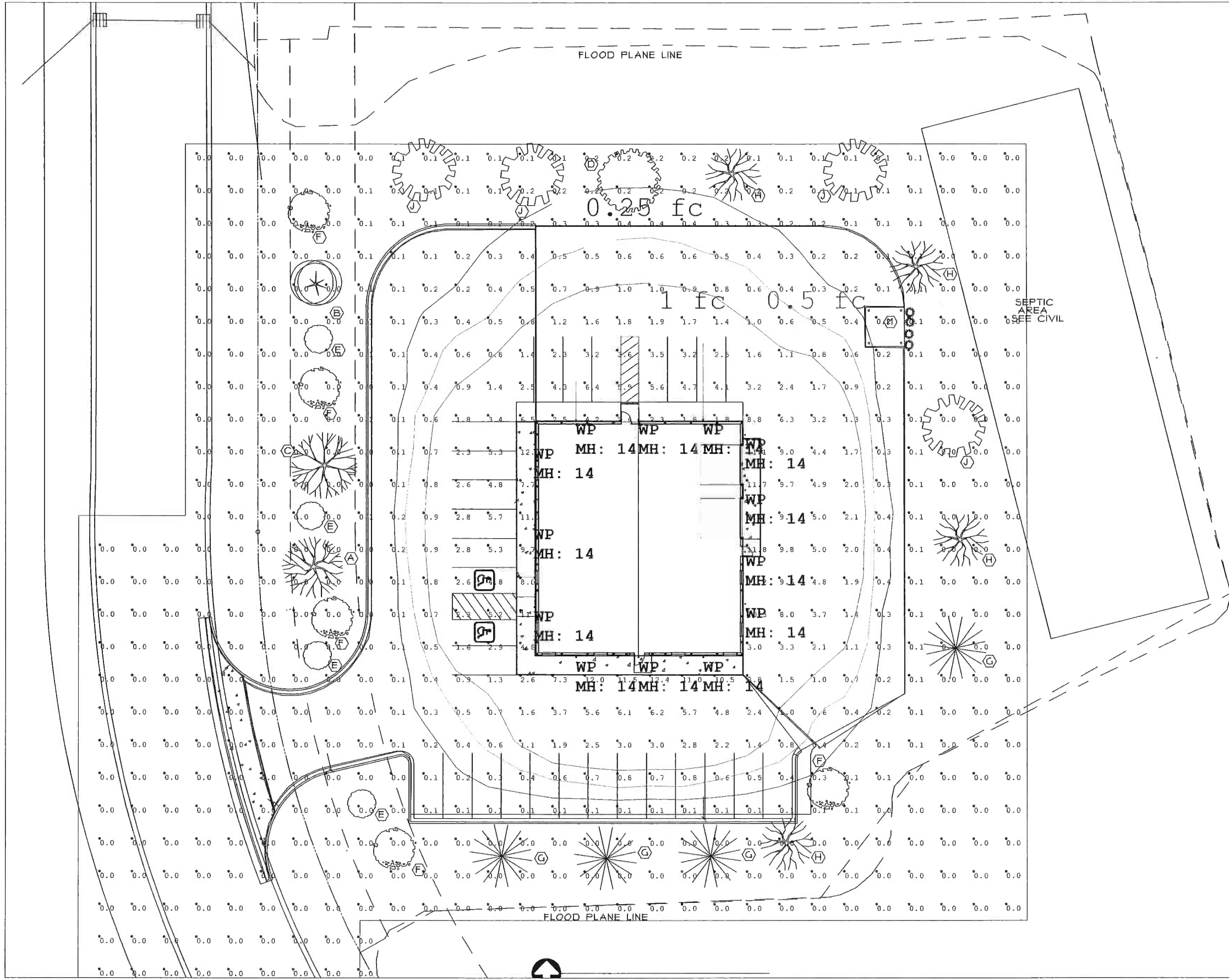
REVISIONS		NO.	DATE	DESCRIPTION
	1	09/29/2023	PER 07/20/2023 CITY ENGINEER COMMENTS	
	2	10/05/2023	PER 10/03/2023 CITY ENGINEER COMMENT	
	3			
	4			

UNLIMITED CONCRETE NEW FACILITY

16461 POLK STREET NE
HAM LAKE, MN

23031 Utility.dwg

PROJECT NUMBER: 23031	 SCALE: 1"=30'
C6 OF 6	



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Planar	Illuminanc	Fc	0.94	12.4	0.0	N.A.	N.A.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
⊕	13	WP	SINGLE	0.910	SLIM17FAFC60 4K at 0 CCT Sett	58.39

Unlimited Concrete

Exterior

Drawn By: Daniel Budke
 Checked By:
 Date: 9/18/2023
 Scale:

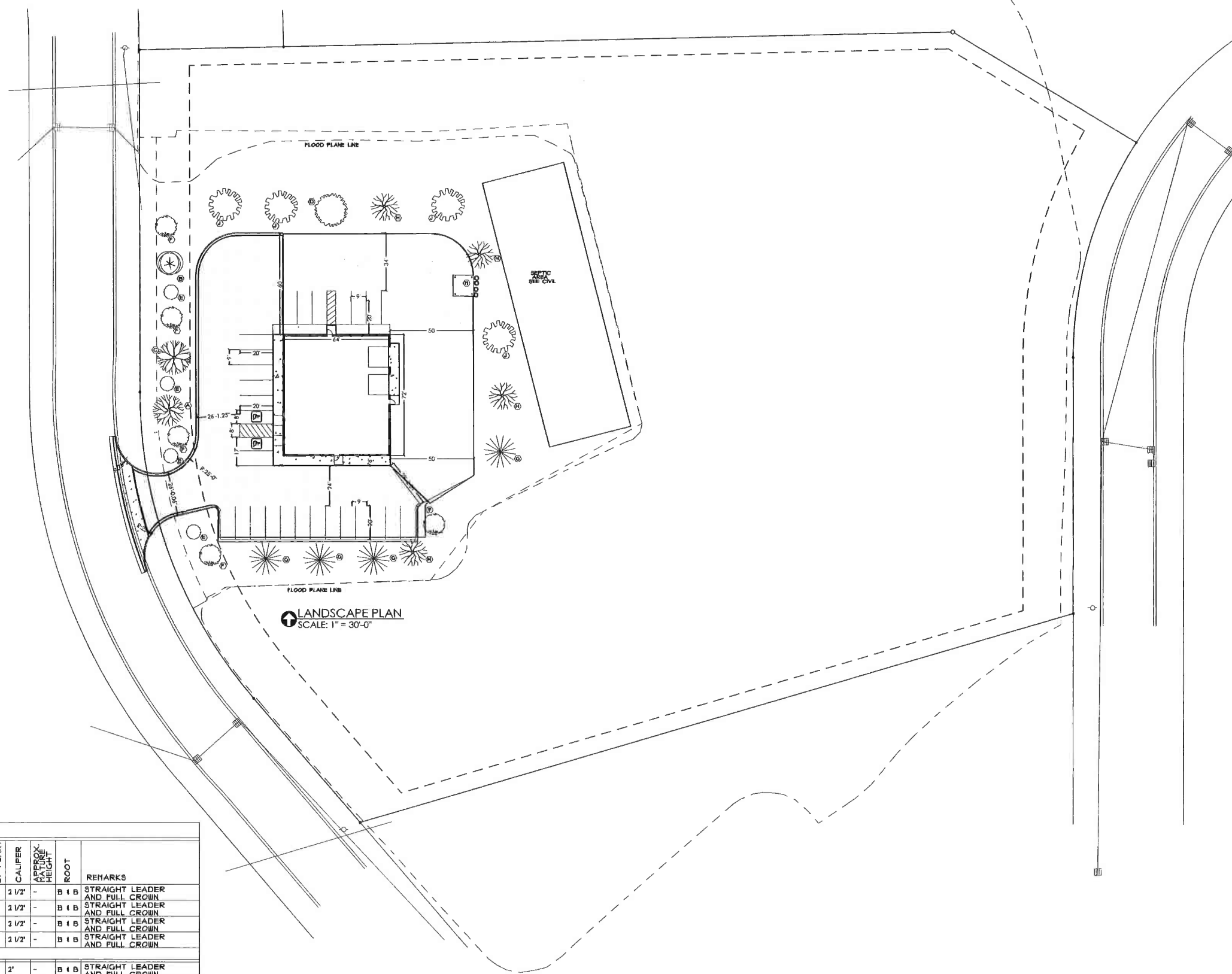
Revisions

#	Date	Comments



PLANTING SCHEDULE

TYPE	QUANTITY	LETTER	SYMBOL	COMMON NAME	BOTANICAL NAME	MIN. HT. AT TIME OF PLANT	CALIPER	APPROX. MATURE HEIGHT	ROOT	REMARKS
OVERSTORY DECIDUOUS	1	A	☉	BLACK CHERRY	<i>Prunus serotina</i>	-	2 1/2"	-	B 4 B	STRAIGHT LEADER AND FULL CROWN
	1	B	⊙	COMMON HACKBERRY	<i>Celtis occidentalis</i>	-	2 1/2"	-	B 4 B	STRAIGHT LEADER AND FULL CROWN
	1	C	☼	NORTHWOODS RED MAPLE	<i>Acer rubrum 'Northwood'</i>	-	2 1/2"	-	B 4 B	STRAIGHT LEADER AND FULL CROWN
	1	D	⊙	SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos var. inermis 'Skycole'</i>	-	2 1/2"	-	B 4 B	STRAIGHT LEADER AND FULL CROWN
4 DECIDUOUS TREES PROVIDED										
DECIDUOUS ORNAMENTAL TREES	5	E	○	PALE SPIRE CRABAPPLE	<i>Malus 'Pale Spire'</i>	-	2'	-	B 4 B	STRAIGHT LEADER AND FULL CROWN
	5	F	⊙	THORNLESS HAWTHORN	<i>Syringa reticulata ' Ivory Silk'</i>	-	2'	-	B 4 B	STRAIGHT LEADER AND FULL CROWN
10 DECIDUOUS TREES PROVIDED										
CONIFEROUS TREES	4	G	☼	BLACK HILLS SPRUCE	<i>Picea glauca densata</i>	4'-0"	-	-	B 4 B	STRAIGHT LEADER
	4	H	☼	SCOTCH PINE	<i>Pinus sylvestris</i>	4'-0"	-	-	B 4 B	STRAIGHT LEADER
	4	J	☼	WHITE FIR	<i>Abies concolor</i>	4'-0"	-	-	B 4 B	STRAIGHT LEADER
12 CONIFEROUS TREES PROVIDED										
EVERGREEN SHRUBS	4	M	☼	CALGARY CARPET JUMPER	<i>Sambucus racemosa 'Flora'</i>	24"	-	-	POTTED	-
	4	TOTAL EVERGREEN SHRUBS PROVIDED								



GENERAL NOTES:

- A) VERIFY EXISTING TREE LOCATIONS AND QUANTITIES TO REMAIN, AND ADJUST PLANTING SCHEDULE ACCORDINGLY, TO BE APPROVED BY CITY.
- B) ALL LANDSCAPED AREAS TO BE IRRIGATED. EQUIPMENT TO HAVE BACK FLOW PREVENTION DEVICE AND RAIN SENSOR DEVICE. VERIFY W/ G.C.
- C) ALL LANDSCAPED AREAS WITHOUT ROCK / CEDAR MULCH TO HAVE SOD OR SEED. VERIFY W/ G.C.
- D) PLANTING DEPTH OF ALL MATERIALS SHALL BE SUCH THAT THE ROOT FLAIR IS AT FINISHED GRADE.
- E) ALL DECIDUOUS AND CONIFEROUS TREES SHALL BE BALL AND BURLAP AND STAKES GUYED PER NATIONAL NURSERYMEN'S STANDARDS. ALL SHRUBS SHALL BE POTTED.

PROJECT NO. 23031
 ISSUE DATE: JULY 19th, 2023
 DOCUMENT SET: PERMIT SET
 DATE: 07-18-23 2:41 PM
 COLE GROUP ARCHITECTS LLC
 321 First Avenue South
 Saint Cloud, MN 56301
 763.296.6570
 www.colegrouparchitects.com

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PROPOSED BUILDING FOR
UNLIMITED CONCRETE
STRUCTURAL BUILDINGS
 12924 FIRST STREET
 BECKER, MN
 (763) 296-5800
 HAM LAKE, MN

REVISIONS COMMENTS
 REVISIONS COMMENTS
 REVISIONS COMMENTS

L010

NEW BUILDING FOR: UNLIMITED CONCRETE

16651 POLK STREET NE HAM LAKE, MN 55304

PROJECT TEAM

GENERAL CONTRACTOR: STRUCTURAL BUILDINGS, INC.
12924 FIRST STREET
BECKER, MN 55308
PHONE: (763) 296-5800

ARCHITECT: COLE GROUP ARCHITECTS
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PHONE: (320) 654-6570

STRUCTURAL ENGINEERING: DUFFY ENGINEERING & ASSOCIATES
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PHONE: (320) 259-6575

CIVIL ENGINEERING: SCHULTZ ENGINEERING & SITE DESIGN
18 SOUTH RIVERSIDE AVENUE
SUITE 230
SARTELL, MN 56311
PHONE: (320) 339-0669

CODE SUMMARY

BUILDING DESCRIPTION:

A NEW ONE STORY 2,688 GROSS S.F. STORAGE WAREHOUSE WITH 3,840 GROSS S.F. TWO STORY OFFICE BUILDING.

CODE SUMMARY:

2020 MINNESOTA STATE BUILDING CODE AND RELATED CODES

- A. OCCUPANCIES (MNBC CHAPTER 3):
S-1 WAREHOUSE (SECTION 311.2)
B BUSINESS (SECTION 304)
- B. MIXED USE OCCUPANCIES (MNBC CHAPTER 5):
SEPARATED OCCUPANCIES, BUT NO FIRE SEPARATION REQUIRED UNDER TABLE 508.4
- C. ALLOWABLE AREA PER FLOOR (MNBC CHAPTER 5 TABLE 504.2):
ALLOWABLE AREA FOR S-1 OCCUPANCY = 9,000 SF
ACTUAL AREA FOR S-1 OCCUPANCY = 2,688 SF
ALLOWABLE AREA FOR B OCCUPANCY = 9,000 SF (PER FLOOR)
ACTUAL AREA FOR B OCCUPANCY = 1,924 SF (PER FLOOR)
- D. ALLOWABLE HEIGHT (MNBC CHAPTER 5 TABLE 504.4):
S-1 OCCUPANCY = 1 STORY / 40'-0"
S-1 OCCUPANCY = ACTUAL HEIGHT 1 STORY - 24'-9"
B OCCUPANCY = 2 STORIES / 40'-0"
B OCCUPANCY = ACTUAL HEIGHT 2 STORIES - 22'-0"
- E. TYPE OF CONSTRUCTION (MNBC CHAPTER 4):
TYPE V-B (NOT RATED)
- F. FIRE SPRINKLERS (MNBC CHAPTER 9):
NOT REQUIRED PER THE FOLLOWING:
 - S-1 FIRE AREA LESS THAN 12,000 SF (ACTUAL 9349 SF)
 - S-1 FIRE AREA NOT LOCATED MORE THAN 3-STORIES ABOVE GRADE (ACTUAL: 1-STORY)
 - COMBINED S-1 FIRE AREA LESS THAN 24,000 SF (ACTUAL: 11,654 SF)
 - TENANTS NOT STORING COMMERCIAL MOTOR VEHICLES
 - TENANTS DO NOT CLASSIFY AS A REPAIR GARAGE
 - TENANTS NOT STORING MORE THAN 20,000 CUBIC FEET OF TIRES (COMBINED)
 - TENANTS NOT STORING MORE THAN 2500 SF OF UPHOLSTERED FURNITURE OR MATTRESSES (COMBINED)

H. MEANS OF EGRESS (I.B.C. CHAPTER 10):

STORAGE (S-1 OCCUPANCY)
GRADE FLOOR: 2,113 S.F. (TABLE 1004.5)
2,113 S.F. / 500 S.F. PER OCC. = 5.5
2 EXITS REQ'D - 2 PROVIDED (TABLE 1004.2.1)
MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1004.2.1)

BUSINESS (B OCCUPANCY)
GRADE FLOOR: 1,381 S.F. (TABLE 1004.5)
1,381 S.F. / 150 S.F. PER OCC. = 9.3
1 EXIT REQ'D - 1 PROVIDED (TABLE 1004.2.1)
MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1004.2.1)

SECOND FLOOR: 1,833 S.F. (TABLE 1004.5)
1,833 S.F. / 150 S.F. PER OCC. = 12.2
1 EXIT REQ'D - 1 PROVIDED (TABLE 1004.2.1)
MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 15'-0" (TABLE 1004.3.3(2))

TOTAL
27 MAXIMUM BUILDING OCCUPANT LOAD FOR DETERMINING MEANS OF EGRESS

J. PLUMBING FIXTURES: (CHAPTER 29 TABLE 2902.1)

PLUMBING FIXTURES - WATER CLOSETS

S-1 OCC. (WAREHOUSE - AREAS)
4 OCCUPANTS/2 = 3 EA M/U
| PER 100 = 3/100 = 0.03 MEN
| PER 100 = 3/100 = 0.03 WOMEN
B OCC. (BUSINESS - AREAS)
22 OCCUPANTS/2 = 11 EA M/U
| PER 25 = 11/25 = 0.44 MEN
| PER 25 = 11/25 = 0.44 WOMEN

0.03 + 0.44 = (1) MEN REQUIRED
0.03 + 0.44 = (1) WOMEN REQUIRED

MEN - 1 TOILET PROVIDED
WOMEN - 1 TOILET PROVIDED
1 ADDITIONAL UNISEX TOILET PROVIDED

PLUMBING FIXTURES - LAVATORIES

S-1 OCC. (WAREHOUSE - AREAS)
4 OCCUPANTS/2 = 3 EA M/U
| PER 100 = 3/100 = 0.03 MEN
| PER 100 = 3/100 = 0.03 WOMEN
B OCC. (BUSINESS - AREAS)
22 OCCUPANTS/2 = 11 EA M/U
| PER 40 = 11/40 = 0.275 MEN
| PER 40 = 11/40 = 0.275 WOMEN

0.03 + 0.275 = (1) MEN REQUIRED
0.03 + 0.275 = (1) WOMEN REQUIRED
MEN - 1 LAVATORY PROVIDED
WOMEN - 1 LAVATORY PROVIDED
1 ADDITIONAL UNISEX LAVATORY PROVIDED

PLUMBING FIXTURES - SERVICE SINKS

1 REQUIRED FOR THE ENTIRE BUILDING
1 PROVIDED

PLUMBING FIXTURES - DRINKING FOUNTAINS

S-1 OCC. (WAREHOUSE - AREAS)
4 OCCUPANTS
| PER 1,000 = 4/1,000 = 0.04
B OCC. (BUSINESS - AREAS)
22 OCCUPANTS
| PER 100 = 22/100 = 0.22
0.04 + 0.22 = (1) REQUIRED
1 PROVIDED

SHEET INDEX

ARCHITECTURAL:

- A001 CODE INFO & ADA DETAILS
- A101 FLOOR PLANS
- A401 FINISH PLAN & SCHEDULES
- A501 ELEVATIONS
- A701 CROSS SECTIONS & DETAILS

1 GRAB BAR ELEVATION SCALE: 1/2" = 1'-0"	2 GRAB BAR ELEVATION SCALE: 1/2" = 1'-0"
3 GRAB BAR ELEVATION SCALE: 1/2" = 1'-0"	4 LAVATORY AND ACCESSORIES SCALE: 1/2" = 1'-0"
7 REQUIRED DOOR CLEARANCES TYPICAL ALL DOORS (N.T.S.)	10 ACCESSIBLE REACH RANGES SCALE: 1/2" = 1'-0"
5 ACCESSIBLE URINAL SCALE: 1/2" = 1'-0"	12 TRANSFER TYPE SHOWER STALL (36"x36") SCALE: N.T.S.
6 ACCESSIBLE DRINKING FOUNTAIN SCALE: 1/2" = 1'-0"	4 KNEE AND TOE CLEARANCE SCALE: 1/2" = 1'-0"

ACCESSIBLE CLEARANCES

BATHROOM FIXTURE CLEARANCES

5C BATHROOM LAVATORY: CLEARANCE MUST BE CONTINUED TO FIXTURE. APPROX. ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. NOT ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR.

7C BATHROOM TOILET: CLEARANCE MUST BE CONTINUED TO FIXTURE. APPROX. ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. NOT ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR.

12C TRANSFER TYPE SHOWER: CLEARANCE MUST BE CONTINUED TO FIXTURE. APPROX. ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. NOT ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR.

KITCHEN FIXTURE CLEARANCES

8C COUNTER: CLEARANCE MUST BE CONTINUED TO FIXTURE. APPROX. ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. NOT ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR.

14C SINK: CLEARANCE MUST BE CONTINUED TO FIXTURE. APPROX. ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. NOT ABOVE LAVATORIES SHALL HAVE THE REFLECTING SURFACE 2" MAX. ABOVE THE FLOOR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR. APPROX. APPROACH FOR ONE WHEELCHAIR.

COLE GROUP ARCHITECTS, INC. ARCHITECTS
216 PARK AVENUE SOUTH SUITE 102 ST. CLOUD, MN 56301
PHONE: (320) 654-6570

STRUCTURAL BUILDINGS
12924 FIRST STREET BECKER, MN 55308
PHONE: (763) 296-5800

UNLIMITED CONCRETE

PROJECT NO. 23037P
DATE: JULY 19, 2023
DOCUMENT SET: PERMIT SET

PLOTTED: 07-19-23 FILE: 23037P CON: 5

A001

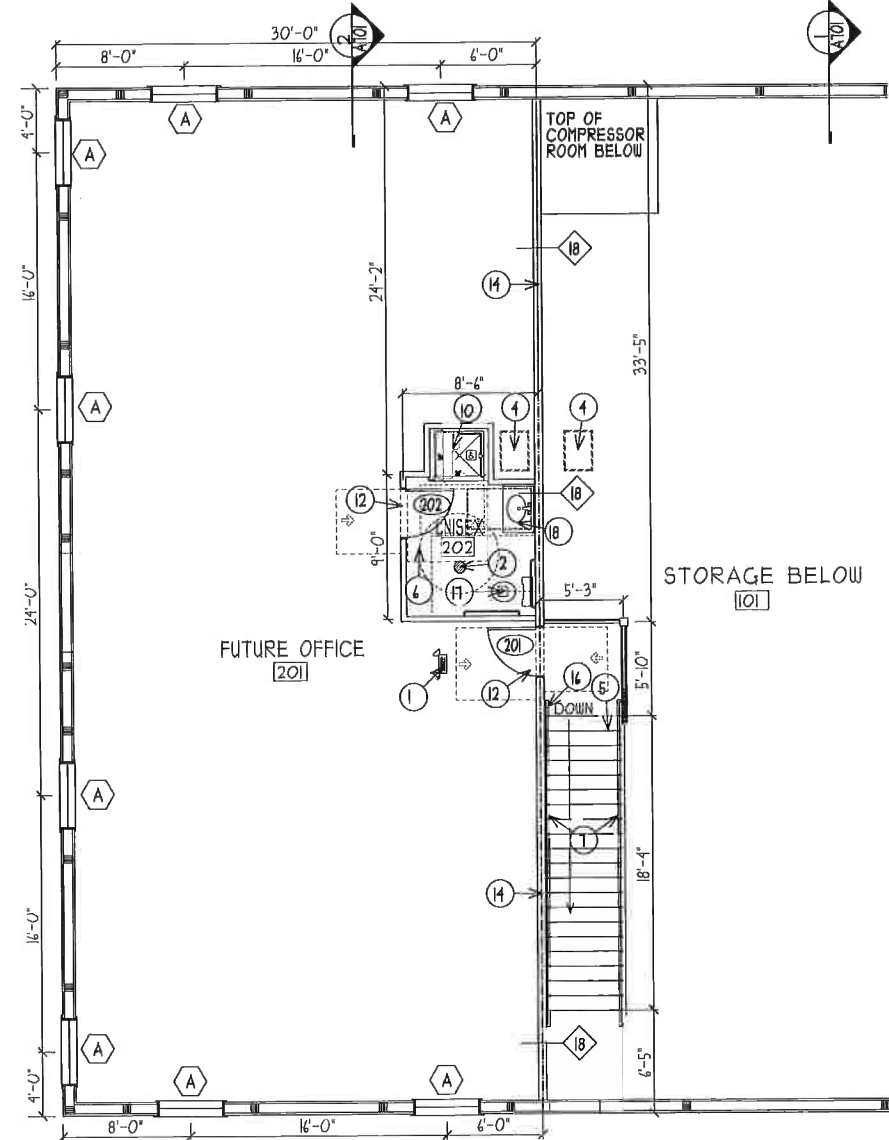
GENERAL NOTES:

- A) VERIFY FINISHES W/ G.C./OWNER
- B) OFFICE RESTROOMS TO HAVE EPOXY FLOOR, COVE 4" BASE AND F.R.P. 48" A.F.F. ON WET WALLS (MIN).
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION W/ FIRE MARSHALL.
- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHALL.
- E) ALL DOOR HARDWARE TO BE LEVER TYPE.
- F) VERIFY ALL SPECIALTY EQUIPMENT W/ G.C.
- G) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION W/ FIRE MARSHALL.

WALL TYPE S.T.C. 40 SCALE: 1/2"=1'-0" RATING - NONE (LOAD BEARING)	WALL TYPE S.T.C. 40 SCALE: 1/2"=1'-0" RATING - NONE (LOAD BEARING)
WALL TYPE S.T.C. 40 SCALE: 1/2"=1'-0" RATING - NONE (LOAD BEARING)	WALL TYPE S.T.C. 40 SCALE: 1/2"=1'-0" RATING - NONE (LOAD BEARING)

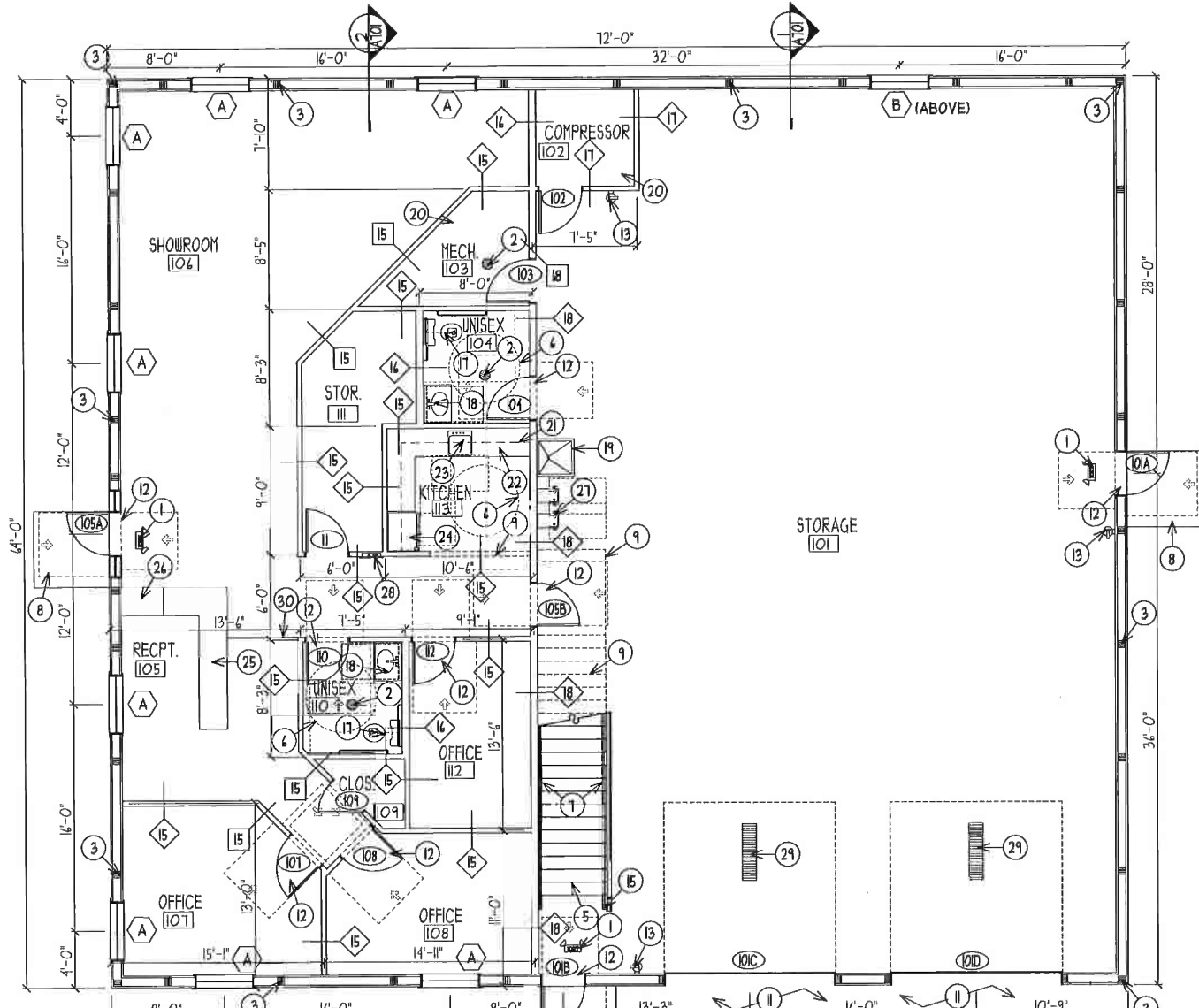
FLOOR PLAN NUMBER NOTES:

1. EMERGENCY EXIT LIGHTING AS REQ'D. BY CODE. SEE ELECT. PLANS
2. FLOOR DRAIN. VERIFY LOCATION W/ PLUMBING DRAWINGS.
3. STRUCTURAL COLUMN. VERIFY W/ STRUCTURAL DRAWINGS.
4. 22"x30" MIN. ATTIC ACCESS. VERIFY LOCATION W/ G.C.
5. STAIRWAY WITH 1" MAX. RISERS & 11" MIN. TREAD DEPTH.
6. ACCESSIBLE TURNING CLEARANCES SHOWN DASHED. SEE DET. 10C/AOOI.
7. HANDRAIL 34"-38" A.F.F. AT EACH SIDE.
8. PROVIDE CONCRETE FROST STOOP FOR EXTERIOR DOOR AS REQ'D.
9. LINE OF BULKHEAD/STAIRS ABOVE. SHOWN DASHED.
10. ACCESSIBLE 3' X 3' TRANSFER SHOWER. SEE DETAILS 3C & 10/AOOI. ADJUST FR. FL. AS REQ'D. TO MAINTAIN 1/2" THRESHOLD. PROVIDE CURTAIN ROD.
11. PROVIDE CONTINUOUS CONCRETE APRON. VERIFY EXTENTS W/ G.C.
12. MAINTAIN PROPER ACCESSIBLE DOOR CLEARANCES. SEE DETS. 1 & 15C/AOOI.
13. FIRE EXTINGUISHER. VERIFY LOCATION & QUANTITY W/ FIRE MARSHALL. SEE DET. 10/AOOI.
14. ATTIC DRAFT STOP EVERY 3,000 SF. MAX.
15. EXTEND HANDRAIL AT STAIR ANGLE ONE TREAD DEPTH PAST BOTTOM RISER.
16. EXTEND HANDRAIL 12" HORIZONTALLY PAST TOP RISER.
17. ACCESSIBLE TOILET. PROVIDE BLOCKING & INSTALL GRAB BARS AS REQ'D. SEE DETS. 1-3 & 10C/AOOI.
18. ACCESSIBLE LAVATORY TO MEET THE REQUIREMENTS OF DETS. 4, 5C, 6C & 14/AOOI.
19. TOP SINK. VERIFY W/ G.C.
20. EQUIPMENT THIS ROOM. SEE MECHANICAL PLANS.
21. LINE OF UPPER CABINETRY. VERIFY REQUIREMENTS WITH G.C.
22. BASE CABINETRY W/ 34" COUNTERTOP. VERIFY REQUIREMENTS WITH G.C.
23. SINGLE BOWL KITCHEN SINK W/ PARALLEL APPROACH.
24. ACCESSIBLE REFRIGERATOR. VERIFY STYLE & REQUIREMENTS W/ OWNER. SEE DET. 8C/AOOI.
25. RECEPTION DESK. VERIFY EXTENTS W/ G.C./ OWNER.
26. ACCESSIBLE COUNTER AREA 34" HIGH MAX. & 36" WIDE MIN.
27. DRINKING FOUNTAIN. VERIFY LOCATION WITH OWNER. SEE DETAIL 4/AOOI.
28. FIRE EXTINGUISHER IN RECESSED CABINET. VERIFY LOCATION & QUANTITY W/ FIRE MARSHALL.
29. TRENCH DRAIN. VERIFY LOCATIONS W/ PLUMBING DRAWINGS. SLOPE FLOOR AS REQ'D.
30. LINE OF FLOOR TRANSITION. SEE ROOM SCHEDULE ON SHEET A101.



SECOND LEVEL PLAN

SCALE: 3/16"=1'-0"



MAIN FLOOR PLAN

SCALE: 3/16"=1'-0"

COLE GROUP ARCHITECTS, INC. 12924 FIRST STREET, BECKETT, MN 55005
 PROJECT NO. 23037P
 ISSUE DATE: JULY 14th, 2023
 DOCUMENT SET: HERMIT SET
 PLOTTED: 07-19-23 FILE: 19-23

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PROPOSED BUILDING FOR STRUCTURAL BUILDINGS UNLIMITED CONCRETE HAM LAKE, MN

REVISIONS COMMENTS
 REVISIONS COMMENTS
 REVISIONS COMMENTS

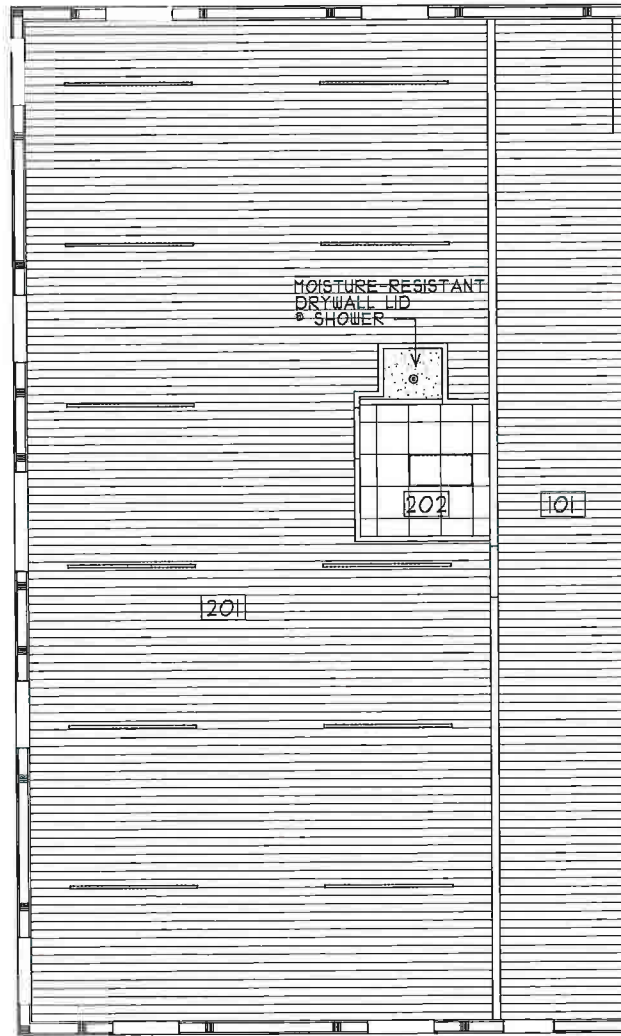
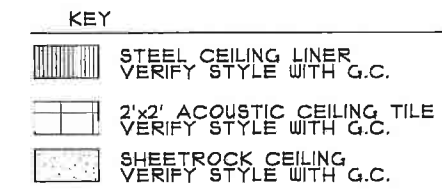
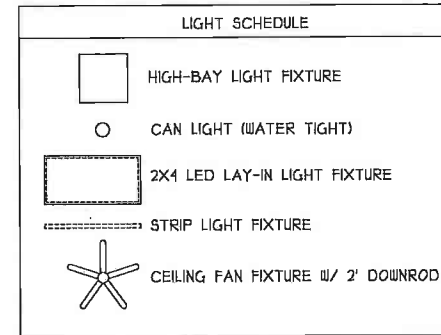
Project No. 23031
 Issue Date: July 14th, 2023
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A101

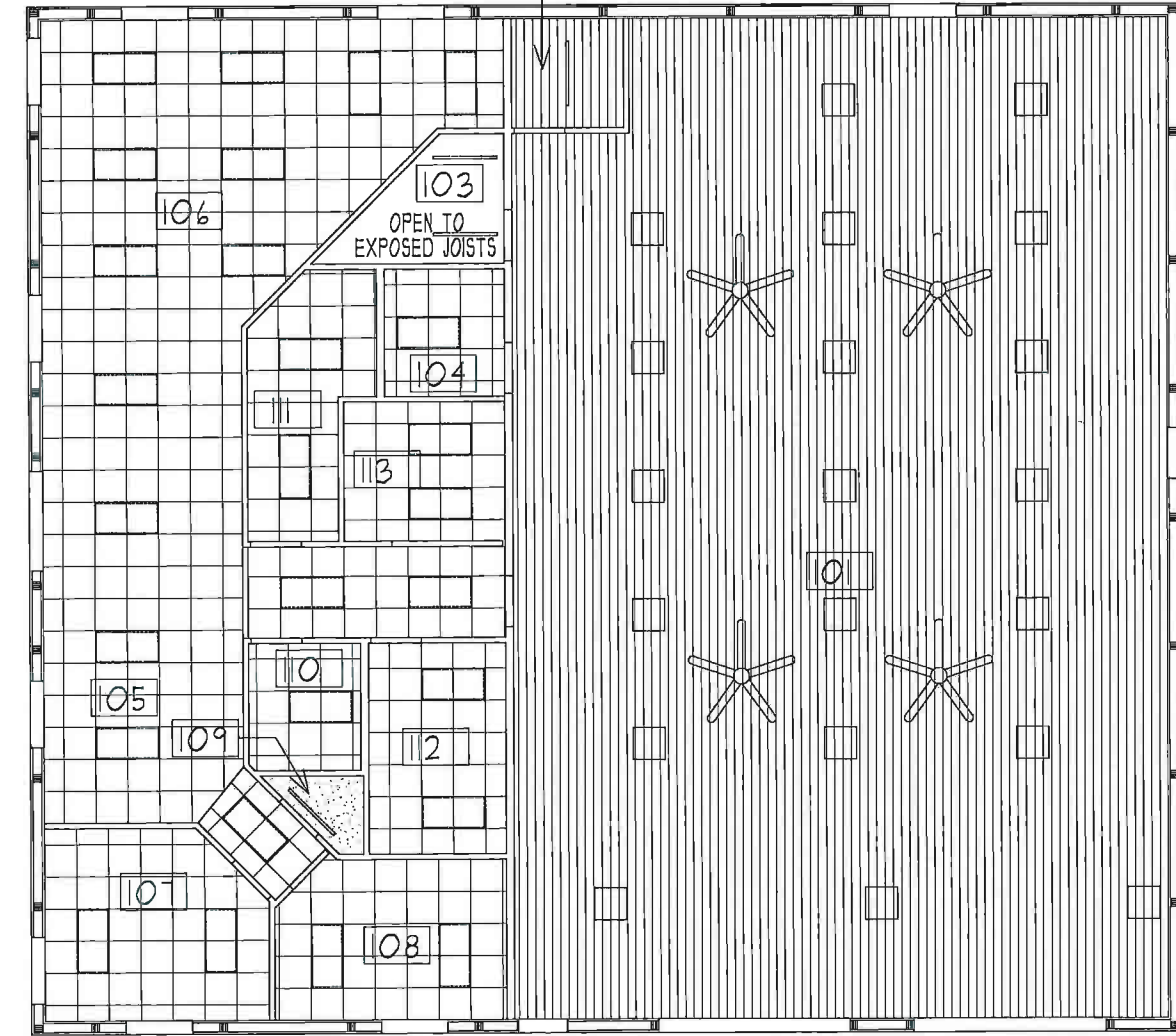
DOOR SCHEDULE										
LABEL	QTY.	MFG / MODEL	SIZE	ROUGH OPEN	SLAB MAT.	FRAME MAT.	COLOR	SWING	HARDWARE	REMARKS
104	1	PLYCO	3048	-	STEEL	STEEL	-	RHOS	DB, LL	-
105	1	PLYCO	3048	-	STEEL	STEEL	-	LHOS	DB, LL	-
106	1	TO BE DETERMINED	12X12	12'-0" X 12'-0"	STEEL	STEEL	-	-	-	INSULATED
107	1	TO BE DETERMINED	12X12	12'-0" X 12'-0"	STEEL	STEEL	-	-	-	INSULATED
101	1	PLYCO	3048	-	STEEL	STEEL	-	LHOS	-	-
103	1	PLYCO	3048	-	STEEL	STEEL	-	LHIS	-	-
104	1	PLYCO	3048	-	STEEL	STEEL	-	LHIS	LL, PRIVATE	-
105A	1	TO BE DETERMINED, ALUM. ST. FRONT	3048	-	ALUM.	ALUM.	-	LHOS	DB, LL	1/2" SIDELITE BOTH SIDES
105B	1	PLYCO	3048	-	STEEL	STEEL	-	LHOS	DB, LL	-
101	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	WOOD	-	LHIS	-	1/2 GLASS
104	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	WOOD	-	LHIS	-	1/2 GLASS
104	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	WOOD	-	RHOS	-	5
10	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	WOOD	-	RHIS	LL, PRIVATE	-
10	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	WOOD	-	LHIS	-	-
12	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	WOOD	-	RHIS	-	1/2 GLASS
100	1	PLYCO	3048	-	STEEL	STEEL	-	RHIS	-	-
102	1	WOOD FRAME SOLID SLAB	3048	-	WOOD	WOOD	-	LHIS	LL, PRIVATE	-

WINDOW SCHEDULE								
LABEL	QTY.	MFG / MODEL	SIZE	ROUGH OPEN	MATERIAL	JAMB FINISH	COLOR	REMARKS
A	11	VECTOR/ SLIDER VINYL	48X48	48-1/4" X 48-1/4"	-	-	-	-
B	1	VECTOR/ FIXED VINYL	48X48	48-1/4" X 48-1/4"	-	-	-	-

ROOM SCHEDULE							
ROOM #	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HT	REMARKS
101	STORAGE	CONCRETE	STEEL	STEEL	STEEL	18'-0"	-
102	COMPRESSOR	CONCRETE	STEEL	STEEL	CDX	-	-
103	MECHANICAL	CONCRETE	4" RUBBER BASE	61/2" R.F. FINWOOD	-	-	NO CEILING FINISH
104	UNISEX	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	8'-10 1/8"	EPOXY PAINT WALLS
105	RECEPT.	CARPET (2X2 SQUARES)	4" RUBBER BASE	SHEETROCK	ACT-1	8'-10 1/8"	-
106	SHOOROOM	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	8'-10 1/8"	-
107	OFFICE	CARPET (2X2 SQUARES)	4" RUBBER BASE	SHEETROCK	ACT-1	8'-10 1/8"	-
108	OFFICE	CARPET (2X2 SQUARES)	4" RUBBER BASE	SHEETROCK	ACT-1	8'-10 1/8"	-
109	CLOSET	CARPET (2X2 SQUARES)	4" RUBBER BASE	SHEETROCK	SHEETROCK	9'-1 1/8"	-
110	UNISEX	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	8'-10 1/8"	EPOXY PAINT WALLS
111	STORAGE	CONCRETE	4" RUBBER BASE	SHEETROCK	ACT-1	8'-10 1/8"	-
112	OFFICE	CARPET (2X2 SQUARES)	4" RUBBER BASE	SHEETROCK	ACT-1	8'-10 1/8"	-
113	KITCHEN	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	8'-10 1/8"	-
120	FUTURE OFFICE	3/4" CDX	4" RUBBER BASE	SHEETROCK	STEEL	7'-10 1/8"	-
121	UNISEX	CERAMIC TILE	4" RUBBER BASE	SHEETROCK	ACT-2	7'-10 1/8"	EPOXY PAINT WALLS



SECOND FLOOR FINISH PLAN
SCALE: 1/8"=1'-0"



FIRST FLOOR FINISH PLAN
SCALE: 1/8"=1'-0"

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PROPOSED BUILDING FOR STRUCTURAL BUILDINGS UNLIMITED CONCRETE
 1292 4. FIRST STREET
 BRCKER, MN
 HAM LAKE, MN (763)296-5800

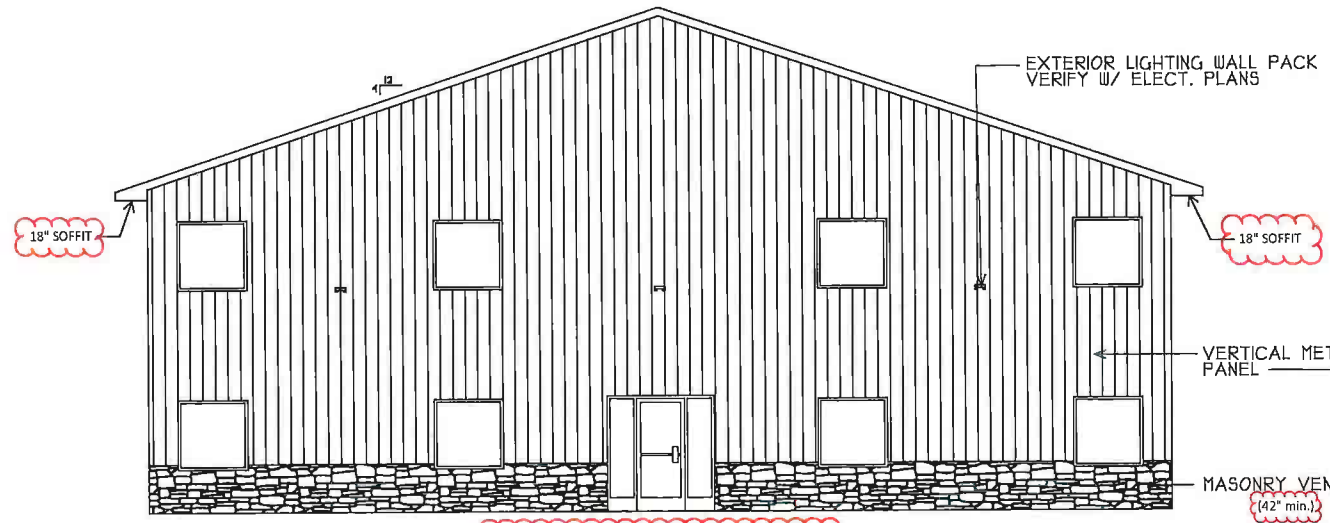
COLE GROUP ARCHITECTS, INC.
 ARCHITECTS, LLC
 211 Park Avenue South
 Suite 200
 Ham Lake, MN 55404
 (763) 484-4510
 www.colegrouparchitects.com

PROJECT NO. 230377
 ISSUE DATE: JULY 19th, 2023
 DOCUMENT SET: PERMIT SET

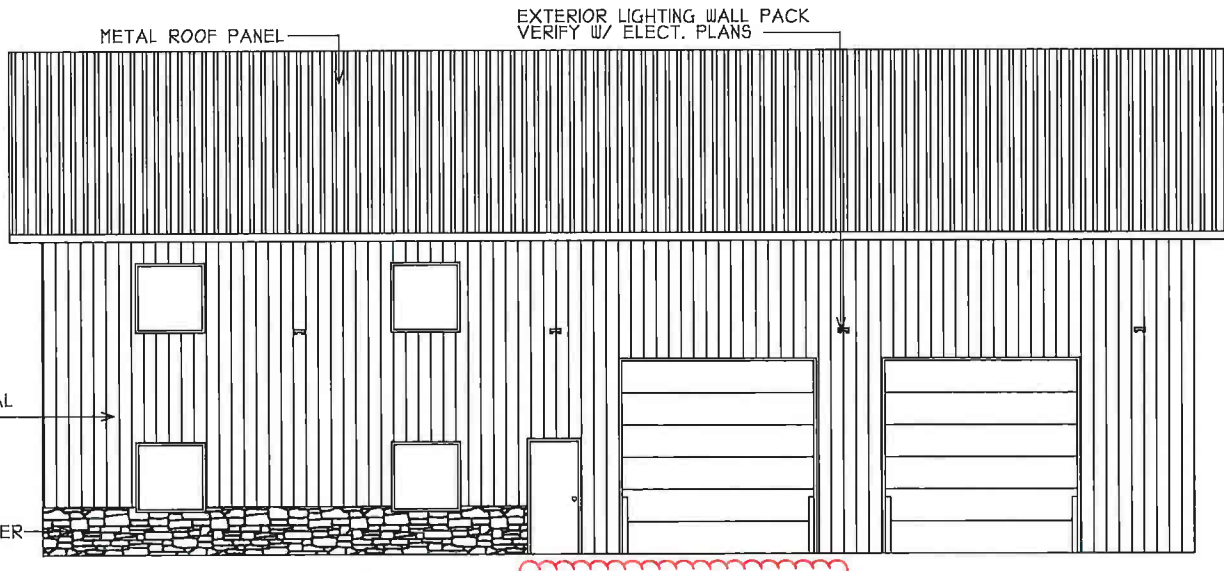
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REVISIONS COMMENTS

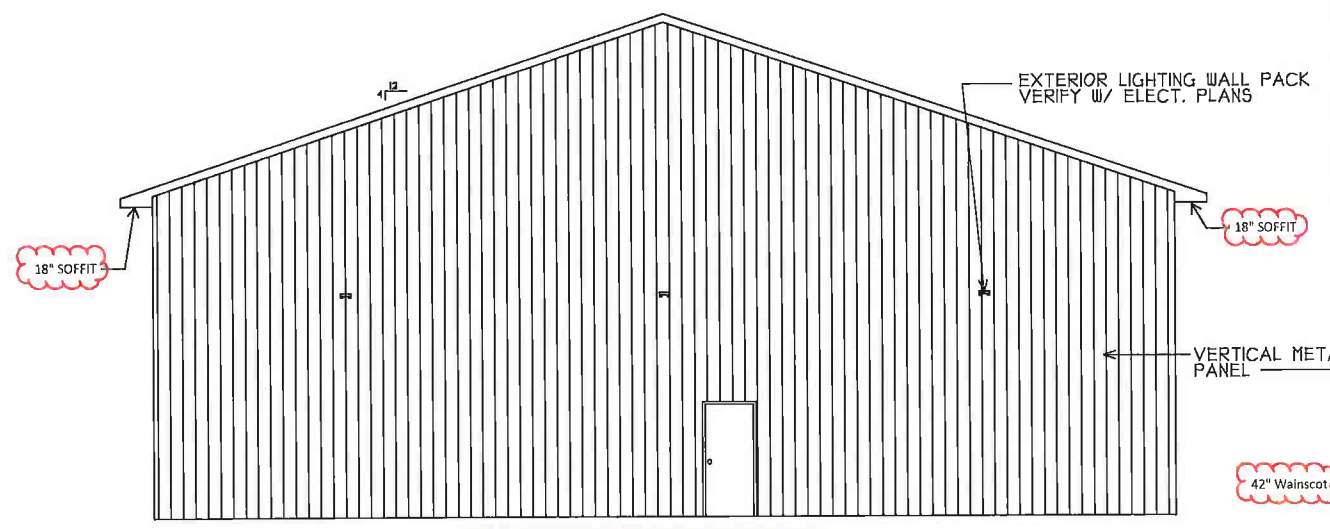
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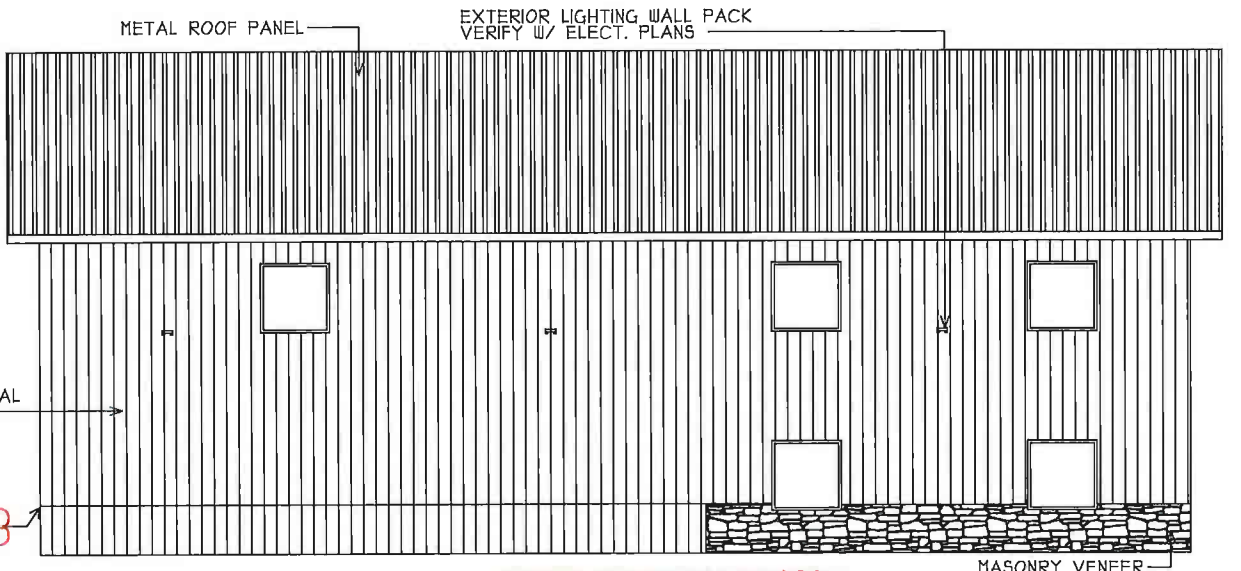
SOUTH ELEVATION
SCALE: 3/16"=1'-0"



EAST ELEVATION
SCALE: 3/16"=1'-0"



NORTH ELEVATION
SCALE: 3/16"=1'-0"



WEST ELEVATION
SCALE: 3/16"=1'-0"

PLOTTED: 07-19-23 FILE: 23037P CON: 5
 PROJECT NO. 23037
 ISSUE DATE: JULY 19, 2023
 DOCUMENT SET: PERMIT SET

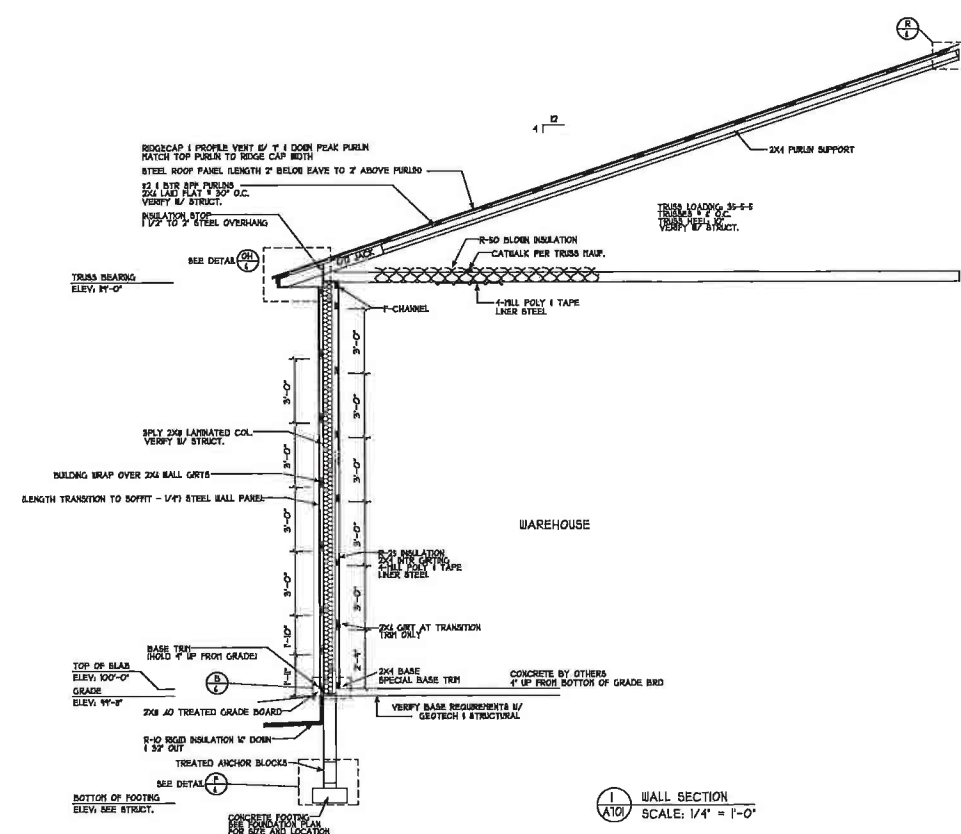
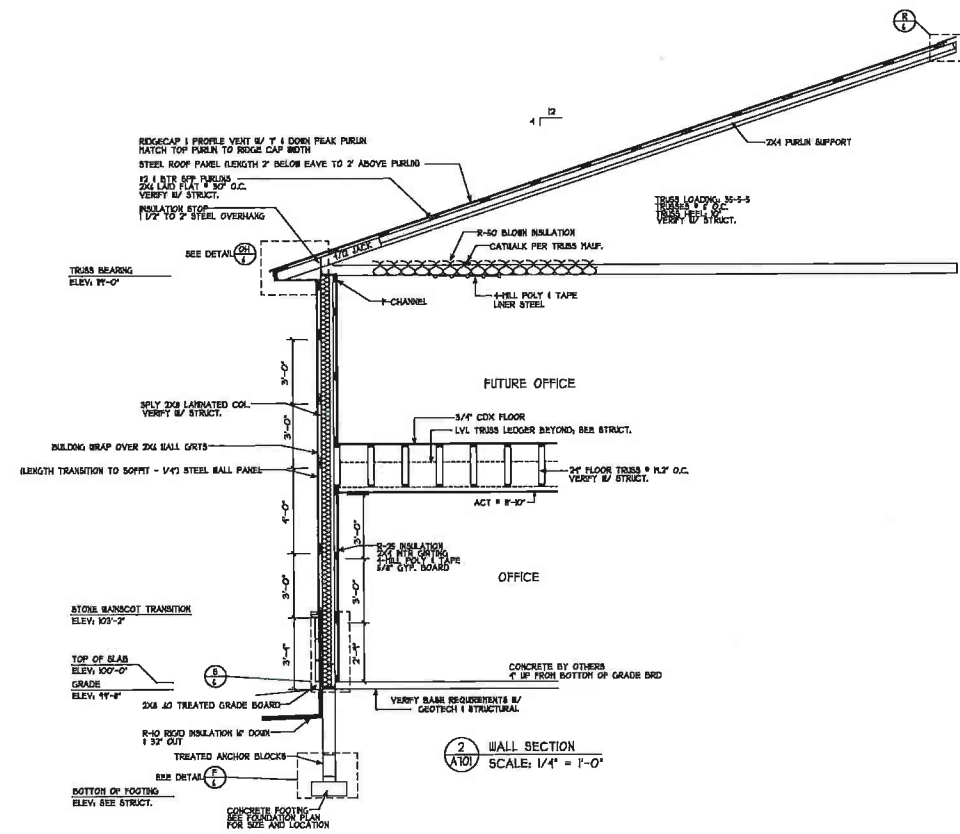
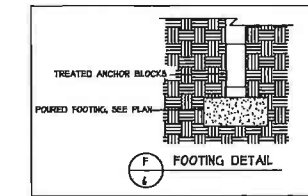
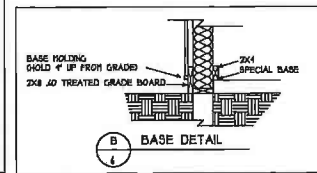
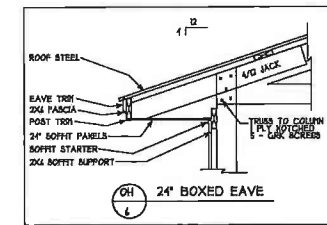
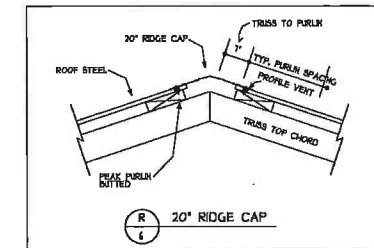
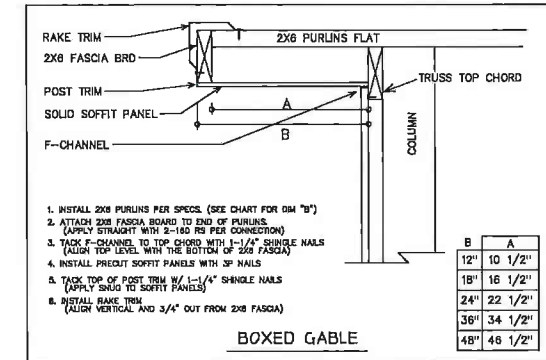
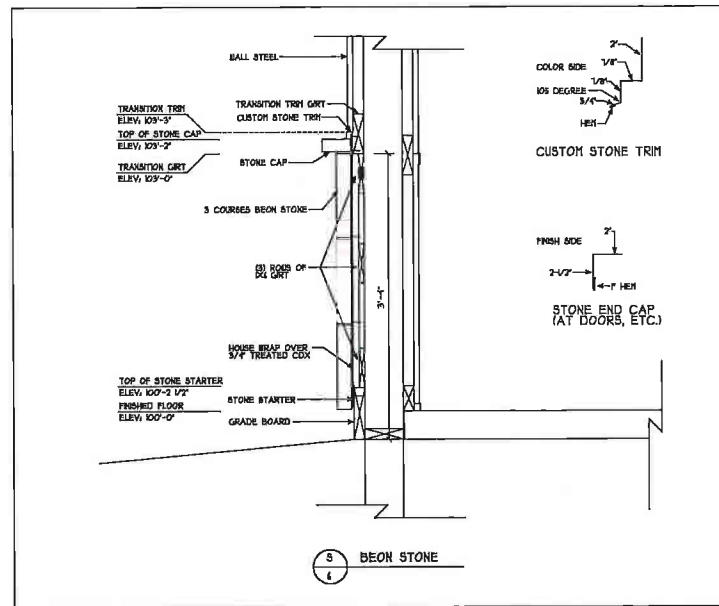
PROPOSED BUILDING FOR
 UNLIMITED CONCRETE
 12824 FIRST STREET
 PARKER, MN
 HAM LAKE, MN (763)296-6800

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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly Licensed Architect under the laws of the State of MINNESOTA. Name: DAVID J. MAJCHRAK

COLE GROUP ARCHITECTS, INC.
 ARCHITECTS LLC
 211 Park Avenue South
 Suite 102
 Ham Lake, MN 55404
 (763) 454-4570
 www.colegrouparchitects.com

A501



COLE GROUP ARCHITECTS, Inc. approval required to construct. All construction shall be in accordance with the approved plans. These plans shall be used for construction only. No other plans shall be used. The contractor shall be responsible for obtaining all necessary permits. The contractor shall be responsible for obtaining all necessary permits. The contractor shall be responsible for obtaining all necessary permits.

COLE GROUP ARCHITECTS, INC.
 ARCHITECTS
 214 Park Avenue South
 Suite 102
 Ham Lake, MN 55432
 (763) 434-1570
 www.colegrouparchitects.com

STRUCTURAL BUILDINGS
 12824 FIRST STREET
 BUCKEYE, MN
 (763) 296-5800

UNLIMITED CONCRETE
 HAM LAKE, MN

Project No. 2303
 Issue Date: July 19, 2023
 Document Set: PERMIT SET

PLOTTED: 07-19-23 FILE: 2303P CON: 5

A701



NOTICE OF PERMIT APPLICATION STATUS

Project: Unlimited Concrete

Date: August 28, 2023

Applicant: Unlimited Concrete Concepts, LLC
Attn: Ryan Becker
13739 Lincoln St Ne Ste A
Ham Lake, MN 55304

Permit Application#: P-23-060

Purpose: construction of a new commercial building, parking lot, driveway and truck maneuvering areas

Location: West side of property, 16651 Polk St NE, Ham Lake

At their meeting on August 28, 2023, the Board of Managers of the Coon Creek Watershed District approved the above referenced project with 4 conditions and 0 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled. Please respond to each of these items in writing when resubmitting application materials to the District.

Conditions:

1. Submittal of a performance escrow in the amount of \$2,550.00.
2. Update the erosion and soil control plan to include a note that soils and soil stockpiles will be stabilized within 24 hours of inactivity.
3. Provide proof of NPDES permit application.
4. Provide an explanation and details of the diesel pump station and containment system that ensures any potential leaks or spills are mitigated. Explain how spills and/or leaks will be addressed to avoid diesel fuel from draining to the adjacent ditch system.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,

A handwritten signature in black ink that reads "Erin Edison". The signature is written in a cursive, flowing style.

Erin Edison
Watershed Development Coordinator

cc: File P-23-060

Excerpt from Article 9 of the Ham Lake City Code

...

9-220 Mercantile Districts The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

9-220.1 Standards Common to All Mercantile Districts

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

- a) **Paving** All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;
- b) **Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;
- c) **Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;
- d) **Setbacks for Paved Areas** There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;
- e) **Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;
- f) **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;
- g) **Parking Lots and Lighting** Off-street parking shall be provided for the general public and employees. The *Zoning Officer* shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be directed away from adjacent properties. No light or

combination of lights that cast light upon a Residential Land Use shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

- h) Off-Street Loading** All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.
- i) Signage** All signage shall conform to the provisions of Article 11-300.
- j) Special Considerations** Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.

 - i)** The departure is not being requested for purely economic reasons;
 - ii)** The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;
 - iii)** The business is a permitted or conditional use in the zoning district;
 - iv)** The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like;
 - v)** The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;
 - vi)** The property contains unusual accessibility problems to or from adjacent roadways;
 - vii)** The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being

permitted less stringent design limitations in other site plan features.

- k) **Outside Storage** Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage, excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. **Unless specifically permitted by this Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.**

1) **Definitions**

- aa) **Outside Storage** – personal property (not fixtures) that are located within the Approved Property Lines of any parcel bearing a CD zoning classification, but which are found outside of an enclosed, roofed building (including temporary structures). Outside Storage does not include Refuse Containers, customer vehicles, employee vehicles parked while the employee is on duty, delivery vehicles while in the process of delivery or pickup, construction materials or vehicles being used in an active construction project on the parcel, legal signs or banners, or legal temporary structures. Except where specifically excepted, Outside Storage does include inventory of the business occupying the parcel.
- bb) **Inventory** - goods, except Vehicle Inventory, that are offered for sale in the ordinary course of business of any business occupying the parcel. For auto repair shops, inventory shall also be deemed to mean passenger vehicles or pickup trucks awaiting repair services.
- cc) **Vehicle Inventory** – Automobiles, Trucks, Trailers, Manufactured Homes, Recreational Vehicles, Campers, Camper Tops, Truck Toppers, Boats or other wheeled conveyances that are offered for retail sale at a legal business location whose primary business is the retail sale of one or more of the above items. Rental equipment that may be offered for sale is not Vehicle Inventory. Vehicle Inventory that bears obvious signs that the vehicle is not presently capable of being legally operated or conveyed on a public road is not Vehicle Inventory, including, but not limited to vehicles lacking wheels or inflated tires, operable drive train components, broken windows or lights, required current vehicle registration, missing body parts, such as fenders, doors, hood lids, trunk lids, bumpers, lights or trim.

- dd) **Aesthetically Screened Outside Storage** - Inventory or Vehicle Inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building, and of sufficient height and design so as to give the appearance that the barrier is a part of the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Any gates through the barrier shall be opaque and of aesthetic design.
- ee) **Limited Outdoor Displays** - Temporary displays of merchandise which are normally sold or displayed from within an enclosed retail store location, but which are temporarily placed not more than ten feet from an outside wall of the main retail sales building during business hours, and then returned to inside storage during non-business hours.”
- ff) **Improvement Stores** – Businesses that have as their primary source of revenue the retail sale of plants, seeds, landscaping supplies, produce, or yard statuary.
- gg) **24-Hour Convenience Stores** – Businesses that sell gasoline at retail, and, from the same store location, also sell groceries, auto supplies, sundries, over-the-counter medications and personal products, sundries and other items for human consumption, and which remain open for business at all times of every day.
- hh) **Approved Property Lines** – Are the outside perimeter of the real estate parcel or parcels which were shown on the site plan used for the initial municipal approval of a certificate of occupancy or conditional use permit for a particular operation.
- ii) **Pool Stores** – retail stores that engage in the retail sales of above ground or below ground recreational swimming pools that contain electric filtration devices providing water circulation and filtration in the pool, and under conditions where an inventory of above ground or in ground swimming pools is maintained, connected by water and electricity to a source originating in a permanent retail building located on the same parcel. A Pool Store shall not be considered a retail store for the purposes of determining permitted uses under Article 9-220.2 (b) or 9-220.3(b).
- jj) **Screened Outside Storage** – is Inventory or Vehicle Inventory behind an opaque barrier constructed of wood, metal, plastic, masonry, brick or earthen berm, or which is behind an opaque barrier composed of existing buildings or other structures on the property, or which is behind a semi-opaque barrier of vegetation that substantially conceals the storage from outside view.

2) Permitted Outside Storage

- aa) Vehicle Inventory is permitted Outside Storage on any CD-1 or CD-2 parcel in connection with a business that is legally permitted to sell Vehicle Inventory. If specifically permitted by the conditions of any Conditional Use Permit or Temporary Conditional Use Permit for any such parcel, vehicles that do not meet the definition of Vehicle Inventory may also be permitted Outside Storage.
- bb) Aesthetically Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel.
- cc) Limited Outdoor Displays are permitted Outside Storage in both the CD-1 and CD-2 districts. If the business is a 24-Hour Convenience Store, the Limited Outdoor Display need not be moved indoors, but the business shall at all times maintain a clear pedestrian path on sidewalks that is at least 36 inches in width.
- dd) Inventory is permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy or conditional use permit, and must be stored only in conformance with that site plan. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales as shall be other items necessarily incident to the storage, maintenance or protection of the Inventory.
- ee) No Outside Storage shall be permitted for any business unless the storage is within the Approved Property Lines.
- ff) Pool Stores may display above ground or below ground swimming pools as Permitted Outside Storage only on property under conditional use permit, subject to conditions to be established by the City Council, which must include, at a minimum, the following:
 - 1) Pool water must be maintained in a sanitary condition;
 - 2) Below ground pools must be surrounded by code-compliant fencing;
 - 3) Above ground pools must be constructed in a code-compliant method relative to either fencing or sufficient elevation to prevent accidental entry into the pool;
 - 4) Adequate security fencing around the storage display area must be installed to discourage after-hours entry into the pool storage area;

- 5) Reasonable screening from outside view shall be installed;
- 6) All sources of water and electricity shall be connected to the pools in a code-compliant manner;
- 7) Only pools that are intended for use with circulating filters shall be permitted outside; no "kiddy pools", wading pools or inflatable pools shall be permitted to be displayed outside.
- 8) Winter storage of outside pools shall be done in a manner that covers the pool surface and prevents the accidental entry into the pool;
- gg) Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures that:
 - 1) Historically utilized outside storage in connection with business operating on the property, and which uses were never abandoned;
 - 2) Do not involve replacement or major remodeling of the existing structures, but utilizes the existing structures for the business to be operated;

Approval of Screened Outside Storage is discretionary with the City Council.

- hh) **Revocation** All permits and certificates of occupancy issued in the mercantile districts are subject to revocation under the provisions of Article 9-240.

- 3) **Office/Warehouses** Office/Warehouse is a term given to a structure that is designed to have office space in front, behind which is situated an open bay or bays, with the office and bay space to be occupied by a single business. The office space and the bay space may also include area for retail sales. The bay space may also be used for manufacturing, other industrial activity, or warehousing. Building Permits may be issued for Office/Warehouses in any Mercantile District as found in Article 9-220. However, specific uses within each Office/Warehouse are subject to the Permitted Use, Conditional Use and Temporary Conditional Use restrictions for the given zoning district in which the Office/Warehouse is constructed. The issuance of a building permit for an Office/Warehouse does not confer upon the property owner the right to use any portion of the structure in a manner inconsistent with the use restrictions for the zoning district in which the structure is located. All new tenants or occupants of any Office/Warehouse must observe the same conditions for site plan or other approval, as would any other occupant. Further, if the zoning district in which the Office/Warehouse is to

be constructed contains restrictions on building materials or design, those restrictions must be followed. No outside storage unless permitted by Conditional Use Permit, Temporary Conditional Use Permit, or by the given zoning district in which the Office/Warehouse is constructed.

9-220.3 Commercial Development II (CD-2)

The CD-2 Districts are located adjacent to the CD-1 Districts, and constitute a second tier of commercial activities along the T.H. 65 corridor. These districts also have importance in presenting a visually pleasing image to the traveling public, but are less visible from the T.H. 65 roadway than the CD-1 districts.

a) Standards for Site and Building Construction

- i) Metal or pole-type buildings shall be permitted if surfaces meet the requirements of ii below, and, provided that no galvanized surface may appear, all roofs shall be colored and incorporate a minimum 18-inch soffit on eave edges, 12-inch overhang on gable ends, and 6-inch fascia.
- ii) Metal panel with exposed fasteners or architectural metal panel with hidden fasteners may be used for roof surfaces. All wall surfaces may be composed of metal panel, brick, decorative masonry, stone, precast panel, architectural concrete, glass, stucco or wood framed with horizontal lap siding. The exterior wall surface facing or with the most exposure to a public street or right-of-way, shall have a wainscot at least 42-inches in height which is composed of a contrasting color or material.

b) Permitted Uses (Including uses that are ancillary to the main use)

- All Permitted Uses in the CD-1 District
- Broadcasting Studios
- Building Supply Yards/Lumber Yards
- Enclosed Storage and Office/Warehousing
- Landscaping Businesses
- Manufacturing involving no non-enclosed storage
- Public Utilities (metal or pole type construction allowed)
- Research laboratories
- Used Vehicle Sales - limited to the following:
 - ATV's (all-terrain vehicles)
 - Automobiles
 - Boats
 - Campers

- Golf Carts
- Motorcycles, Motorbikes and Scooters
- Recreational Vehicles
- Snowmobiles
- Commercial Trucks
- Pickup Trucks
- Trailers less than 30 feet in length
- Utility Companies

c) Conditional Uses

- All conditional uses or temporary conditional uses in the CD-1 District
- Construction Service Contractors such as Concrete Masonry, Roofing, Siding, and Landscaping Contractors
- Flea Markets under Article 11-1500
- Kennels
- Pawn Shops under Article 11-1300
- Truck Terminals – as defined as a location where commercial trucks load and unload cargo on a regular basis with Large Truck and Equipment Repair (Body and Driveline Repair) as a secondary use
- Self-storage facilities, but not including the limitations and conditions imposed for such facilities as found in Article 9-220.2 (c).

Excerpt from Article 11 of the Ham Lake City Code

...

11-1800 LANDSCAPING IN COMMERCIAL ZONED AREAS

In all areas of the City zoned CD-1, CD-2, CD-3 or CD-4, the following conditions shall apply to landscaping and ground cover.

11-1810 Landscape Plan Required No building permit shall be issued for construction on a vacant lot, nor for any addition to an existing building involving the addition of 500 square feet or more of additional building space, unless the applicant shall have first submitted and obtained approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

11-1820 Installation Required No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

11-1830 Time for Submission The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

11-1840 Contents and Specifications

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

- A. Perimeter of all buildings, signs or other structures;
- B. Parking lots and walkways, identifying pavement material;
- C. Areas of decorative rock, identifying type of rock;
- D. Areas of lawn;
- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;
- B. The use of conifers shall be encouraged and preferred.
- C. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial

relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.



RECEIVED
 OCT 10 2023
 By:

CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

**PLANNING
 REQUEST**

Date of Application 10-9-2023

Date of Receipt 10-10-23
 Receipt # 97823

Meeting Appearance Dates:

Planning Commission 10-23-23 City Council _____

Please check request(s):

- | | |
|---|---|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input type="checkbox"/> Commercial Building Site |
| <input checked="" type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other |

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Mr. Developments L.L.C

Address/Location of property: Co. RD. 68 & Swedish Dr.

Legal Description of property: _____

PIN # 04-32-23-14-0001 Current Zoning RA Proposed Zoning _____

Notes: Concept Plan for 105.16 acre parcel
47 Residential Single Family lots and 1 out lot

Applicant's Name: JEFFREY A. STALBGER

Business Name: Mr. Developments LLC

Address 17404-WARD LK. Dr. NW

City Andover State Mn. Zip Code 55304

Phone _____ Cell Phone 62-799-1471 Fax _____

Email address _____

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.


SIGNATURE Jeffrey A. Stalbger DATE 10-9-2023

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
 City Council _____

PROPERTY TAXES CURRENT YES NO

Memorandum

Date: October 19, 2023
To: Planning Commissioners
From: David A. Krugler, City Engineer 
Subject: Dosedel Parcel Sketch Plan

Introduction:

The proposed 47 lot residential development is located on the 110.69-acre 04-32-23-14-0001 parcel. The parcel is currently zoned of Rural Single Family Residential (R-A) and the proposed zoning is all Single Family Residential (R-1). A 500-scale aerial photo, 400-scale half-section map and a 1,000-scale zoning map are attached.

Discussion:

Swedish Drive was designated as an MSA route as part of the Crosstown Shopping Center project which is attached. The alignment of Swedish Drive is in general compliance with the thoroughfare plan, which has a future connection to 181st Street and Baltimore Street which is attached. The minimum design speed of Swedish Drive is 30 mph, which requires a minimum radius centerline of 312 feet. The centerline radii shown meets that requirement.

Xylite Street is under the jurisdiction of the Anoka County Highway Department. The attached Figure 32 of the ACHD 2040 Transportation Plan identifies CR 68 (Xylite Street) from Crosstown Boulevard to CSAH 22 (Viking Boulevard) as a major collector. Anoka County Highway Department (ACHD) comments are to be provided on the following:

- Proposed connection to the County jurisdiction roadways/intersection spacing.
- Whether right turn lanes and/or bypass lanes will be required.

The 04-32-23-13-0003 parcel is separate from the sketch plan and does not show right-of-way dedication for Swedish Drive. A separate document providing right-of-way from the owner will be required. The 04-32-23-13-0005 parcel shows an overlapping area with the Swedish right-of-way which will need documentation that there is no conflict or dedication from the owner for a 66-foot road right-of-way.

Per the attached Proposed Municipal Bike Trail System exhibit from Anoka County, Xylite Street is not designated as a bike path. However, the City Park Maps for both Ham Lake and East Bethel identifies Xylite Street/Greenbrook Drive as a future Bike Path. Woodland Bluffs 2nd or 3rd Addition have not dedicated a bike easement with their respective plats. Per correspondence with Public Works Superintendent John Witkowski, it was recommended that parkland dedication fees be collected rather than dedication of parkland or trail easements.

Urbank Street is extended from the Woodland Bluffs 2nd Addition (attached). The temporary cul-de-sac right-of-way will need to be shown to be vacated. An exhibit showing the location of

utilities will be required to verify that there are no utilities in what is to be considered for vacation.

The Sketch Plan includes a 5.33-acre Outlot on the east side of Xylite Street. This reduces the land area of the 47 lots to 105.36 acres. The Outlot will need to be combined with an adjacent parcel 04-32-23-11-0001 (17943 Xylite Street), 03-32-23-22-0003 or 03-32-23-23-0002 (17833 Xylite Street). The Development Agreement will include conveyance of the Outlot to an adjacent property.

FEMA Letter of Map Amendments will be needed for Lots 8, 9, 13, 14, 15, 20 and 21 of the lots north of Swedish Drive. Lots 8 and 9 east of Waconia Street and Lots 4, 5, 6, 7, 9, 10, 11, 12 and 13 west of Waconia Street.

Swedish Drive is the jurisdictional boundary between the Coon Creek Watershed District (CCWD) and the Upper Rum River Watershed Management Organization (URRWMO). The parcels are within a drainage sensitive area, however since they will be regraded, this will be removed when the plat is completed. Parcels 4, 6, 12 and 13 are adjacent to County Ditch #58 which will require a 100-foot easement (50-foot either side of the centerline). The City of Ham Lake waived Wetland Conservation Act jurisdiction to CCWD for that portion of the project located outside of the CCWD boundary. That portion of the plans outside of the CCWD will be reviewed for compliance with the URRWMO Watershed Management Plan. A MnRAM will need to be submitted to ensure proper wetland setbacks are adhered to.

The Natural Resources Inventory and Assessment (NRIA) completed in 2008 by the Anoka Conservation District (Appendix S of the Storm Water Pollution Prevention Plan) does not identify any portion of the proposed development area as being within a Major Natural Resource Concentration per the attached Map 3. A Natural Heritage Information System data review by the DNR will be required to determine whether any state-protected species may be located within the plat boundary.

Recommendations:

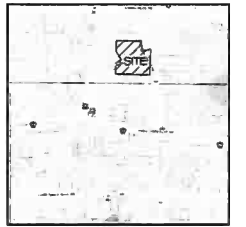
It is recommended that the Dosedel Parcel Sketch Plan be recommended for approval.

CONCEPT PLAN

~of~ DOSEDEL PARCEL
 ~for~ MN DEVELOPMENTS, LLC.
 17404 WARD LAKE DRIVE NW
 ANDOVER, MN 55304
 (612) 799-1471

VICINITY MAP

PART OF SEC. 4, TWP. 32, RING. 23



ANOKA COUNTY, MINNESOTA
 (NO SCALE)

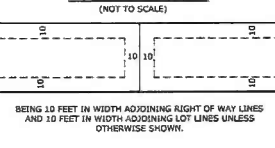


PROPERTY DESCRIPTION

The Northeast Quarter of Section 4, Township 32, Range 23, excepting the following described tracts of land:

- The West 15 acres of the said Northeast Quarter of Section 4, Township 32, Range 23, heretofore sold and deeded to the Swedish Lutheran Society.
- A plot of ground, commencing at a point 23.49 chains South and 5.15 chains East (Variation 8 degrees 51 minutes in 1887) of Quarter corner on North side of Section 4, Township 32, Range 23; thence South 29 degrees East (Variation 8 degrees 51 minutes in 1887) 9 1/2 rods, to a lamark stake; thence North 64 degrees East, 14 1/2 rods; thence North 29 degrees West, 10 1/2 rods; thence South 60 1/2 degrees West, 14 1/2 rods to point of commencement, containing 1 acre, more or less, being a part of the Southwest Quarter of Northeast Quarter of Section 4, Township 32, Range 23.
- Commencing at the Northeast corner of Section 4, Township 32, Range 23 and running thence West on and along town line between Towns of Bethel and Hum Lake a distance of 37 1/2 rods to East boundary line of Bethel and Minneapolis Road as called; thence in a Southerly direction on and along East road limit of said Bethel and Minneapolis Road as now located a distance of about 43 rods; thence in an Easterly direction a distance of about 24 1/2 rods to intersect the Section line running North and South between Sections 3 and 4 in said Township 32 and Range 23 at a point on said Section line a distance South from said Northeast corner of said Section 4, 34 rods; thence North on and along said Section line to place of commencement being a part of the Northeast Quarter of Northeast Quarter of Section 4, Township 32, Range 23, containing about 7 acres.
- That part of the Northeast Quarter of Section 4, Township 32, Range 23, described as follows: Commencing at a point 289 feet East and 732 feet North of the Southwest corner of said Northeast Quarter; thence Northeast along the center of the road 424 feet; thence Northwesterly 753 feet to the point, which is 289 feet East of the West line of the said Northeast Quarter; thence South to the point of beginning.
- Commencing at a point 1350.34 feet (23.49 chains) South and 339.9 feet (5.15 chains) East of the Quarter corner on the North side of Section 4; thence South 29 degrees East for 156.75 feet; thence South 64 degrees West for 187.4 feet; thence North, parallel with and 247.5 feet East of the Quarter Section line for 142.15 feet to the Southerly line of a public road; thence North 50 degrees 10 minutes East along said Southerly road line to the point of beginning, also all right of title in and adjacent public road to the center line thereof, Anoka County, Minnesota.

TYPICAL EASEMENTS



NOTES

- Bearings shown are on Anoka County datum.
- Parcel ID Number: 04-32-23-14-0001
- Site Address: 2506 Swedish Drive NE
- OWNER: DOSEDEL, JOAN A
- Legal description per title commitment prepared by Chicago Title Insurance dated 9/7/2023 Commitment No. 230943680.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JACOBERUD
 Date: 10/05/2023 License No. 41578

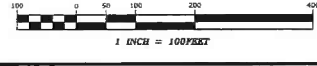
DEVELOPMENT DATA

TOTAL SITE AREA = 110.694 ACRES
 OUTLOT AREA = 5.334 ACRES
 47 PROPOSED SINGLE FAMILY LOTS
 AVERAGE LOT SIZE = 2.24 ACRES
 MINIMUM STREET FRONTAGE = 200 FEET
 MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
 PROPOSED ZONING = R-1
 BUILDING SETBACKS: FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET, COUNTY ROAD = 50 FEET

LEGEND

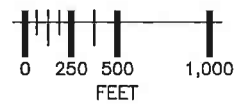
- DENOTES LOT OR CORNER (2' INTERVAL)
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND LINE DELINEATED BY KOLHAG ENVIRONMENTAL SERVICES INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- DENOTES SOIL BORING (BY TRADEWELL SOIL TESTING)
- DENOTES AREA 1' ABOVE MOTTLED SOILS

GRAPHIC SCALE



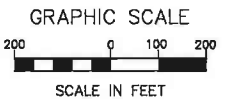
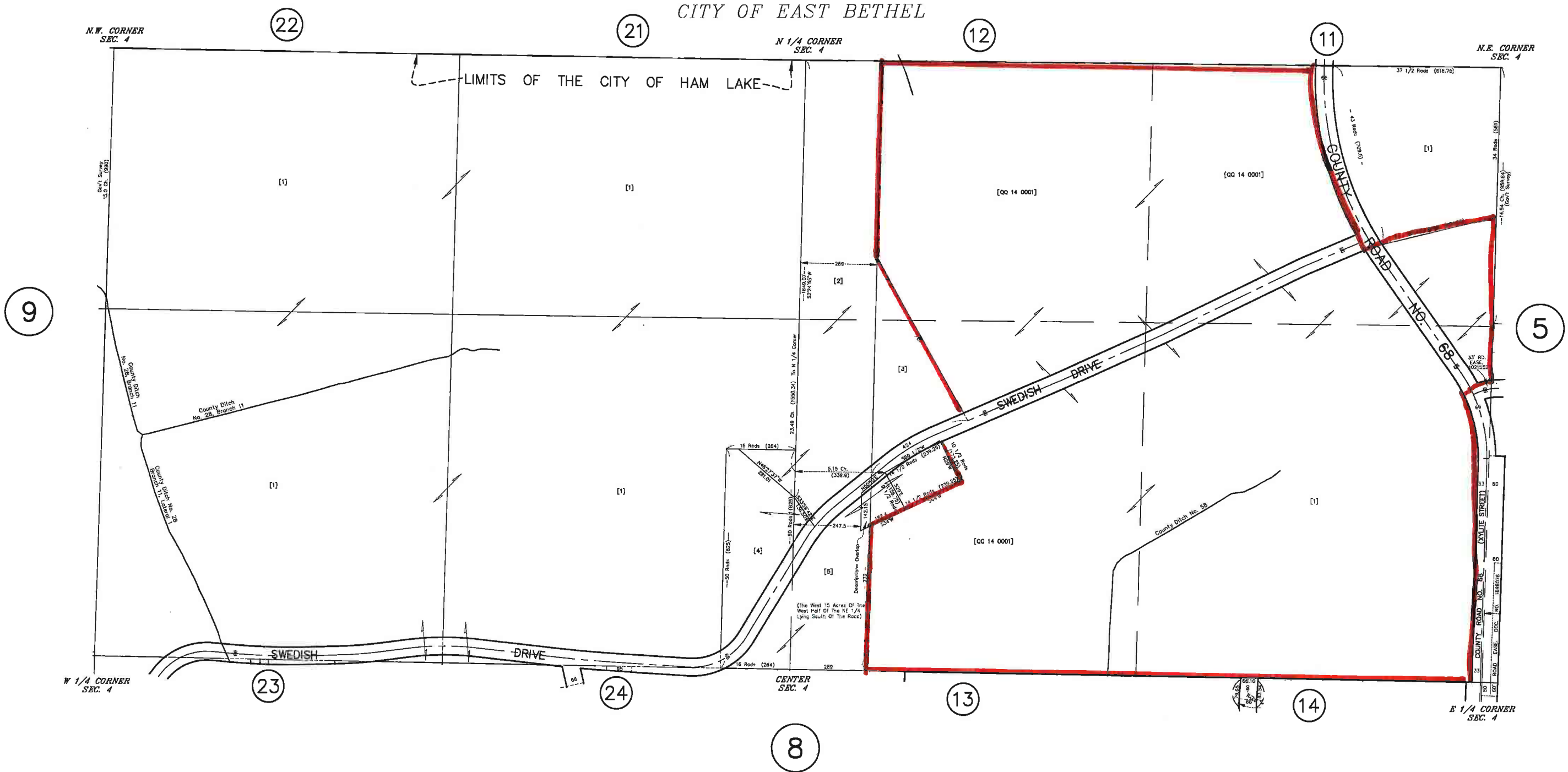
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701



N 1/2 SECTION 4, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

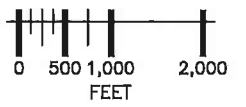
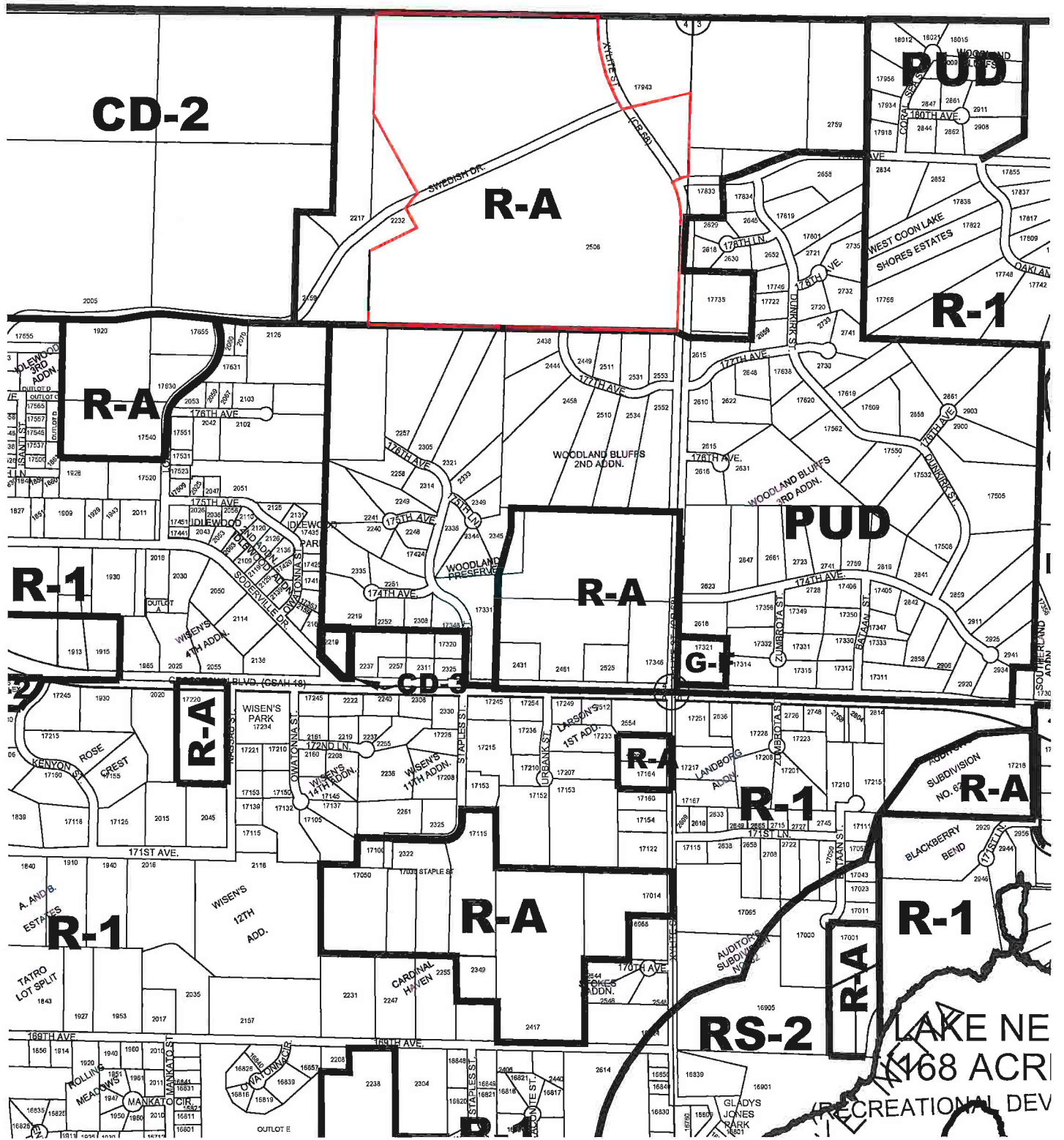
22	21	12	11	} NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	} SOUTH HALF OF SECTION
33	34	43	44	


PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: []
EXAMPLE OF PIN NUMBER: 04-32-23-13-0001

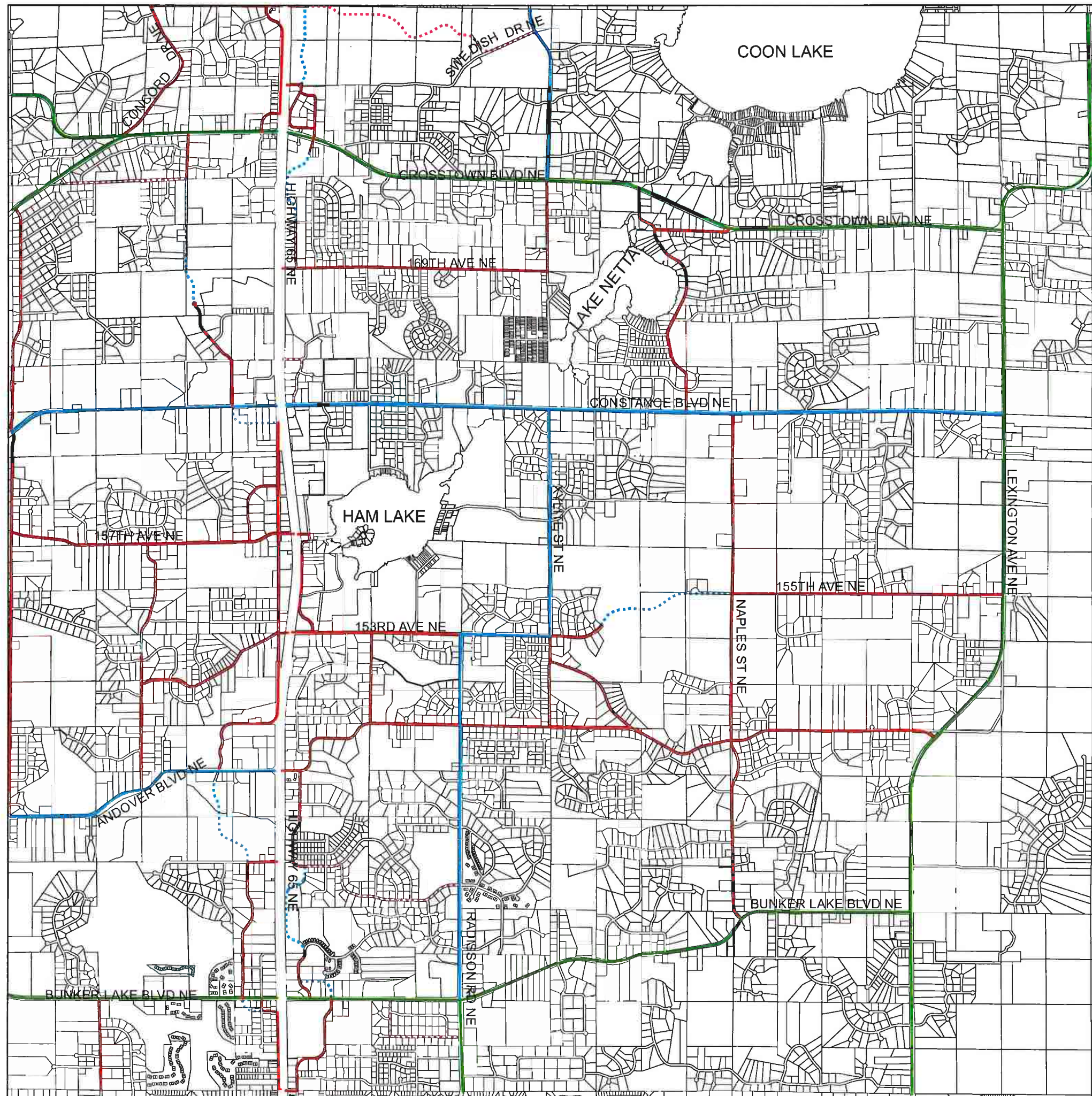
THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.





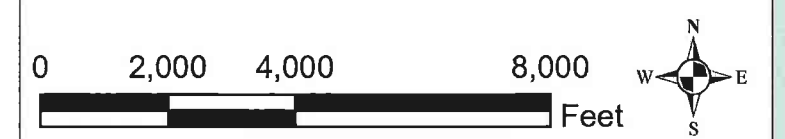
HAM LAKE, MINNESOTA

MUNICIPAL STATE AID STREET SYSTEM

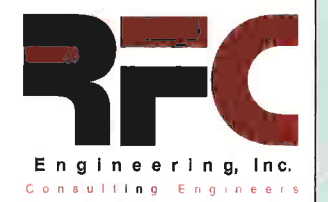


LEGEND

- County Road
- County State Aid Highway
- Municipal State Aid Street
- ⋯ Non-Existing MSA Street
- ⋯ Possible MSA Designation



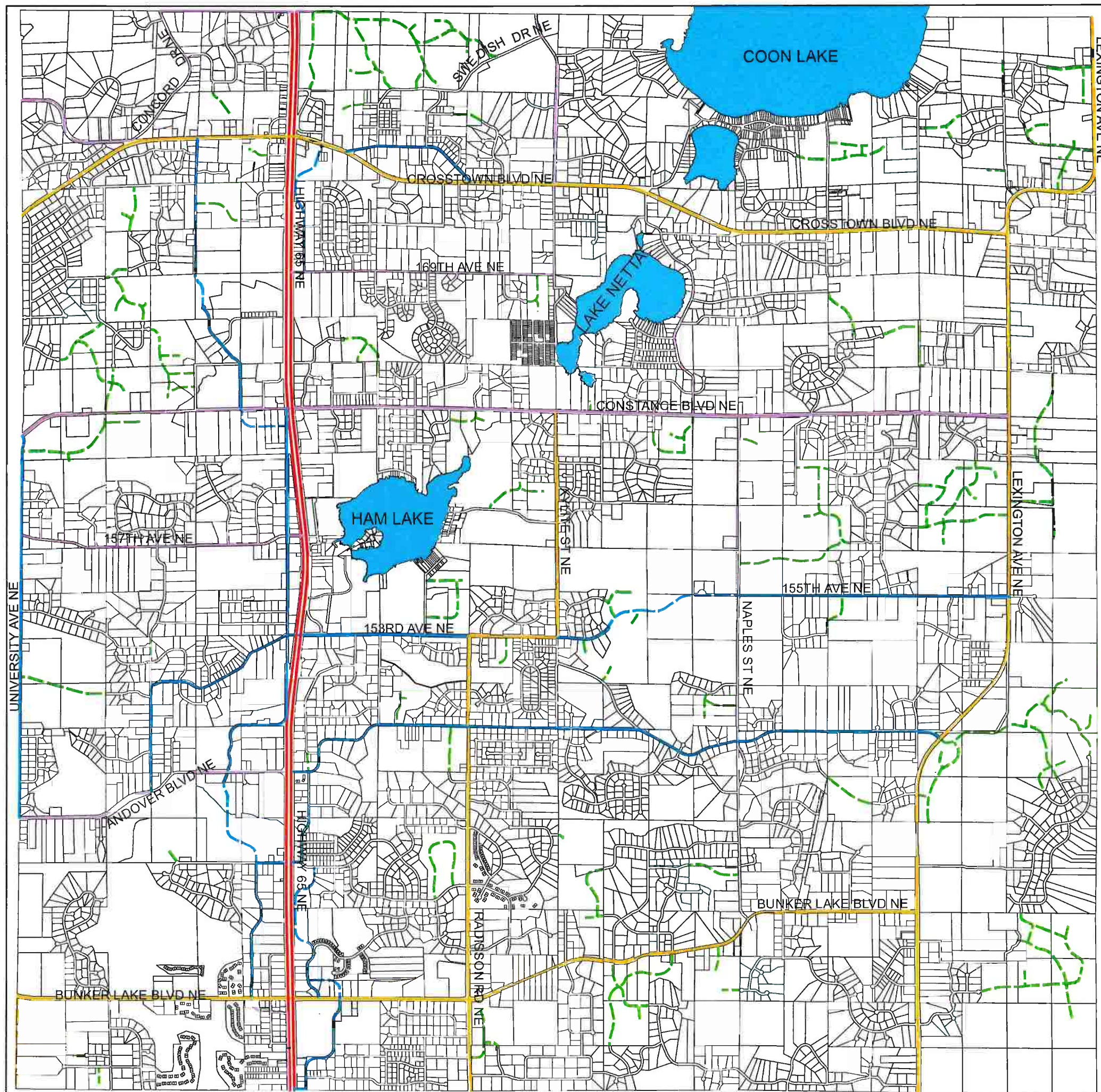
MAP DATE: 7/27/2023





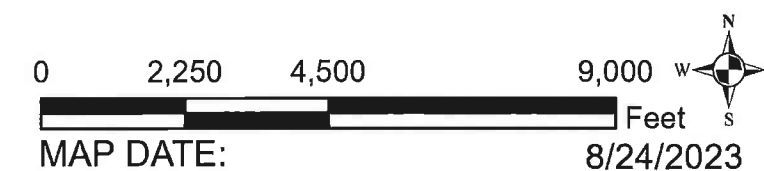
HAM LAKE, MINNESOTA

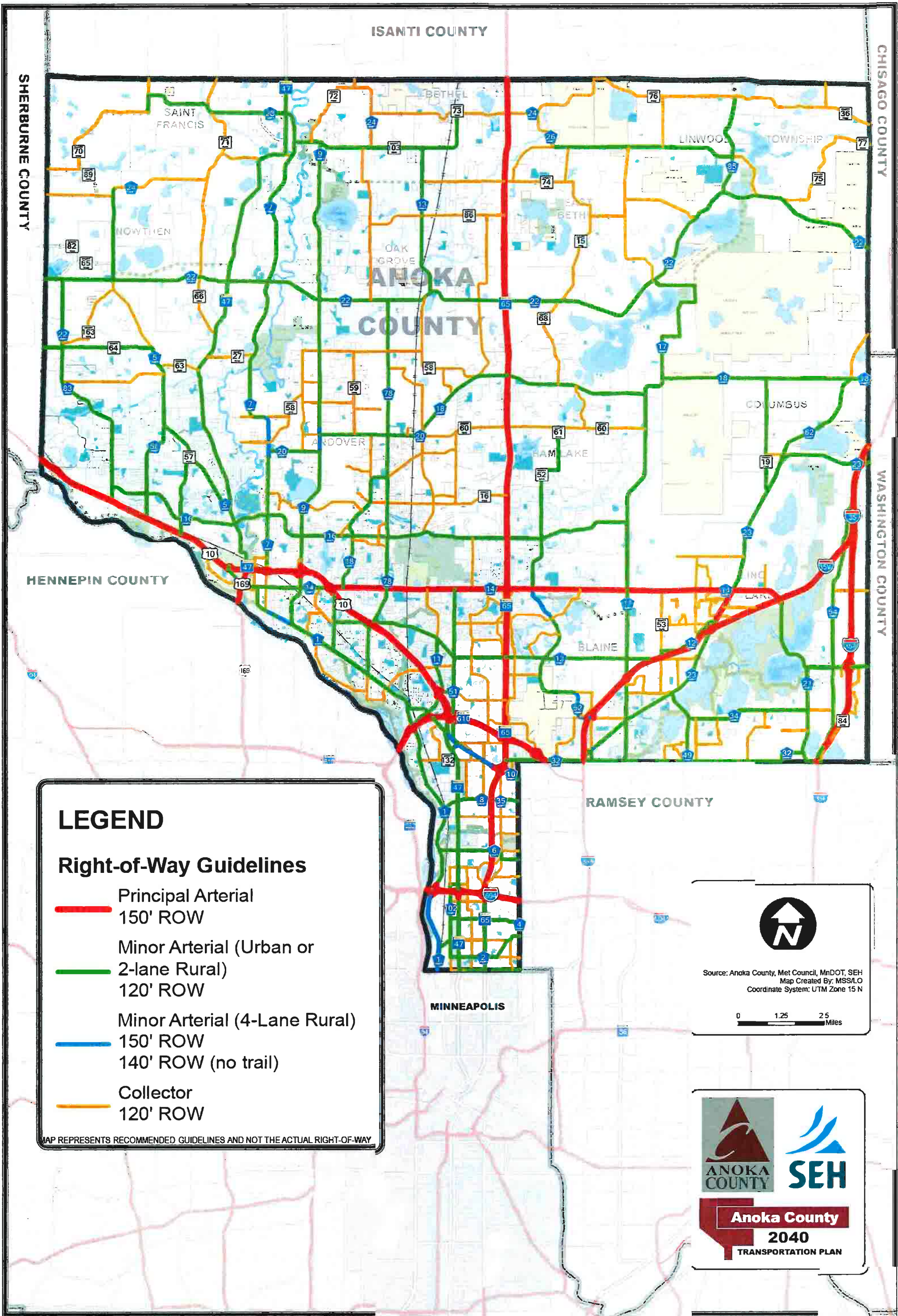
FUTURE ROADWAY CLASSIFICATION



LEGEND





- Principal Arterial
- Minor Arterial
- Major Collector
- Minor Collector
- Proposed Arterial
- Proposed Major Collector
- Proposed Minor Collector
- Proposed Local






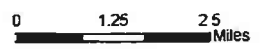
LEGEND

Right-of-Way Guidelines

-  Principal Arterial
150' ROW
-  Minor Arterial (Urban or 2-lane Rural)
120' ROW
-  Minor Arterial (4-Lane Rural)
150' ROW
140' ROW (no trail)
-  Collector
120' ROW

MAP REPRESENTS RECOMMENDED GUIDELINES AND NOT THE ACTUAL RIGHT-OF-WAY

Source: Anoka County, Met Council, MnDOT, SEH
 Map Created By: MSS/LO
 Coordinate System: UTM Zone 15 N



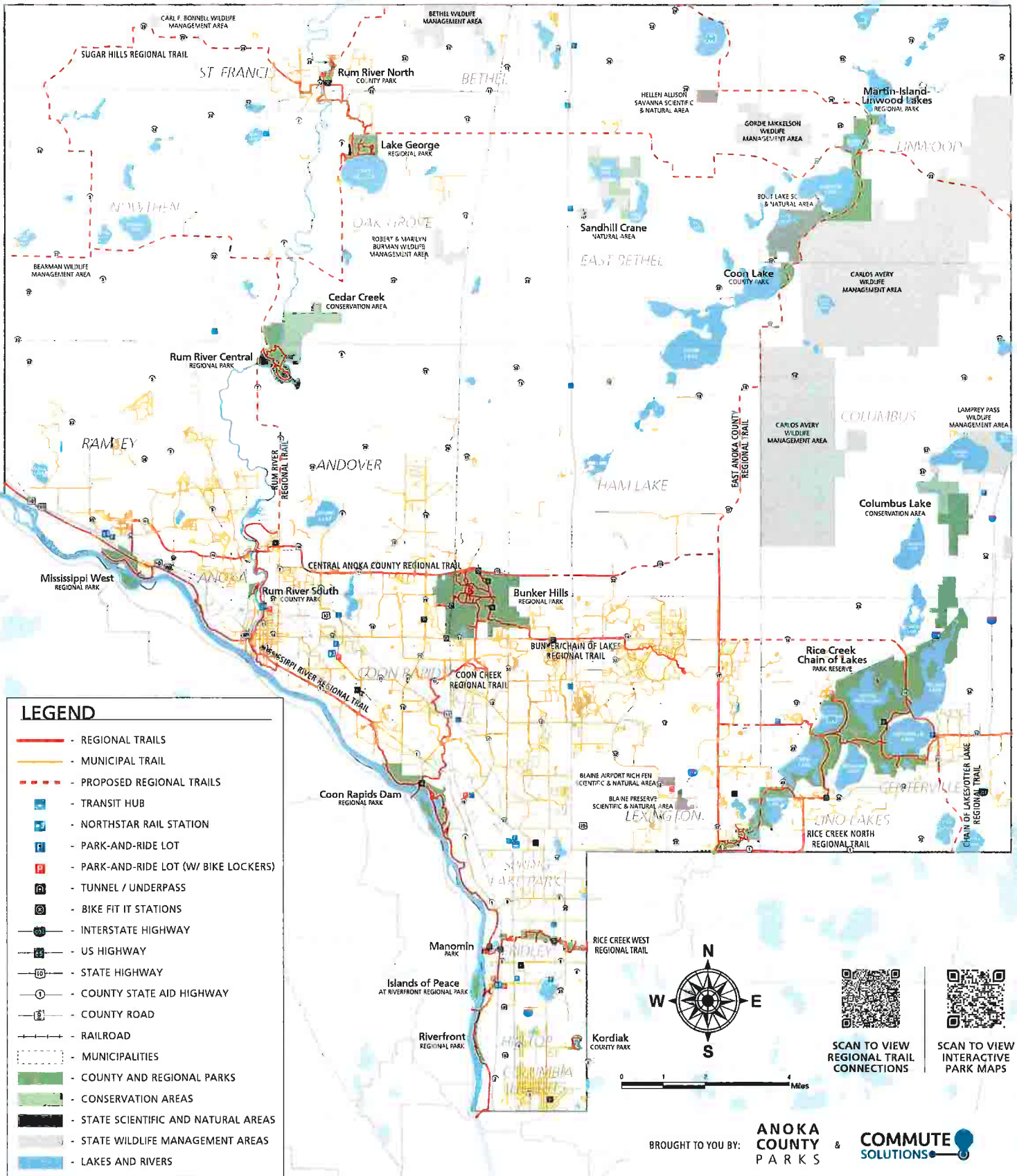
Anoka County
2040
 TRANSPORTATION PLAN

MINIMUM RIGHT-OF-WAY GUIDELINES

FIGURE 32



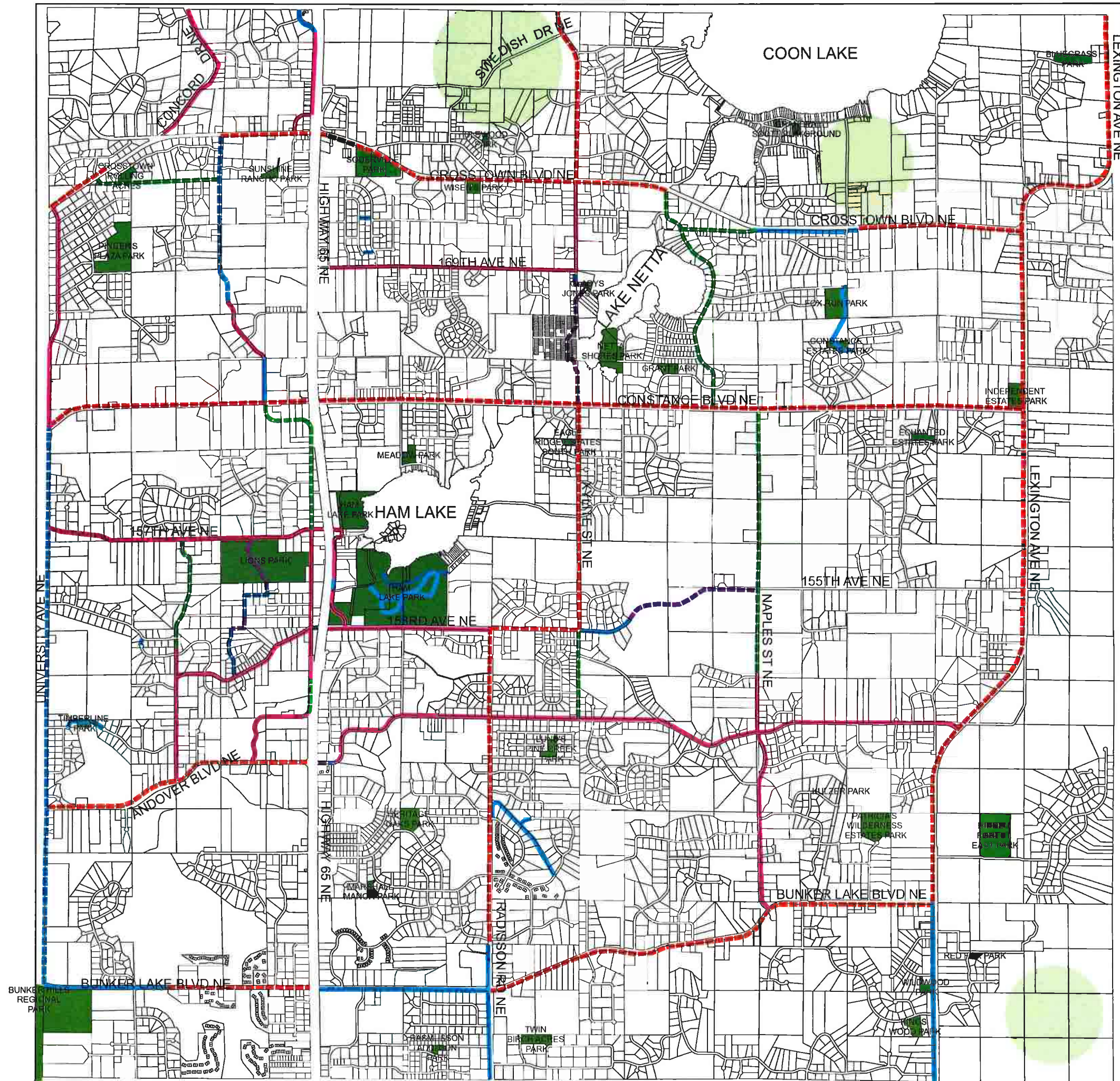
EXPLORE ANOKA COUNTY





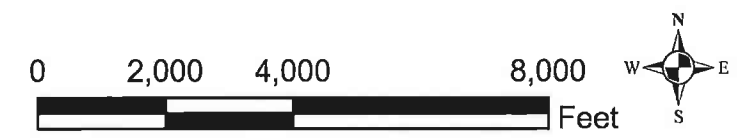
HAM LAKE, MINNESOTA

BIKE FACILITIES MAP



Legend

-  Potential Future Park
-  Existing Bike Lane
-  Existing Bike Path
-  Proposed County Bike Path
-  Proposed Bike Lane/Path
-  Proposed Bike Lane
-  Proposed Bike Path
-  Existing Park



MAP DATE: 10/9/2023

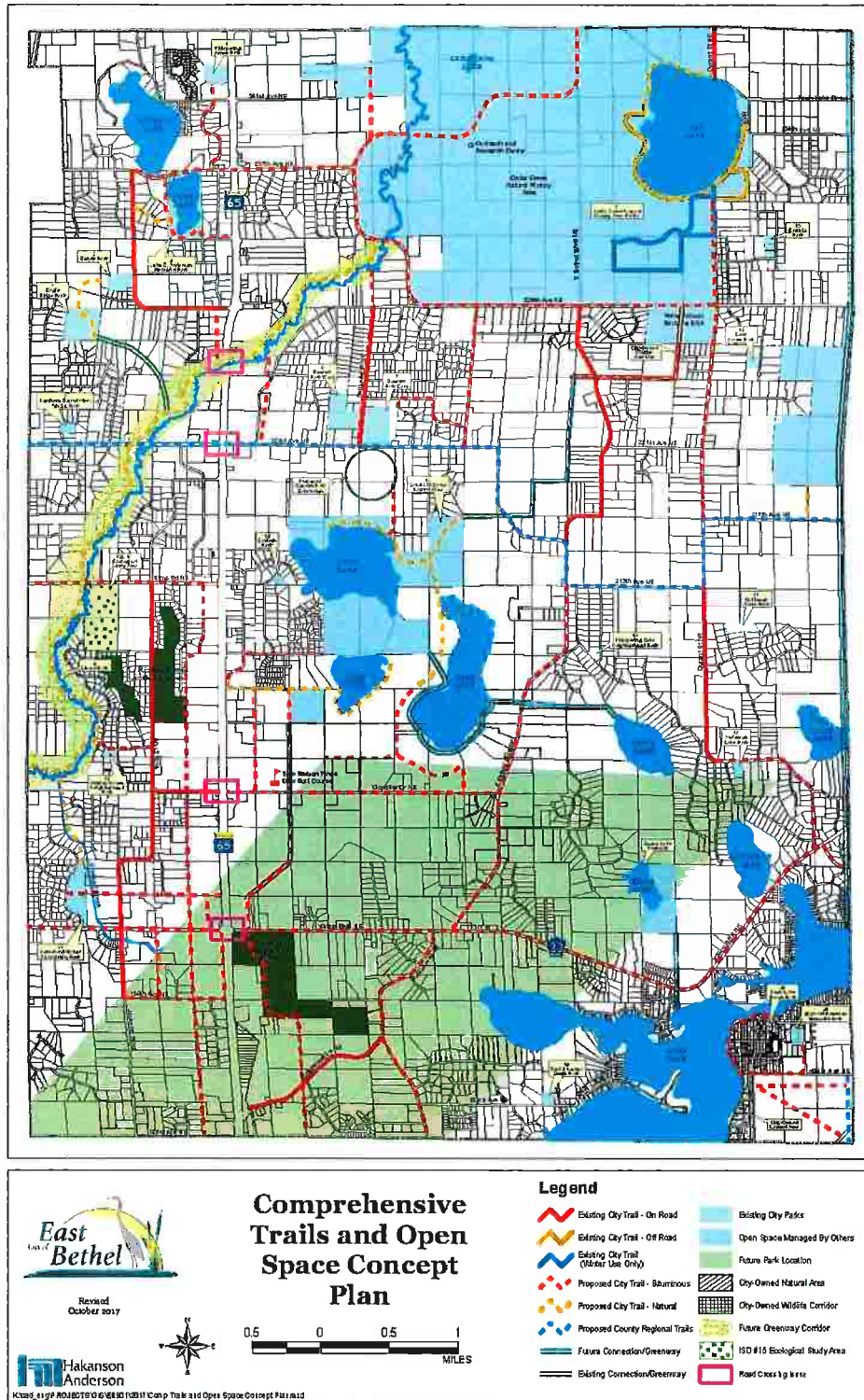
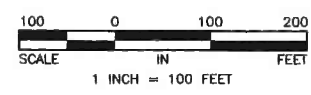
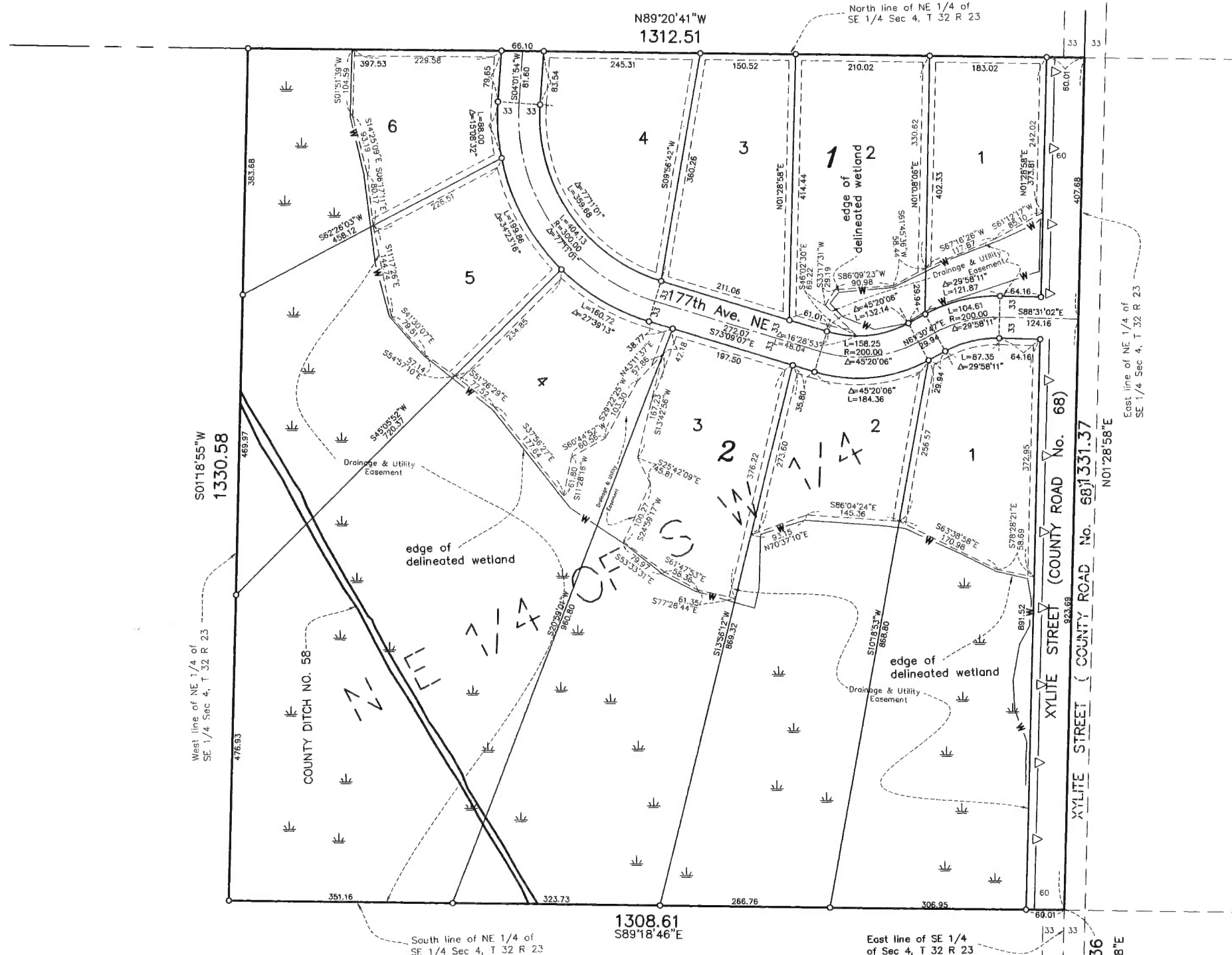
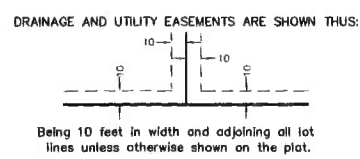


FIGURE 4-3: PROPOSED CITY TRAILS

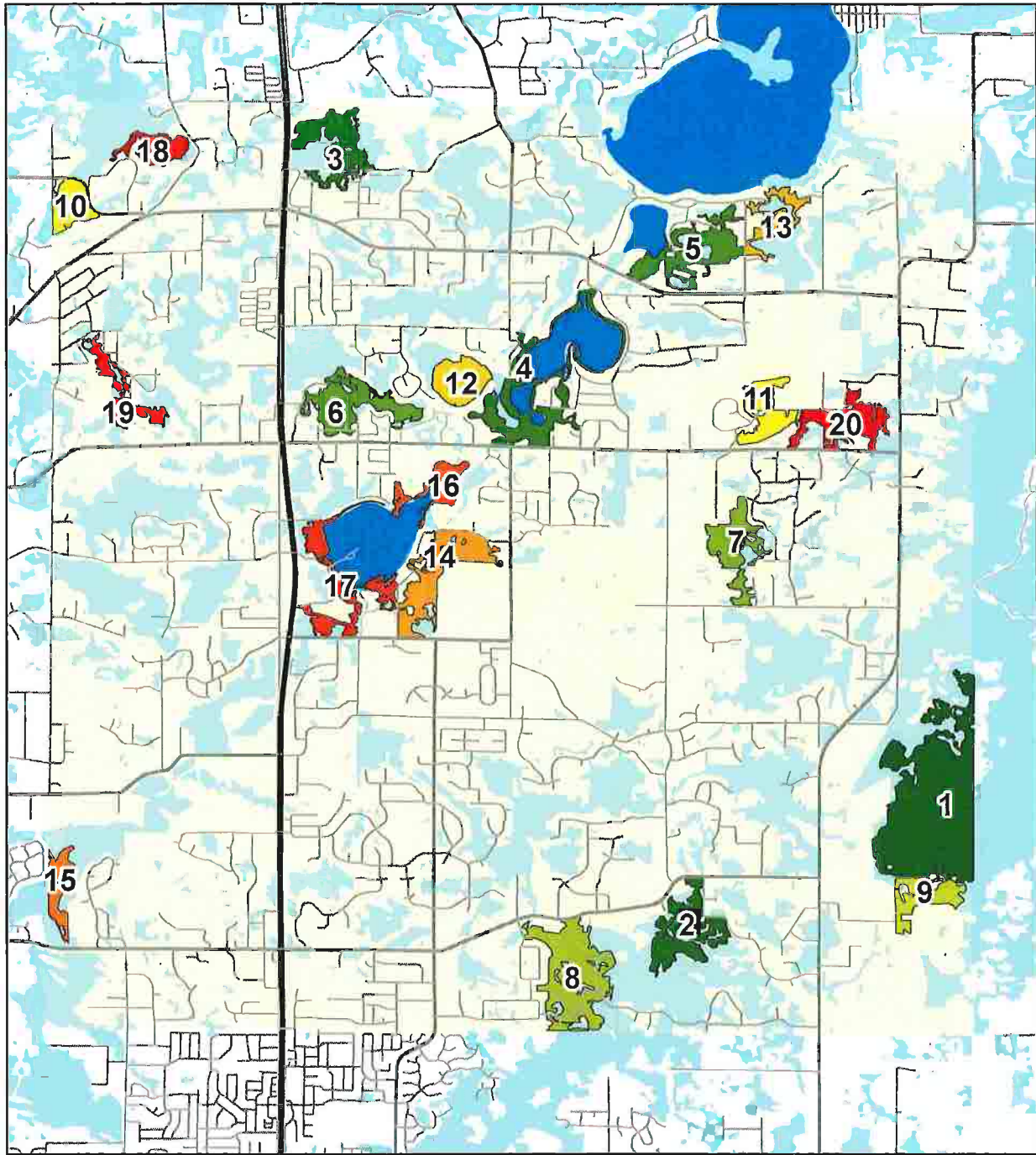
WOODLAND BLUFFS SECOND ADDITION



- Denotes Anoka County Monument
 - Denotes 1/2 inch by 14 inch iron monument set and marked with Minnesota License No. 18420.
 - Denotes Iron monument found
 - Δ— Denotes Restricted Access dedicated to the County of Anoka
- For the purposes of this plat the south line of the SE 1/4 of Section 28, T 32, R. 23, is assumed to bear N 89°48'32" W








Major Natural Resource Concentrations City of Ham Lake



Natural Resource Clusters

(Top 20 Natural Resource Clusters, by Undeveloped Acreage)

-  Largest Undeveloped Acreage
- 
- 
- 
-  Smallest Undeveloped Acreage


Lakes



Wetlands



Roads

-  Interstate Highways
-  U.S. Highways
-  State Highways
-  County Roads/CSAHs
-  Municipal Streets
-  Misc. Other