



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax (763) 434-9599

## **CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, SEPTEMBER 25, 2023**

**CALL TO ORDER:** 6:00 p.m.

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF MINUTES:** August 28, 2023

**PUBLIC HEARINGS:**

**6:01 p.m.** Tom Elwell requesting rezoning of 4611 139<sup>th</sup> Lane NE from R-A (Rural Single Family Residential) to R-1 (Single Family Residential)

**NEW BUSINESS:**

1. Jeff Stalberger, HFN Properties, LLC, requesting Final Plat approval for Hidden Forest East Fourth Addition (22 Single Family Residential lots and 3 outlots) in sections 24 and 25.

**COMMISSION BUSINESS:**

1. City Council Update

CITY OF HAM LAKE  
PLANNING COMMISSION MINUTES  
MONDAY, AUGUST 28, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, August 28, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

**MEMBERS PRESENT:** Commissioners Brian Pogalz, Kyle Lejonvarn, Jeff Entsminger, Jonathan Fisher and Erin Dixson

**MEMBERS ABSENT:** Commissioner Dave Ringler

**OTHERS PRESENT:** City Engineer Dave Krugler and Building and Zoning Clerk Jennifer Bohr

**CALL TO ORDER:** Chair Pogalz called the meeting to order at 6:00 p.m.

**PLEDGE OF ALLEGIANCE:**

The pledge of allegiance was recited by all in attendance.

**APPROVAL OF MINUTES:**

**Motion by Dixson, seconded by Lejonvarn, to approve the minutes of the August 14, 2023 Planning Commission meeting as written. All present in favor, motion carried.**

**PUBLIC HEARING:**

Consideration of amendments to Article 9 of the Ham Lake City Code

Chair Pogalz read the proposed amendments to Article 9 from the public hearing notice. The commissioners briefly discussed existing R-AH, Affordable Housing Districts, in the City. Chair Pogalz summarized the changes related to raising of pigeons. Chair Pogalz stated the City recently revised the chicken ordinance; it was determined the pigeon ordinance also needed revising. Chair Pogalz stated the proposed modifications to the pigeon ordinance seem to be in line with the chicken ordinance. Commissioner Lejonvarn asked if requirements for raising pigeons were within the chicken ordinance. Commissioner Dixson asked if the pigeon ordinance contained the same regulations as the chicken ordinance. Chair Pogalz stated the new pigeon ordinance addresses loft construction standards, population limits, noise, sanitation, confinement and screening.

**Chair Pogalz opened the public hearing at 6:10 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 6:11 p.m.**

**Motion by Pogalz, seconded by Fisher, to recommend approval of the amendments to Article 9 as presented. All present in favor, motion carried. This application will be placed on the City Council's Tuesday, September 5, 2023 agenda.**

Commissioner Entsminger removed himself from the table due to being the applicant for the next two agenda items and his ownership interest in the developments of Entsminger Farms and Coon Creek Commercial Park.

**PUBLIC HEARING:**

Jeff Entsminger requesting rezoning of portions of land of Entsminger Farms from R-A (Rural Single Family Residential) to CD-2 (Commercial Development II) and a portion of land of the Coon Creek Commercial Park from CD-2 (Commercial Development II) to R-A (Rural Single Family Residential) in Section 29

Mr. Entsminger stated he would like to change the zoning assigned to Lot 1, Block 1 of Entsminger Farms, the lot north of Coon Creek Ditch #59, to CD-2. Mr. Entsminger stated NACS is interested in purchasing Lot 4, Block 1 of Coon Creek Commercial Park plus the eastern portion of Lot 1, Block 1 of Entsminger Farms so a lot line adjustment of the western property line of Lot 4, Block 1, Coon Creek Commercial Park is also being requested. Mr. Entsminger stated he would like to move the lot line to the west to the point of where the roadway easement begins. Mr. Entsminger stated he is requesting a second lot line adjustment to move the lot lines around a small portion of Lot 4, Block 1 of Coon Creek Commercial Park, that lies south of Coon Creek Ditch #59, to the north so that portion of land will become part of Lot 2, Block 1, Entsminger Farms (1163 143<sup>rd</sup> Avenue NE). Commissioner Fisher asked Mr. Entsminger if the drainage and utilities easements being requested are acceptable to him. Mr. Entsminger stated they are. Engineer Krugler stated a revised survey document was provided today, August 28, 2023, by Mr. Entsminger's contract surveyors that provided an updated description of the drainage and utility easements adjacent to the future roadway and showed the portion of the driveway for the 1163 143<sup>rd</sup> Avenue NE parcel, that had been in the eastern drainage and utility easement, had been moved to the west. Engineer Krugler stated since the western lot line of Lot 4, Block 1, of Coon Creek Commercial Park will be moving to the west to the point of the easement for the future roadway, dedicating drainage and utility easements around the perimeter of the proposed smaller lot to the west and the proposed larger lot to the east of the future roadway easement were in order. Engineer Krugler stated the septic area for Lot 1, Block 1, Entsminger Farms was on the eastern side of the parcel. Engineer Krugler stated soil borings were done for the remnant of Lot 1, Block 1, Entsminger Farms, proposed Parcel A, to determine buildability of the lot; it has been determined a Type III septic system can be designed for the area shown on the survey. Engineer Krugler stated a Type III system requires compliance with Article 11-450.5.E of the City Code upon installation, including a Management Plan and surety. Engineer Krugler stated Building Official Jones approves of a Type III system for proposed Parcel A. Chair Pogalz stated a memo from Building Official Jones is in the packet: Building Official Jones recommends approval of Mr. Entsminger's request for rezoning and the lot line adjustments subject to meeting the requirements of the City Engineer. Commissioner Fisher completed the inspection; a copy which is on file. Commissioner Fisher stated he inspected the site, which is currently undeveloped land, and stated he hoped it could be put to good use.

**Chair Pogalz opened the public hearing at 6:18 p.m. and asked for public comment; with there being none, Chair Pogalz closed the public hearing at 6:19 p.m.**

**Motion by Fisher, seconded by Lejonvarn, to recommend approval of Jeff Entsminger's request to rezone portions of land of Entsminger Farms from R-A (Rural Single Family Residential) to CD-2 (Commercial Development II) and a portion of land of the Coon Creek Commercial Park from CD-2 (Commercial Development II) to R-A (Rural Single Family Residential) in Section 29 subject to meeting the conditions of the City Engineer and meeting all City, County and State requirements. Commissioners Pogalz, Lejonvarn, Fisher and Dixson voted yes, Commissioner Entsminger abstained. Motion carried. *This application will be placed on the City Council's Tuesday, September 5, 2023 agenda.***

#### **NEW BUSINESS:**

Jeff Entsminger requesting Lot Line Adjustments/Courtesy Combinations in Section 29  
Chair Pogalz asked if this request is to move the lot lines of the small portion of Lot 4, Block 1 of Coon Creek Commercial Park, that lies south of Coon Creek Ditch #59, identified on the plan. Building and Zoning Clerk Bohr stated it is but the request also includes moving the western lot line of Lot 4, Block 1, of Coon Creek Commercial Park to the west. Building and Zoning Clerk Bohr stated comments have been made about splitting the lots but no new lots are being created, the request is only for the movement of some lot lines. **Motion by Fisher, seconded by Dixson, to recommend approval of Jeff Entsminger's request for a lot line adjustment of the western property line of Lot 4, Block 1, Coon Creek Commercial Park, north of Coon Creek Ditch #59, west to the future roadway easement dedicated on Lot 1, Block 1, Entsminger Farms, so to combine the property lying there within, and the lot line adjustment of a portion of Lot 4, Block 1, Coon Creek Commercial Park, south of Coon Creek Ditch #59, to the north so to combine that land with Lot 2, Block 1, of Entsminger Farms in Section 29 subject to the meeting the septic requirements for proposed Parcel A, dedicating drainage and utility easements as required by the City Engineer, meeting all requirements of the City Engineer and Building Official and meeting all City, County and State requirements. Commissioners Pogalz, Lejonvarn, Fisher and Dixson voted yes, Commissioner Entsminger abstained. Motion carried. *This application will be placed on the City Council's Tuesday, September 5, 2023 agenda.***

#### **COMMISSION BUSINESS:**

##### City Council Update

Chair Pogalz stated the City Council concurred with the Planning Commission's conditions and recommendation to approve Touchdown Tile's commercial building plans at the August 21, 2023 City Council meeting. A Planning Commissioner will not be present at the September 5, 2023 City Council meeting.

#### **ADJOURNMENT:**

**Motion by Fisher, seconded by Dixson, to adjourn the Planning Commission meeting at 6:23 p.m. All present in favor, motion carried.**

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Jennifer Bohr, Building and Zoning Clerk

**CITY OF HAM LAKE  
PLANNING COMMISSION REQUEST APPLICATION  
INSPECTION REPORT**

**MTG DATE: September 25, 2023**

**INSPECTION ISSUED TO: Jeff Entsminger**

**APPLICANT/CONTACT: Tom Elwell**

**TELEPHONE NUMBER: 612-363-7279**

**BUSINESS/PLAT NAME: N/A**

**ADDRESS/LOCATION OF INSPECTION: 4611 139<sup>th</sup> Lane NE**

**APPLICATION FOR: Rezoning**

**RECOMMENDATION: \_\_\_\_\_**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**DATE: \_\_\_\_\_**

**PLANNING COMMISSIONER SIGNATURE: \_\_\_\_\_**



# CITY OF HAM LAKE

## PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 8/30/23

Date of Receipt 8-30-23

Receipt # 97260

Meeting Appearance Dates:  
Planning Commission 9-25-23

City Council \_\_\_\_\_

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval\*
- Final Plat Approval
- Rezoning\*
- Multiple Dog License\*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)\*
- Conditional Use Permit (Renewal)
- Other \_\_\_\_\_

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Lot line Adj - Rezoning

Address/Location of property: 4611 139<sup>th</sup> Lane NE Ham Lake MN

Legal Description of property: \_\_\_\_\_

PIN # 31-32-23-21-0002 Current Zoning R-A Proposed Zoning R-1

Notes: 4611 139<sup>th</sup> Ln NE becoming smaller parcel. HFE Plat to

Applicant's Name: Tom Ewell North is zoned R-1

Business Name: \_\_\_\_\_

Address 4629 137<sup>th</sup> Lane ~~NE~~ WE

City Ham Lake State MN Zip Code 55304

Phone \_\_\_\_\_ Cell Phone 612 363 7279 Fax \_\_\_\_\_

Email address N/A

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

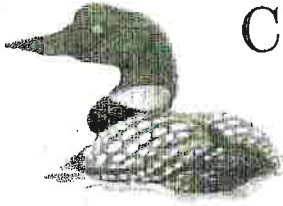
SIGNATURE Tom Ewell DATE 8/30/23

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**- FOR STAFF USE ONLY -**

ACTION BY: Planning Commission \_\_\_\_\_  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT YES NO



# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, Minnesota 55304  
(763) 434-9555  
Fax: (763) 434-9599

## NOTICE OF PUBLIC HEARING CITY OF HAM LAKE COUNTY OF ANOKA STATE OF MINNESOTA

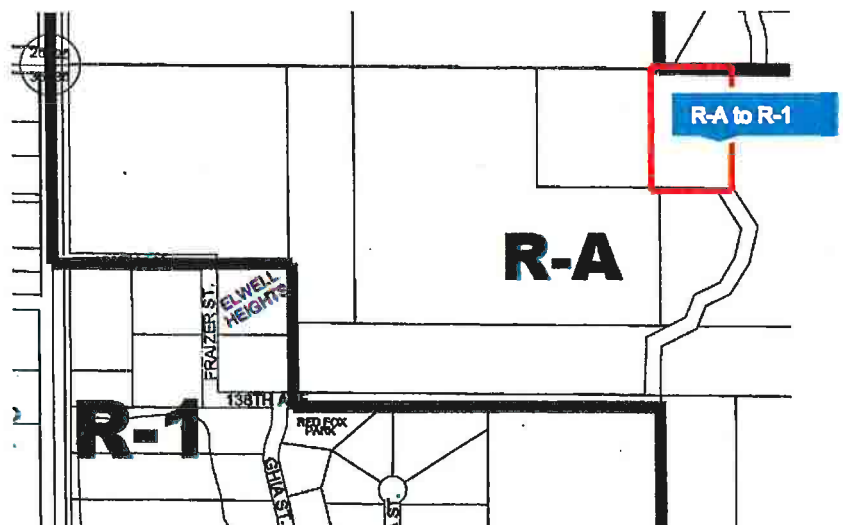
TAKE NOTICE, that pursuant to the requirements of Minnesota Law, a public hearing shall be held before the Ham Lake Planning Commission on Monday, September 25, 2023 at 6:01 p.m. at the City Hall located at 15544 Central Avenue NE for the purpose of considering the application of Tom Elwell requesting to rezone certain parcels of land (4611 139<sup>th</sup> Lane NE) from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) such land situated in the City of Ham Lake, Anoka County, Minnesota and which is described as follows to wit:

The North 512.41 feet of the West 325.00 feet of the Northwest Quarter of the Northeast Quarter, all in Section 36, Township 32, Range 23, Anoka County, Minnesota.

At such hearing both written and oral comments will be heard.

DATED: September 15, 2023

Jennifer Bohr  
Building and Zoning Clerk  
City of Ham Lake



## Memorandum

Date: September 12, 2023  
To: Mayor and Councilmembers  
From: Tom Collins, City Engineer *TPC*  
Subject: Proposed lot line adjustment – 4611 139<sup>th</sup> Lane and 36-32-23-21-0004

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**Introduction:**

A lot line adjustment is proposed between the 10.00-acre 4611 139<sup>th</sup> Lane (36-32-23-21-0002) parcel and the 27.33-acre 36-32-23-21-0004 parcel. The proposed lot line adjustment will increase the 36-32-23-21-0004 parcel by 6.18 acres to 33.51 acres and decrease the 4611 139<sup>th</sup> Lane parcel to 3.82 acres. A 400-scale aerial photo is attached.

**Discussion:**

Both parcels are currently zoned Rural Single Family Residential (R-A) per the attached 600-scale zoning map. The resulting 4611 139<sup>th</sup> Lane parcel will be rezoned to Single Family Residential (R-1). The zoning for the expanded 36-32-23-21-0004 parcel will remain R-A.

Access to the 4611 139<sup>th</sup> Lane parcel is thru a 66-foot wide ingress/egress driveway easement that is an extension of 138<sup>th</sup> Avenue east of Ghia Street. A 400-scale half-section is attached that shows the ingress/egress easement. An ingress/egress driveway easement is being dedicated over the east 66-feet of the 4653 138<sup>th</sup> Avenue parcel to the south, for access to the expanded 36-32-23-21-0004 parcel.

Soil borings #3 and #4 confirm that there is adequate area for a secondary septic system on the resulting 4611 139<sup>th</sup> Lane parcel. The required 10-foot drainage and utility easements are shown around the perimeter of the revised lot lines. County Ditch 44-7 traverses thru 36-32-23-21-0004. Proposed drainage easements are shown for the standard 100-foot County Ditch easement.

**Recommendation:**

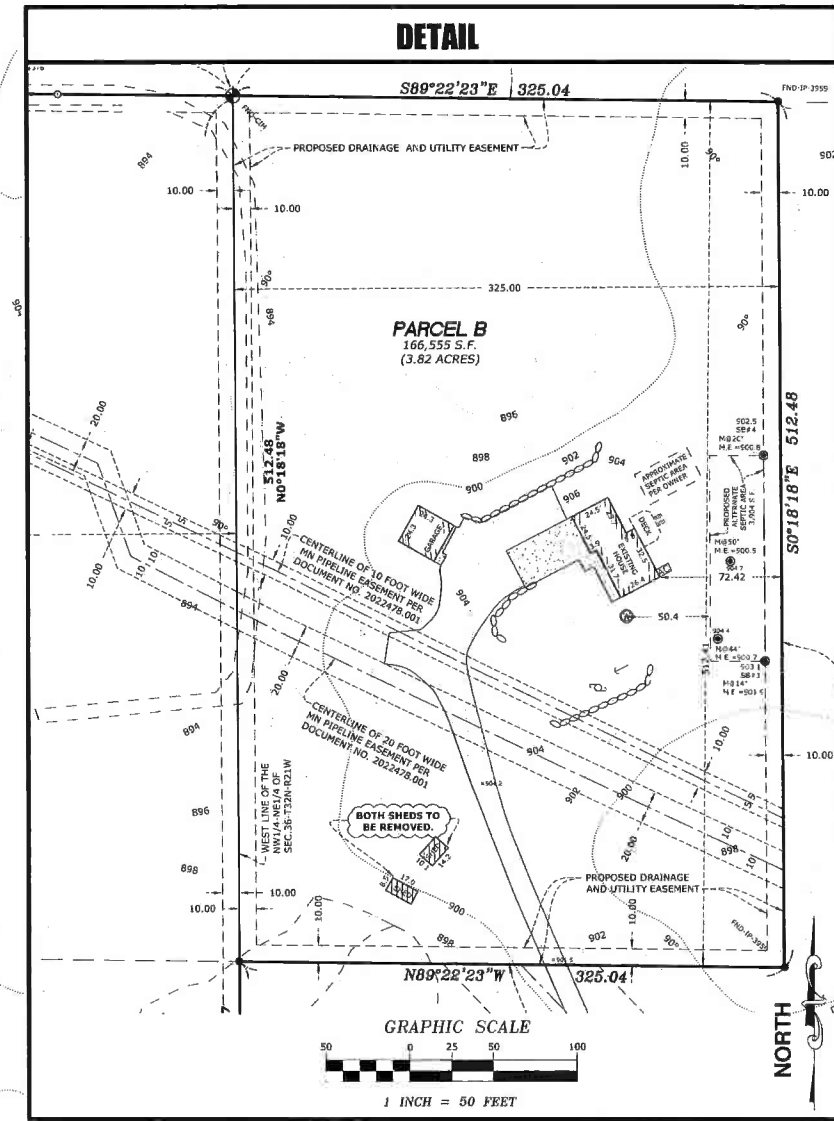
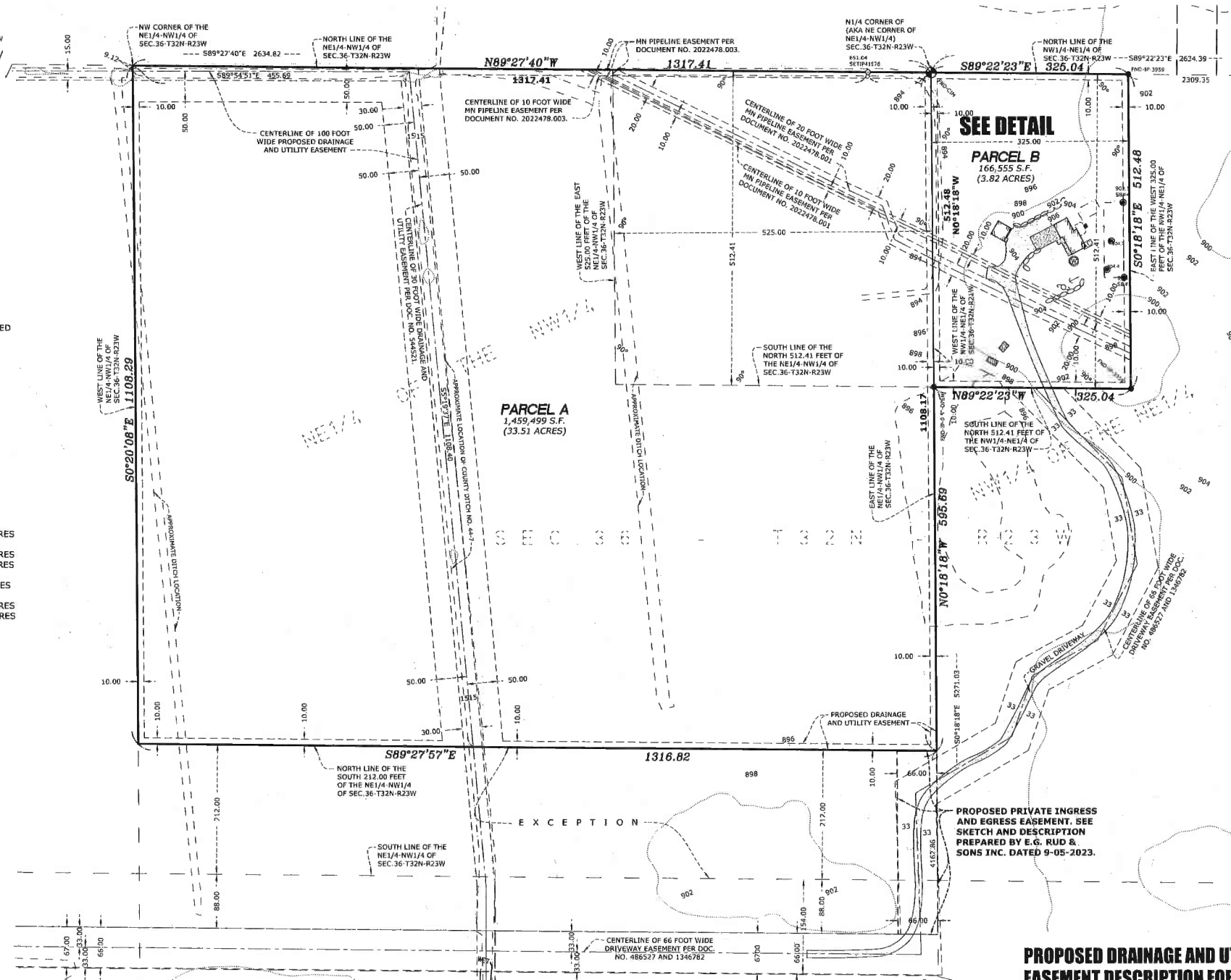
It is recommended that the lot line adjustment be approved, subject to dedicating a 10-foot wide drainage and utility easement on both sides of the revised property lines, dedicating the 100-foot drainage easement over County Ditch 44-7, removal of the two 4611 139<sup>th</sup> Lane accessory buildings and recording of the ingress/egress easement over the 66-feet of the 4653 138<sup>th</sup> Avenue parcel.



# LOT LINE ADJUSTMENT SURVEY

~for~ TOM AND SALLY ELWELL  
 ~of~ 4611 139TH LANE NE  
 HAM LAKE, MN 55304

## OVERALL SITE



### PROPOSED DRAINAGE AND UTILITY EASEMENT DESCRIPTION FOR PARCEL A

A perpetual easement for public drainage and utility purposes over, under and across the North 10.00 feet; the South 10.00 feet; the West 10.00 feet; and the East 10.00 feet of the following described property:

The Northeast Quarter of the Northwest Quarter of Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota. Except the South 212 feet thereof.

AND  
 A 100 foot wide perpetual easement for public drainage and utility purposes over, under and across the following described property:

The Northeast Quarter of the Northwest Quarter of Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota. Except the South 212.00 feet thereof.

The centerline of said easement is described as follows:

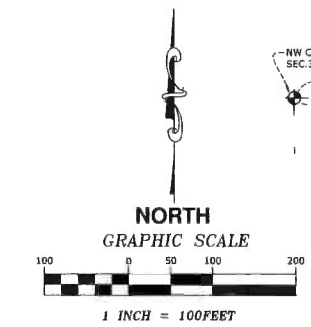
Commencing at the northeast corner of said Northeast Quarter of the Northwest Quarter; thence on an assumed bearing of North 89 degrees 27 minutes 40 seconds West, along the north line of said Northeast Quarter of the Northwest Quarter, a distance of 325.00 feet to the northwest corner of said Northeast Quarter of the Northwest Quarter; thence South 02 degrees 20 minutes 08 seconds East, along the west line of said Northeast Quarter of the Northwest Quarter, a distance of 9.12 feet to the point of beginning of the centerline to be described; thence South 89 degrees 54 minutes 51 seconds East a distance of 455.69 feet; thence South 05 degrees 19 minutes 37 seconds East a distance of 1,108.40 feet to the north line of said south 212.00 feet of the Northeast Quarter of the Northwest Quarter and said centerline there terminating.

The sidelines of said easement are to be prolonged or shortened to terminate on said north and west lines of the Northeast Quarter of the Northwest Quarter and said north line of the south 212.00 feet of the Northeast Quarter of the Northwest Quarter.

### PROPOSED DRAINAGE AND UTILITY EASEMENT DESCRIPTION FOR PARCEL B

A perpetual easement for public drainage and utility purposes over, under and across the North 10.00 feet; the South 10.00 feet; the West 10.00 feet; and the East 10.00 feet of the following described property:

The North 512.41 feet of the West 325.00 feet of the Northwest Quarter of the Northeast Quarter, all in Section 36, Township 32, Range 23, Anoka County, Minnesota.



- LEGEND**
- DENOTES IRON MONUMENT FOUND AS LABELED
  - DENOTES AIR CONDITIONING UNIT
  - DENOTES GUY WIRE
  - DENOTES POWER POLE
  - DENOTES SOIL BORING (BY OTHERS)
  - DENOTES RETAINING WALL
  - DENOTES LIDAR CONTOURS
  - DENOTES CONCRETE SURFACE
  - DENOTES GRAVEL SURFACE

**AREAS**

TOTAL AREA	37.33 ACRES
EXISTING THOMAS A. ELWELL, ETAL PARCEL	27.33 ACRES
EXISTING THOMAS AND SALLY ELWELL PARCEL	10.00 ACRES
AREA OF PARCEL BEING CONVEYED	6.18 ACRES
PROPOSED PARCEL A	33.51 ACRES
PROPOSED PARCEL B	3.82 ACRES

- NOTES**
- Field survey was completed by E.G. Rud and Sons, Inc. on 05/31/2022. Additional borings staked and division line monumented on 4/20/2023.
  - Bearings shown are on Anoka County datum.
  - This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
  - Parcel B to be rezoned to R-1.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 Jason E. Rud  
 Date: 09/05/2023 License No. 41578

### EXISTING PROPERTY DESCRIPTION OF THE THOMAS A. ELWELL, ETAL PARCEL

[FOR PIN NO. 36-32-23-21-0004 PER ANOKA COUNTY QUIT CLAIM DEED DOCUMENT NO. 1198047.]

The Northeast Quarter of the Northwest Quarter of Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota. Except the South 212 feet thereof. Also Except the North 512.41 feet of the East 525.00 feet thereof.

### PROPOSED DESCRIPTION OF PARCEL A

The Northeast Quarter of the Northwest Quarter of Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota. Except the South 212.00 feet thereof.

### PROPOSED DESCRIPTION OF PARCEL BEING CONVEYED

The North 512.41 feet of the East 525.00 feet of the Northeast Quarter of the Northwest Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota.

### EXISTING PROPERTY DESCRIPTION OF THOMAS A AND SALLY A ELWELL PARCEL

[FOR PIN NO. 36-32-23-21-0002 PER ANOKA COUNTY QUIT CLAIM DEED DOCUMENT NO. 1346782.]

The North 512.41 feet of the East 525.00 feet of the Northeast Quarter of the Northwest Quarter and the North 512.41 feet of the West 325.00 feet of the Northwest Quarter of the Northeast Quarter, all in Section 36, Township 32, Range 23, Anoka County, Minnesota.

Together with a 66.00 foot easement for ingress and egress, the centerline of which is described as follows:

Commencing at the Northwest corner of the Northwest Quarter of Section 36, Township 32, Range 23, Anoka County, Minnesota; thence on an assumed bearing of South 0 degrees 05 minutes 35 seconds East along the West line of said Northwest Quarter, a distance of 847.50 feet to its intersection with the South line of the North 847.50 feet of said Northwest Quarter and the actual point of beginning of the centerline to be hereinafter described; thence South 89 degrees 08 minutes 42 seconds East, along said South line of the North 847.38 feet, a distance of 693.92 feet; thence South 0 degrees 05 minutes 35 seconds East, parallel with the West line of said Northwest Quarter a distance of 593.68 feet to the South line of the North 121.00 feet of the South half of said Northwest Quarter; thence South 89 degrees 10 minutes 13 seconds East, along said South line of the North 121.00 feet, a distance of 1911.51 feet; thence North 1 degree 44 minutes 02 seconds East a distance of 105.45 feet; thence North 61 degrees 54 minutes 06 seconds East a distance of 121.62 feet; thence North 28 degrees 14 minutes 47 seconds East a distance of 140.92 feet; thence North 9 degrees 37 minutes 50 seconds West a distance of 143.84 feet; thence North 43 degrees 48 minutes 58 seconds West a distance of 203.72 feet to the South line of the North 512.41 feet of the Northwest Quarter of the Northeast Quarter of said Section 36 and there terminating. Said strip of land to extend by its full width from the East right-of-way line of County State Aid Highway Number 17 to the South line of the North 512.41 feet of the Northwest Quarter of the Northeast Quarter of said Section 36.

### PROPOSED DESCRIPTION OF PARCEL B

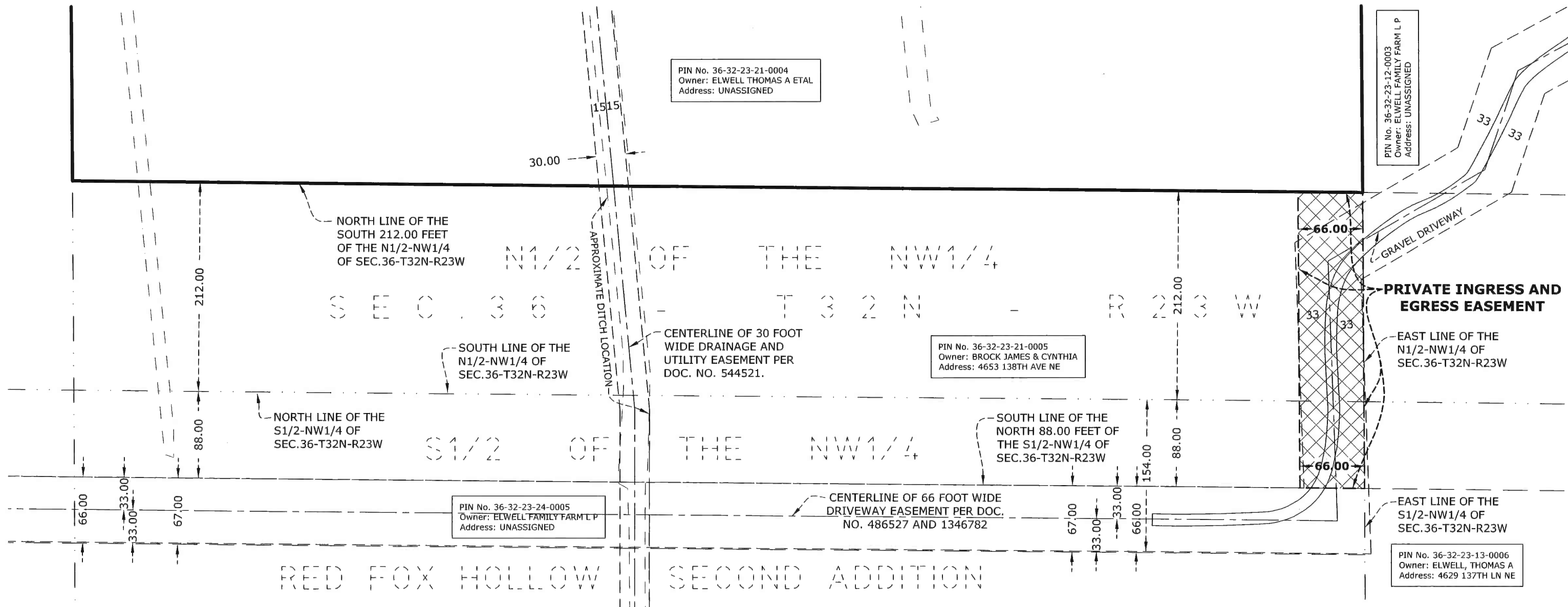
The North 512.41 feet of the West 325.00 feet of the Northwest Quarter of the Northeast Quarter, all in Section 36, Township 32, Range 23, Anoka County, Minnesota.

Together with a 66.00 foot easement for ingress and egress, the centerline of which is described as follows:

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# SKETCH AND DESCRIPTION

~for~ TOM AND SALLY ELWELL  
 ~of~ PRIVATE INGRESS AND EGRESS EASEMENT



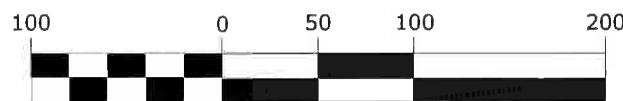
## PRIVATE INGRESS AND EGRESS EASEMENT DESCRIPTION

A perpetual easement for ingress and egress purposes over and across the east 66.00 feet of the following described property:

The north 88.00 feet of the South Half of the Northwest Quarter and the south 212.00 feet of the North Half of the Northwest Quarter, all in Section 36, Township 32 North, Range 23 West, Anoka County, Minnesota.

**NORTH**

### GRAPHIC SCALE



1 INCH = 100 FEET

## LEGEND



DENOTES PRIVATE INGRESS AND EGRESS EASEMENT (19,802 S.F., MORE OR LESS)

PIN No. 17-119-22-14-0008  
Owner: City of X  
Address: Unassigned

DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

By:   
Minnesota License No. 41578

Dated 5th day of September 2023.

BEARING DATUM: County		SCALE: 1" = 100'
REVISIONS		JOB NO. 200733PP
1		DATE: 09-05-23
2		DRAWN BY: JEN
3		CREW: TBD
NO.	DATE	DESCRIPTION

**E. G. RUD & SONS, INC.**  
 EST. 1877  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrund.com



1"=400'

RLS NO. 274

HIDDEN FOREST  
EAST PARK  
ADDITION

RLS NO. 274

**R-1**

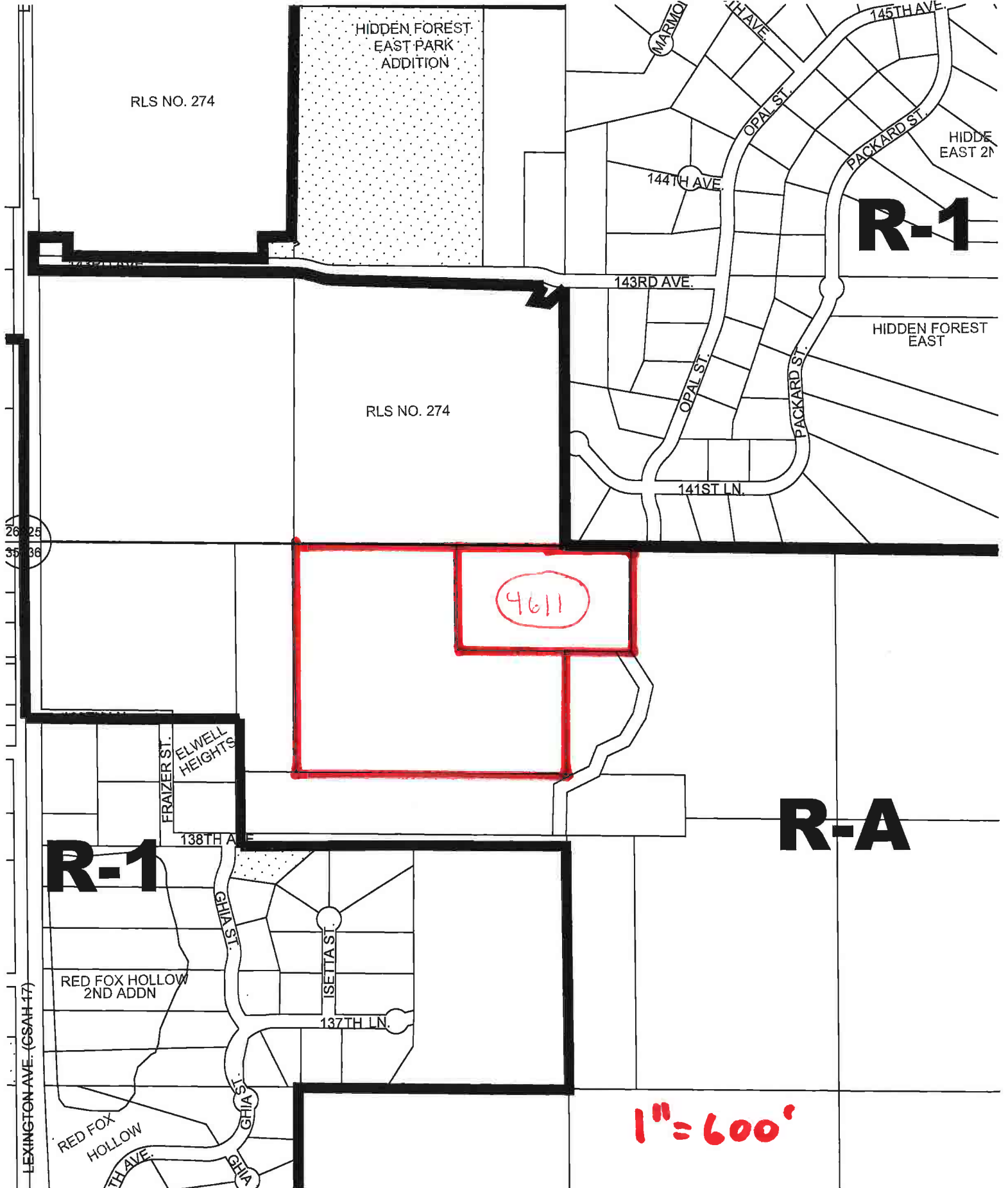
HIDDEN FOREST  
EAST

9611

**R-A**

**R-1**

1" = 600'



27  
28  
29  
30  
31  
32  
33  
34  
35  
36  
37  
38  
39

LEXINGTON AVE. (GSAH 17)

FRAIZER ST.

ELWELL  
HEIGHTS

138TH AVE

GHIA ST.

ISETIA ST.

137TH LN.

RED FOX HOLLOW  
2ND ADDN

RED FOX  
HOLLOW  
AVE.

GHIA

GHIA

MARMON

145TH AVE

145TH AVE

144TH AVE

143RD AVE.

OPAL ST.

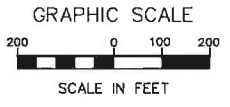
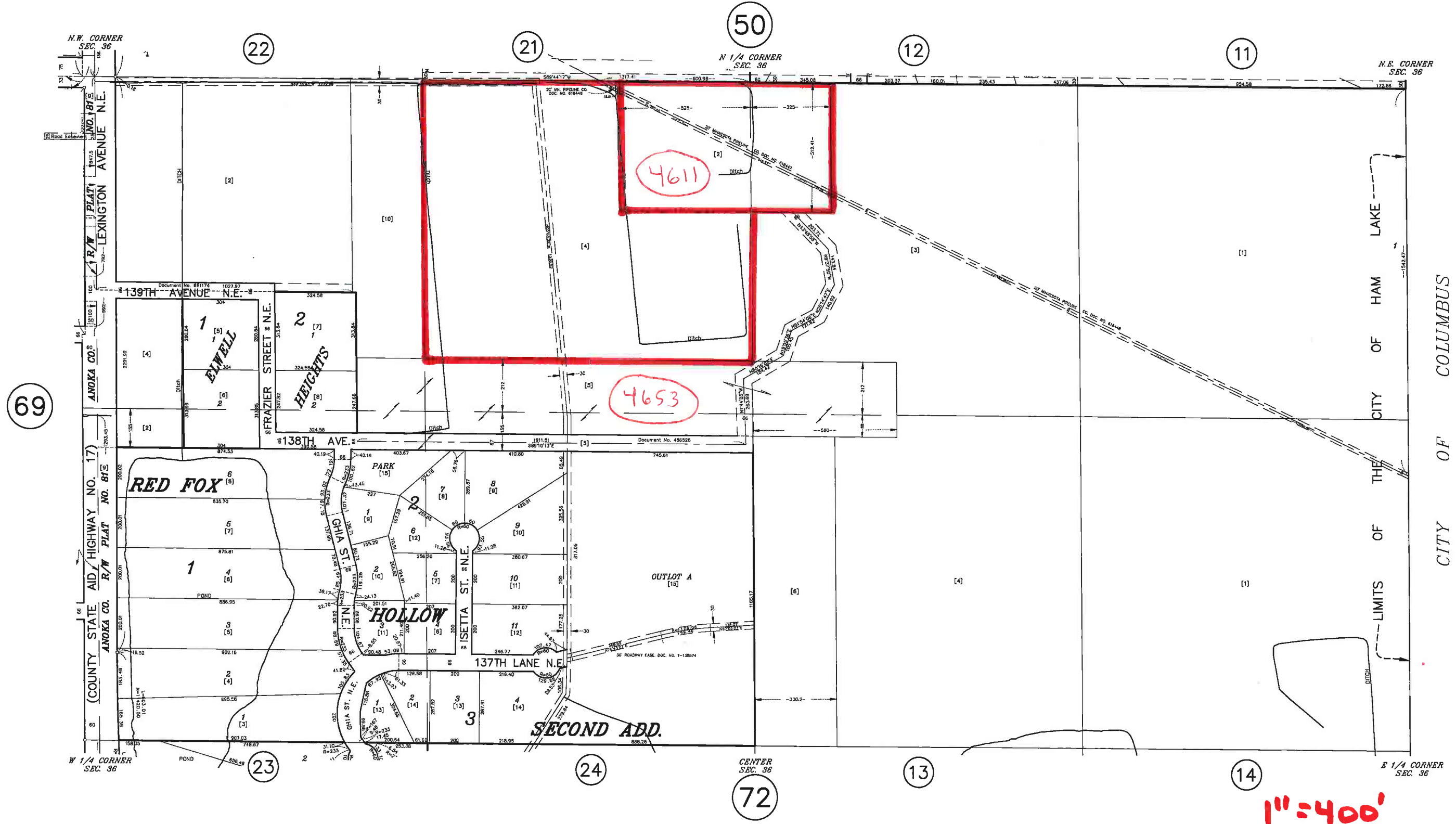
PACKARD ST.

141ST LN.

HIDDEN  
EAST 2ND

# N 1/2 SECTION 36, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY  
SURVEYOR'S OFFICE  
ROOM 224  
2100 3RD AVENUE  
ANOKA, MN 55303  
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]  
EXAMPLE OF PIN NUMBER: 36-32-23-13-0006

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

**Tradewell Soil Testing  
18330 Dahlia Street NW  
Cedar, MN 55011**

Date: April 24<sup>th</sup>, 2023

Name: Tom Elwell

Address: 4629 137<sup>th</sup> Lane NE, Ham Lake, MN

**SOIL BORING TEST REPORT**

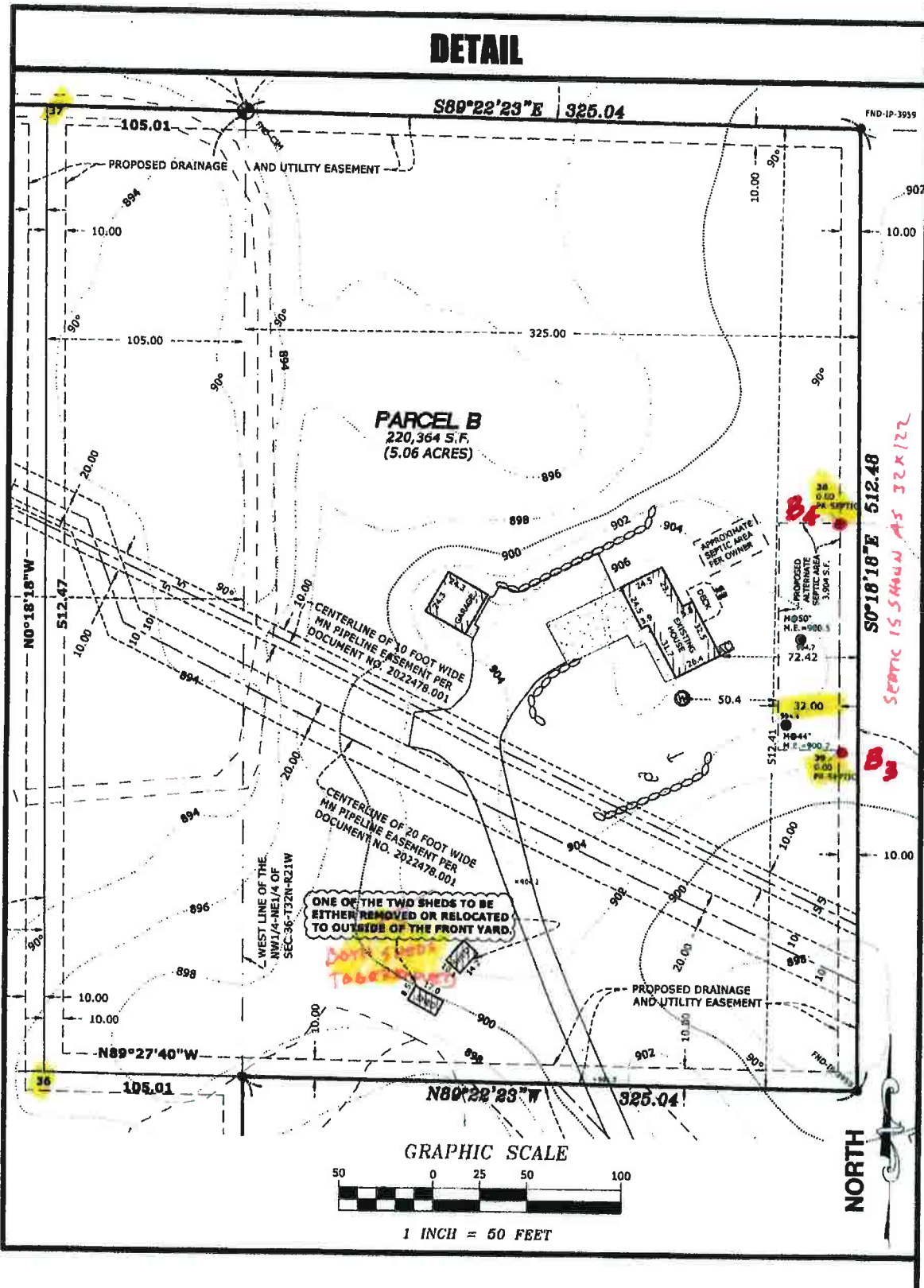
<b>Boring #1</b>	<b>Boring #2</b>	<b>Boring #3</b>	<b>Boring #4</b>
0"- 10" Topsoil (Fill) Loamy Fine Sand 10YR 3/1	0"- 10" Topsoil (Fill) Loamy Fine Sand 10YR 3/1	0"- 10" Topsoil Loamy Fine Sand 10YR 3/1 3/2	0"- 8" Topsoil Loamy Fine Sand 10YR 3/1 3/2
10"- 26" Fine Sand 10YR 4/4	10"- 26" (Fill) Fine Sand (Mottled)	10"- 30" Fine Sand 10YR 4/6 4/4	8"- 20" Fine Sand 10YR 3/4 4/4
26"- 62" Medium Fine Sand 10YR 5/4	26"- 64" Medium Fine Sand 10YR 5/4 5/3	30"- 40" Fine Sand 10YR 4/3 5/3	20"- 48" Fine Sand 10YR 5/4 5/3
	With Loamy Bands 7.5YR 4/4		
Mottles @ 44" Dry Hole	Mottles @ 50" Dry Hole	Mottles @ 14" Dry Hole	Mottles @ 20" Dry Hole

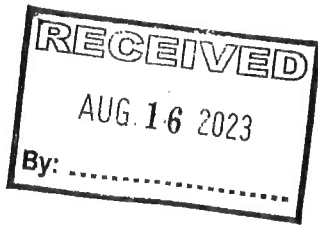
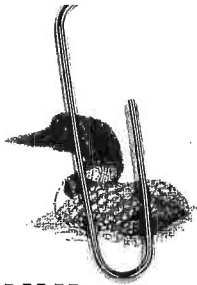


Mark Tradewell  
MPCA #307

36,168902.7208,529235.5487,0.0000,prlc  
37,169415.1792,529232.8210,0.0000,prlc  
38,169201.8718,529653.9623,0.0000,PR-SEPTIC  
39,169079.8735,529654.6117,0.0000,PR-SEPTIC

# DETAIL





# CITY OF HAM LAKE

15544 Central Avenue NE  
Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

## PLANNING REQUEST

Date of Application 8-15-2023

Date of Receipt \_\_\_\_\_  
Receipt # \_\_\_\_\_

Meeting Appearance Dates:  
Planning Commission 9-25-23

City Council \_\_\_\_\_

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval\*
- Final Plat Approval
- Rezoning\*
- Multiple Dog License\*

- Commercial Building Site
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)\*
- Conditional Use Permit (Renewal)
- Other

*\*NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: HFN Properties, LLC / Hidden Forest East 4<sup>th</sup>

Address/Location of property: EAST OF LEXINGTON - 143<sup>rd</sup>

Legal Description of property: \_\_\_\_\_

PIN # 24-32-23-44-0001 + 25-32-23-12-0002  
25-32-23-11-0002 + 0008 Current Zoning R-1 Proposed Zoning \_\_\_\_\_

Notes: 22 Single Family Residential lots  
3 outlots

Applicant's Name: JEFF STAIBUGEN

Business Name: HFN Properties, LLC

Address 17404- WARD 4K. Dr. NW

City Andover State MN Zip Code 55304

Phone \_\_\_\_\_ Cell Phone 612-799-1471 Fax \_\_\_\_\_

Email address STALLY68@MSN.COM

*You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.*

SIGNATURE Jeffery L. Stally DATE 8-15-2023

\*\*\*\*\*


- FOR STAFF USE ONLY -

ACTION BY: Planning Commission \_\_\_\_\_  
City Council \_\_\_\_\_

PROPERTY TAXES CURRENT YES NO



## Memorandum

Date: September 21, 2023  
To: Planning Commissioners  
From: David A. Krugler, City Engineer   
Subject: Hidden Forest East 4<sup>th</sup> Addition

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**Introduction:**

The Final Plat, Title Sheet, Preliminary Plat, Grading, Erosion Control and Tree Protection Plan, Livability Plan, Livability Chart, and Floodplain Exhibit were received September 19<sup>th</sup> and the FEMA Exhibit was received September 20<sup>th</sup>. The Utility Plan – Storm Sewer Plan/Profile, Outlet Structures, Details, Stormwater Pollution Prevention Plan and Stormwater Drainage Report were received May 16<sup>th</sup> for the 22-lot residential development located on the 112.96 combined acres of contiguous parcels 24-32-23-44-0001, 25-32-23-11-0002, 25-32-23-11-0008 (Outlot A - Hidden Forest East 3<sup>rd</sup> Addition) and 25-32-23-12-0002.

**Discussion:**

The Final Plat conforms to the Preliminary Plat and Plans that received City Council approval on July 5<sup>th</sup>. Outlots A, B and C will be required to be conveyed to adjacent properties within the Development Agreement. These Outlots are anticipated to be included in future platting.

The dedication of Hidden Forest East Park Addition parkland was compensation for parkland dedication of 56.67 acres of Hidden Forest East 3<sup>rd</sup> Addition and 9.57 acres of Hidden Forest East 4<sup>th</sup> Addition per the attached memo from Attorney Murphy. The final plat for Hidden Forest East 3<sup>rd</sup> Addition showed three lots relabeled as Outlot A from the preliminary plat. The City collects a maximum of \$2,500 per lot depending on upland area for each lot. Per correspondence with Public Works Superintendent John Witkowski, it is recommended that parkland dedication fees be collected for the remaining 103.39 acres rather than the dedication of parkland or trail easement. This development will have access to the 27.12-acre park within the Hidden Forest East Park Addition through the streets of Hidden Forest East 2nd and 3rd Additions to the south.

An Encroachment Agreement will be required due to the Lot 10, Block 1 septic sewer pipe that will cross the drainage and utility easement. FEMA Letters of Map Amendments are required for Lots 1, 2, 3, 5, 6 and 7 of Block 1, and Lots 2 and 3 of Block 3. The Development Agreement will stipulate that these lots are not eligible for a building permit until the Letter of Map Amendment is approved by FEMA. The yard area for Lot 1 Block 2 is identified within the right-of-way of the Hidden Forest East 3<sup>rd</sup> Addition plat as shown in the attached vacation exhibit. A public hearing will be scheduled for the vacation of the roadway and cul-de-sac as dedicated with the Hidden Forest East 3<sup>rd</sup> Addition plat.

The NPDES/MPCA Construction Stormwater Permit has been obtained, the Wetland Bank Credit Withdrawal was verified and the DNR Endangered Plants Takings Permit submittal was received. The Coon Creek Watershed District issued the attached Permit on July 25th. The Permit was amended when a Geotechnical Evaluation Report was received on August 7<sup>th</sup> 2023 which identified higher groundwater levels than was shown in February 2023 Water Level Readings Memo taken between November 2022 and February 2023 that the low floor elevations were based on for the Preliminary Plat approval. As a result of this Report, the low floors elevations have been adjusted in the revised plans.

**Recommendations:**

It is recommended that the Final Plat of Hidden Forest East 4<sup>th</sup> Addition be recommended for approval.

PRELIMINARY COPY  
UNRECORDED AS OF 09-13-23

# HIDDEN FOREST EAST FOURTH ADDITION

CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 24 & 25, T32N, R23W

KNOW ALL PERSONS BY THESE PRESENTS: That HFN Properties, LLC, a Minnesota limited liability company, owner of the following described property:

OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota.

AND

Tracts A and B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota.

AND

The Southeast Quarter of the Southeast Quarter of Section 24, Township 32, Range 23, Anoka County, Minnesota.

AND

Vacated Stutz Street, described as follows:

That part of Stutz Street as dedicated on the recorded plat of HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota, which lies north of the westerly extension of the northerly line of Lot 9, Block 1, HIDDEN FOREST EAST THIRD ADDITION.

Has caused the same to be surveyed and platted as HIDDEN FOREST EAST FOURTH ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said HFN Properties, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

HFN PROPERTIES, LLC

Jeffrey A. Stalberger, Co-administrator

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ by Jeffrey A. Stalberger, Co-administrator of HFN Properties, LLC, a Minnesota limited liability company.

\_\_\_\_\_  
(Signature)  
\_\_\_\_\_  
(Print Name)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Jason E. Rud, Licensed Land Surveyor  
Minnesota License No. 41578

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ by Jason E. Rud.

\_\_\_\_\_  
(Signature)  
\_\_\_\_\_  
(Print Name)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

CITY COUNCIL, CITY OF HAM LAKE, MINNESOTA

This plat of HIDDEN FOREST EAST FOURTH ADDITION was approved and accepted by the City Council of the City of Ham Lake, Minnesota at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

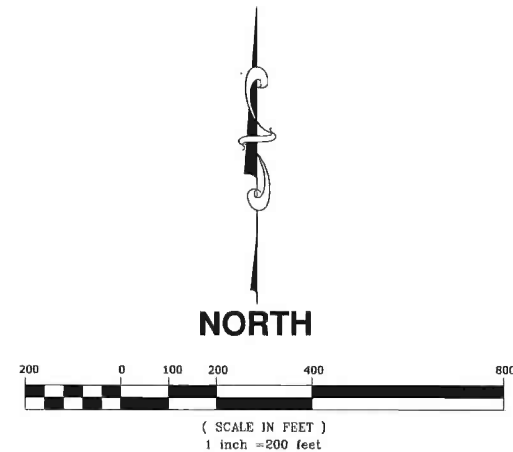
City Council, City of Ham Lake, Minnesota

By \_\_\_\_\_ Mayor By \_\_\_\_\_ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

David M. Ziegmler  
Anoka County Surveyor



## LEGEND

- DENOTES 1/2 INCH IRON PIPE MONUMENT FOUND, MARKED RLS NO. 41578, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ⊕ DENOTES ANOKA COUNTY MONUMENT
- DENOTES FOUND CONCRETE MONUMENT
- DENOTES WETLAND EDGE AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICE COMPANY IN SEPTEMBER 2022.

FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF TRACT A, REGISTERED LAND SURVEY NO. 290, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 17 MINUTES 44 SECONDS EAST.

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this day of \_\_\_\_\_, 20\_\_.

Property Tax Administrator

By \_\_\_\_\_, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES  
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of HIDDEN FOREST EAST FOURTH ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M. and was duly recorded as Document Number \_\_\_\_\_.

County Recorder/Registrar of Titles

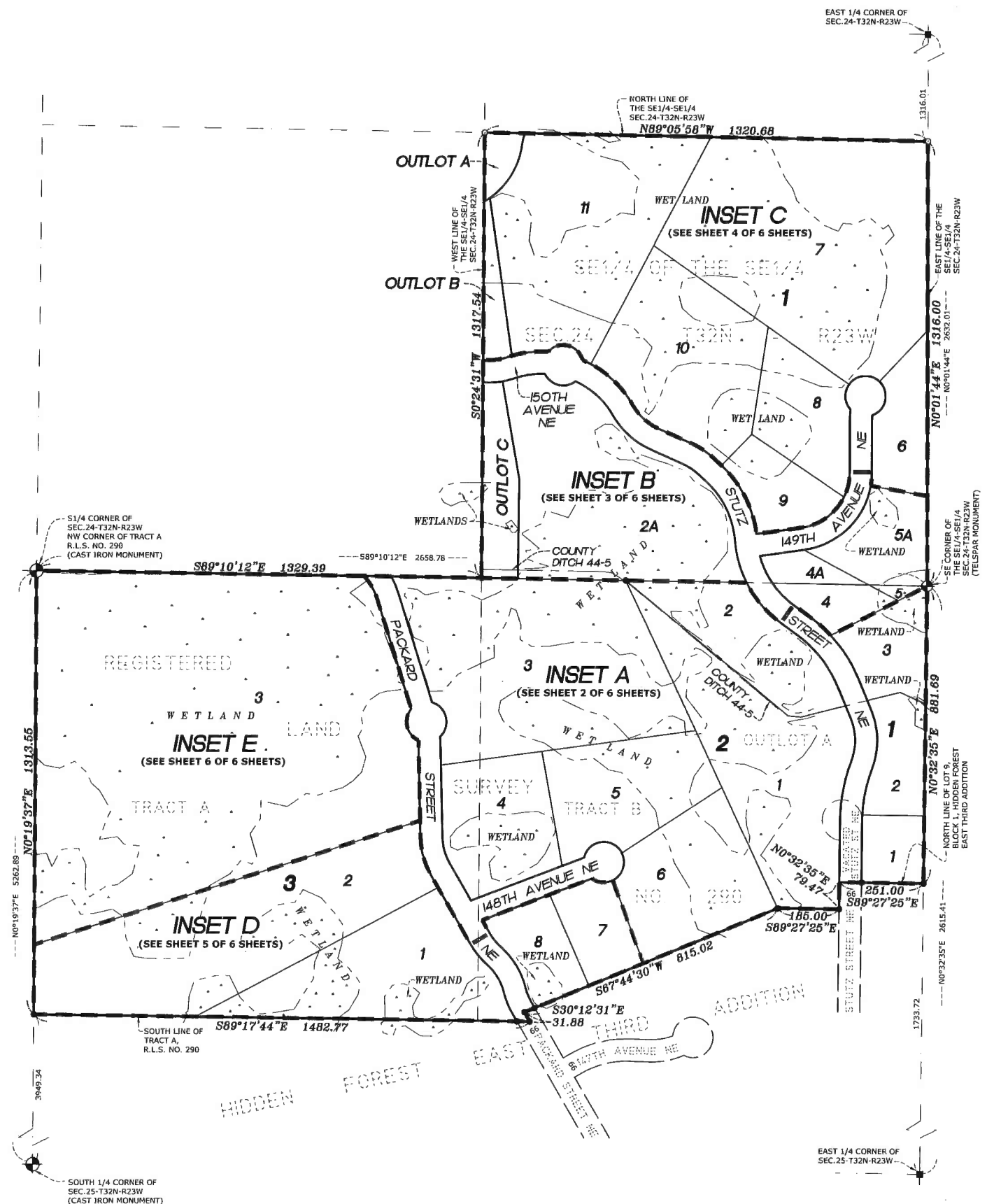
By \_\_\_\_\_, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES  
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of HIDDEN FOREST EAST FOURTH ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M. and was duly recorded as Document Number \_\_\_\_\_.

County Recorder/Registrar of Titles

By \_\_\_\_\_, Deputy



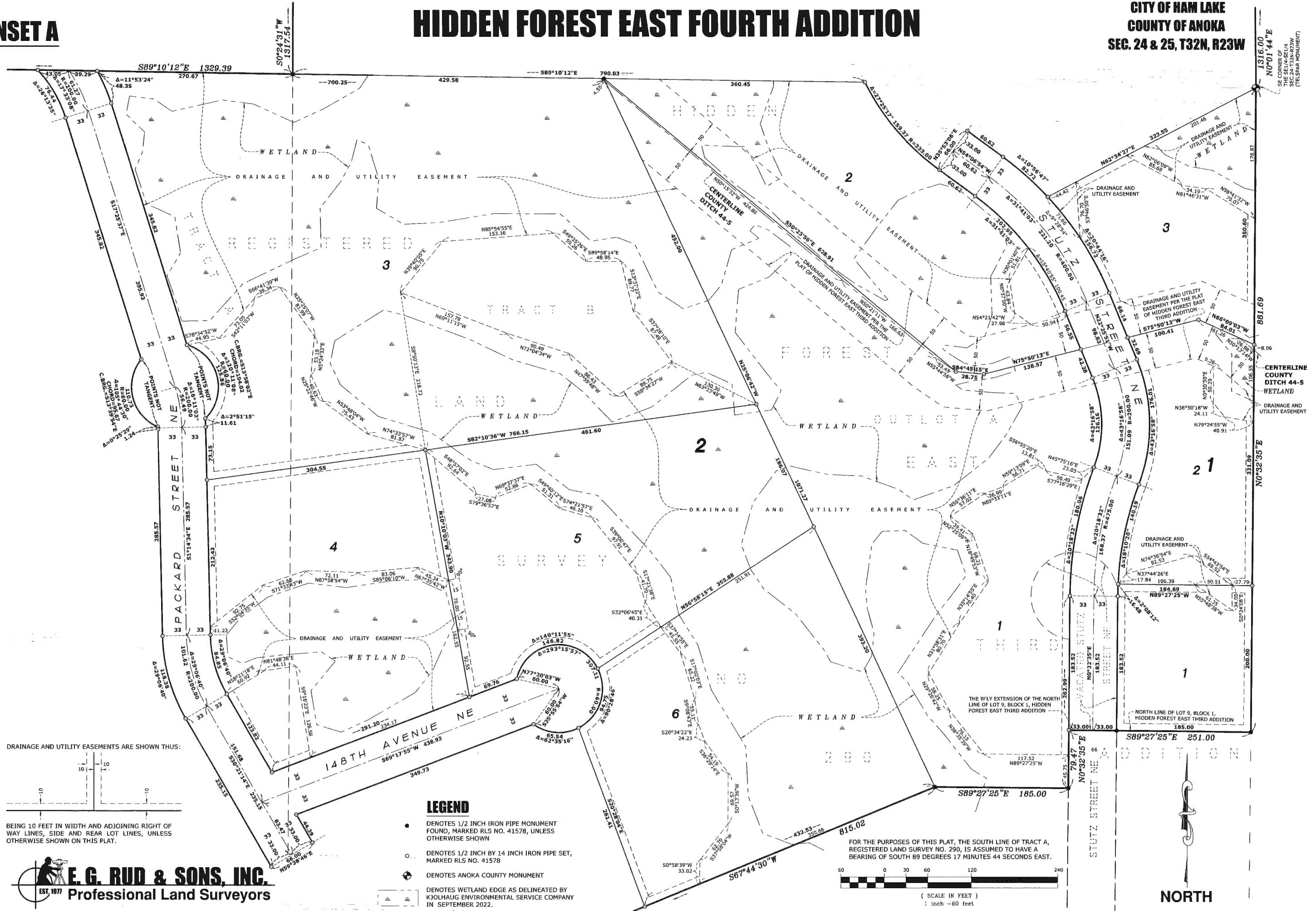
**E. G. RUD & SONS, INC.**  
EST. 1977 Professional Land Surveyors

PRELIMINARY COPY  
UNRECORDED AS OF 09-13-23

INSET A

# HIDDEN FOREST EAST FOURTH ADDITION

CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 24 & 25, T32N, R23W



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

### LEGEND

- DENOTES 1/2 INCH IRON PIPE MONUMENT FOUND, MARKED RLS NO. 41578, UNLESS OTHERWISE SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ⊕ DENOTES ANOKA COUNTY MONUMENT
- ▭ DENOTES WETLAND EDGE AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICE COMPANY IN SEPTEMBER 2022.

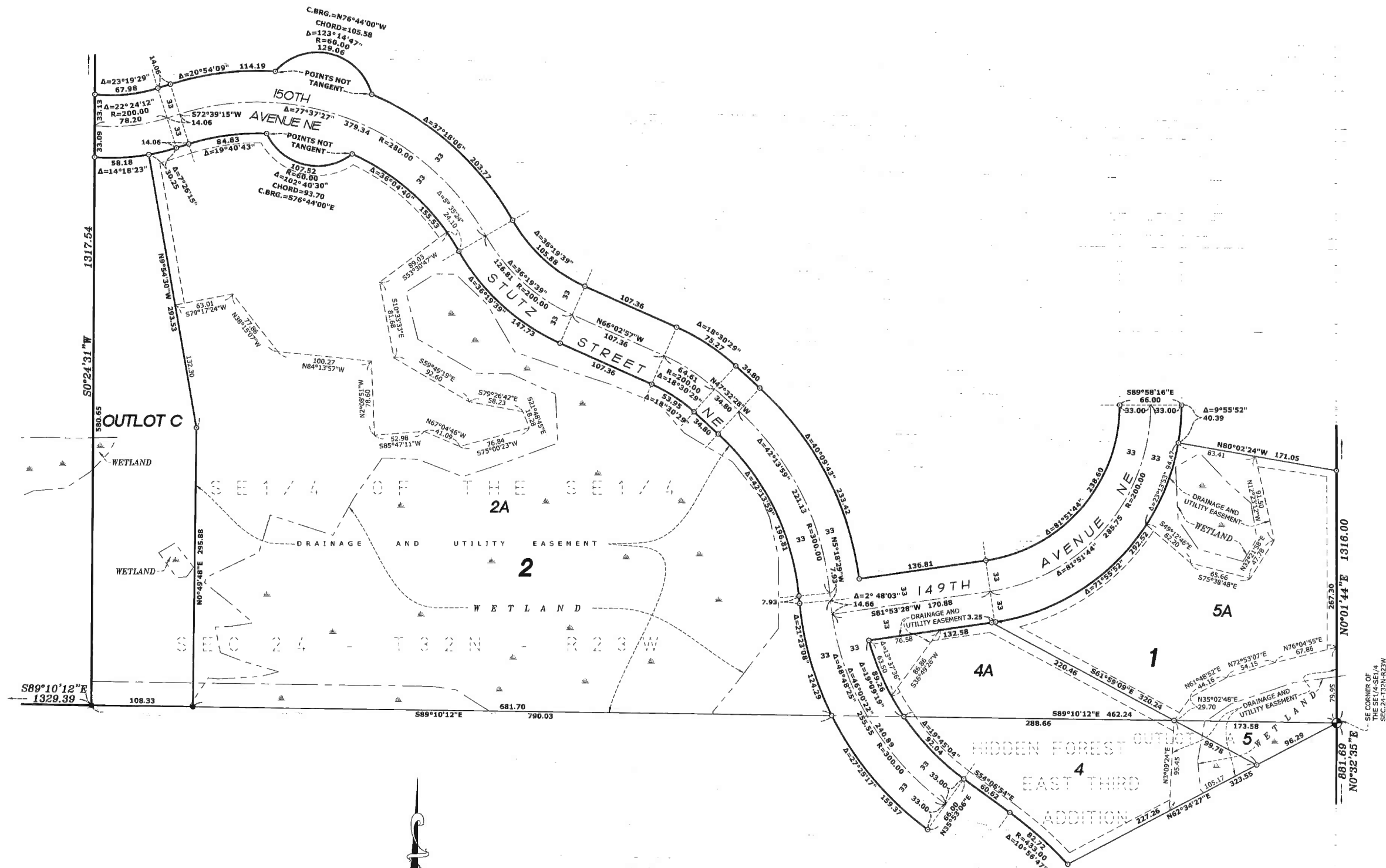
FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF TRACT A, REGISTERED LAND SURVEY NO. 290, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 17 MINUTES 44 SECONDS EAST.

(SCALE IN FEET)  
1 inch = 60 feet

**E.G. RUD & SONS, INC.**  
EST. 1977 Professional Land Surveyors

NORTH

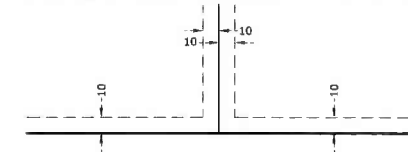
# HIDDEN FOREST EAST FOURTH ADDITION



### LEGEND

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DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

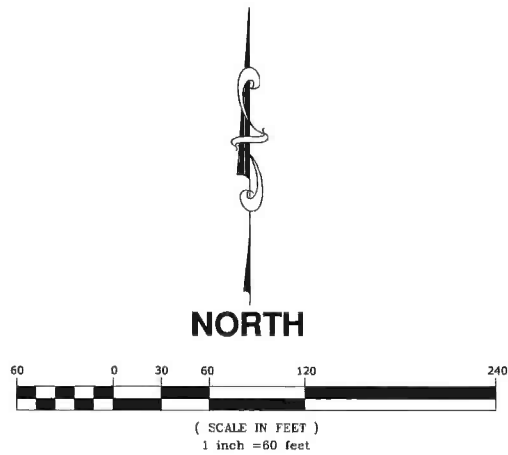
FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF TRACT A, REGISTERED LAND SURVEY NO. 290, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 17 MINUTES 44 SECONDS EAST.

PRELIMINARY COPY  
UNRECORDED AS OF 09-13-23

# INSET C

# HIDDEN FOREST EAST FOURTH ADDITION

CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 24 & 25, T32N, R23W

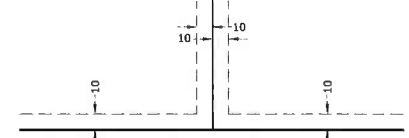


### LEGEND

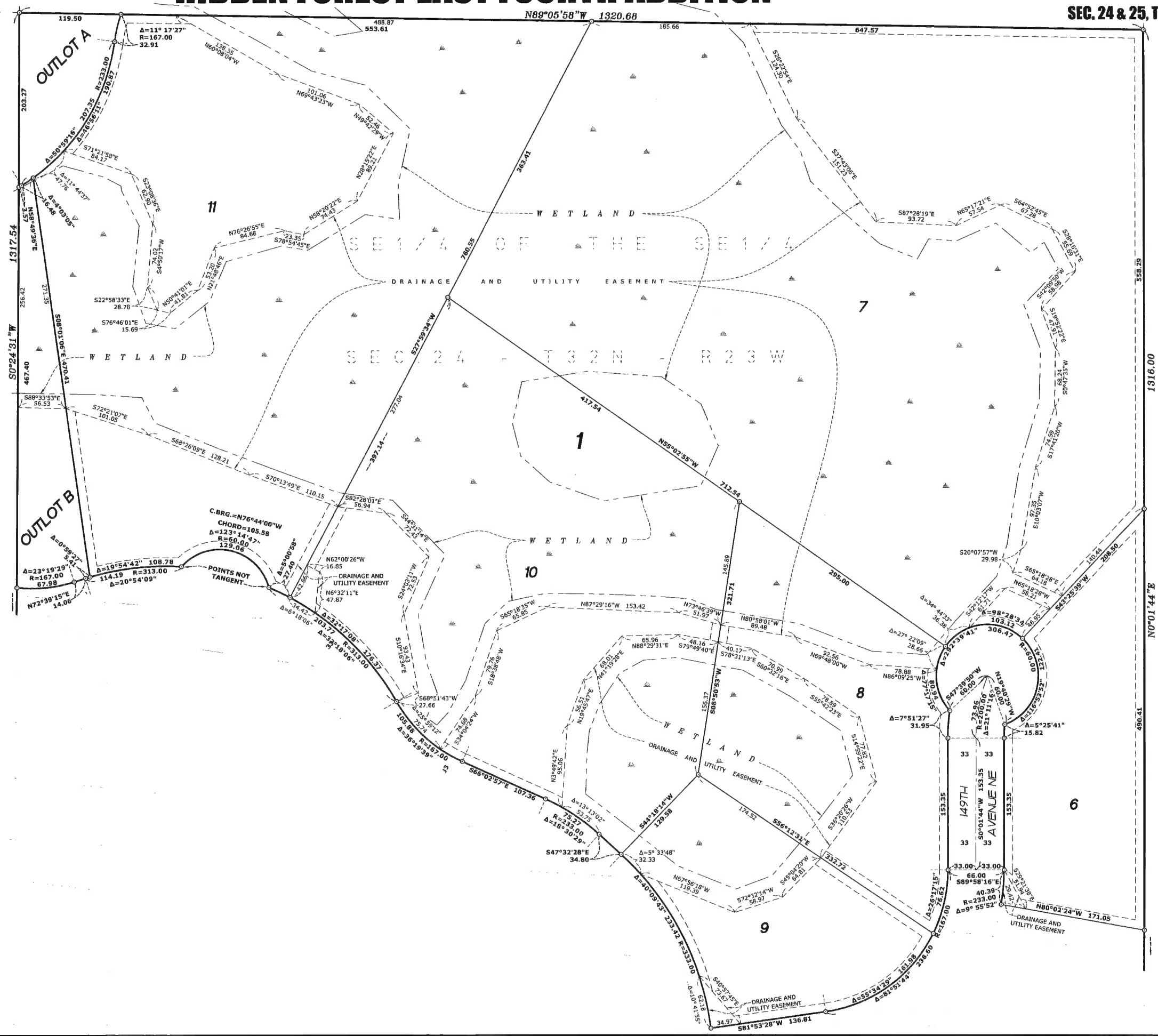
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- DENOTES WETLAND EDGE AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICE COMPANY IN SEPTEMBER 2022.

FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF TRACT A, REGISTERED LAND SURVEY NO. 290, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 17 MINUTES 44 SECONDS EAST.

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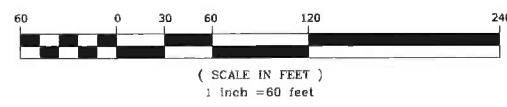
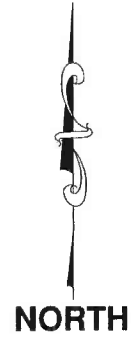
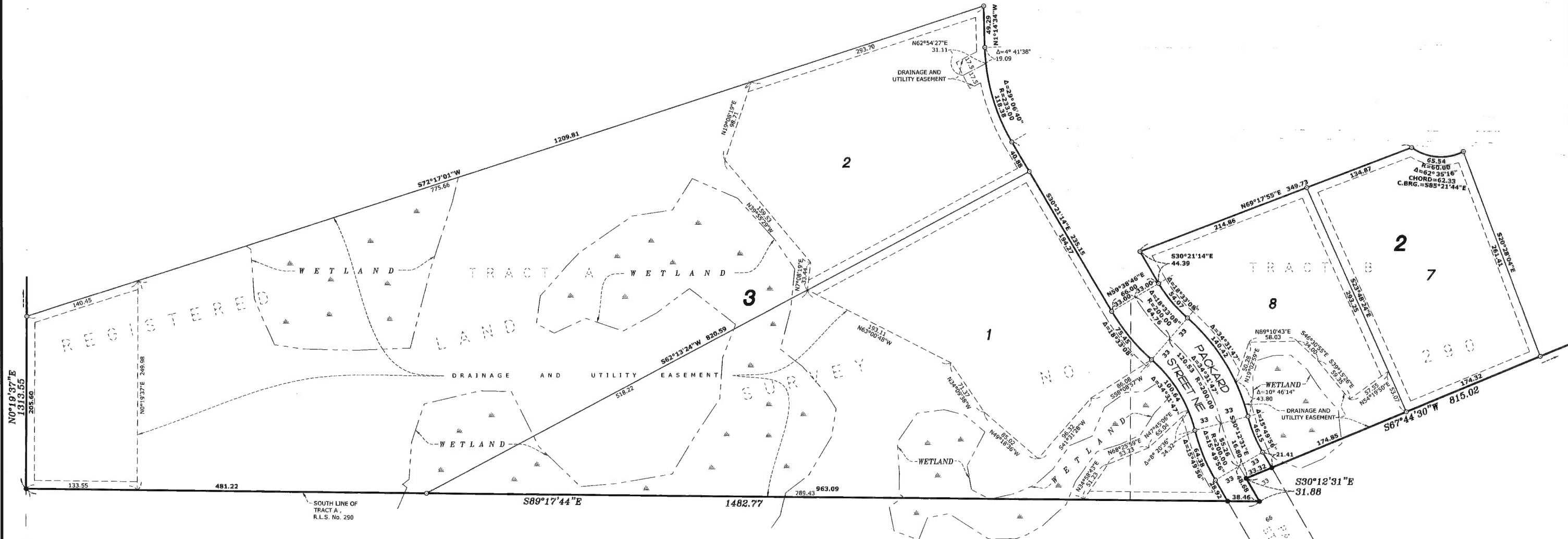


PRELIMINARY COPY  
UNRECORDED AS OF 09-13-23

**INSET D**

# HIDDEN FOREST EAST FOURTH ADDITION

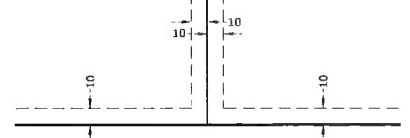
CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 24 & 25, T32N, R23W



**LEGEND**

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- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- ▬ DENOTES WETLAND EDGE AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICE COMPANY IN SEPTEMBER 2022.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS:



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**E. G. RUD & SONS, INC.**  
EST. 1977 Professional Land Surveyors

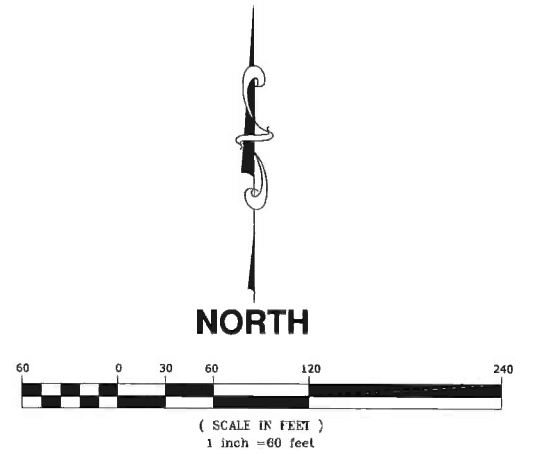
PRELIMINARY COPY  
UNRECORDED AS OF 09-13-23

**INSET E**

# HIDDEN FOREST EAST FOURTH ADDITION

CITY OF HAM LAKE  
COUNTY OF ANOKA  
SEC. 24 & 25, T32N, R23W

51/4 CORNER OF  
SEC. 24-T32N-R23W  
NW CORNER OF TRACT A  
R.L.S. NO. 290  
(CAST IRON MONUMENT)

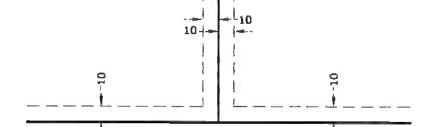


### LEGEND

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FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF TRACT A, REGISTERED LAND SURVEY NO. 290, IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 17 MINUTES 44 SECONDS EAST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



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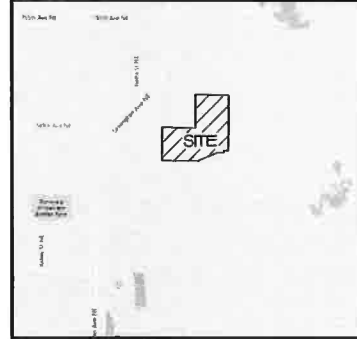
# TITLE SHEET

~of~ HIDDEN FOREST EAST 4TH ADDITION

~for~ HFN PROPERTIES, LLC.  
17404 WARD LAKE DRIVE NW  
ANDOVER, MN 55304  
(612) 799-1471

## VICINITY MAP

PART OF SECS. 24 AND 25, TWP. 32, RING. 23

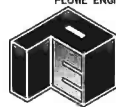


ANOKA COUNTY, MINNESOTA  
(NO SCALE)

## SHEET INDEX

T1	TITLE SHEET
2-3	PRELIMINARY PLAT
4-8	GRADING PLAN
9-13	LIVABILITY PLAN
14-15	LIVABILITY CHART
16	FLOODPLAIN EXHIBIT
C1.1 - C1.6	PLAN / PROFILES
C2.1 - C2.3	DETAILS & NOTES
C3.1 - C3.2	STORMWATER POLLUTION PREVENTION PLAN

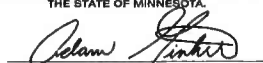
PONDING CALCULATIONS  
AND STORM SEWER DESIGN BY  
PLOWE ENGINEERING, INC.



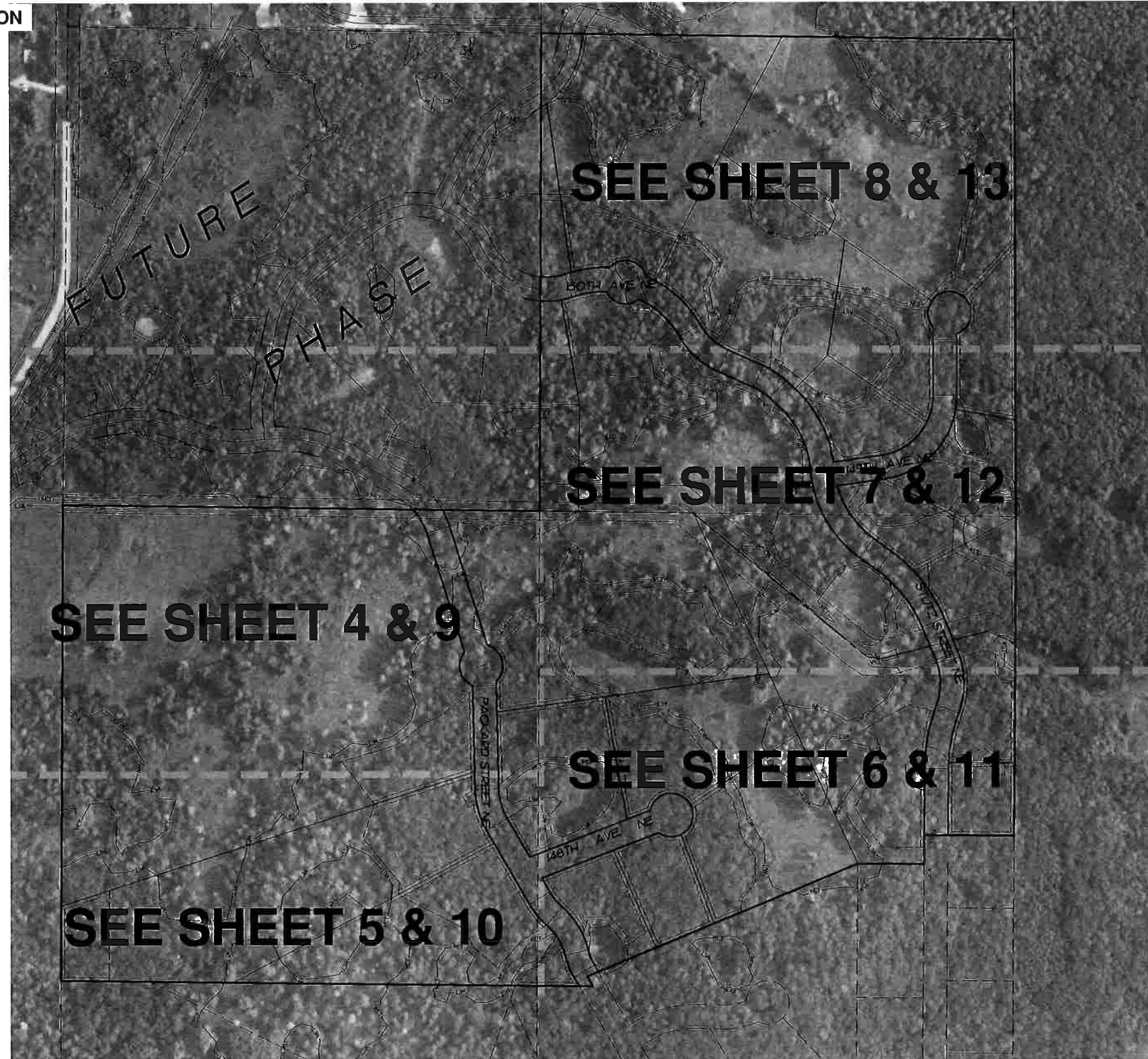
**PLOWE**  
ENGINEERING, INC.  
6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014

SITE PLANNING & ENGINEERING    PHONE: (651) 361-8210  
FAX: (651) 361-8701

I HEREBY CERTIFY THAT THE STORMWATER  
MANAGEMENT AND DRAINAGE REPORT FOR THIS  
PLAN WAS PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE LAWS OF  
THE STATE OF MINNESOTA.



ADAM GUNKEL  
DATE: 09.19.2023    LIC. NO. 43963



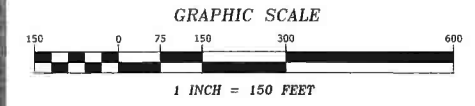
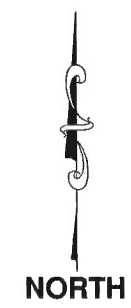
SEE SHEET 8 & 13

SEE SHEET 7 & 12

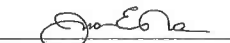
SEE SHEET 4 & 9

SEE SHEET 6 & 11

SEE SHEET 5 & 10



I hereby certify that this survey, plan  
or report was prepared by me or under  
my direct supervision and that I am  
a duly Registered Land Surveyor under  
the laws of the State of Minnesota.

  
JASON E. RUD  
Date: 09/19/2023    License No. 41578

DRAWN BY: MMD	JOB NO: 210452PP	DATE: 02/15/23	
CHECK BY: JER	FIELD CREW: DT \ CT		
1	03/17/23	CITY / WATERSHED COMMENTS	MMD
2	04/11/23	CITY / WATERSHED COMMENTS	MMD
3	05/16/23	CITY / WATERSHED COMMENTS	CMB
4	08/01/23	LOTS 1,5,6,9,10 BLOCK 1	MMD
NO.	DATE	DESCRIPTION	BY



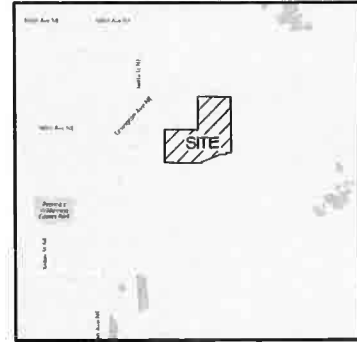
**E. G. RUD & SONS, INC.**  
EST. 1877  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701

# PRELIMINARY PLAT

~of~ HIDDEN FOREST EAST 4TH ADDITION  
 ~for~ HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

## VICINITY MAP

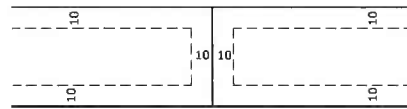
PART OF SECS. 24 AND 25, TWP. 32, RNG. 23



ANOKA COUNTY, MINNESOTA  
 (NO SCALE)

## TYPICAL EASEMENTS

(NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES  
 AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS  
 OTHERWISE SHOWN.

## LEGEND

- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES LIDAR CONTOURS (2' INTERVAL)
- DENOTES DRAINAGE AND UTILITY EASEMENT
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND LINE DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 27003C0335E PANEL NO. 0355 SUFFIX E, EFFECTIVE DATE DECEMBER 16TH, 2015.
- DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- DENOTES WETLAND FILL
- DENOTES EXISTING AREA 1' ABOVE MOTTLING
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

## NOTES

- Bearings shown are on Anoka County datum.
- Parcel ID Number: 24-32-23-44-0001  
 25-32-23-12-0002  
 25-32-23-11-0002  
 25-32-23-11-0008

OWNERS: HFN PROPERTIES, LLC  
 KNOLL FAMILY LIMITED PARTNERSHIP  
 BEXELL, REBECCA M

## DEVELOPMENT DATA

- TOTAL SITE AREA = 112.96± ACRES
- OUTLOT AREA = 2.35± ACRES
- 22 PROPOSED SINGLE FAMILY LOTS
- 3 PROPOSED OUTLOTS
- AVERAGE LOT SIZE = 5.03± ACRES
- MINIMUM STREET FRONTAGE = 200 FEET
- MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
- PROPOSED ZONING = R-1
- BUILDING SETBACKS: FRONT = 30 FEET  
 SIDE = 10 FEET  
 REAR = 50 FEET  
 COUNTY ROAD = 50 FEET

MATCHLINE: SEE SHEET 3

## PROPERTY DESCRIPTION

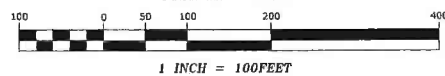
OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota.  
 AND  
 Tracts A and B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota.  
 AND  
 The Southeast Quarter of the Southeast Quarter of Section 24, Township 32, Range 23, Anoka County, Minnesota

NO.	DATE	DESCRIPTION	BY
1	03/17/23	CITY / WATERSHED COMMENTS	HMD
2	04/11/23	CITY / WATERSHED COMMENTS	HMD
3	08/01/23	7-1 SEPTIC / PAD LOCATION	HMD
4		LOTS 5, 6, 9, 10 BLOCK 1	
5	09/19/23	LOT 4 86, BLOCK 1 EASEMENT	HMD

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD  
 Date: 09/19/2023 License No. 41578

## GRAPHIC SCALE



**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

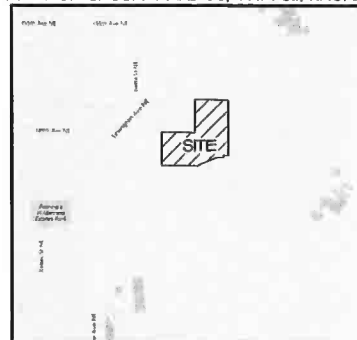
NORTH

# PRELIMINARY PLAT

of HIDDEN FOREST EAST 4TH ADDITION  
for HFN PROPERTIES, LLC.  
17404 WARD LAKE DRIVE NW  
ANDOVER, MN 55304  
(612) 799-1471

## VICINITY MAP

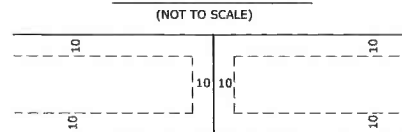
PART OF SECS. 24 AND 25, TWP. 32, RNG. 23



ANOKA COUNTY, MINNESOTA  
(NO SCALE)

## TYPICAL EASEMENTS

(NOT TO SCALE)



BEING 10 FEET IN WIDTH ADJOINING RIGHT OF WAY LINES  
AND 10 FEET IN WIDTH ADJOINING LOT LINES UNLESS  
OTHERWISE SHOWN.

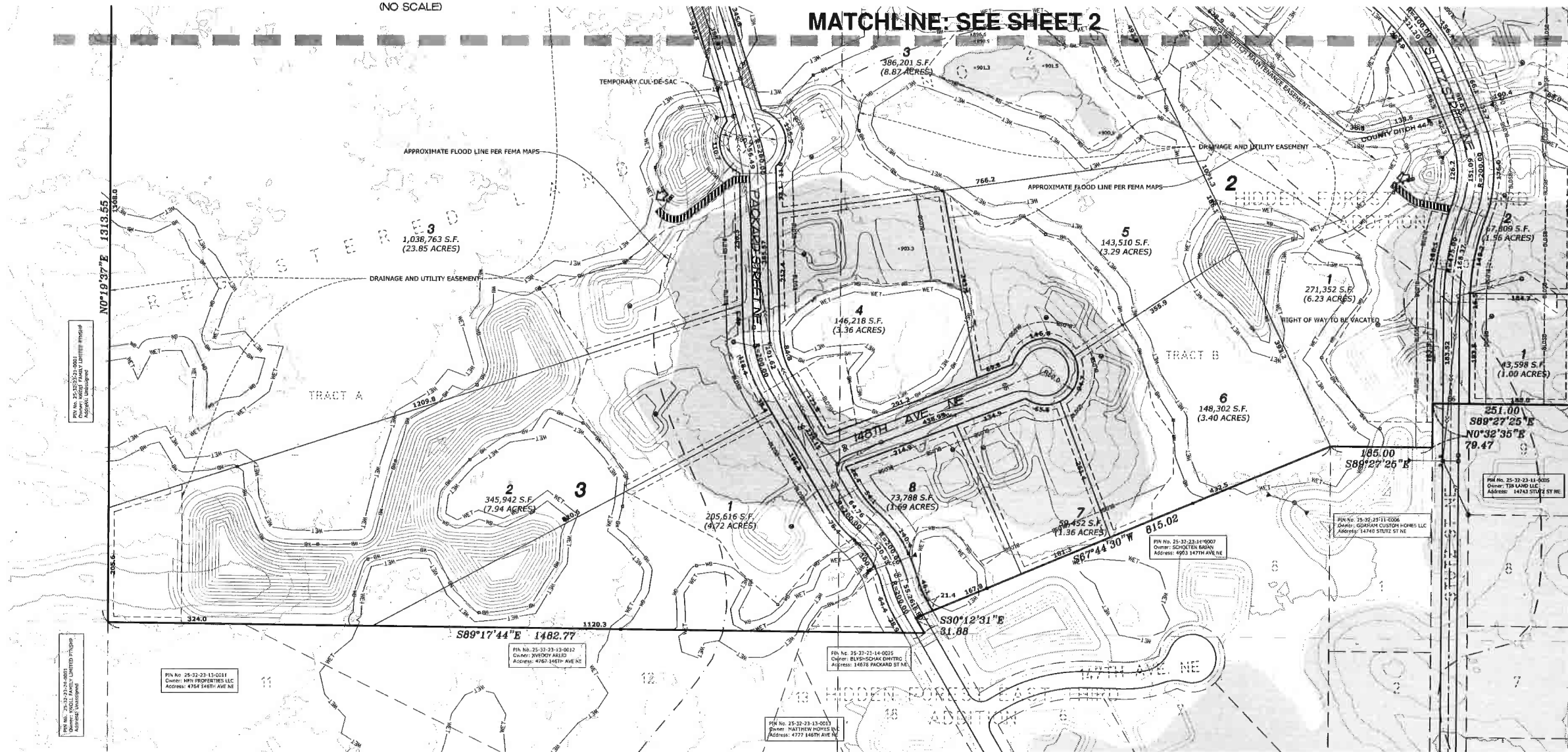
## LEGEND

- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES LIDAR CONTOURS (2' INTERVAL)
- DENOTES DRAINAGE AND UTILITY EASEMENT
- DENOTES BUILDING SETBACK LINE
- DENOTES WETLAND LINE DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES INC.
- DENOTES WETLAND BUFFER LINE
- DENOTES APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 27003C0335E, PANEL NO. 0355 SUFFIX E, EFFECTIVE DATE DECEMBER 16TH, 2015.
- DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- DENOTES WETLAND FILL
- DENOTES EXISTING AREA 1' ABOVE MOTTLING
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

## NOTES

- Bearings shown are on Anoka County datum.
- Parcel ID Number: 24-32-23-44-0001  
25-32-23-12-0002  
25-32-23-11-0002  
25-32-23-11-0008
- OWNERS: HFN PROPERTIES, LLC  
KNOLL FAMILY LIMITED PARTNERSHIP  
BEXELL, REBECCA M

MATCHLINE: SEE SHEET 2



## DEVELOPMENT DATA

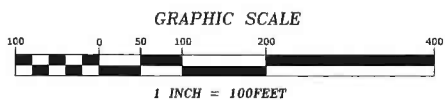
- TOTAL SITE AREA = 112.96± ACRES
- OUTLOT AREA = 2.35± ACRES
- 22 PROPOSED SINGLE FAMILY LOTS
- 3 PROPOSED OUTLOTS
- AVERAGE LOT SIZE = 5.03± ACRES
- MINIMUM STREET FRONTAGE = 200 FEET
- MINIMUM LOT SIZE = 1.00 ACRES (INCLUDING HALF OF STREET ROW)
- PROPOSED ZONING = R-1
- BUILDING SETBACKS: FRONT = 30 FEET  
SIDE = 10 FEET  
REAR = 50 FEET  
COUNTY ROAD = 50 FEET

## PROPERTY DESCRIPTION

OUTLOT A, HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota.  
AND  
Tracts A and B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota.  
AND  
The Southeast Quarter of the Southeast Quarter of Section 24, Township 32, Range 23, Anoka County, Minnesota

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD  
Date: 09/19/2023 License No. 41578



**E. G. RUD & SONS, INC.**  
EST. 1877 Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY: MMD	JOB NO: 216452PP	DATE: 02/15/23
CHECK BY: JER	FIELD CREW: DT, CT	
1	03/17/23	CITY / WATERSHED COMMENTS MMD
2	04/11/23	CITY / WATERSHED COMMENTS MMD
3	08/03/23	LOT 1 BLOCK 3 MMD
4	09/19/23	LOT 3 BLOCK 1 GRADING MMD
NO.	DATE	DESCRIPTION

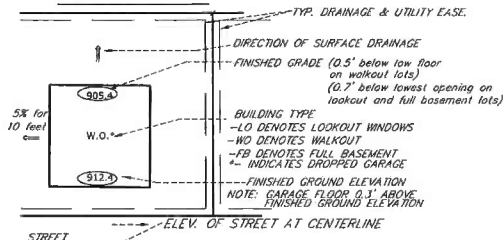
NORTH



# GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ HIDDEN FOREST EAST 4TH ADDITION  
 ~for~ HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

## TYPICAL LOT



## LEGEND

- ⊙ DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- ⊙ DENOTES PIEZOMETER OR PENETRATION BORING BY BRAUN INTERTEC, INC.
- 895.0 DENOTES EMERGENCY OVERFLOW ELEVATION
- 895.36 DENOTES EXISTING SPOT ELEVATION
- WET DENOTES WET LAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- WET DENOTES WETLAND DELINEATED BY KIOUHALG ENVIRONMENTAL SERVICES COMPANY.
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES BIO ROLL TO BE INSTALLED INSIDE SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- 895.0 DENOTES PROPOSED SPOT ELEVATION
- 895.3 DENOTES PROPOSED CENTERLINE ELEVATION
- ⊙ DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE MOTTLES
- DENOTES WETLAND/ VEGETATIVE BUFFER
- DENOTES WETLAND/ VEGETATIVE BUFFER SIGN
- DENOTES RIPRAP (RIPRAP TO BE VEGETATED IN WETLAND BUFFER)
- DENOTES PROPOSED STORM SEWER INLET PRETECTION
- DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- DENOTES APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 270303035E PANEL NO. 0355 SUFFIX E, EFFECTIVE DATE DECEMBER 16TH, 2015.
- DENOTES C.C.W.D. FLOOD ZONE LINE PER TOPOGRAPHY
- DENOTES TREE PRESERVATION AREA
- DENOTES 12' POND ACCESS
- DENOTES WETLAND FILL
- DENOTES FLOODPLAIN FILL
- DENOTES COMPENSATORY STORAGE AREA

PONDING CALCULATIONS AND STORM SEWER DESIGN BY FLOWE ENGINEERING, INC.

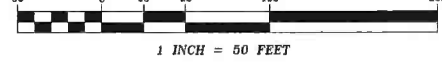
**FLOWE ENGINEERING, INC.**  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014

SITE PLANNING & ENGINEERING PHONE: (651) 361-8210  
 FAX: (651) 361-8701

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Adam Ginkel*  
**ADAM GINKEL**  
 DATE: 09/19/2023 LIC. NO. 43963

## GRAPHIC SCALE



## LOT GRADING NOTES

- PAD CONTOURS SHOWN ARE FOR DEMONSTRATION PURPOSES.
- HOUSE TYPES AND GRADING THAT VARY FROM WHAT IS PROPOSED ON THE GRADING PLAN REQUIRE A PLAN REVIEW BY THE CITY OF HAM LAKE.
- SILT FENCE TO BE INSTALLED BY BUILDER PRIOR TO HOUSE CONSTRUCTION.
- THERE IS TO BE NO GRADING WITHIN 15' AREAS

## EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN SEVEN DAYS AFTER ROUGH GRADING.
4. MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

## FLOODPLAIN FILL NOTES

- (COON CREEK WATERSHED FLOODPLAIN FILL)
- FLOODPLAIN FILL WETLAND 1A BASIN=9,949 CU/FT
  - COMPENSATORY STORAGE = 26,444 CU/FT
  - COMPENSATORY STORAGE PROVIDED IN BORROW AREA 2 BETWEEN 898 AND 897 ELEVATION
  - FLOODPLAIN FILL IN WETLAND 1 BASIN = 4,000 CU/FT
  - COMPENSATORY STORAGE = 5,167 CU/FT (COMPENSATORY STORAGE PROVIDED IN POND 1 BETWEEN NWL AND 895.2)

## TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SILT / TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES IN THE TREE PROTECTION ZONE.
- FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
- SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRUBBING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.

## WETLAND FILL NOTES

- WETLAND FILL AREA = 12,659 SQ. FT

## NOTES

- BEARINGS SHOWN ARE ON ANOKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (NAVD 88)
- CONTOURS SHOWN ARE PER ANGEO LIDAR DISTRIBUTION AND FIELD VERIFICATION.
- ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAWCUT AT FULL DEPTH.
- TURF AREA TO BE SEED WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY.
- SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- TRADEWELL SOIL TESTING COMPLETED SEPTIC SOIL BORINGS ON AND ADJACENT TO THE SITE IN 2003. THESE BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 04/07/05. IN DECEMBER OF 2020 TRADEWELL PERFORMED ADDITIONAL SEPTIC BORINGS THAT WERE FIELD LOCATED BY E.G. RUD AND SONS, INC.
- BRAUN INTERTEC COMPLETED PENETRATION BORINGS AND SET PIEZOMETERS ON AND ADJACENT TO THE SITE IN 2003, AND READ THE PIEZOMETERS ON 04/03 AND 08/03. PIEZOMETERS WERE FIELD LOCATED AND ADDITIONAL READINGS WERE TAKEN ON 10/16. PENETRATION BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 04/07/05.
- BRAUN INTERTEC MONITORED SITE GROUND WATER ELEVATIONS WITH NEW PIEZOMETERS FROM 11-2022 TO 06-2023 TO DETERMINE HIGHEST ANTICIPATED WATER LEVELS FOR LOTS 5-11, BLOCK 1 AND LOT 2, BLOCK 2.
- ALL PIPE APRONS UNDER 48" PROVIDED WITH TRASH GUARDS.
- PROVIDE CLASS III RIPRAP WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON RIPRAP IN WETLAND BUFFERS AND SEED WITH SEED MIX MNDOT 33-261.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MN DNR DEWATERING PERMIT AND WILL PROVIDE WELL-FIELD LOCATIONS, RATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CCWD 7 DAYS PRIOR TO ANY DEWATERING OPERATIONS.
- CONTRACTORS MUST BE PROVIDED WITH DNR FLYERS/ FACT SHEETS ON BLANDING'S TURTLES.
- DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
**JASON E. RUD**  
 Date: 09/19/2023 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	02/17/23	CITY / WATERSHED COMMENTS	MMD
2	05/16/23	CITY / WATERSHED COMMENTS	CMB
3	08/01/23	LOTS 5-11, BLOCK 1, LOT 2 BLOCK 2	MMD
		ANTICIPATED GROUNDWATER	

NORTH

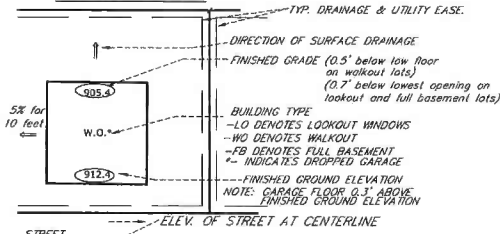
**E.G. RUD & SONS, INC.**  
 EST. 1977  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

# GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

MATCHLINE: SEE SHEET 7  
 WETLAND 1A  
 100 YR. HWL = 898.9  
 (PER C.C.W.D. MODEL)

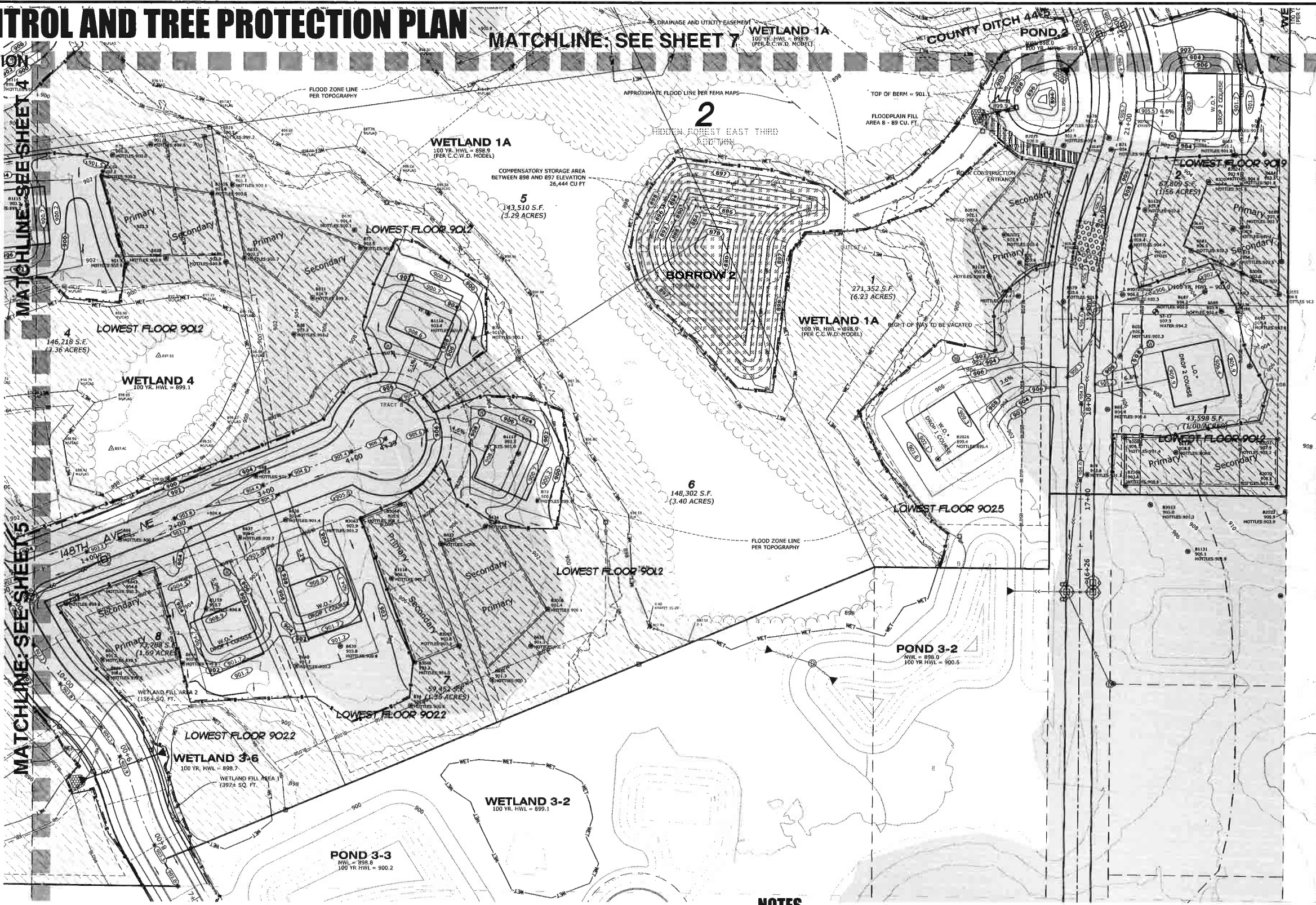
of HIDDEN FOREST EAST 4TH ADDITION  
 for HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

## TYPICAL LOT



## LEGEND

- ⊙ DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- ⊙ DENOTES PIEZOMETER OR PENETRATION BORING BY BRAUN INTERTEC, INC.
- ⊙ DENOTES EMERGENCY OVERFLOW ELEVATION
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- WET DENOTES WET LAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- WET DENOTES WETLAND DELINEATED BY KOOLHAUS ENVIRONMENTAL SERVICES COMPANY
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES BIO BOLL TO BE INSTALLED INSIDE SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- ⊙ DENOTES PROPOSED SPOT ELEVATION
- ⊙ DENOTES PROPOSED CENTERLINE ELEVATION
- ⊙ DENOTES PROPOSED WELL LOCATION
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- DENOTES WETLAND / VEGETATIVE BUFFER SIGN
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- DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- DENOTES APPROXIMATE FEMA FLOOD ZONE LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 27003C0333E PANEL NO. 0335 SUFF. 4, EFFECTIVE DATE DECEMBER 16TH, 2015.
- DENOTES C.C.W.D. FLOOD ZONE LINE PER TOPOGRAPHY
- ▨ DENOTES TREE PRESERVATION AREA
- ▨ DENOTES 12' POND ACCESS
- ▨ DENOTES WETLAND FILL
- ▨ DENOTES FLOODPLAIN FILL
- ▨ DENOTES COMPENSATORY STORAGE AREA



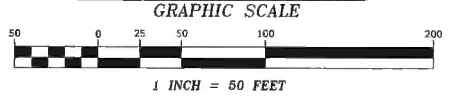
PONDING CALCULATIONS AND STORM SEWER DESIGN BY FLOW ENGINEERING, INC.

**PLOWE ENGINEERING, INC.**  
 8776 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014

PHONE: (651) 361-8210  
 FAX: (651) 361-8701

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Adam Ginkel*  
 ADAM GINKEL  
 DATE: 09.19.2023 LIC. NO. 43963



## EROSION CONTROL / REVEGETATION SPECS.

- PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
- ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
- AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN SEVEN DAYS AFTER ROUGH GRADING.
- MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
- SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

## LOT GRADING NOTES

- PAD CONTOURS SHOWN ARE FOR DEMONSTRATION PURPOSES. HOUSE TYPES AND GRADING THAT VARY FROM WHAT IS PROPOSED ON THE GRADING PLAN REQUIRE A PLAN REVIEW BY THE CITY OF HAM LAKE.
- SILT FENCE TO BE INSTALLED BY BUILDER PRIOR TO HOUSE CONSTRUCTION. THERE IS TO BE NO GRADING WITHIN ISTS AREAS.

## TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SILT / TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES IN THE TREE PROTECTION ZONE.
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## FLOODPLAIN FILL NOTES

- (COON CREEK WATERSHED FLOODPLAIN FILL)
- FLOODPLAIN FILL WETLAND 1A BASIN = 9,249 CU/FT (COMPENSATORY STORAGE = 26,444 CU/FT)
- FLOODPLAIN FILL IN WETLAND 1 BASIN = 4,000 CU/FT (COMPENSATORY STORAGE = 5,167 CU/FT)
- COMPENSATORY STORAGE PROVIDED IN POND 1 BETWEEN HWL AND 895.2)

## NOTES

- BEARINGS SHOWN ARE ON ANOKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (HAND 88)
- CONTOURS SHOWN ARE PER KINGSO LIDAR DISTRIBUTION AND FIELD VERIFICATION.
- ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAWCUT AT FULL DEPTH.
- TURF AREA TO BE SEEDED WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY.
- SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- TRADEWELL SOIL TESTING COMPLETED SEPTIC SOIL BORINGS ON AND ADJACENT TO THE SITE IN 2003. THESE BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 04/07/05. IN DECEMBER OF 2020 TRADEWELL PERFORMED ADDITIONAL SEPTIC BORINGS THAT WERE FIELD LOCATED BY E.G. RUD AND SONS, INC.
- BRAUN INTERTEC COMPLETED PENETRATION BORINGS AND SET PIEZOMETERS ON AND ADJACENT TO THE SITE IN 2003, AND READ THE PIEZOMETERS ON 06/03 AND 06/05. PIEZOMETERS WERE FIELD LOCATED AND ADDITIONAL READINGS WERE TAKEN ON 10/16. PENETRATION BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 04/07/05.
- BRAUN INTERTEC MONITORED SITE GROUND WATER ELEVATIONS WITH NEW PIEZOMETERS FROM 11-2022 TO 06-2023 TO DETERMINE HIGHEST ANTICIPATED WATER LEVELS FOR LOTS 5-11, BLOCK 1 AND LOT 2, BLOCK 2.
- ALL PIPE APRONS UNDER 48" PROVIDED WITH TRASH GUARDS
- PROVIDE CLASS III RIPRAP WITH FILTER FABRIC FOR ALL PIPE OUTLETS. INSTALL 6" OF TOPSOIL ON RIPRAP IN WETLAND BUFFERS AND SEED WITH SEED MIX MND007 33-261.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MN DNR DEWATERING PERMIT AND WILL PROVIDE WELL-FIELD LOCATIONS, RATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CCHW 7 DAYS PRIOR TO ANY DEWATERING OPERATIONS.
- CONTRACTORS MUST BE PROVIDED WITH DNR FLOWERS / FACT SHEETS ON BLANDING'S TURTLES.
- DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

## WETLAND FILL NOTES

WETLAND FILL AREA = 12,659 SQ. FT

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rude*  
 JASON E. RUDE  
 Date: 09/19/2023 License No. 41578

NO.	DATE	DESCRIPTION	BY
1	03/17/23	CITY / WATERSHED COMMENTS	MMD
2	04/11/23	CITY / WATERSHED COMMENTS	MMD
3	05/16/23	CITY / WATERSHED COMMENTS	CMB
4	08/01/23	LOTS 5-11, BLOCK 1, LOT 2 BLOCK 2	MMD
ANTICIPATED GROUNDWATER			

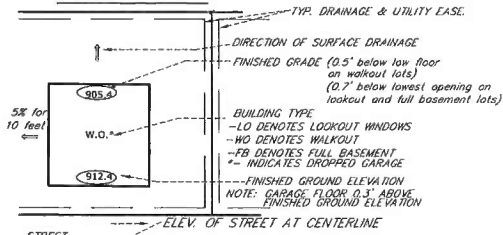
**E.G. RUD & SONS, INC.**  
 EST. 1977  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

NORTH

# GRADING, EROSION CONTROL AND TREE PROTECTION PLAN

~of~ HIDDEN FOREST EAST 4TH ADDITION  
 ~for~ HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

## TYPICAL LOT

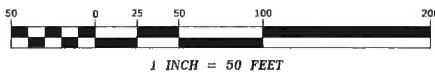


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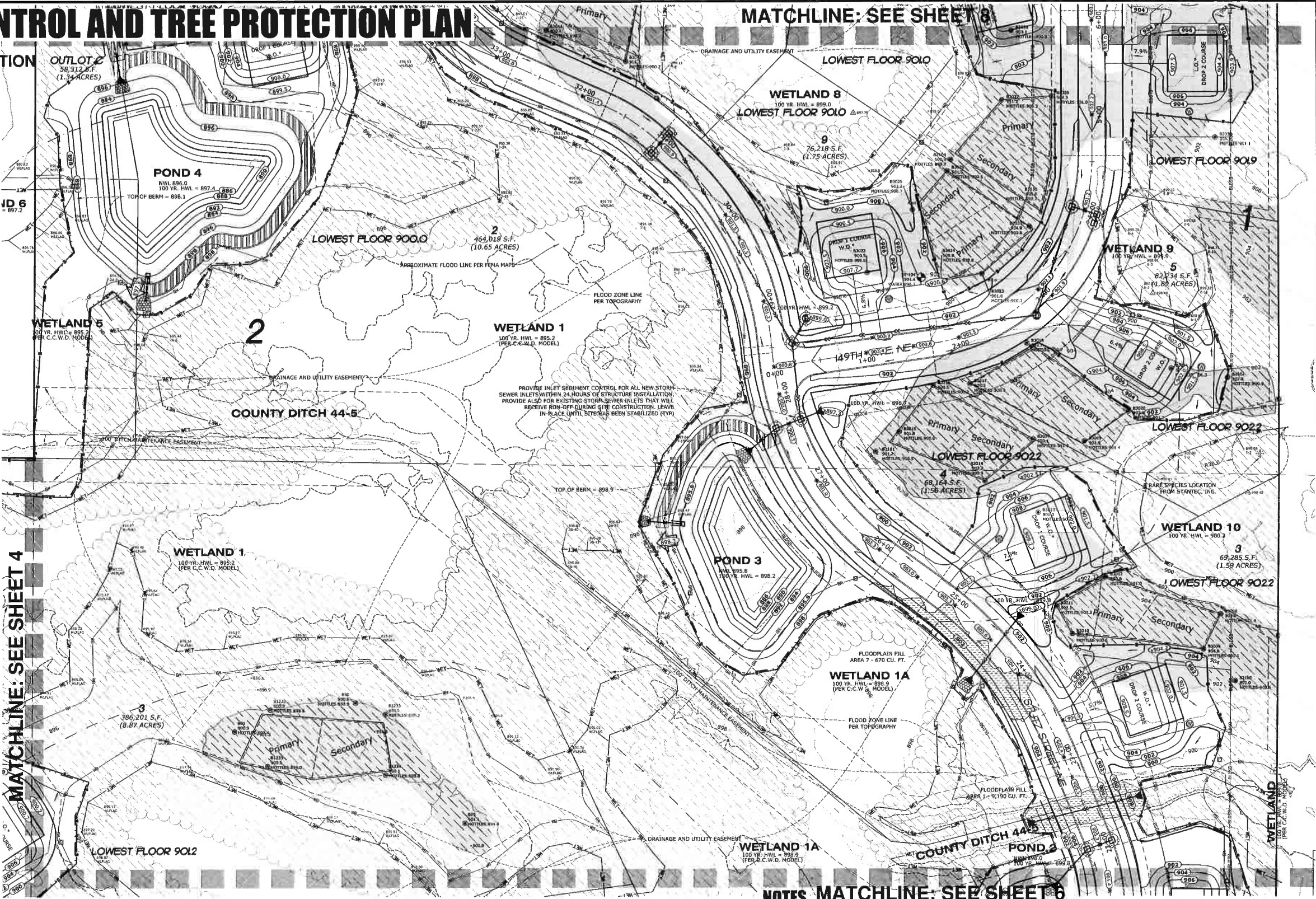
- DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- DENOTES PIEZOMETER OR PENETRATION BORING BY BRAUN INTERTEC, INC.
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WET LAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- DENOTES WETLAND DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES COMPANY.
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES RIO ROLL TO BE INSTALLED INSIDE SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED CENTERLINE ELEVATION
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE MOTTLES
- DENOTES WETLAND / VEGETATIVE BUFFER
- DENOTES WETLAND / VEGETATIVE BUFFER SIGN
- DENOTES RIPRAP (RIPRAP TO BE VEGETATED IN WETLAND BUFFER)
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- DENOTES APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 270003030E PANEL NO. 0355 SUFFIX E, EFFECTIVE DATE DECEMBER 16TH, 2015.
- DENOTES C.C.W.D. FLOOD ZONE LINE PER TOPOGRAPHY
- DENOTES TREE PRESERVATION AREA
- DENOTES 12' POND ACCESS
- DENOTES FLOODPLAIN FILL
- DENOTES WETLAND FILL
- DENOTES COMPENSATORY STORAGE AREA

PONDING CALCULATIONS AND STORM SEWER DESIGN BY  
**PLOWE ENGINEERING, INC.**  
 6778 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210 FAX: (651) 361-8701  
 I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
**ADAM GINKEL**  
 DATE: 09/19/2023 LIC. NO. 43963

## GRAPHIC SCALE

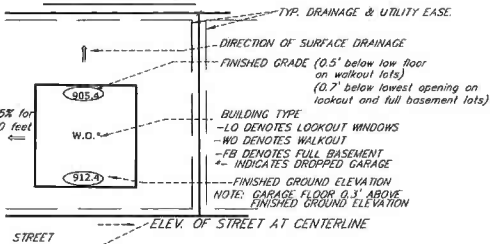


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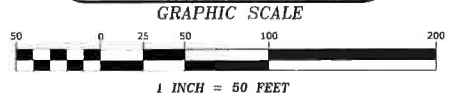
- ### LEGEND
- ⊙ DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
  - ⊙ DENOTES PIEZOMETER OR PENETRATION BORING BY BRAUN INTERTEC, INC.
  - ⊙ DENOTES EMERGENCY OVERFLOW ELEVATION
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  - ⊙ DENOTES PROPOSED 2 FOOT CONTOURS
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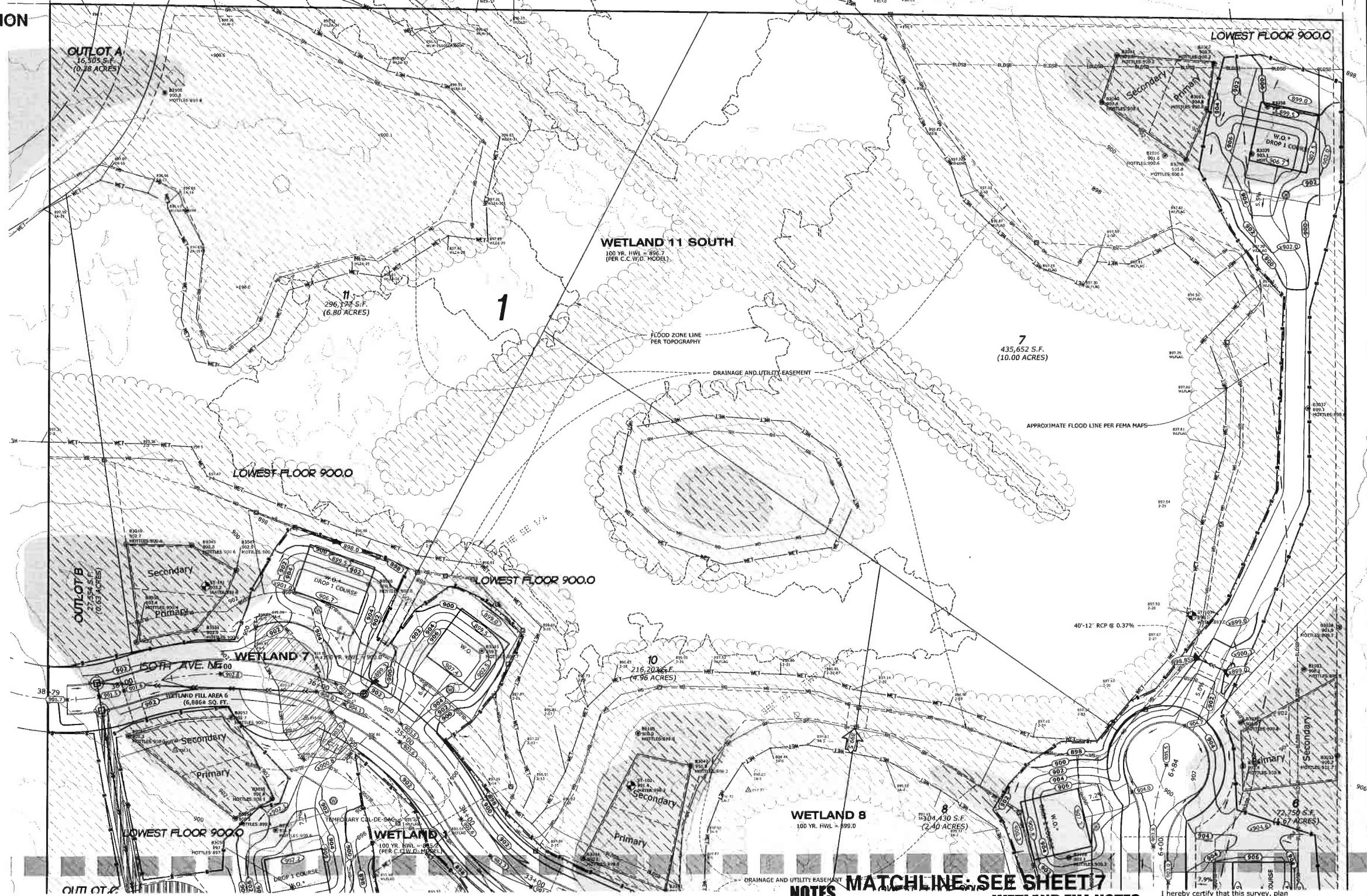
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### EROSION CONTROL / REVEGETATION SPECS.

1. PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE. INSTALL TREE PROTECTION AS DEEMED NECESSARY BY THE CITY FORESTER PRIOR TO ANY GRADING.
2. ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
3. AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN SEVEN DAYS AFTER ROUGH GRADING.
4. MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
5. SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

### LOT GRADING NOTES

- PAD CONTOURS SHOWN ARE FOR DEMONSTRATION PURPOSES.
- HOUSE TYPES AND GRADING THAT VARY FROM WHAT IS PROPOSED ON THE GRADING PLAN REQUIRE A PLAN REVIEW BY THE CITY OF HAM LAKE.
- SILT FENCE TO BE INSTALLED BY BUILDER PRIOR TO HOUSE CONSTRUCTION.
- THERE IS TO BE NO GRADING WITHIN ISTS AREAS.

### TREE PROTECTION NOTES

- TREE PROTECTION LIMITS TO BE MARKED IN FIELD PRIOR TO ANY TREE CLEARING ACTIVITY.
- SILT / TREE PROTECTION FENCE TO BE INSTALLED AT CONSTRUCTION LIMIT LINE.
- CARE IS TO BE TAKEN TO AVOID CONSTRUCTION ACTIVITY OR CONSTRUCTION VEHICLE TRAFFIC WITHIN THE DRIP LINE OF TREES IN THE TREE PROTECTION ZONE.
- FIELD DECISIONS WILL BE MADE ON LOCATION OF TREE PROTECTION LIMITS TO PRESERVE SIGNIFICANT TREES.
- SOME TREES AND DEAD FALL ARE TO BE CLEARED. THIS MAY BE DONE PRIOR TO INSTALLATION OF SILT / TREE PROTECTION FENCE. GRUBBING OF STUMPS WILL OCCUR AFTER EROSION CONTROL MEASURES ARE INSTALLED.

### FLOODPLAIN FILL NOTES

- (COON CREEK WATERSHED FLOODPLAIN FILL)
- FLOODPLAIN FILL WETLAND 1A BASIN = 9,943 CUFT COMPENSATORY STORAGE = 26,444 CUFT (COMPENSATORY STORAGE PROVIDED IN BORROW AREA 2 BETWEEN 898 AND 897 ELEVATION)
- FLOODPLAIN FILL IN WETLAND 1 BASIN = 4,000 CUFT COMPENSATORY STORAGE = 5,167 CUFT (COMPENSATORY STORAGE PROVIDED IN POND 1 BETWEEN NWL AND 895.2)

### NOTES MATCHLINE - SEE SHEET 7 WETLAND FILL NOTES

- BEARINGS SHOWN ARE ON ANOKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (UNLESS NOTED)
- CONTOURS SHOWN ARE PER RINGEO LIDAR DISTRIBUTION AND FIELD VERIFICATION.
- ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAWCUT AT FULL DEPTH.
- TURF AREA TO BE SEEDED WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY.
- SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- TRADEWELL SOIL TESTING COMPLETED SEPTIC SOIL BORINGS ON AND ADJACENT TO THE SITE IN 2003. THESE BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 04/07/05. IN DECEMBER OF 2020 TRADEWELL PERFORMED ADDITIONAL SEPTIC BORINGS THAT WERE FIELD LOCATED BY E.G. RUD AND SONS, INC.
- BRAUN INTERTEC COMPLETED PENETRATION BORINGS AND SET PIEZOMETERS ON AND ADJACENT TO THE SITE IN 2003, AND READ THE PIEZOMETERS ON 06/03 AND 08/03. PIEZOMETERS WERE FIELD LOCATED AND ADDITIONAL READINGS WERE TAKEN ON 10/16. PENETRATION BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 04/07/05.
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*Jason E. Rud*  
 JASON E. RUD  
 DATE: 09/19/2023 License No. 41578

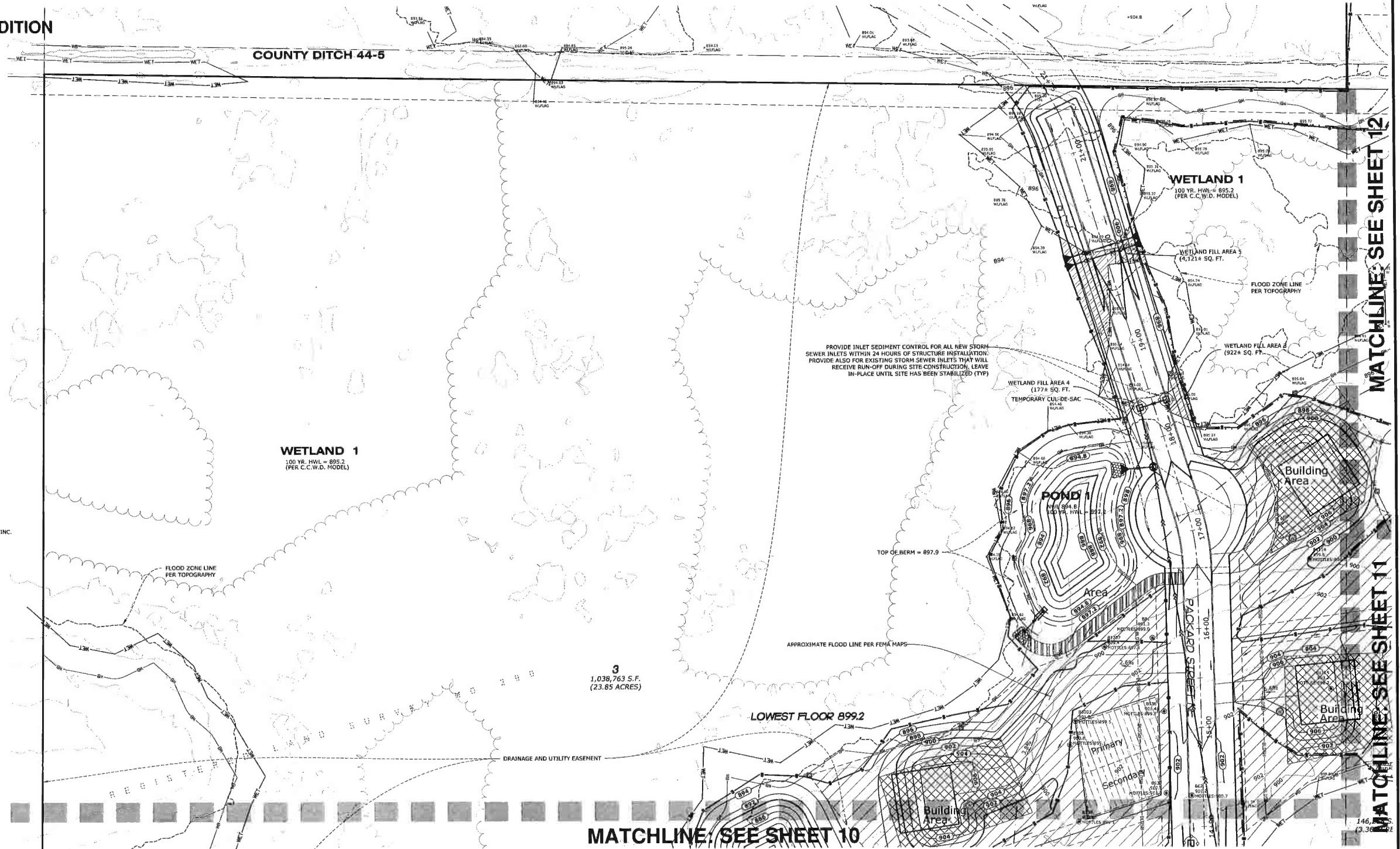
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1	02/17/23	CITY / WATERSHED COMMENTS MMD
2	03/23/23	TEP COMMENTS MMD
3	04/11/23	CITY / WATERSHED COMMENTS MMD
4	05/16/23	CITY / WATERSHED COMMENTS CMB
5	06/01/23	LOTS 5-11, BLOCK 1, LOT 2 BLOCK 2 MMD
		ANTICIPATED GROUNDWATER
		7-1 SEPTIC / PAD LOCATION
NO.	DATE	DESCRIPTION

NORTH



# LIVABILITY PLAN

~of~ HIDDEN FOREST EAST 4TH ADDITION  
 ~for~ HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471



## LEGEND

- DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
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- 1.952.36 DENOTES EXISTING SPOT ELEVATION
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- - - DENOTES PROPOSED 2 FOOT CONTOURS
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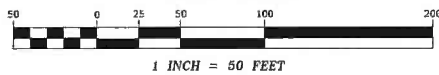
**PLOWE ENGINEERING, INC.**  
 8776 LAKE DRIVE SUITE 110 LINO LAKES, MN 56014

SITE PLANNING & ENGINEERING PHONE: (651) 361-8210 FAX: (651) 361-8701

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*Adam Quinkel*  
 ADAM QUINKEL  
 DATE: 09.19.2023 LIC. NO. 43963

GRAPHIC SCALE



## NOTES

- BEARINGS SHOWN ARE ON ANOKA COUNTY DATUM.
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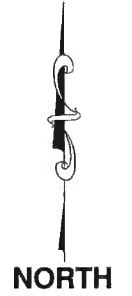
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CHECK BY:	JER	FIELD CREW:	DT \ CT		
1	03/17/23	CITY / WATERSHED COMMENTS	MMD		
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A.C.	DATE	DESCRIPTION	BY		

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MATCHLINE: SEE SHEET 12

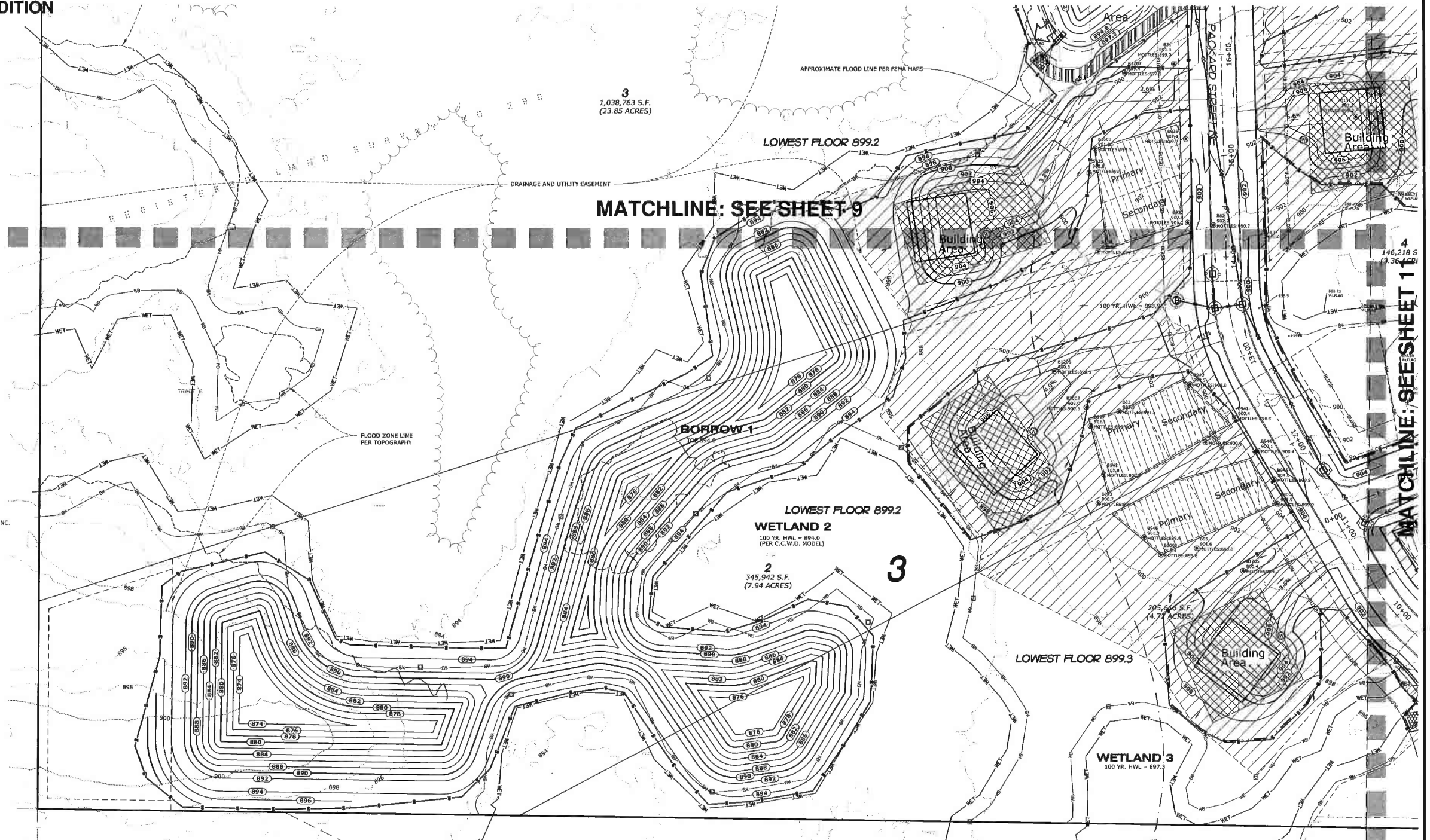
MATCHLINE: SEE SHEET 11

MATCHLINE: SEE SHEET 10



# LIVABILITY PLAN

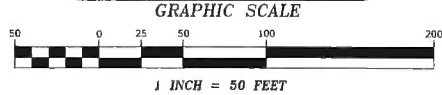
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 17404 WARD LAKE DRIVE NW  
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- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MN DNR DEWATERING PERMIT AND WILL PROVIDE WELL-FIELD LOCATIONS, RATES, DISCHARGE LOCATION, SCHEDULE AND QUANTITIES TO CCWD 7 DAYS PRIOR TO ANY DEWATERING OPERATIONS.
- CONTRACTORS MUST BE PROVIDED WITH DNR FLYERS/ FACT SHEETS ON BLANDING'S TURTLES.
- DISTURBED SOILS AND STOCKPILES WILL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 24 HOURS AFTER CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.  
*Jason E. Rud*  
 JASON E. RUD  
 Date: 09/19/2023 License No. 41578

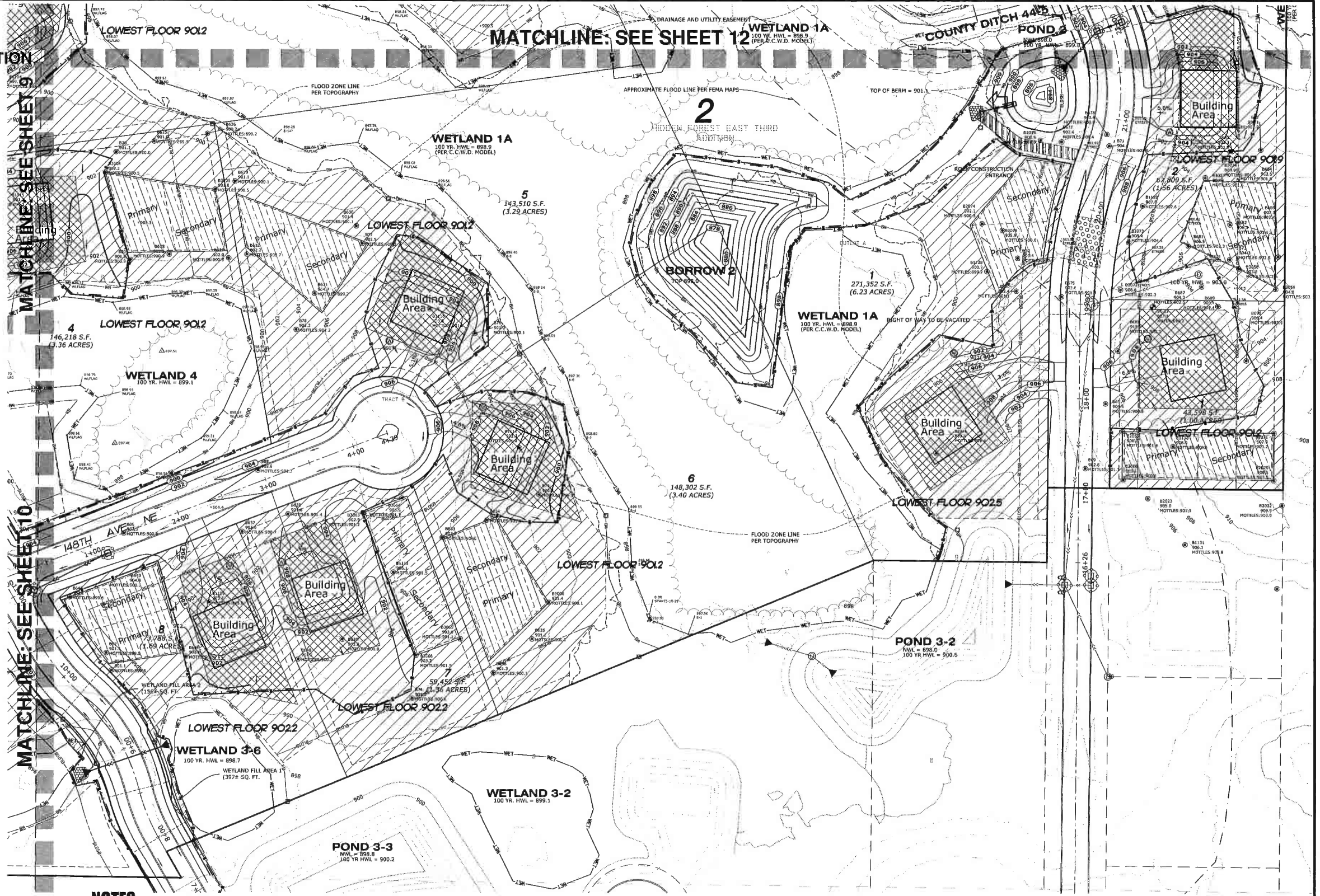
NO.	DATE	DESCRIPTION	BY
1	03/17/23	CITY / WATERSHED COMMENTS	MMD
2	04/13/23	CITY / WATERSHED COMMENTS	MMD
3	05/16/23	CITY / WATERSHED COMMENTS	CMR
4	08/01/23	LOTS 5-11, BLOCK 1, LOT 2 BLOCK 2	MMD
		ANTICIPATED GROUNDWATER	

EST. 1877 **E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrud.com

NORTH

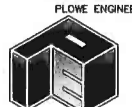
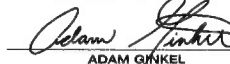
# LIVABILITY PLAN

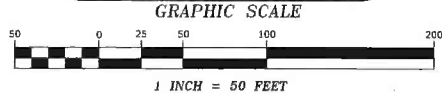
~of~ HIDDEN FOREST EAST 4TH ADDITION  
 ~for~ HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304



## LEGEND

- ⊙ DENOTES SOIL BORING BY TRADEWELL SOIL TESTING
- ⊕ DENOTES PIEZOMETER OR PENETRATION BORING BY BRAUN INTERTEC, INC.
- ⊙ 952.36 DENOTES EXISTING SPOT ELEVATION
- WET DENOTES WET LAND
- DENOTES EXISTING 2 FOOT CONTOUR
- - - DENOTES PROPOSED 2 FOOT CONTOURS
- WET DENOTES WETLAND DELINEATED BY KUJHAUG ENVIRONMENTAL SERVICES COMPANY.
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES DIRECTION OF DRAINAGE
- ⊙ DENOTES PROPOSED WELL LOCATION
- DENOTES WETLAND/ VEGETATIVE BUFFER
- ⊙ DENOTES WETLAND/ VEGETATIVE BUFFER SIGN
- ⊙ DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- ▨ DENOTES PROPOSED BUILDING PAD AREA
- ▨ DENOTES PROPOSED YARD AREA
- ▨ DENOTES PROPOSED SEPTIC AREA
- ▨ DENOTES 12' POND ACCESS

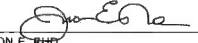

**PLOWE ENGINEERING, INC.**  
 8776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210  
 FAX: (651) 361-8701  
 I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
  
 ADAM GINKEL  
 DATE: 09.19.2023 LIC. NO. 43983



## NOTES

- BEARINGS SHOWN ARE ON ANOKA COUNTY DATUM.
- TOTAL LOT AREAS ARE CALCULATED TO STREET CENTERLINE PER ORDINANCE.
- 2 FOOT CONTOUR INTERVAL (NAVD 88)
- CONTOURS SHOWN ARE PER M/GEO LIDAR DISTRIBUTION AND FIELD VERIFICATION.
- ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAWCUT AT FULL DEPTH.
- TURF AREA TO BE SEED WITHIN 7 DAYS AFTER COMPLETION OF ROUGH GRADING OR INACTIVITY.
- SEE PRELIMINARY PLAN / PROFILE SHEETS FOR STORM SEWER RIMS, INVERTS, AND SIZES.
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- BRAUN INTERTEC COMPLETED PENETRATION BORINGS AND SET PIEZOMETERS ON AND ADJACENT TO THE SITE IN 2003, AND READ THE PIEZOMETERS ON 06/03 AND 08/03. PIEZOMETERS WERE FIELD LOCATED AND ADDITIONAL READINGS WERE TAKEN ON 10/16. PENETRATION BORING LOCATIONS AND ELEVATIONS SHOWN ARE TAKEN FROM THE PRELIMINARY GRADING DRAINAGE AND EROSION CONTROL PLANS OF WILDERNESS PRESERVE DATED 04/07/05.
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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

  
 JASON E. RUD  
 Date: 09/19/2023 License No. 41578

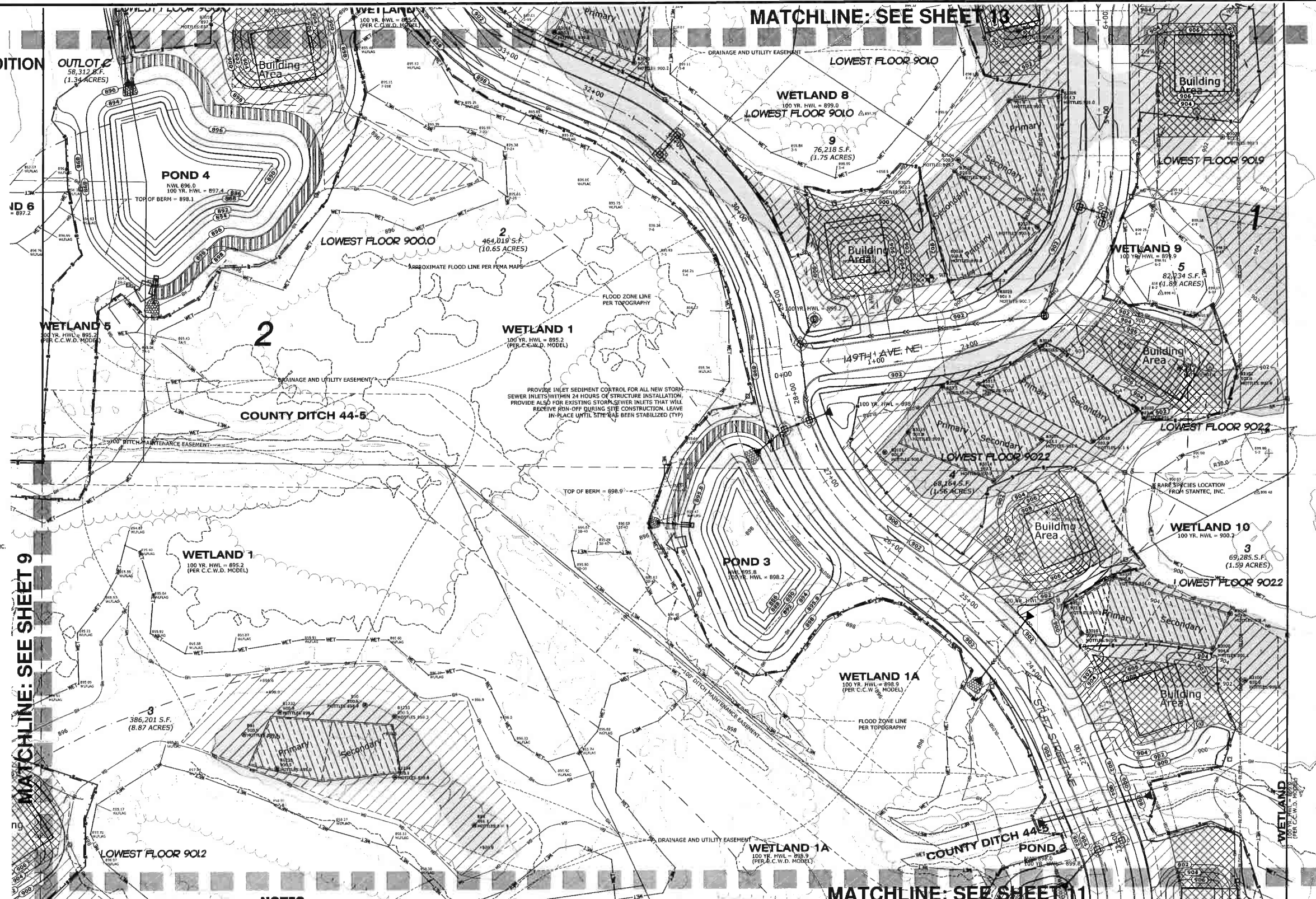
DRAWN BY: MMD	JOB NO: 210452PP	DATE: 02/15/23	
CHECK BY: JRR	FIELD CREW: DT 1 CT		
1	03/17/23	CITY / WATERSHED COMMENTS	MMD
2	04/11/23	CITY / WATERSHED COMMENTS	MMD
3	05/16/23	CITY / WATERSHED COMMENTS	CMB
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		ANTICIPATED GROUNDWATER	
NO.	DATE	DESCRIPTION	BY


**E.G. RUD & SONS, INC.**  
 EST. 1977  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrud.com

NORTH

# LIVABILITY PLAN

~of~ HIDDEN FOREST EAST 4TH ADDITION  
 ~for~ HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471



## LEGEND

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- DENOTES PIEZOMETER OR PENETRATION BORING BY BRAUN INTERTEC, INC.
- DENOTES EXISTING SPOT ELEVATION
- DENOTES WET LAND
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- DENOTES 12' POND ACCESS

MATCHLINE: SEE SHEET 9

MATCHLINE: SEE SHEET 11

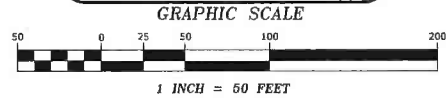
## NOTES

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JASON E. RUD  
 Date: 09/19/2023 License No. 41578

PONDING CALCULATIONS AND STORM SEWER DESIGN BY  
**PLOWE ENGINEERING, INC.**  
 6776 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210 FAX: (651) 361-8701  
 I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 ADAM GINKEL  
 DATE: 09-19-2023 LIC. NO. 43963



NO.	DATE	DESCRIPTION	BY
1	03/17/23	CITY / WATERSHED COMMENTS	MMD
2	04/11/23	CITY / WATERSHED COMMENTS	MMD
3	05/16/23	CITY / WATERSHED COMMENTS	CHB
4	08/01/23	LOTS 5-11, BLOCK 1, LOT 2 BLOCK 2 ANTICIPATED GROUNDWATER	MMD
5	09/19/23	LOTS 4 & 6, BLOCK 1 EASEMENT LOT 3, BLOCK 1 GRADING	MMD

**E. G. RUD & SONS, INC.**  
 EST. 1977 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrud.com

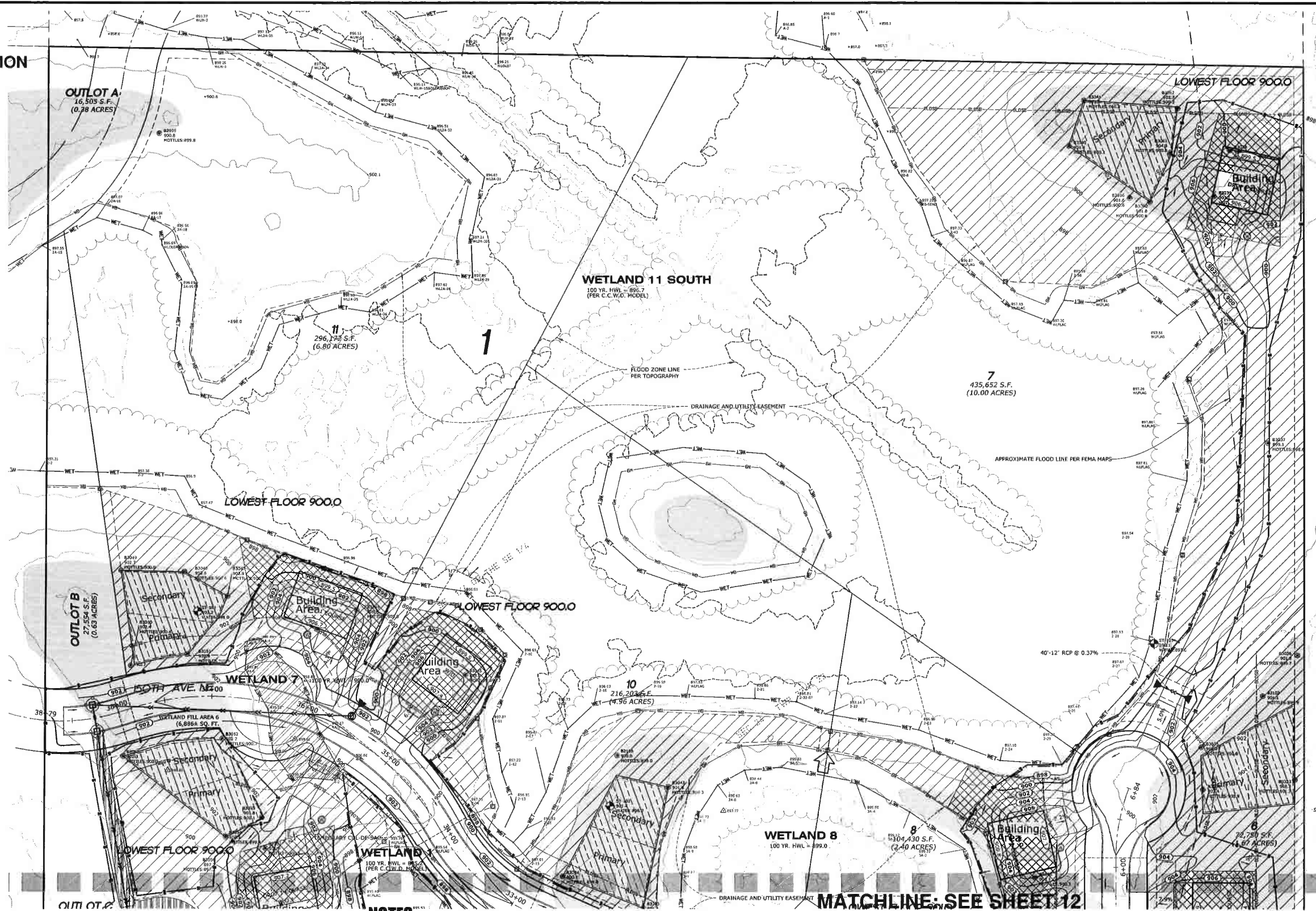
NORTH

# LIVABILITY PLAN

~of~ HIDDEN FOREST EAST 4TH ADDITION  
 ~for~ HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

## LEGEND

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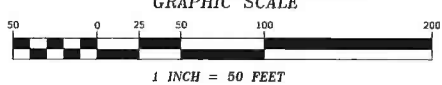
PONDING CALCULATIONS AND STORM SEWER DESIGN BY FLOWE ENGINEERING, INC.

**FLOWE ENGINEERING, INC.**  
 6776 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014  
 PHONE: (851) 361-8210 FAX: (851) 981-8701

SITE PLANNING & ENGINEERING

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT AND DRAINAGE REPORT FOR THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Adam Ginkel*  
 ADAM GINKEL  
 DATE: 09.19.2023 LIC. NO. 43963



## NOTES

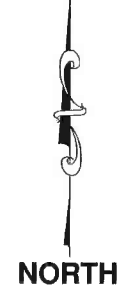
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*Jason E. Rud*  
 JASON E. RUD  
 Date: 09/19/2023 License No. 41578

NO.	DATE	DESCRIPTION	BY
DRAWN BY:	MMD	JOB NO: 2104529P	DATE: 02/15/23
CHECK BY:	JER	FIELD CREW: DT 1 CT	
1	03/17/23	CITY / WATERSHED COMMENTS	MMD
2	04/11/23	CITY / WATERSHED COMMENTS	MMD
3	05/16/23	CITY / WATERSHED COMMENTS	CHB
4	08/01/23	LOTS 5-11, BLOCK 1, LOT 2 BLOCK 2	
		ANTICIPATED GROUNDWATER	MMD
		7-1 SEPTIC / PAD LOCATION	

**E. G. RUD & SONS, INC.**  
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 Tel. (651) 361-8200 Fax (651) 361-8701  
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# LIVABILITY CHART

~of~ HIDDEN FOREST EAST 4TH ADDITION  
 ~for~ HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304  
 (612) 799-1471

**Livability Standards**

All residential lots shall contain at least 29,500 square feet of land which lies above the 100 year flood contour. Of this 29,500 square feet, the following additional requirements must be present.

A. **ISTS Area** Each lot must contain at least 7,500 square feet of contiguous area which is reserved for both the ISTS originally constructed and a future ISTS. The ISTS Area need not be contiguous to the Eligible Building Area or the Yard Area, but the entire ISTS Area must exist at an elevation at least one foot above Unsuitable Soils, and must contain Undisturbed Soils or soils which meet the requirements of Rule 7000 of the Minnesota Pollution Control Agency for ISTS construction standards. The ISTS Area may be irregular in shape, provided they do not encroach into areas reserved by easement or otherwise for roadway, drainage or utility purposes, and provided that all of the area can be reasonably used for ISTS construction without the need for variances.

B. **Eligible Building Area** Each lot shall contain at least 10,000 square feet of contiguous land which lies at an elevation at least four feet above Unsuitable Soils. The Eligible Building Area may not be irregular in shape, and should be generally rectangular or oval, with no peninsulas, narrow necks or peninsulas. Eligible Building Areas may not encroach into any areas reserved by easement or otherwise for roadway, drainage or utility purposes. Fill may be used to create Eligible Building Area.

C. **Yard Area** Each lot shall contain at least 12,000 contiguous square feet which:

- i) Lies above the 100 year Flood contour, and
  - ii) Lies at least one foot above soils unsuitable for the intended usage of the Yard area, and
  - iii) Is contiguous to the Eligible Building Area for a distance of at least fifty percent of the linear perimeter of the Eligible Building Area.
- Yard Areas may encroach into the dedicated easement area which lies at a distance of ten feet from the perimeter of the lot, and may encroach into areas reserved by easement or otherwise for other public utility purposes, but may not encroach into any other area reserved by dedication or otherwise for road or drainage purposes, any may not encroach into any areas within the 100 year flood contour or into designated wetlands. Yard Areas may be irregular in shape except within thirty feet of the locations where the Yard Area is contiguous to the Eligible Building Area, at which locations the Yard Areas shall be a logical extension or expansion of the generally rectangular or oval shape of the Eligible Building Area. Fill may be used to create Yard Area.

D. **Building Pad Areas** The entire Building Pad must lie within the Eligible Building Area, and shall meet the separation requirements for the Eligible Building Area.

E. **Low Floor Elevations**

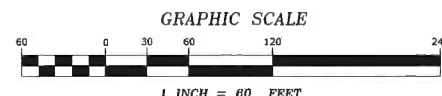
- i) For walkout designs, the low floor elevation shall be at least two feet above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.
- ii) For other designs, the low floor elevation shall be at least two feet above the 100 year flood contour, but, notwithstanding the 100 year flood contour, not less than one foot above unsuitable soils, as determined by the City's engineer.

Lot	Block	Total Lot Area (sq. ft.)	Yard Area (sq. ft.)	Septic Area (sq. ft.)	Building Pad Area (sq. ft.)	Proposed Building Pad 4' Above Unsuitable (sq. ft.)	Garage Floor Elevation	Proposed Low Floor Elev	Proposed Low Opening	Lowest Floor Elevation	Highest		Boring #	Boring Elevation	Melites Elevation 894.2 (W)	Building Type	Custom Graded	
											Anticipated Groundwater Elevation	Low Floor Determining Factor						
1	1	43,588	17,925	8,117	10,058	8,450	910.2	903.9	907.1	901.2	898.2	PER	89	902.6	901.1	DROP	NO	
													688	905.3	902.3	2 COURSE		
													689	903.4	902.4			
													690	906.4	903.9			
													691	904.4	900.6			
													1130	908.9	NONE			
													2068	903.8	900.6			
													2069	906.1	901.4			
													2070	906.5	903.5			
													2071	907.9	903.2			
2	1	67,809	22,631	8,068	10,188	6,005	908.5	902.2	902.2	901.9	898.2	PER	72	903.1	901.9	W.O.*	NO	
													73	904.3	902.5	DROP		
													HWL	681	906.5	902.3	2 COURSE	
													682	906.3	901.1			
													683	903.3	901.8			
													684	903.5	901.6			
													686	907.1	902.4			
													1129	907.8	902.6			
													2024	903.9	901.6			
													2072	906.6	902.3			
													2073	908.4	904.4			
													3007	904.9	901.6			
													3058	903.8	902.6			
													3059	904.8	903.1			
3	1	69,285	16,779	8,140	10,244	5,016	908.8	902.5	902.5	902.2	898.2	PER	2100	902.0	900.6	W.O.*	NO	
													3008	903.9	901.4	DROP		
													HWL	3009	904.6	901.1	2 COURSE	
													3010	902.1	900.6			
													3011	902.1	900.3			
													3012	903.8	901.0			
4	1	68,164	27,581	7,973	10,196	6,710	908.5	902.5	902.5	902.2	898.2	PER	2101	901.7	900.6	W.O.*	NO	
													3013	901.3	900.5	DROP		
													HWL	3014	902.2	900.9	1 COURSE	
													3015	901.8	900.0			
													3016	903.5	900.2			
													3057	903.1	901.3			
5	1	82,234	27,398	7,991	10,643	4,963	908.8	902.5	902.5	902.2	897.0	PER	2102	902.0	900.9	W.O.*	NO	
													3017	905.2	902.2	DROP		
													HWL	3018	903.7	900.7	2 COURSE	
													3019	902.9	901.4			
													3020	902.6	901.3			
													3021	903.1	901.3			
6	1	72,750	42,404	8,058	10,200	5,580	908.2	901.9	906.1	901.9	897.0	PER	2103	901.1	899.9	L.O.*	NO	
													3032	901.4	901.1	DROP		
													HWL	3033	905.7	901.7	2 COURSE	
													3034	903.4	900.9			
													3035	901.9	900.8			
													3036	901.9	900.8			
													3038	901.9	900.7			
7	1	435,652	116,791	7,882	10,616	4,653	907.0	900.0	900.0	900.0	897.0	Anticipated Groundwater	ST-103	898.1	897.0 (W)	W.O.*	NO	
													2106	901.6	900.6	DROP		
													3037	899.1	898.6	1 COURSE		
													3038	904.2	900.4			
													3039	903.1	900.4			
													3040	901.4	900.1			
													3041	901.7	900.2			
													3060	901.8	900.6			
													3061	904.9	900.8			
													3062	902.7	900.2			
8	1	104,430	17,299	7,720	11,054	4,036	907.6	901.3	901.3	901.0	897.0	PER	2104	900.9	899.7	W.O.*	NO	
													3027	901.3	900.3	DROP		
													HWL	3028	903.1	900.3	2 COURSE	
													3029	904.3	901.0			
													3030	905.0	902.7			
9	1	76,218	17,814	7,975	10,190	4,979	906.0	901.0	901.0	901.0	897.0	PER	ST-104	901.4	898.7 (W)	W.O.*	NO	
													3022	900.5	899.5	DROP		
													HWL	3023	901.8	900.7	1 COURSE	
													3024	906.8	899.6			
													3025	902.2	900.7			
													3026	901.5	900.5			
													3031	904.8	900.6			
10	1	216,203	28,776	9,021	10,514	4,833	907.7	900.0	900.0	900.0	897.0	Anticipated Groundwater	ST-102	901.4	898.2 (W)	W.O.	NO	
													2105	900.0	899.0			
													3042	901.8	900.3			
													3043	901.3	900.2			
													3044	900.1	899.0			
													3045	898.7	898.7			
11	1	296,172	19,903	7,773	10,047	3,574	907.0	900.0	900.0	900.0	897.0	Anticipated Groundwater	ST-101	903.2	898.5 (W)	W.O.*	NO	
													2108	900.8	899.6	DROP		
													3046	900.8	900.0			
													3047	902.9	900.7			
													3048	902.8	900.6			
													3049	902.7	900.0			
													3050	902.4	900.4			
													3051	902.9	900.6			
OUTLOT A		16,505																
OUTLOT B		27,654																



# FLOODPLAIN EXHIBIT

~of~ HIDDEN FOREST EAST 4TH ADDITION  
 ~for~ HFN PROPERTIES, LLC.  
 17404 WARD LAKE DRIVE NW  
 ANDOVER, MN 55304



## WETLAND FILL NOTES

WETLAND FILL AREA = 12,659 SQ. FT.

## FLOODPLAIN FILL NOTES

(COON CREEK WATERSHED FLOODPLAIN FILL)  
 FLOODPLAIN FILL WETLAND 1A BASIN = 9,549 CU/FT  
 COMPENSATORY STORAGE = 26,444 CU/FT  
 (COMPENSATORY STORAGE PROVIDED IN BORROW AREA 2 BETWEEN 898 AND 897 ELEVATION)  
 FLOODPLAIN FILL IN WETLAND 1 BASIN = 4,730 CU/FT  
 COMPENSATORY STORAGE = 5,167 CU/FT  
 (COMPENSATORY STORAGE PROVIDED IN POND 1 BETWEEN HWL AND 895.2)

## LEGEND

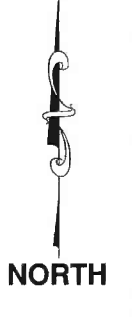
- X 932.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES WETLAND
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- WET DENOTES WETLAND DELINEATED BY KOOLHAUS ENVIRONMENTAL SERVICES COMPANY.
- DENOTES EASEMENT LINE
- DENOTES SETBACK LINE
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES BIG ROLL TO BE INSTALLED INSIDE SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED WELL LOCATION
- DENOTES AREA 1' ABOVE MOTTLES
- DENOTES WETLAND / VEGETATIVE BUFFER
- DENOTES WETLAND / VEGETATIVE BUFFER SIGN
- DENOTES RIPRAP (RIPRAP TO BE VEGETATED IN WETLAND BUFFER)
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES PLANT SPECIES LOCATED BY STANTEC CONSULTING SERVICES, INC.
- DENOTES APPROXIMATE FEMA FLOOD ZONE A LINE FROM FEMA FLOOD INSURANCE RATE MAP NO. 27003C0338E PANEL NO. 0355 SUFFIX 6, EFFECTIVE DATE DECEMBER 16TH, 2015.
- DENOTES C.C.W.D. FLOOD ZONE LINE PER TOPOGRAPHY
- DENOTES 12' POND ACCESS
- DENOTES WETLAND FILL
- DENOTES FLOODPLAIN FILL
- DENOTES COMPENSATORY STORAGE AREA

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD  
 Date: 09/19/2023 License No. 41578

DRAWN BY: MMD	JOB NO: 210452PP	DATE: 03/17/23
CHECK BY: JER	FIELD CREW: DT 1 CT	
1 03/17/23	CITY / WATERSHED COMMENTS	MMD
2 04/11/23	CITY / WATERSHED COMMENTS	MMD
3 08/01/23	LOTS 5-11, BLOCK 1, LOT 2 BLOCK 2	MMD
	ANTICIPATED GROUNDWATER	
NO. DATE	DESCRIPTION	BY

**E. G. RUD & SONS, INC.**  
 EST. 1977 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrud.com







Carson, Clelland  
& Schreder

— ATTORNEYS AT LAW —

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MEMORANDUM

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**TO:** MAYOR AND COUNCILMEMBERS  
**FROM:** JOSEPH MURPHY, CITY ATTORNEY  
**SUBJECT:** PARKLAND – HIDDEN FOREST EAST  
**DATE:** DECEMBER 6, 2021

---

The City and Developer, HFN Properties (Jeff Stalberger) recently finalized two Development Agreements for two phases of the Hidden Forest Development and the Developer will soon be filing the mylars of those plats. As part of the plat for Hidden Forest East Park Addition, Developer is dedicating to the City as parkland 16.48 acres of upland and 10.65 acres of wetland. Under the current policy outlined in the City Code, developers should create one acre of public park or trail space for every ten acres of residential land (10%) or pay an equivalent parkland dedication fee for the City's acquisition of future parkland. Taking into account and crediting Developer for the recently approved Hidden Forest East 3<sup>rd</sup> Addition (56.67 acres), Hidden Forest East Park Addition (11.57 acres), and the anticipated future phase Hidden Forest East 4<sup>th</sup> Addition (9.57 acres), the land dedicated in this plat still exceeds the 10% minimum parkland dedication. As part of the first two phases, Hidden Forest East and Hidden Forest East 2<sup>nd</sup> Addition, the city previously collected \$118,429.40 in Parkland Dedication Fees from Developer. Therefore, as part of Hidden Forest East Park Addition Development Agreement, it is proposed that the City pay Developer \$118,429.40 from these dedicated Parkland funds to acquire or purchase the additional parkland dedicated in the plat that exceeds the 10% of upland parkland dedication required by the City Code.

This process was discussed with Mr. Stalberger and approved by a consensus of the council at the October 19, 2020, City Council meeting.

I would recommend approval of the payment of \$118,429.40 from the Park and Beach Fund.

PROPOSED DESCRIPTION OF "AREA A" TO BE REMOVED FROM FEMA FLOOD PLAIN

All that part of Tracts A and B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota, described as follows:
Beginning at the southwest corner of said Tract B; then on an assumed bearing of South 89 degrees 17 minutes 44 seconds East, along the south line of said Tract B...

PROPOSED DESCRIPTION OF "AREA B" TO BE REMOVED FROM FEMA FLOOD PLAIN

All that part of Tracts A and B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota, described as follows:
Commencing at the northeast corner of said Tract B; then on an assumed bearing of South 25 degrees 06 minutes 42 seconds East, along the northerly line of said Tract B...

All that part of Tract B, REGISTERED LAND SURVEY NO. 290, Anoka County, Minnesota, described as follows:
Commencing at the northeast corner of said Tract B; then on an assumed bearing of South 25 degrees 06 minutes 42 seconds East, along the northerly line of said Tract B...

That part of the Southeast Quarter of the Southeast Quarter of Section 24, Township 32 North, Range 23 West, Anoka County, Minnesota, described as follows:
Commencing at the southwest corner of said Southeast Quarter of the Southeast Quarter; then on an assumed bearing of North 00 degrees 24 minutes 31 seconds East...

PROPOSED DESCRIPTION OF "AREA C" TO BE REMOVED FROM FEMA FLOOD PLAIN

That part of the Southeast Quarter of the Southeast Quarter of Section 24, Township 32 North, Range 23 West, Anoka County, Minnesota, described as follows:
Commencing at the southwest corner of said Southeast Quarter of the Southeast Quarter; then on an assumed bearing of North 00 degrees 24 minutes 31 seconds East...

PROPOSED DESCRIPTION OF "AREA D" TO BE REMOVED FROM FEMA FLOOD PLAIN

That part of the Southeast Quarter of the Southeast Quarter of Section 24, Township 32 North, Range 23 West, Anoka County, Minnesota, described as follows:
Beginning at the southeast corner of said Outlot A (also being the northeast corner of Lot 9, Block 1, HIDDEN FOREST EAST THIRD ADDITION); then on an assumed bearing of North 89 degrees 27 minutes 25 seconds East...

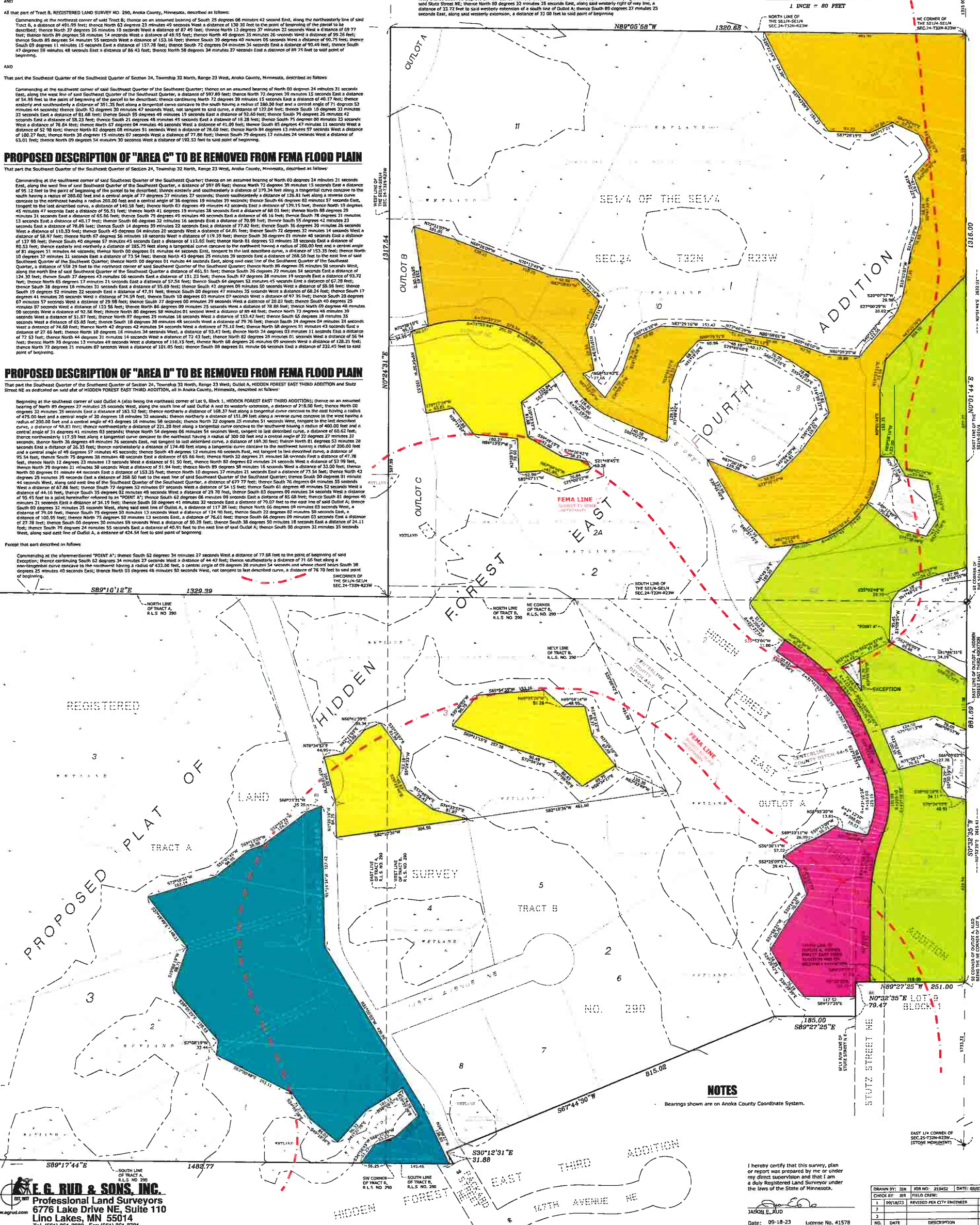
Except that east described as follows:
Commencing at the aforementioned "POINT A"; then South 82 degrees 34 minutes 27 seconds West a distance of 77.68 feet to the point of beginning of said Exception...

PROPOSED DESCRIPTION OF "AREA E" TO BE REMOVED FROM FEMA FLOOD PLAIN

The part of Outlot A, HIDDEN FOREST EAST THIRD ADDITION and Stutz Street NE as indicated on said plat of HIDDEN FOREST EAST THIRD ADDITION, all in Anoka County, Minnesota, described as follows:
Commencing at the southeast corner of said Outlot A (also being the northeast corner of Lot 9, Block 1, HIDDEN FOREST EAST THIRD ADDITION); then on an assumed bearing of North 89 degrees 27 minutes 25 seconds East...

FEMA EXHIBIT -for- HFN PROPERTIES, LLC -of- HIDDEN FOREST EAST FOURTH ADDITION

LEGEND
DENOTES "AREA A" TO BE REMOVED FROM THE FLOOD PLAIN (5.25 ACRES)
DENOTES "AREA B" TO BE REMOVED FROM THE FLOOD PLAIN (3.55 ACRES)
DENOTES "AREA C" TO BE REMOVED FROM THE FLOOD PLAIN (7.95 ACRES)
DENOTES "AREA D" TO BE REMOVED FROM THE FLOOD PLAIN (7.35 ACRES)
DENOTES "AREA E" TO BE REMOVED FROM THE FLOOD PLAIN (1.97 ACRES)
GRAPHIC SCALE
1 INCH = 80 FEET



NOTES

Bearings shown are on Anoka County Coordinate System.

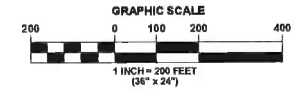
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
JASON E. RUD
Date: 09-18-23 License No. 41578

J.E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

# HIDDEN FOREST EAST FOURTH ADDITION

## TITLE SHEET, NOTES & LEGEND

### HAM LAKE, MINNESOTA



6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014

PHONE: (651) 361-8210  
FAX: (651) 361-8701

DRAWN BY: AG  
CHECK BY: CWP

JOB NO: 22-0043  
DATE: 02/16/23

**OWNER & DEVELOPER**  
HFN PROPERTIES, LLC  
17404 WARD LAKE DR NW  
ANDOVER, MN 55304  
(612) 799-1471

**ENGINEER**  
PLOWE ENGINEERING, INC.  
6776 LAKE DR STE 110  
LINO LAKES, MN 55014  
651-361-8210

**SURVEYOR**  
EG RUDS LAND SURVEYING, INC.  
6776 LAKE DR STE 110  
LINO LAKES, MN 55014  
651-361-8200

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM GRINDEL  
Date: 06/16/2023 License No. 43963

**HIDDEN FOREST EAST FOURTH ADDITION**  
CITY OF HAM LAKE, MINNESOTA  
**TITLE SHEETS, NOTES & LEGEND**

PREPARED FOR: HFN PROPERTIES, LLC

SHEET  
**T1**

#### GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

#### STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
  - (A) REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS.
  - (B) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M254, TYPE S WITH WATER-TIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE OUTLETS.
6. TIE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
9. SEE SHEET C2.1 FOR STRUCTURE SCHEDULE.

#### CURB & BITUMINOUS NOTES

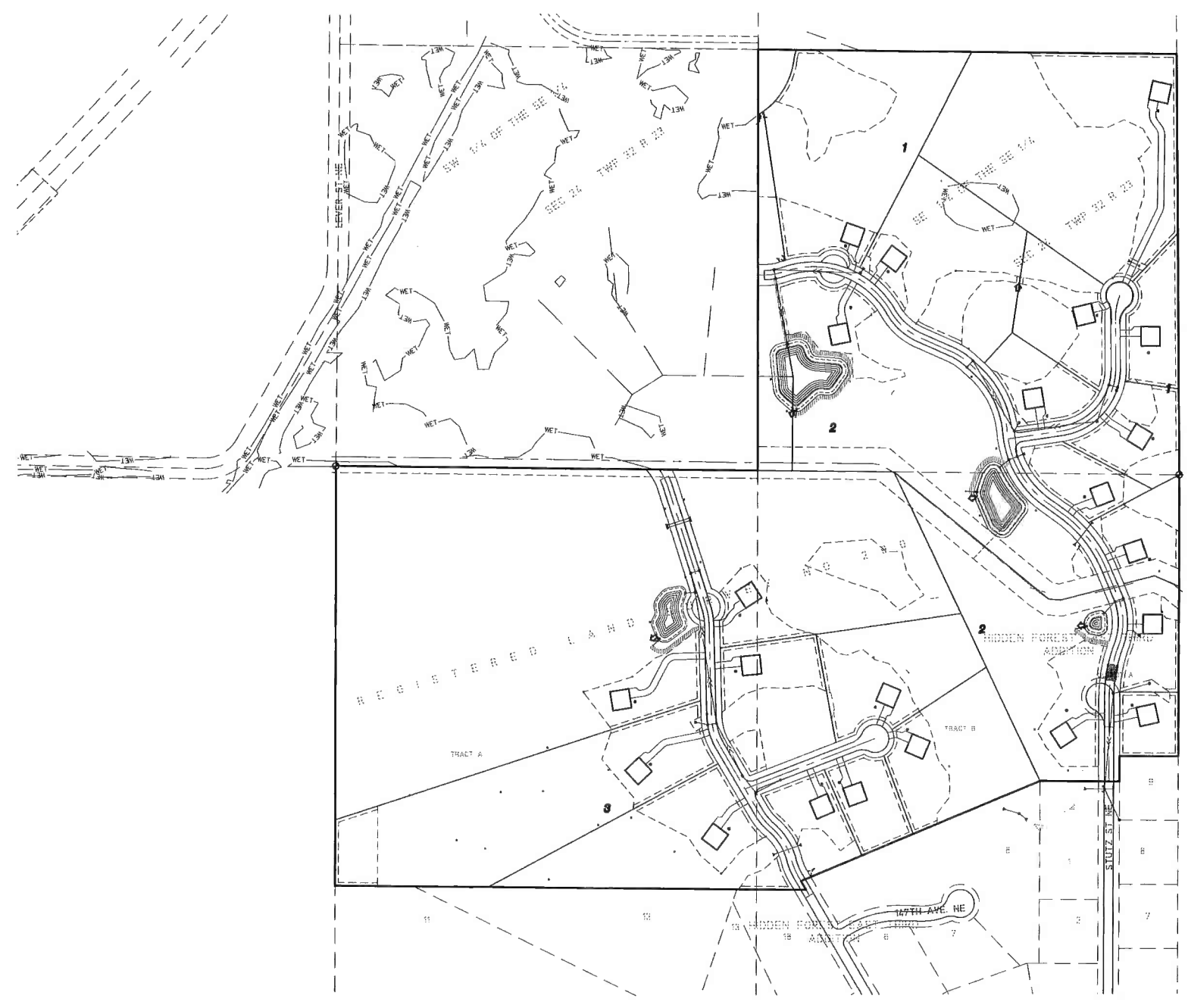
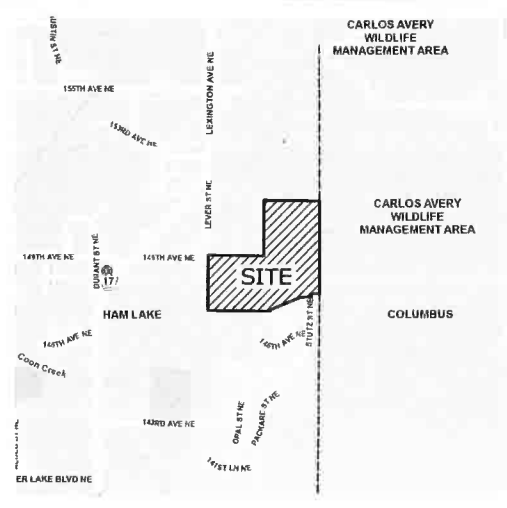
1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

#### MISCELLANEOUS NOTES

1. SEPTIC AND WELL DESIGN BY OTHERS.
2. SITE TOPOGRAPHY PROVIDED BY OTHERS.

AN MPCA NPDES CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION

#### VICINITY MAP

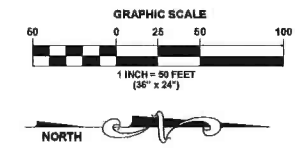


#### LEGEND

	EXISTING STORM SEWER		PROPOSED STORM SEWER PIPE
	EXISTING STORM MANHOLE		PROPOSED STORM MANHOLE
	EXISTING CATCH BASIN		PROPOSED CATCH BASIN
	EXISTING FLARED-END SECTION		PROPOSED FLARED-END SECTION
	EXISTING DELINEATED WETLAND EDGE		PROPOSED RIP-RAP
	WETLAND BUFFER		PROPOSED SPOT ELEVATION (GUTTERLINE)
	WETLAND BUFFER SIGNAGE		

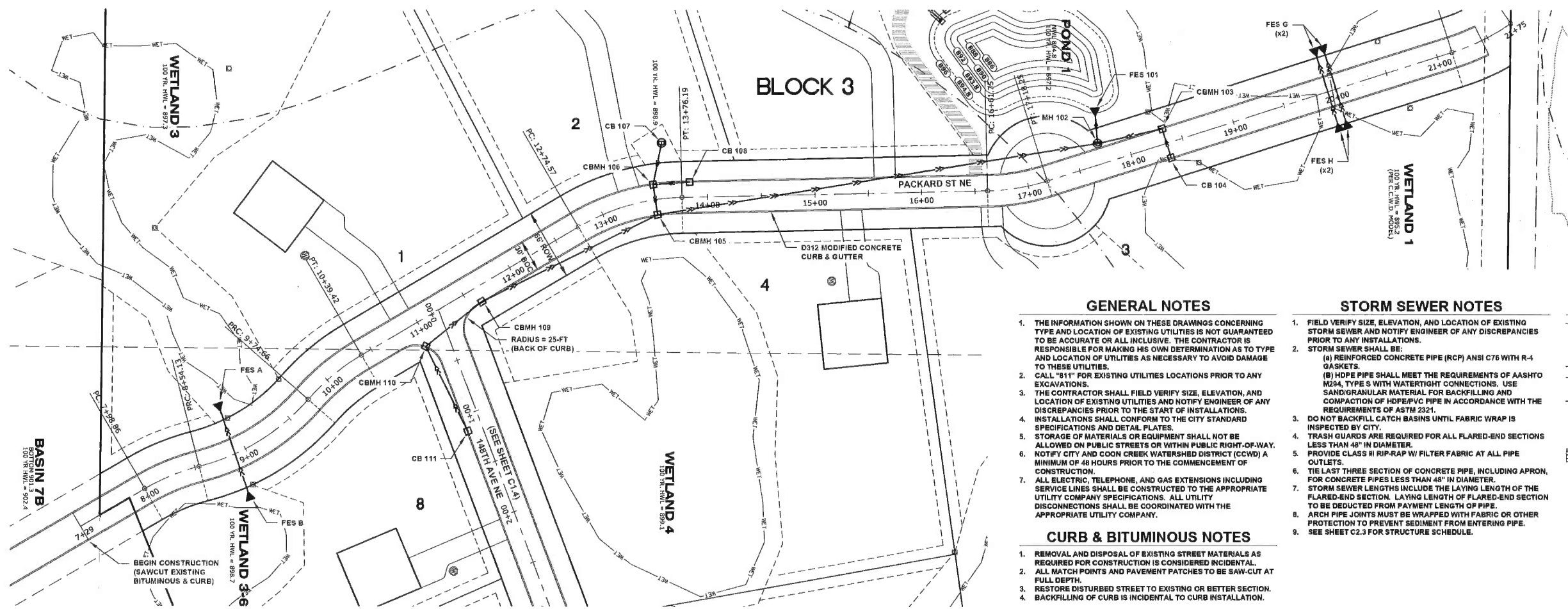
#### SHEET INDEX

T1	TITLE SHEET, NOTES & LEGEND
SHEETS 1-3	PRELIMINARY PLAT
SHEETS 4-8	GRADING, DRAINAGE & ESC PLAN
SHEETS 9-13	LIVABILITY PLAN
SHEETS 13-14	LIVABILITY CHART
C1.1 - C1.2	UTILITY PLAN
C2.1 - C2.3	DETAILS
C3.1 - C3.2	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)



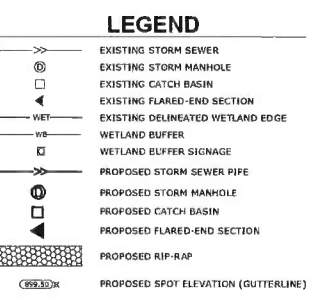
**PLOWE ENGINEERING, INC.**  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210  
 FAX: (651) 361-4701

DRAWN BY: AG  
 CHECK BY: CWP  
 JOB NO: 22-2043  
 DATE: 02/16/23

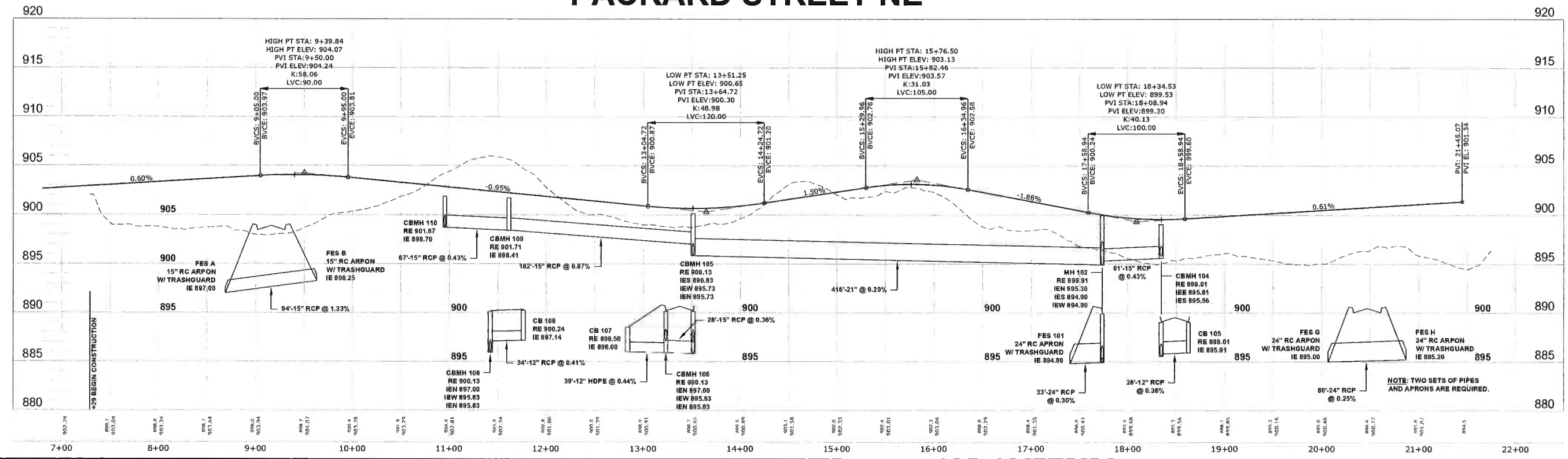


- ### GENERAL NOTES
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  3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
  4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
  5. PROVIDE CLASS II RIP-RAP W/ FILTER FABRIC AT ALL PIPE OUTLETS.
  6. THE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
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  9. SEE SHEET C2.3 FOR STRUCTURE SCHEDULE.



## PACKARD STREET NE

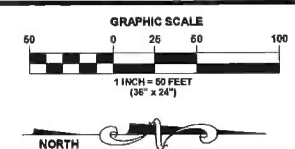
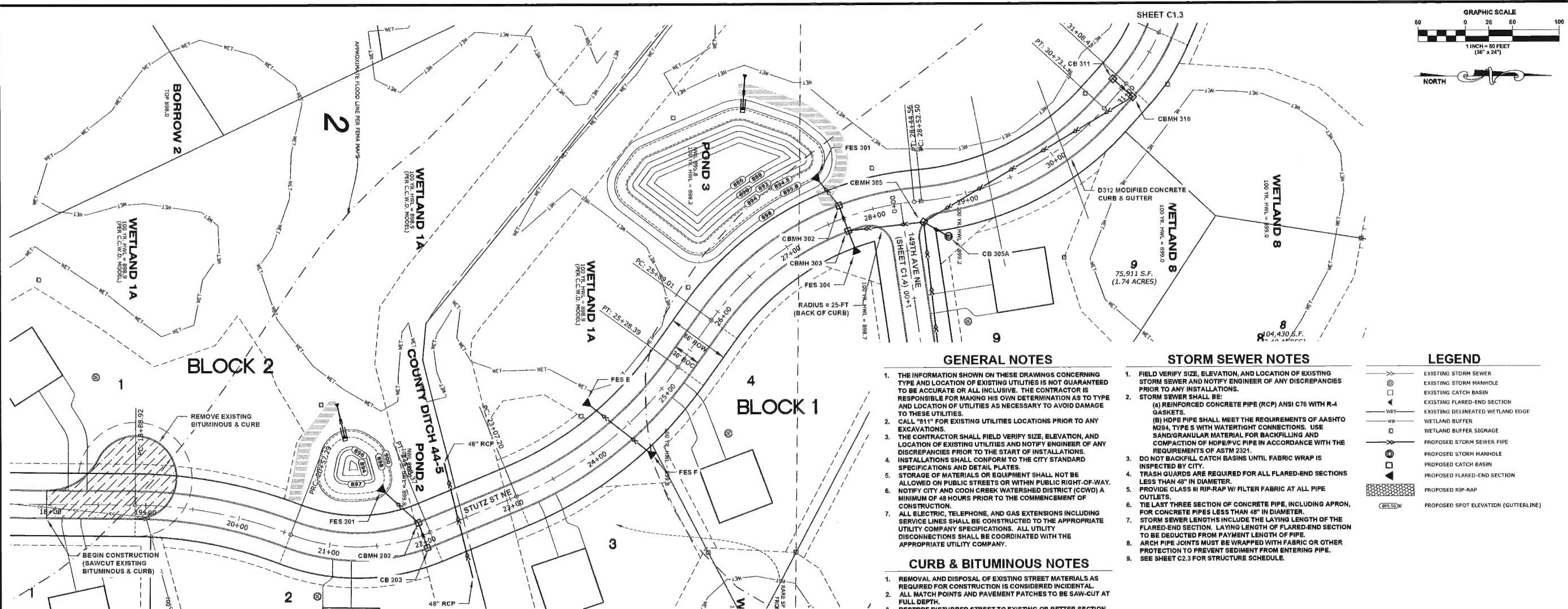


I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 ADAM CARROLL  
 Date: 06/16/2023 License No. 43963

**HIDDEN FOREST EAST FOURTH ADDITION**  
 CITY OF HAM LAKE, MINNESOTA  
**PLAN PROFILE - PACKARD ST NE**

PREPARED FOR: HFM PROPERTIES, LLC  
**SHEET C1.1**

5: \\PLOWE\CAD\22\PROJ\22043\HIDDEN FOREST EAST\43102023\CAD\PROF\PLAN\BASI 5.LVP  
 5/2/2023 2:21:57 PM

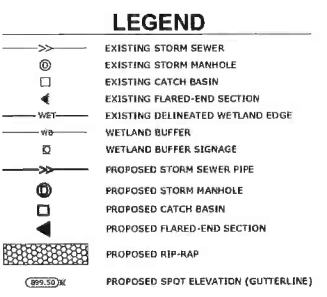


**PLOWE ENGINEERING, INC.**  
 6776 LAKE DRIVE  
 SUITE 110  
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 PHONE: (651) 361-8210  
 FAX: (651) 361-8701

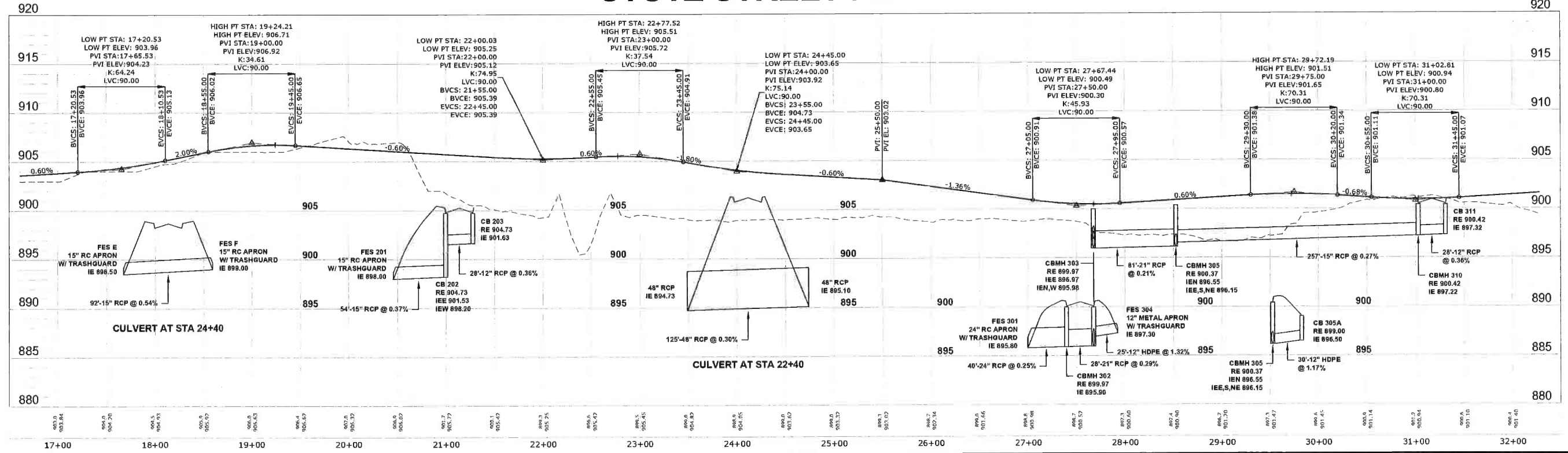
NO.	DATE	DESCRIPTION
1	4-11-23	REV. & CADD COMMENTS
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- ### GENERAL NOTES
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  - CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
  - THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
  - INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
  - STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
  - NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (COWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- ### CURB & BITUMINOUS NOTES
- REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
  - ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
  - RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
  - BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

- ### STORM SEWER NOTES
- FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
  - STORM SEWER SHALL BE:
    - REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS.
    - HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M234, TYPE S WITH WATER TIGHT CONNECTIONS. USE SAND/GRAVEL MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
  - DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
  - TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
  - PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE OUTLETS.
  - TIE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
  - STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
  - ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
  - SEE SHEET C2.3 FOR STRUCTURE SCHEDULE.



## STUTZ STREET NE



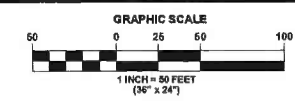
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM CARVER  
 License No. 43963  
 Date: 06/16/2023

**HIDDEN FOREST EAST FOURTH ADDITION**  
 CITY OF HAM LAKE, MINNESOTA  
**PLAN PROFILE - STUTZ ST NE**

PREPARED FOR: HFN PROPERTIES, LLC

SHEET  
**C1.2**



**PLOWE**  
ENGINEERING, INC.

6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-4701

DRAWN BY: AG  
CHECK BY: CWP  
JOB NO: 22-2043  
DATE: 02/16/23

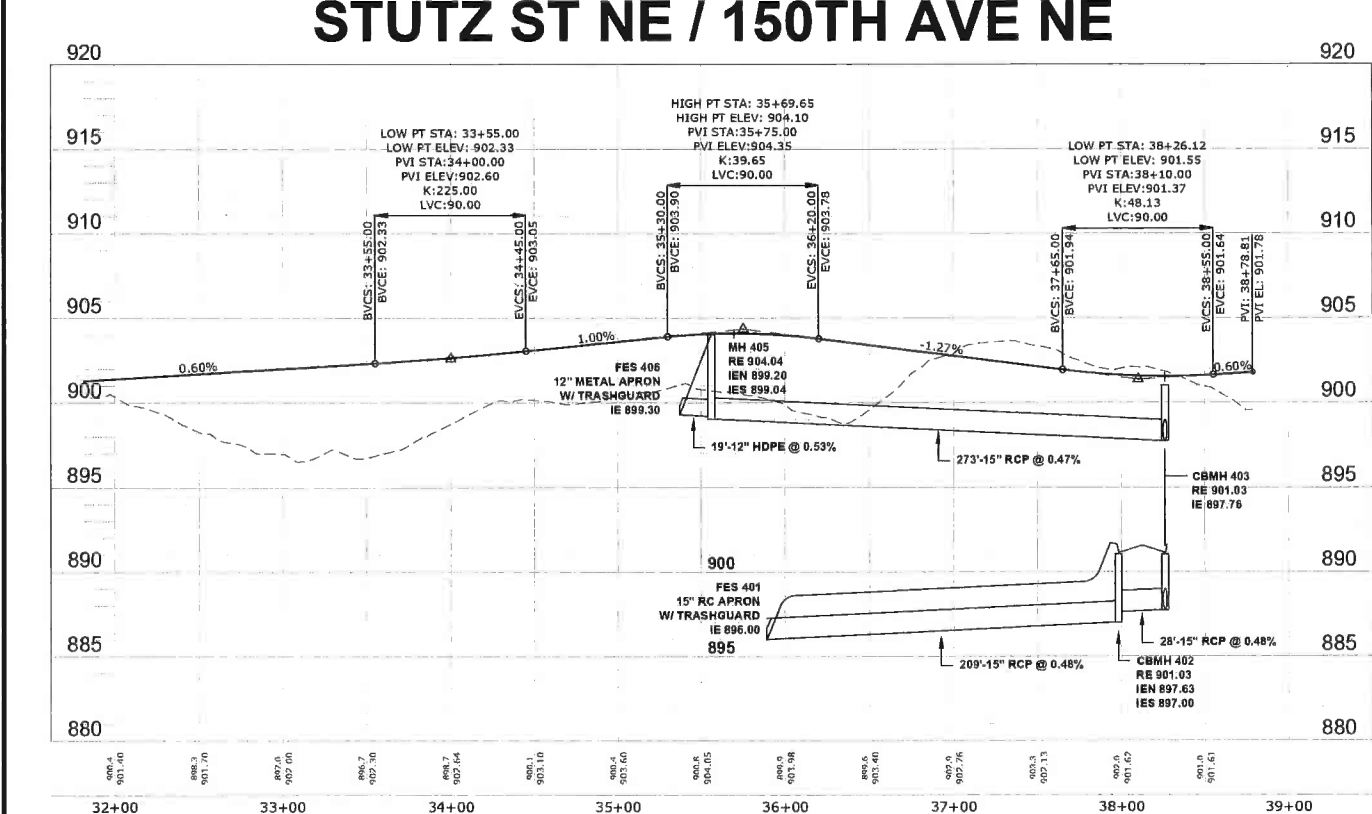
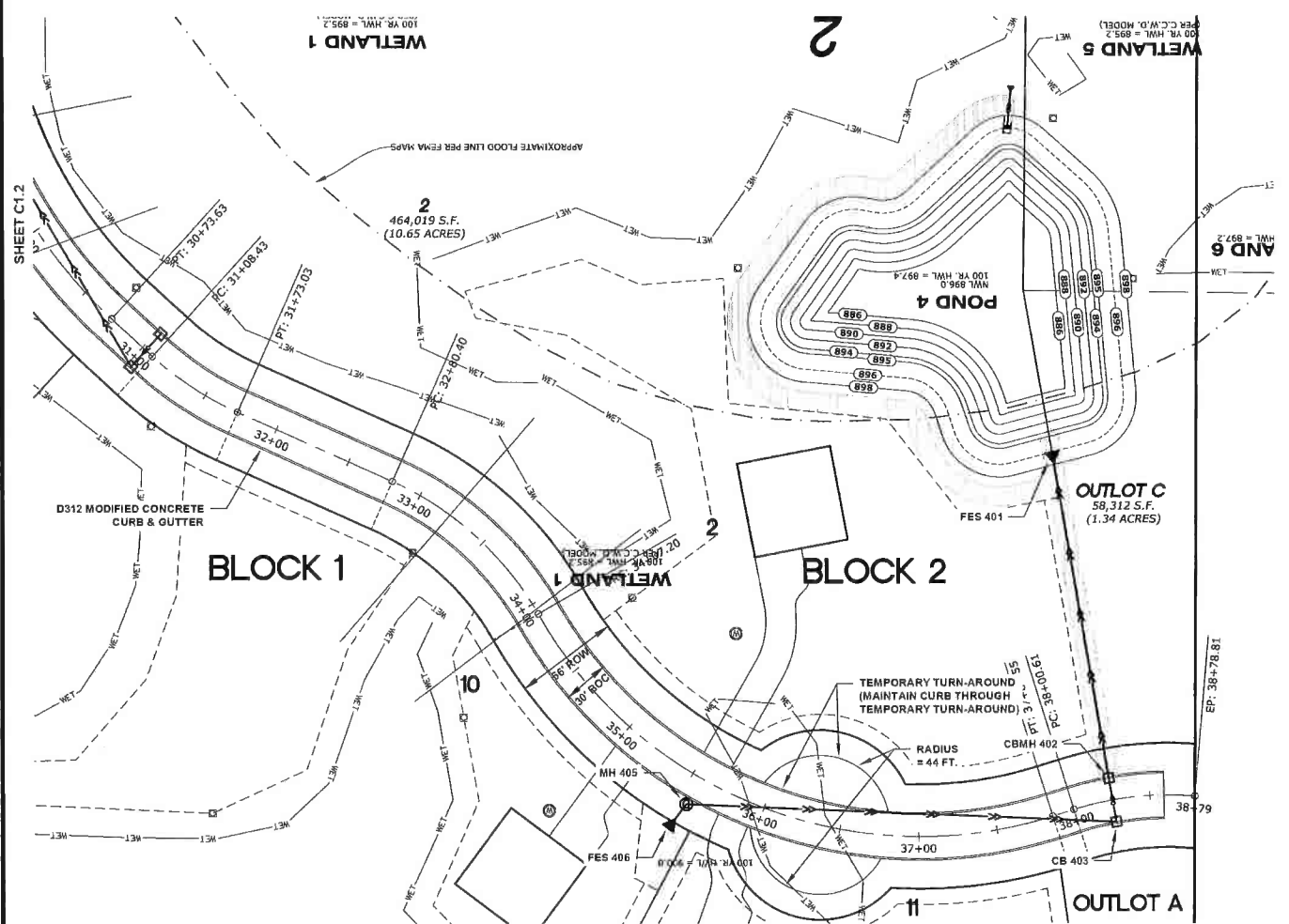
NO.	DATE	DESCRIPTION
1	4.11.23	RFC & CCWD COMMENTS
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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM GRUNEL  
Date: 05.16.2023 License No. 43883

**HIDDEN FOREST EAST FOURTH ADDITION**  
CITY OF HAM LAKE, MINNESOTA  
**PLAN PROFILE - STUTZ ST & 150TH AVE**

SHEET  
**C1.3**



**GENERAL NOTES**

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

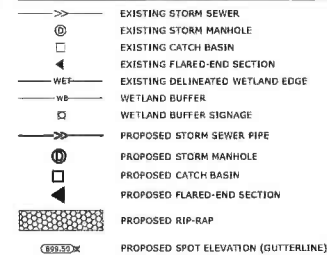
**CURB & BITUMINOUS NOTES**

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

**STORM SEWER NOTES**

1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
  - (A) REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS.
  - (B) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M254, TYPE S WITH WATERTIGHT CONNECTIONS. USE SAND/ORANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PPVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE OUTLETS.
6. THE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
9. SEE SHEET C2.3 FOR STRUCTURE SCHEDULE.

**LEGEND**



**GENERAL NOTES**

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
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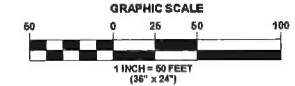
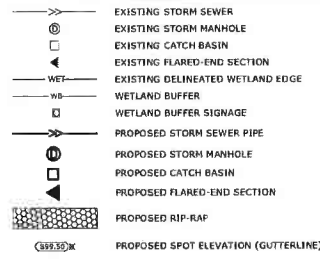
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3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
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(b) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
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9. SEE SHEET C2.3 FOR STRUCTURE SCHEDULE.

**LEGEND**



**PLOWE ENGINEERING, INC.**

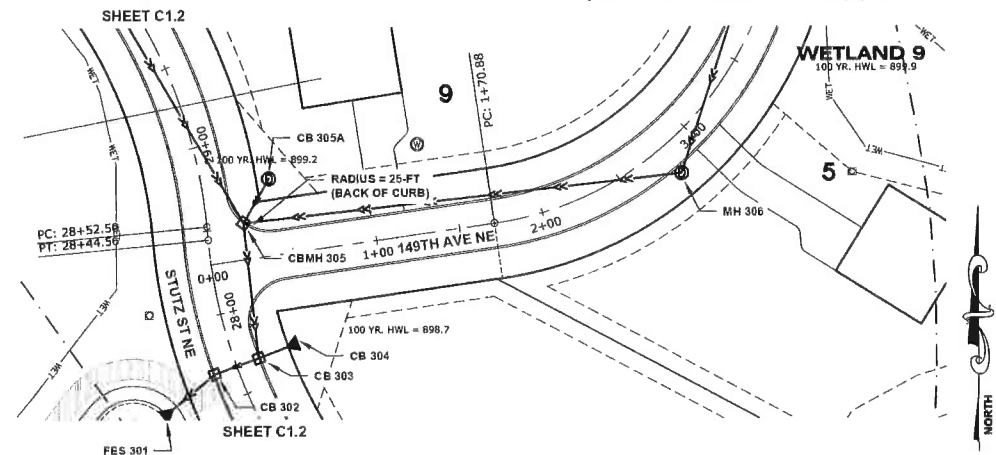
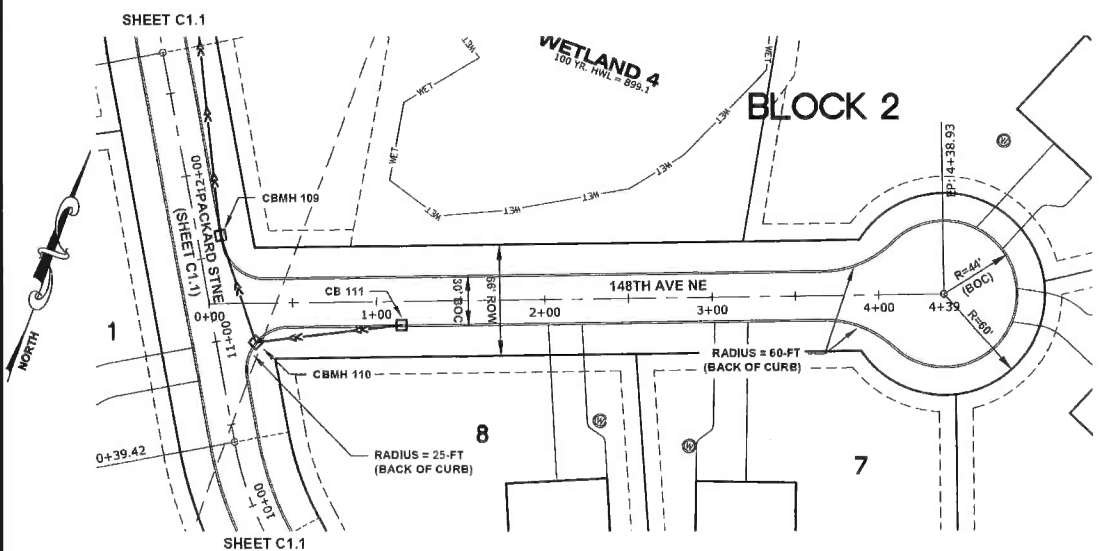
6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701  
DRAWN BY: AG  
CHECK BY: CWP  
JOB NO: 22-2043  
DATE: 02/16/23

NO.	DATE	DESCRIPTION
1	4-11-23	REC & CCWD COMMENTS
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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
JADAM CRANE  
Date: 06/16/2023 License No. 43863

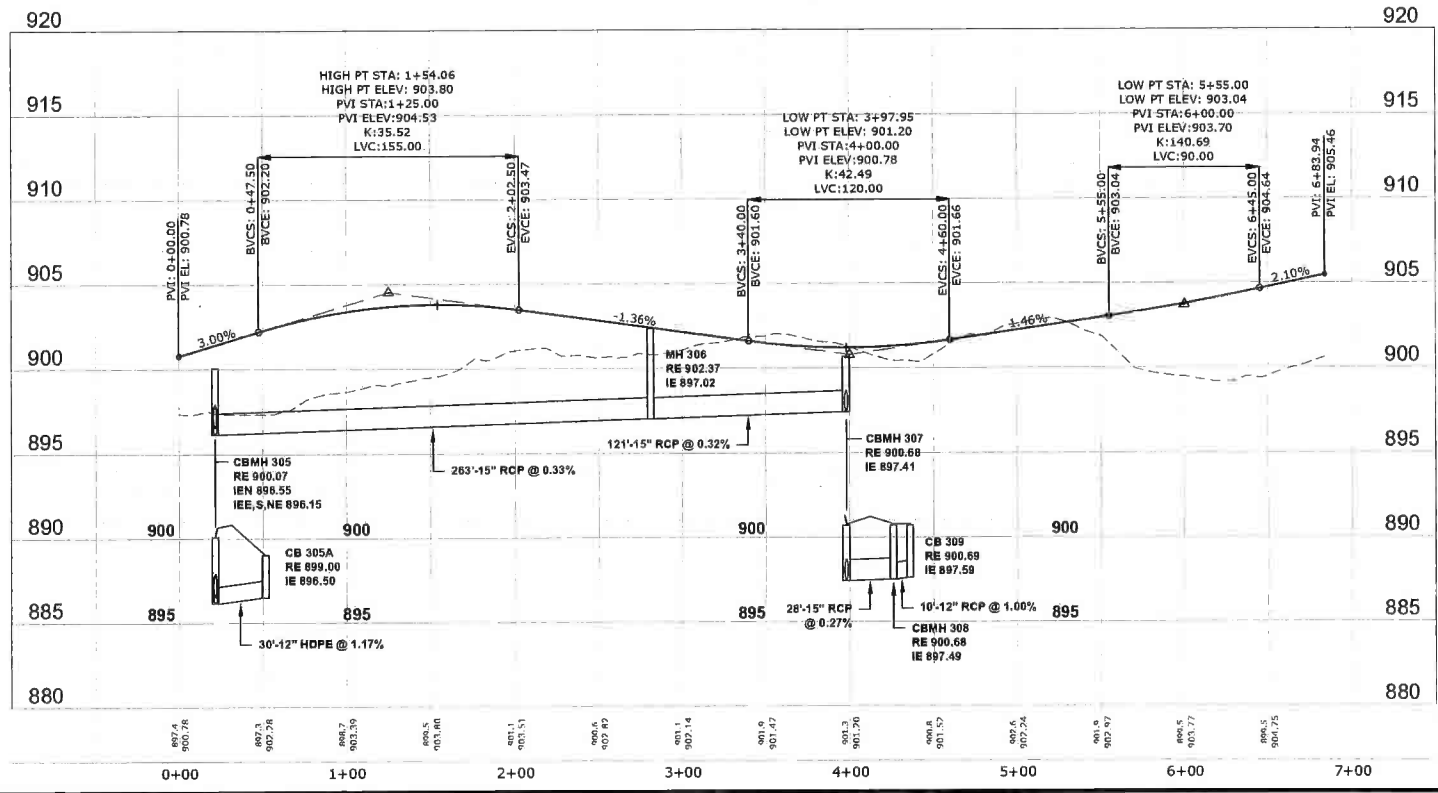
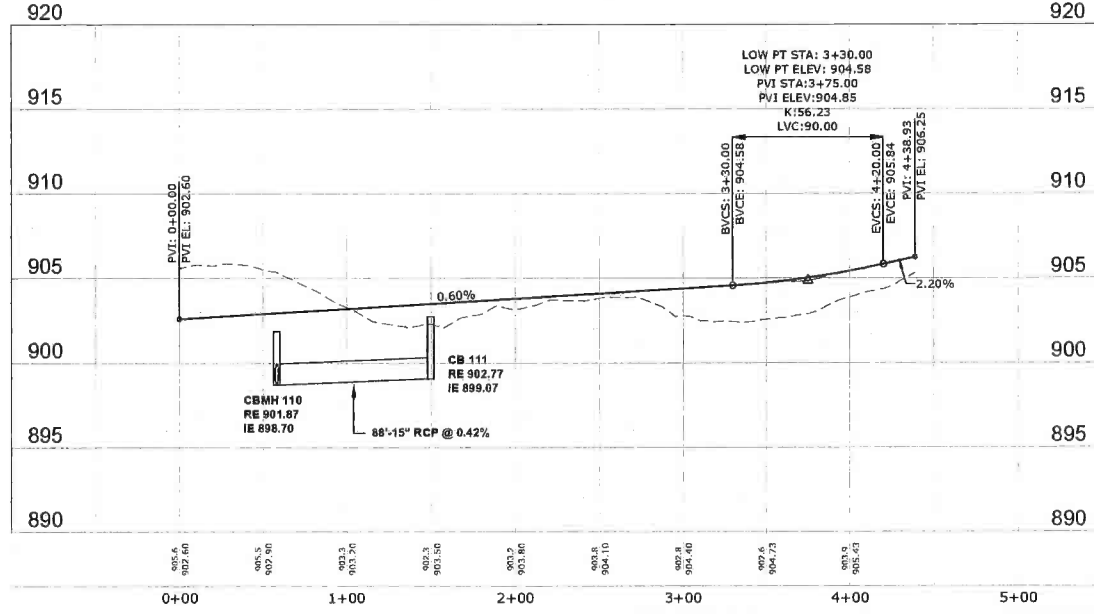
**HIDDEN FOREST EAST FOURTH ADDITION  
CITY OF HAM LAKE, MINNESOTA  
PLAN PROFILE - 148TH & 149TH AVE NE**

SHEET **C1.4**



**149TH AVE NE**

**148TH AVE NE**



**GENERAL NOTES**

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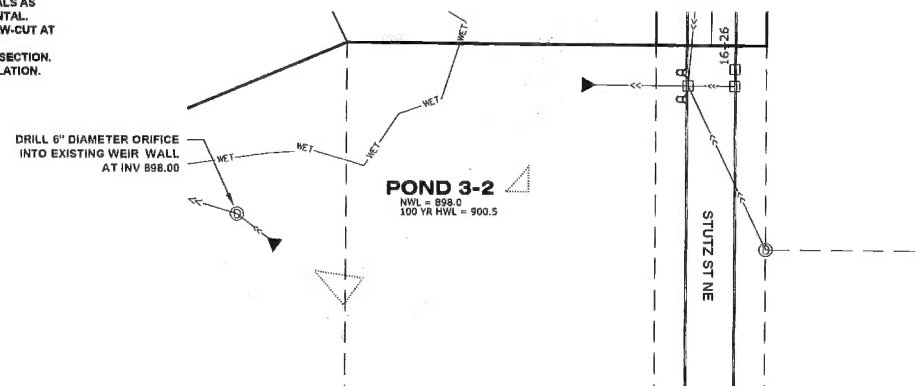
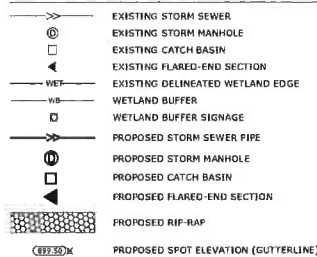
**CURB & BITUMINOUS NOTES**

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2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

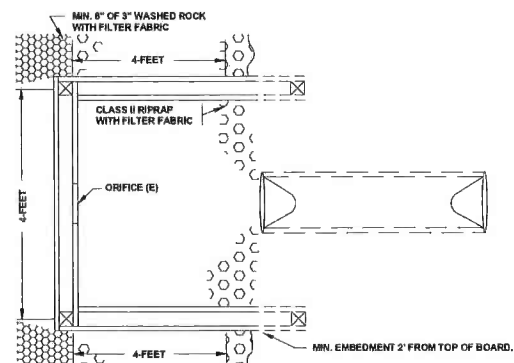
**STORM SEWER NOTES**

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2. STORM SEWER SHALL BE:
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9. SEE SHEET C2.3 FOR STRUCTURE SCHEDULE.

**LEGEND**



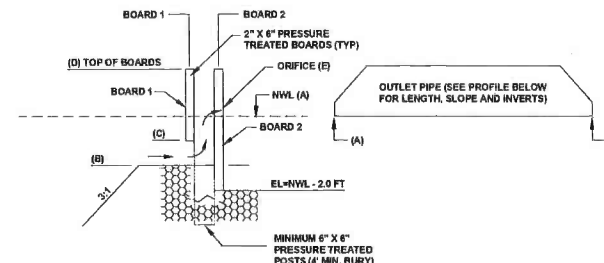
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HIDDEN FOREST EAST THIRD ADDITION



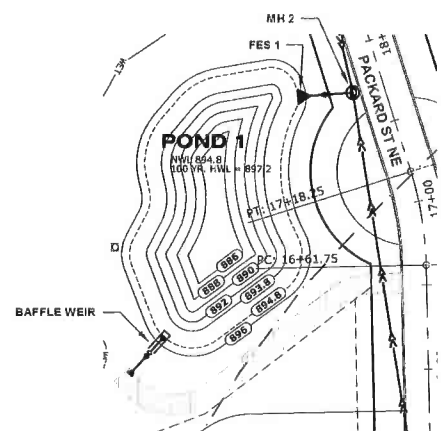
**PLAN VIEW**

**POND OUTLET BAFFLE WEIR**  
N.T.S.

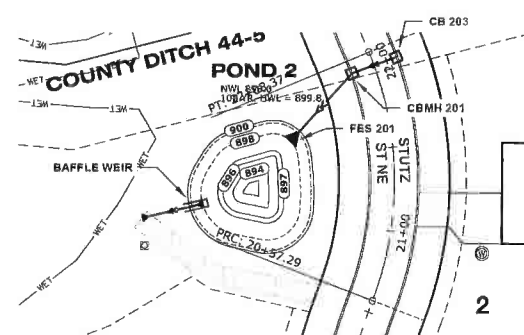
NWL	POND NUMBER			
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TOP OF BOARDS	D 896.1	899.6	897.7	897.3
ORIFICE TYPE	ROUND	ROUND	ROUND	ROUND
ORIFICE DIAMETER	E 4.0	4.0	4.0	6.0
BOTTOM OF BOARD 1	C 894.3	897.5	895.3	895.5
BOTTOM OF OPENING	B 893.8	897.0	894.8	895.0
DOWNSTREAM INVERT	F 894.60	897.80	895.60	895.80



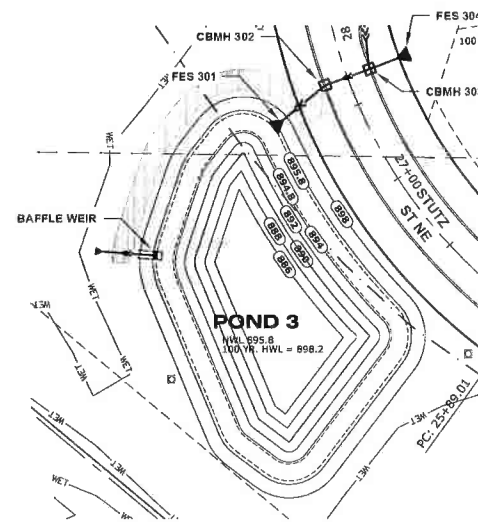
**SIDE VIEW**



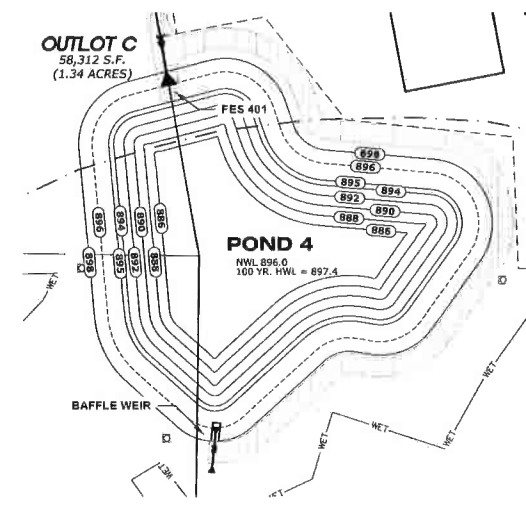
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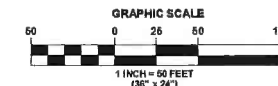
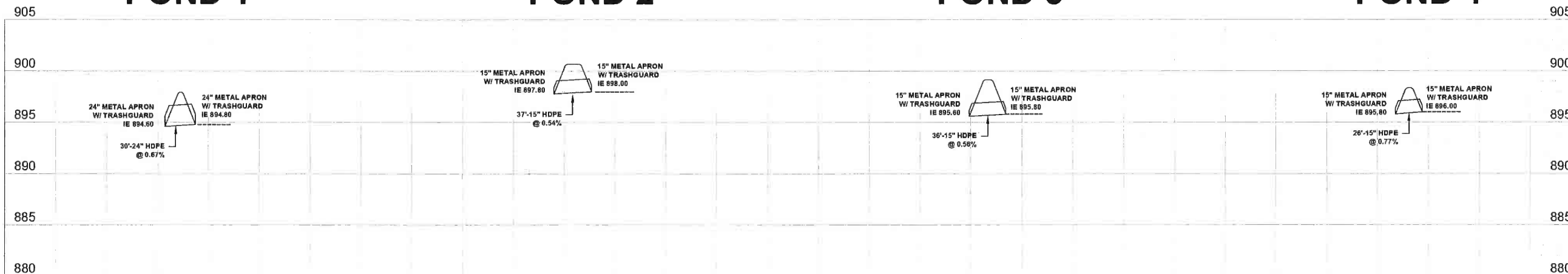
**POND 2**



**POND 3**



**POND 4**



6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 56014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701

DRAWN BY: CHECK BY:  
AG CWP  
JOB NO: DATE:  
22-2043 02/16/23

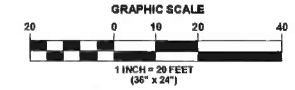
NO.	DATE	DESCRIPTION
1	4-11-23	RFC & CCWD COMMENTS
2	5-2-23	RFC COMMENTS
3	6-16-23	POND OUTLET TABLE ADDED
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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
ADAM CARVER License No. 43883  
Date: 05.16.2023

**HIDDEN FOREST EAST FOURTH ADDITION**  
CITY OF HAM LAKE, MINNESOTA  
**POND OUTLETS**  
PREPARED FOR: HFN PROPERTIES, LLC

SHEET  
**C1.5**





**PLOWE ENGINEERING, INC.**  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (851) 361-8210  
 FAX: (851) 361-8761

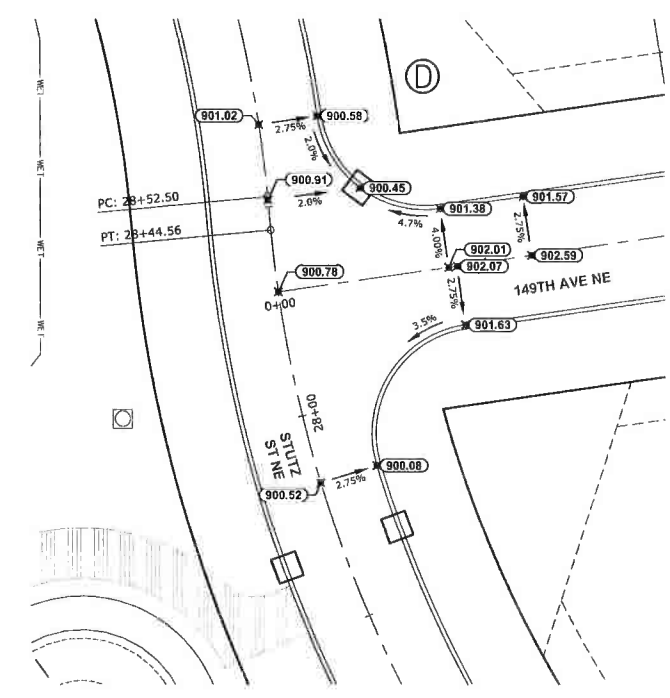
DRAWN BY: AG  
 CHECK BY: CWP  
 JOB NO: 22-2043  
 DATE: 02/18/23

NO.	DATE	DESCRIPTION
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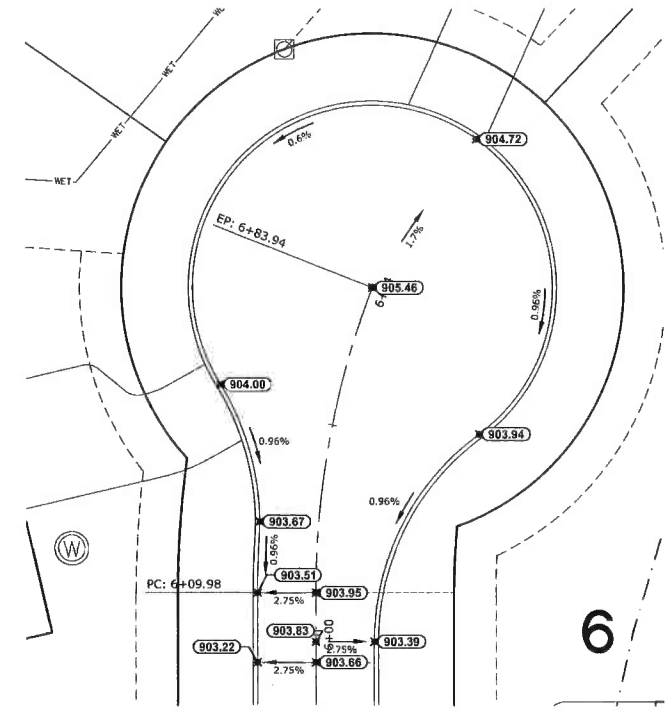
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 ADAM CARREL  
 Date: 05/16/2023 License No. 43983

**HIDDEN FOREST EAST FOURTH ADDITION**  
 CITY OF HAM LAKE, MINNESOTA  
**INTERSECTION AND C-D-S DETAILS**  
 PREPARED FOR: HFM PROPERTIES, LLC

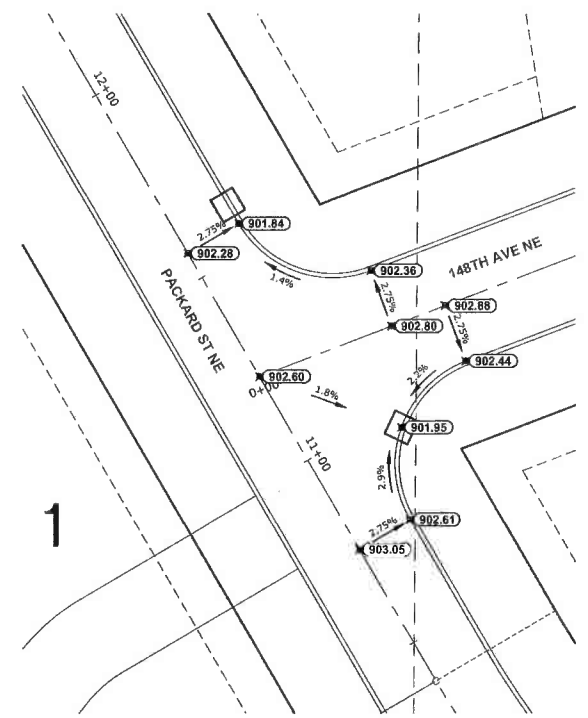
SHEET  
**C1.6**



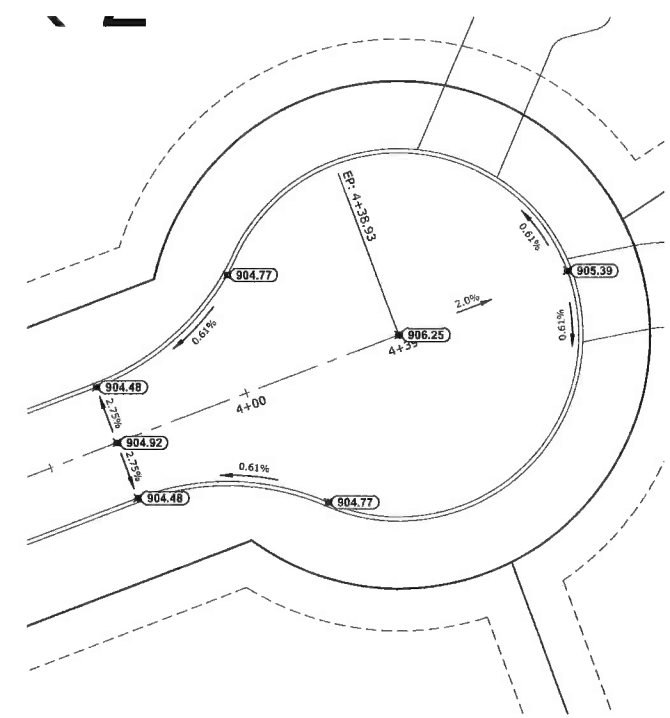
INTERSECTION - STUTZ & 149TH



149TH AVE CUL-DE-SAC



INTERSECTION - PACKARD & 148TH

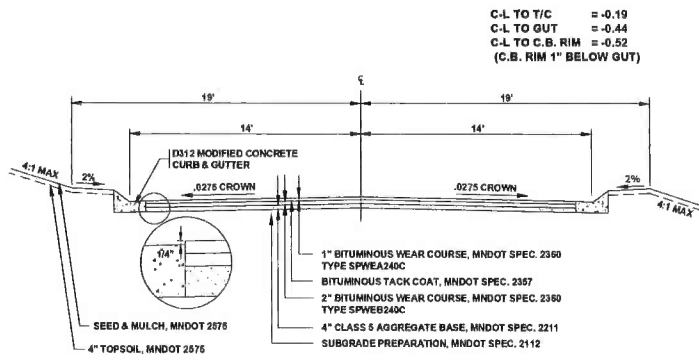


148TH AVE CUL-DE-SAC

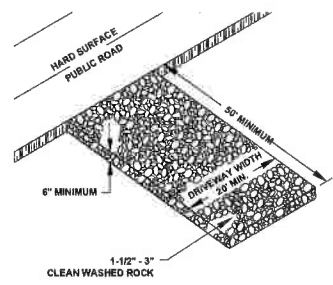
NO.	DATE	DESCRIPTION
1	4-11-23	REF. & L.C.W.D. COMMENTS
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 ADAM GROBE  
 License No. 03863  
 Date: 05/16/2023

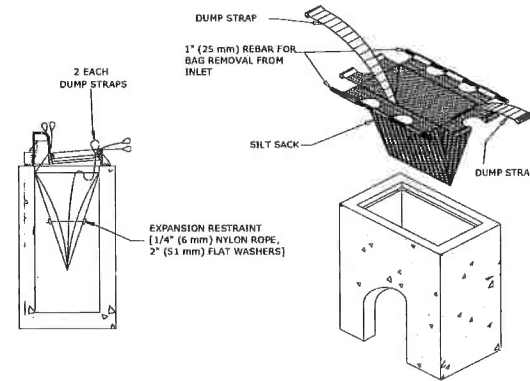
**HIDDEN FOREST EAST FOURTH ADDITION**  
 CITY OF HAM LAKE, MINNESOTA  
**DETAILS**  
 PREPARED FOR: HFN PROPERTIES, LLC



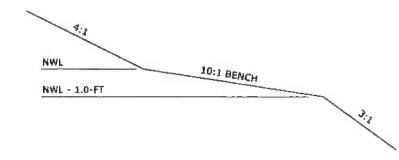
**TYPICAL STREET SECTION (7-TON)**  
 N.T.S.



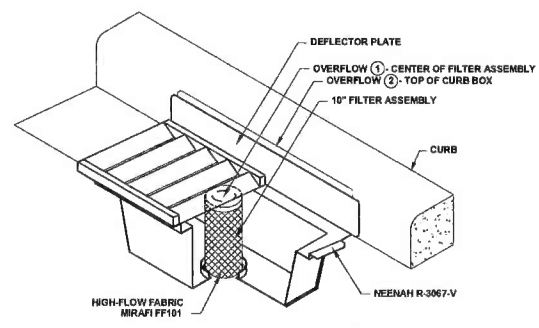
**ROCK CONSTRUCTION EXIT**  
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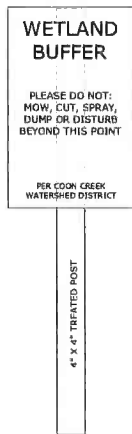
**SILT SACK**  
 N.T.S.



**TYPICAL POND SECTION**  
 N.T.S.

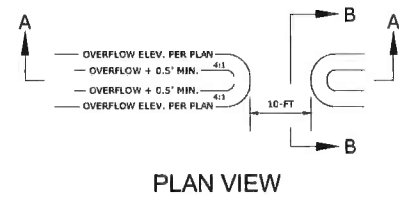


**WIMCO INLET PROTECTION**  
 N.T.S.

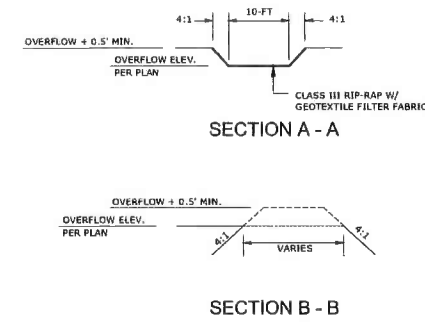


- MONUMENT**
- CONSISTS OF A POST AND A SIGN
- WETLAND BUFFER SIGNS**
- MOUNTED FLUSH WITH TOP OF POST
  - FASTENED WITH NON-REMOVABLE SCREWS OR NUTS
  - SIZE: 17" x 4" IF ALUMINUM SHALL BE 6061-T6 ALLOY
  - GAUGE SHALL BE 0.060
- POST MATERIALS**
- 4" x 4" SQUARE
  - TREATED WOOD OR OTHER CITY-APPROVED MATERIAL
- COLOR**
- SHALL BE GREEN LETTERS ON WHITE BACKGROUND
- POST INSTALLATION**
- MOUNTED TO A HEIGHT OF FOUR FEET ABOVE GRADE
  - SET AT LEAST 42 INCHES INTO GROUND
  - INSTALLED AT EACH LOT LINE WHERE IT CROSSES A WETLAND BUFFER WITH A MAXIMUM SPACING OF 300 FEET BETWEEN SIGNS
  - PLACE ADDITIONAL POSTS/SIGNS AS NECESSARY TO FOLLOW BUFFER

**WETLAND BUFFER SIGNAGE**  
 N.T.S.



**RIP-RAP OVERFLOWS**  
 N.T.S.



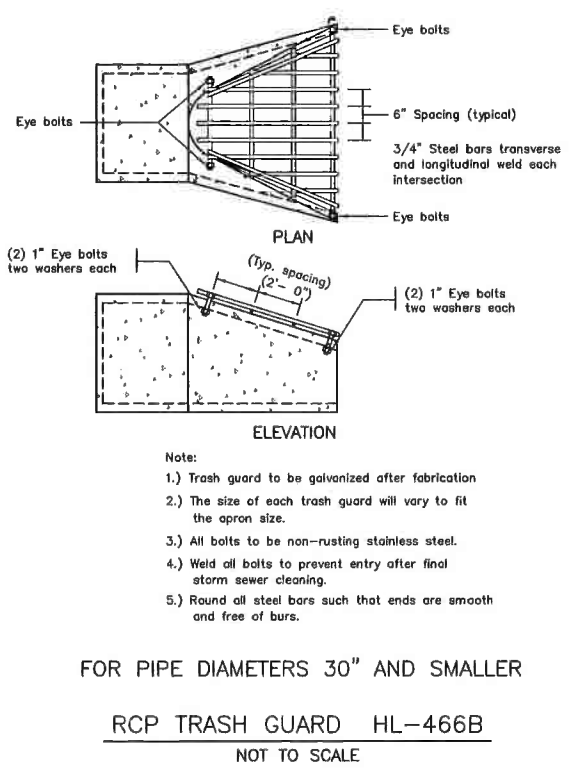
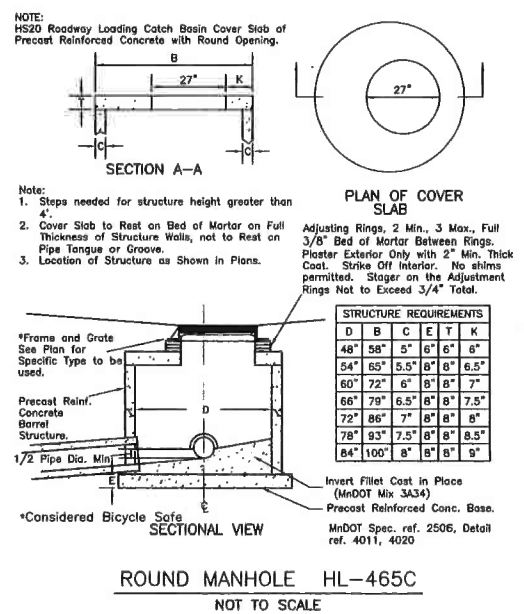
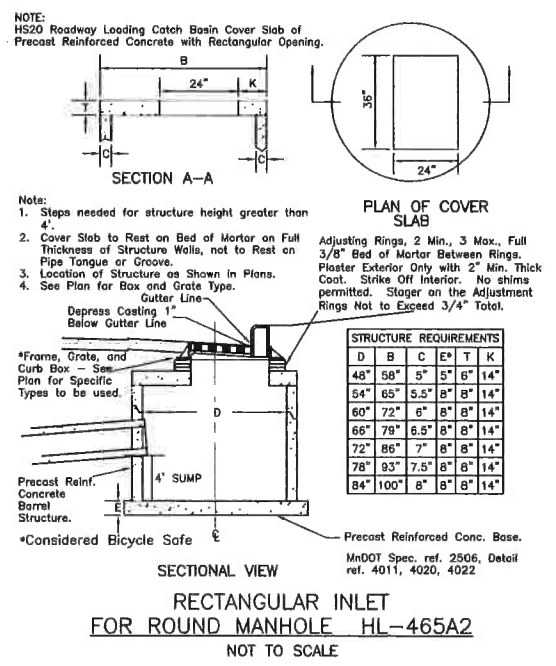
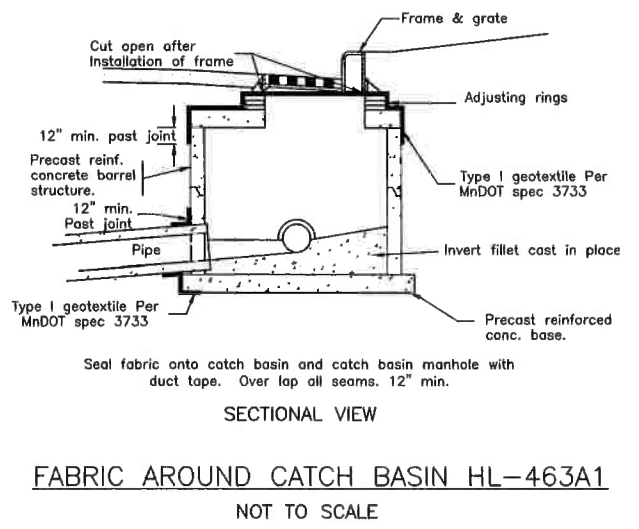
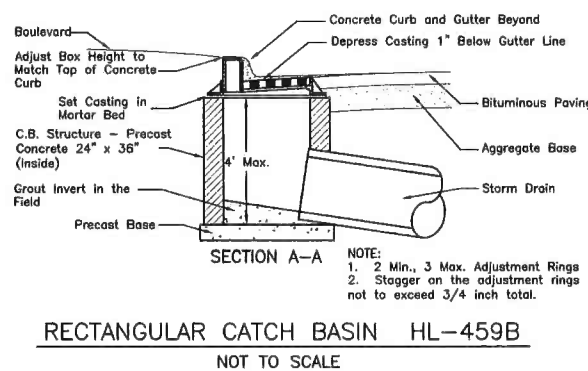
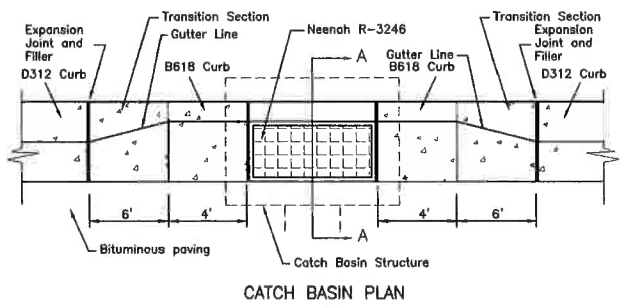
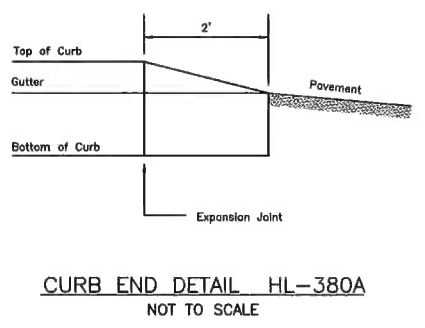
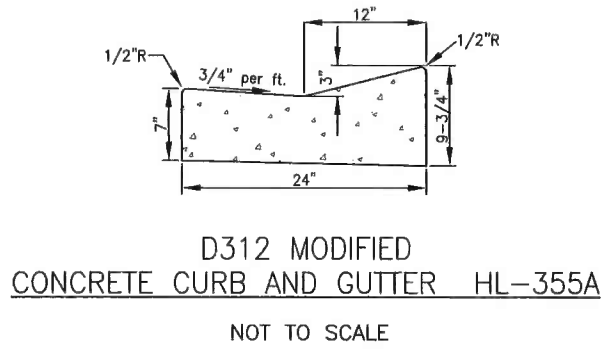
**RIP-RAP OVERFLOWS**  
 N.T.S.

STORM SEWER STRUCTURE SCHEDULE					
#	SIZE	CASTING	#	SIZE	CASTING
102	48" DIA.	NEENAH R-1733	305	60" DIA.	NEENAH R-3246-C
103	48" DIA.	NEENAH R-3246-C	305A	MNDOT TYPE G	NEENAH R-2577
104	2' x 3'	NEENAH R-3246-C	306	48" DIA.	NEENAH R-1733
105	48" DIA.	NEENAH R-3246-C	307	48" DIA.	NEENAH R-3246-C
106	48" DIA.	NEENAH R-3246-C	308	48" DIA.	NEENAH R-3246-C
107	MNDOT TYPE G	NEENAH R-2577	309	2' x 3'	NEENAH R-3246-C
108	2' x 3'	NEENAH R-3246-C	310	48" DIA.	NEENAH R-3246-C
109	48" DIA.	NEENAH R-3246-C	311	2' x 3'	NEENAH R-3246-C
110	48" DIA.	NEENAH R-3246-C			
111	2' x 3'	NEENAH R-3246-C	402	48" DIA.	NEENAH R-3246-C
			403	48" DIA.	NEENAH R-3246-C
202	48" DIA.	NEENAH R-3246-C	405	48" DIA.	NEENAH R-1733
203	2' x 3'	NEENAH R-3246-C			
302	48" DIA.	NEENAH R-3246-C			
303	48" DIA.	NEENAH R-3246-C			

NO.	DATE	DESCRIPTION
1	4-11-23	REF. & CIVD COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 ADAM CARVER  
 License No. 43983  
 Date: 05.16.2023

**HIDDEN FOREST EAST FOURTH ADDITION**  
 CITY OF HAM LAKE, MINNESOTA  
**DETAILS**  
 PREPARED FOR: HFM PROPERTIES, LLC



**TABLE OF QUANTITIES**  
 Riprap at RCP Outlets

Dia. Pipe (in.)	L (Ft.)	Class II D <sub>50</sub> = 6"		Class III D <sub>50</sub> = 9"		Class IV D <sub>50</sub> = 12"	
		Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)		
12	8	3.0	4.4	5.9			
15	8	3.2	4.8	6.4			
18	10	4.3	6.4	8.5			
21	10	4.7	7.1	9.4			
24	12	6.2	9.2	12.3			
27	12	6.6	9.9	13.2			
30	14	8.2	12.3	16.4			
36	16	10.6	15.8	21.1			
42	18	12.5	18.7	24.9			
48	20	14.8	22.2	29.6			

**TABLE OF QUANTITIES**  
 Riprap at RCPA Outlets

Span Pipe Arch (in.)	L (Ft.)	Class II D <sub>50</sub> = 6"		Class III D <sub>50</sub> = 9"		Class IV D <sub>50</sub> = 12"	
		Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)	Depth Riprap (Cu. Yd.)		
22	10	4.1	6.1	8.1			
28	12	5.7	8.5	11.3			
36	14	7.5	11.2	14.9			
43	16	9.5	14.3	19.0			
51	18	11.3	16.9	22.5			
59	20	13.2	19.8	28.4			

**SECTION B-B**

**PLAN VIEW**

**SECTION A-A**

Note:  
 1. For pipes greater than or equal to 30" use 1.5' Geotextile fabric, Spec. 3601. The fabric should cover the area of the riprap and extend under the culvert apron 3 feet.  
 2. Requirements for riprap size is shown in the plans.

**RIPRAP AT RCP OUTLETS HL-480A1**  
 NOT TO SCALE

**GENERAL NOTES**

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
6. NOTIFY CITY AND COON CREEK WATERSHED DISTRICT (CCWD) A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

**STORM SEWER NOTES**

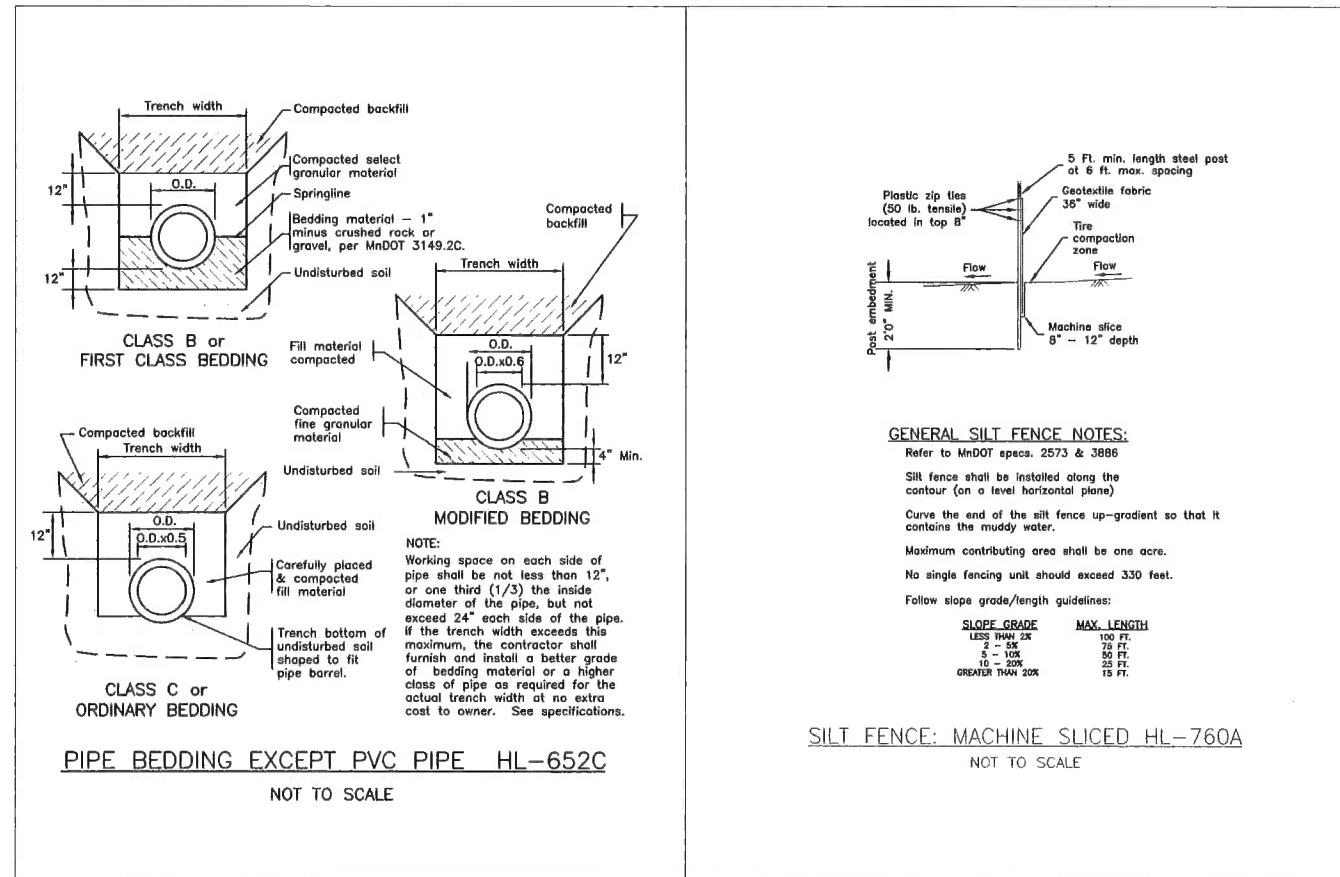
1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
  - (A) REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS.
  - (B) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.
3. DO NOT BACKFILL CATCH BASINS UNTIL FABRIC WRAP IS INSPECTED BY CITY.
4. TRASH GUARDS ARE REQUIRED FOR ALL FLARED-END SECTIONS LESS THAN 48" IN DIAMETER.
5. PROVIDE CLASS III RIP-RAP W/ FILTER FABRIC AT ALL PIPE OUTLETS.
6. TIE LAST THREE SECTION OF CONCRETE PIPE, INCLUDING APRON, FOR CONCRETE PIPES LESS THAN 48" IN DIAMETER.
7. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF FLARED-END SECTION TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
8. ARCH PIPE JOINTS MUST BE WRAPPED WITH FABRIC OR OTHER PROTECTION TO PREVENT SEDIMENT FROM ENTERING PIPE.
9. SEE SHEET C2.1 FOR STRUCTURE SCHEDULE.

**CURB & BITUMINOUS NOTES**

1. REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
2. ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
3. RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
4. BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.

**MISCELLANEOUS NOTES**

1. SEPTIC AND WELL DESIGN BY OTHERS.
2. SITE TOPOGRAPHY PROVIDED BY OTHERS.



5776 LAKE DRIVE  
SUITE 110  
LINO LAKE, MN 55014

PHONE: (651) 351-8210  
FAX: (651) 351-8701

DRAWN BY: AG  
CHECK BY: CWF

JOB NO: 22-2043  
DATE: 02/16/23

NO.	DATE	DESCRIPTION
1	4-11-23	REC & CCWD COMMENTS
2		
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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ADAM CARLSON  
Date: 02/16/2023  
License No. 43863

**HIDDEN FOREST EAST FOURTH ADDITION**  
CITY OF HAM LAKE, MINNESOTA  
**DETAILS**  
PREPARED FOR: HFI PROPERTIES, LLC

SHEET  
**C2.3**



PROJECT NAME  
HIDDEN FOREST EAST FOURTH ADDITION

PROJECT LOCATION  
NO ASSIGNED ADDRESS  
STUTZ ST NE @ 145TH AVE NE  
(EAST OF LEXINGTON AVE NE)  
HAM LAKE, MN 55304  
ANOKA COUNTY

DEVELOPER  
HFN PROPERTIES, LLC  
1744 WARD LAKE DR NW  
ANDOVER, MN 55304

GENERAL CONTRACTOR  
TBD

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS  
SEVERAL PONDS ARE PROPOSED TO MEET STORMWATER MANAGEMENT REQUIREMENTS. SEE "STORMWATER DRAINAGE REPORT" FOR FURTHER DISCUSSION AND INFORMATION.

SITE IMPERVIOUS AREAS

TOTAL SITE AREA	100% ACRES	
	BEFORE CONSTRUCTION	AFTER CONSTRUCTION
TOTAL ESTIMATED IMPERVIOUS	4.3 ACRES	13.6 ACRES
TOTAL ESTIMATED PERVIOUS	3.3 ACRES	86.4 ACRES

TOTAL DISTURBED AREA

36.9 ACRES

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS

SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SITE.

RECEIVING WATERS WITHIN ONE MILE

NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMPAIRED WATER
UNNAMED WETLANDS	WETLAND	NO	NO
UNNAMED DITCH	DITCH	NO	NO
COUNTY DITCH NO. 44	DITCH	NO	NO
CARLOS AVEY	WETLAND	NO	NO
COON CREEK	CREEK	NO	YES

BUFFER TO SURFACE WATER

IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO THE SURFACE WATER PRESERVED?

NOTE: NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS.

TEMPORARY SEDIMENTATION BASINS

IF TEN (10) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS?

A) BECAUSE THIS SITE IS WITHIN ONE (1) MILE OF AN IMPAIRED WATER, THE REQUIREMENT BECOMES FIVE (5) ACRES. THE CONTRACTOR WILL PROVIDE TEMPORARY SEDIMENTATION BASINS IF FIVE (5) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION.

INFILTRATION FEASIBILITY

ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 16.14 THROUGH 16.21)?

A) THE SITE HAS A HIGH SEASONAL WATER TABLE SO INFILTRATION IS NOT FEASIBLE IN ALL LOCATIONS.

ADDITIONAL STORMWATER MITIGATION MEASURES

ARE THERE ANY STORMWATER MITIGATION MEASURES PER:  
+ ENVIRONMENTAL REVIEW DOCUMENT?  
+ ENDANGERED SPECIES REVIEW?  
+ ARCHAEOLOGICAL REVIEW?  
+ OTHER LOCAL, STATE OR FEDERAL REVIEW?

IF YES TO ANY OF THE ABOVE, DESCRIBE THE MITIGATION MEASURES. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. (MNN. R. 7099)

DOCUMENTATION OF TRAINED INDIVIDUALS

A. INDIVIDUAL WHO PREPARED THE SWPPP:

ADAM GINKEL  
PLOW ENGINEERING, INC.  
6776 LAKE DRIVE  
LINO LAKES MN 55014  
(651) 261-8216  
adam@plow.com

B. INDIVIDUAL(S) OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT, ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. (MNN. R. 7099)

C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPs. (MNN. R. 7099)

TBD - WHEN INFORMATION BECOMES AVAILABLE, CONTRACTOR TO PROVIDE INFORMATION TO CITY OF HAM LAKE AND C/DWD & UPDATED SWPPP ACCORDINGLY

LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER FACILITIES

THE PROPOSED STORMWATER MANAGEMENT FEATURES FOR THIS SITE INCLUDES STORMWATER PONDS - THESE WILL BE OPERATED AND MAINTAINED BY THE CITY OF HAM LAKE.

REVEGETATION SPECIFICATIONS

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED **	3876
** FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 22-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 22-131 (120 LBS/ACRE)
TEMPORARY FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRING/SUMMER SOIL-BUILDING COVER	MNDOT MIX 21-111 (100 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (20.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
HYDROMULCH	3884
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

\*\* MOW A MINIMUM OF:  
RESIDENTIAL TURF - ONCE PER 2 WEEKS  
COMMERCIAL TURF - ONCE PER 4 WEEKS  
\*\* SEEDING AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

QUANTITIES - ESTIMATED QUANTITIES FOR EROSION AND SEDIMENT CONTROL MEASURES

TYPE	QTY	UNIT
SILT FENCE		LINEAR FEET
BIO-ROLLS		EACH
RIP-RAP W. GEO-FABRIC		CUBIC YARDS
CATCH BASIN INLET PROTECTION		EACH
STABILIZED (SODDED) OVERFLOW		EACH
EROSION CONTROL BLANKET		SQUARE YARDS
SEED & MULCH (GENERAL)		ACRE
ROCK CONSTRUCTION ENTRANCE		EACH

NARRATIVE - TIMING FOR INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES

- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND SWPPP MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
- CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON PLAN.
- 2.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
- 2.2. THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION.
- 2.3. SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.
- CONTRACTOR SHALL INSTALL A ROCK CONSTRUCTION ENTRANCE AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC WILL ENTER/EXIT SITE.
- CONTRACTOR TO INSTALL TREE PROTECTION FENCING AS APPLICABLE.
- CONTRACTOR SHALL PERFORM SITE GRADING ON AN AREA-BY-AREA BASIS TO MINIMIZE UNSTABILIZED AREAS.
- 5.1. CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
- 5.2. CONTRACTOR TO PROVIDE TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN SECTION 14.1 THROUGH 14.18.
- CONTRACTOR TO SHALL PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES IN PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES PHASE II PERMIT REQUIREMENTS.
- CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING.
- CONTRACTOR TO STABILIZE SOIL STOCKPILES; STABILIZATION SHALL BE INITIATED IMMEDIATELY.
- CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY.
- COORDINATE SMALL UTILITIES INSTALLATIONS (GAS, PHONE, ELECTRIC, CABLE, FIBEROPTIC, ETC.) AFTER CURB & GUTTER INSTALLATION.

IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL APPLY FOR A MN DNR DEWATERING PERMIT AND PROVIDE WELL-FIELD LOCATIONS, RATES, DISCHARGE LOCATIONS, SCHEDULE AND QUANTITIES TO C/DWD A MINIMUM OF SEVEN (7) DAYS PRIOR TO DEWATERING OPERATIONS.

## NPDES DEFINITIONS

"BEST MANAGEMENT PRACTICES (BMPs)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF EROSION PREVENTION AND SEDIMENT CONTROL, AND WATER QUALITY MANAGEMENT PRACTICES THAT ARE THE MOST EFFECTIVE AND PRACTICABLE MEANS OF TO CONTROL, PREVENT, AND MINIMIZE DEGRADATION OF SURFACE WATER, INCLUDING AVOIDANCE OF IMPACTS, CONSTRUCTION PHASING, MINIMIZING THE LENGTH OF THE SOIL AREAS ARE EXPOSED, PROHIBITIONS, POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING, AND OTHER MANAGEMENT PRACTICES PUBLISHED BY STATE OR DESIGNATED AREA-WIDE PLANNING AGENCIES. (MNN. R. 7099)

"CONSTRUCTION ACTIVITY" MEANS ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATING, THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE ACRE, INCLUDING THE DISTURBANCE OF LESS THAN ONE ACRE OF TOTAL LAND AREA THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE IF THE LARGER COMMON PLAN WILL ULTIMATELY DISTURB EQUAL TO OR GREATER THAN ONE ACRE. THIS INCLUDES A DISTURBANCE TO THE LAND THAT RESULTS IN A CHANGE IN THE TOPOGRAPHY, EXISTING SOIL COVER, BOTH VEGETATIVE AND NONVEGETATIVE, OR THE EXISTING SOIL TOPOGRAPHY THAT MAY RESULT IN ACCELERATED STORMWATER RUNOFF THAT MAY LEAD TO SOIL EROSION AND MOVEMENT OF SEDIMENT. CONSTRUCTION ACTIVITY DOES NOT INCLUDE A DISTURBANCE TO THE LAND OF LESS THAN FIVE ACRES FOR THE PURPOSE OF ROUTINE MAINTENANCE PERFORMED TO MAINTAIN THE ORIGINAL LINE AND GRADE, HYDRAULIC CAPACITY, AND ORIGINAL PURPOSE OF THE FACILITY. ROUTINE MAINTENANCE DOES NOT INCLUDE ACTIVITIES SUCH AS REPAIRS, REPLACEMENT AND OTHER TYPES OF NON-ROUTINE MAINTENANCE, PAVEMENT REHABILITATION THAT DOES NOT DISTURB THE UNDERLYING SOILS (E.G., MILL AND OVERLAY PROJECTS) IS NOT CONSTRUCTION ACTIVITY. (MNN. R. 7099)

"DEWATERING" MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY AND/OR SOLIDIFY A CONSTRUCTION SITE TO ENABLE CONSTRUCTION ACTIVITY. DEWATERING MAY REQUIRE A MINNESOTA DEPARTMENT OF NATURAL RESOURCES WATER APPROPRIATION PERMIT AND, IF DEWATERING WATER IS CONTAMINATED, DISCHARGE OF SUCH WATER MAY REQUIRE AN INDIVIDUAL MPCA NPDES/DSDS PERMIT. (MNN. R. 7099)

"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING. (MNN. R. 7099)

"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS, WHERE THE CONSTRUCTION PROJECT INVOLVES MORE THAN ONE CONTRACTOR, THE GENERAL CONTRACTOR IS THE PARTY RESPONSIBLE FOR MANAGING THE ENTIRE PROJECT ON BEHALF OF THE OWNER. IN SOME CASES, THE OWNER IS THE GENERAL CONTRACTOR. IN THESE CASES, THE OWNER SIGNS THE PERMIT APPLICATION AS THE OPERATOR AND BECOMES THE SOLE PERMITTEE. (MNN. R. 7099)

"GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER UNDER CONFINED, UNCONFINED, OR PERCHED CONDITIONS, IN NEAR SURFACE UNCONSOLIDATED SEDIMENT OR REGOLITH, OR IN ROCK FORMATIONS DEEPER UNDERGROUND. (MNN. R. 7099)

"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE. (MNN. R. 7099)

"INFEASIBLE" MEANS NOT TECHNOLOGICALLY POSSIBLE OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. (MNN. R. 7099)

"INITIATED IMMEDIATELY" MEANS TAKING AN ACTION TO COMMENCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHEN THE LAND-DISTURBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE, IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PORTION OF THE SITE WILL BE TEMPORARILY CEASED FOR 14 OR MORE ADDITIONAL CALENDAR DAYS OR 7 CALENDAR DAYS WHERE ITEM 23.9 APPLIES. PERMITTEES CAN INITIATE STABILIZATION BY:  
A. PREPPING THE SOIL FOR VEGETATIVE OR NON-VEGETATIVE STABILIZATION; OR  
B. APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT TO THE EXPOSED SOIL AREA; OR  
C. SEEDING OR PLANTING THE EXPOSED AREA; OR  
D. STARTING ANY OF THE ACTIVITIES IN A, C OR ON A PORTION OF THE AREA TO BE STABILIZED, BUT NOT ON THE ENTIRE AREA; OR  
E. FINALIZING ARRANGEMENTS TO HAVE STABILIZATION PRODUCT FULLY INSTALLED IN COMPLIANCE WITH THE APPLICABLE.  
DEADLINE FOR COMPLETING STABILIZATION. (MNN. R. 7099)

"IMPERVIOUS SURFACE" MEANS A CONSTRUCTED HARD SURFACE THAT EITHER PREVENTS OR RETARDS THE ENTRY OF WATER INTO THE SOIL AND CAUSES WATER TO RUN OFF THE SURFACE IN GREATER QUANTITIES AND AT AN INCREASED RATE OF FLOW THAN PRIOR TO DEVELOPMENT, EXAMPLES INCLUDE ROOFTOPS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, AND CONCRETE, ASPHALT, OR GRAVEL ROADS. BRIDGES OVER SURFACE WATERS ARE CONSIDERED IMPERVIOUS SURFACES. (MNN. R. 7099)

"NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, TERMINATING, MONITORING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT, AS AMENDED (33 U.S.C. 1261 ET SEQ. SECTION 1342 AND 40 CFR PARTS 122, 123, 124 AND 480). (MNN. R. 7099)

"NATURAL BUFFER" MEANS AN AREA OF UNDISTURBED COVER SURROUNDING SURFACE WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED. NATURAL BUFFER INCLUDES THE VEGETATION, EXPOSED ROCK, OR BARREN GROUND THAT EXISTS PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES. (MNN. R. 7099)

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT. (MNN. R. 7099)

"OPERATOR" MEANS THE PERSON (USUALLY THE GENERAL CONTRACTOR), FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY DESIGNATED BY THE OWNER WHO HAS DAY TO DAY OPERATIONAL CONTROL, AND/OR THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SWPPP. THE PERMIT APPLICATION MUST LIST THE OPERATOR AS A PERMITTEE. SUBCONTRACTORS HIRED BY AND UNDER SUPERVISION OF THE GENERAL CONTRACTOR ARE NOT OPERATORS. (MNN. R. 7099)

"OWNER" MEANS THE PERSON, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY POSSESSING THE TITLE OF THE LAND ON WHICH THE CONSTRUCTION ACTIVITIES WILL OCCUR OR, IF THE CONSTRUCTION ACTIVITY IS FOR A LEASE, EASEMENT, OR MINERAL RIGHTS LICENSE HOLDER, THE PARTY OR INDIVIDUAL IDENTIFIED AS THE LEASE, EASEMENT OR MINERAL RIGHTS LICENSE HOLDER; OR THE CONTRACTING GOVERNMENT AGENCY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY. (MNN. R. 7099)

"PERMANENT COVER" MEANS SURFACE TYPES THAT WILL PREVENT SOIL FAILURE UNDER EROSION CONDITIONS. EXAMPLES INCLUDE: GRAVEL, CONCRETE, PERENNIAL COVER, OR OTHER LANDSCAPED MATERIAL THAT WILL PERMANENTLY ARREST SOIL EROSION. PERMITTEES MUST ESTABLISH A UNIFORM PERENNIAL VEGETATIVE COVER (I.E. EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) WITH A DENSITY OF 70 PERCENT OF THE NATIVE BACKGROUND VEGETATIVE COVER ON ALL AREAS NOT COVERED BY PERMANENT STRUCTURES, OR EQUIVALENT PERMANENT STABILIZATION MEASURES. PERMANENT COVER DOES NOT INCLUDE TEMPORARY BMPs SUCH AS WOOD FIBER BLANKET, MULCH, AND ROLLED EROSION CONTROL PRODUCTS. (MNN. R. 7099)

"PERMITTEES" MEANS THE PERSONS, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY IDENTIFIED AS THE OWNER AND OPERATOR ON THE APPLICATION SUBMITTED TO THE MPCA AND ARE RESPONSIBLE FOR COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. (MNN. R. 7099)

"PROJECT(S)" MEANS ALL CONSTRUCTION ACTIVITY PLANNED AND/OR CONDUCTED UNDER A PARTICULAR PERMIT. THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PERMIT APPLICATION, THE SWPPP AND IN THE ASSOCIATED PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS. (MNN. R. 7099)

"SURFACE WATERS" MEANS ALL WATER BASINS AND WATERCOURSES DESCRIBED IN MN. STAT. SECT. 105.05 SUBP. 15. (MNN. R. 7099)

"SEDIMENT CONTROL" MEANS METHODS EMPLOYED TO PREVENT SUSPENDED SEDIMENT IN STORMWATER FROM LEAVING THE SITE (E.G. SILT FENCES, COMPOST LOGS AND STORM DRAIN INLET PROTECTIONS). (MNN. R. 7099)

"STABILIZE," "STABILIZED," "STABILIZATION" MEANS THE EXPOSED GROUND SURFACE HAS BEEN COVERED BY APPROPRIATE MATERIALS SUCH AS MULCH, STAKED RIPRAP, EROSION CONTROL BLANKET, MATS OR OTHER MATERIAL THAT PREVENTS EROSION FROM OCCURRING. GRASS SEEDING, AGRICULTURAL CROP SEEDING OR OTHER SEEDING ALONE IS NOT STABILIZATION. MULCH MATERIALS MUST ACHIEVE APPROXIMATELY 90 PERCENT GROUND COVERAGE (TYPICALLY 2 TON/ACRE). (MNN. R. 7099)

"STORMWATER" MEANS PRECIPITATION RUNOFF, STORMWATER RUNOFF, SNOWMELT RUNOFF, AND ANY OTHER SURFACE RUNOFF AND DRAINAGE. (MNN. R. 7099)

"STEEP SLOPES" MEANS SLOPES THAT ARE 1:3 (V:H) (33 PERCENT) OR STEEPER IN GRADE. (MNN. R. 7099)

"STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" MEANS A PLAN FOR STORMWATER DISCHARGE THAT INCLUDES ALL REQUIRED CONTENT UNDER IN SECTION 8 THAT DESCRIBES THE EROSION PREVENTION, SEDIMENT CONTROL, AND WASTE CONTROL BMPs AND PERMANENT STORMWATER TREATMENT SYSTEMS. (MNN. R. 7099)

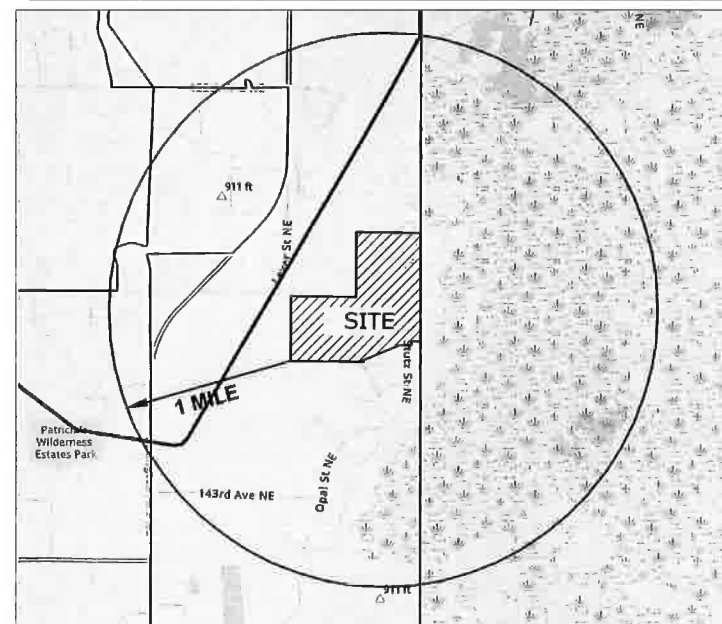
"SURFACE WATER OR WATERS" MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WETLANDS, RESERVOIRS, SPRINGS, RIVERS, DRAINAGE SYSTEMS, WATERWAYS, WATERCOURSES, AND IRRIGATION SYSTEMS WHETHER NATURAL OR PUBLIC OR PRIVATE. EXCEPT THAT SURFACE WATERS DO NOT INCLUDE STORMWATER TREATMENT SYSTEMS CONSTRUCTED FROM UPLAND. THIS PERMIT DOES NOT CONSIDER STORMWATER TREATMENT SYSTEMS CONSTRUCTED IN WETLANDS AND MITIGATED IN ACCORDANCE WITH SECTION 22 AS SURFACE WATERS. (MNN. R. 7099)

"WATERS OF THE STATE" (AS DEFINED IN MN. STAT. SECT. 116.01, SUBP. 22) MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WATERCOURSES, WATERWAYS, WELLS, SPRINGS, RESERVOIRS, AQUEDUCS, IRRIGATION SYSTEMS, DRAINAGE SYSTEMS AND ALL OTHER BODIES OR ACCUMULATIONS OF WATER, SURFACE OR UNDERGROUND, NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, WHICH ARE CONTAINED WITHIN, FLOW THROUGH, OR BORDER UPON THE STATE OR ANY PORTION THEREOF. (MNN. STAT. 116.01, SUBP. 22)

"WATER QUALITY VOLUME" MEANS ONE (1) INCH OF RUNOFF FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT (CALCULATED AS AN INSTANTANEOUS VOLUME). (MNN. R. 7099)

"WETLANDS" (AS DEFINED IN MN. STAT. SECT. 70B.016, SUBP. 1A.1) MEANS THOSE AREAS THAT ARE INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT, AND UNDER NORMAL CIRCUMSTANCES DO SUPPORT, A PREVALENCE OF VEGETATION TYPICALLY ADAPTED FOR LIFE IN SATURATED SOIL CONDITIONS. WETLANDS GENERALLY INCLUDE SWAMPS, MARSHES, BOGS, AND SIMILAR AREAS. CONSTRUCTED WETLANDS DESIGNED FOR WASTEWATER TREATMENT ARE NOT WATERS OF THE STATE. WETLANDS MUST HAVE THE FOLLOWING ATTRIBUTES:  
1. A PREDOMINANCE OF HYDRIC SOILS; AND  
2. INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT A PREVALENCE OF HYDROPHYTIC VEGETATION TYPICALLY ADAPTED FOR LIFE IN A SATURATED SOIL CONDITION; AND  
3. UNDER NORMAL CIRCUMSTANCES SUPPORT A PREVALENCE OF SUCH VEGETATION. (MNN. R. 70B.016, SUBP. 1A.1)

## MAP OF SURFACE WATERS



COON CREEK IS IDENTIFIED AS AN IMPAIRED WATER AND HAS AN EPA APPROVED IMPAIRMENT OF BENTHIC MACROINVERTEBRATE BIOASSESSMENTS AND E. COLI. BECAUSE OF THIS, ADDITIONAL BMP REQUIREMENTS ARE REQUIRED:

23.9: PERMITTEES MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.

23.10: PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN AS DESCRIBED IN SECTION 14 FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE TIME.



PLOW ENGINEERING, INC.  
6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 261-8210  
FAX: (651) 261-4701

DRAWN BY: CHECK BY:  
AG CWP

JOB NO: DATE:  
22-2043 02/16/23

REV.	DATE	DESCRIPTION
1	4-11-23	RFC & C/DWD COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

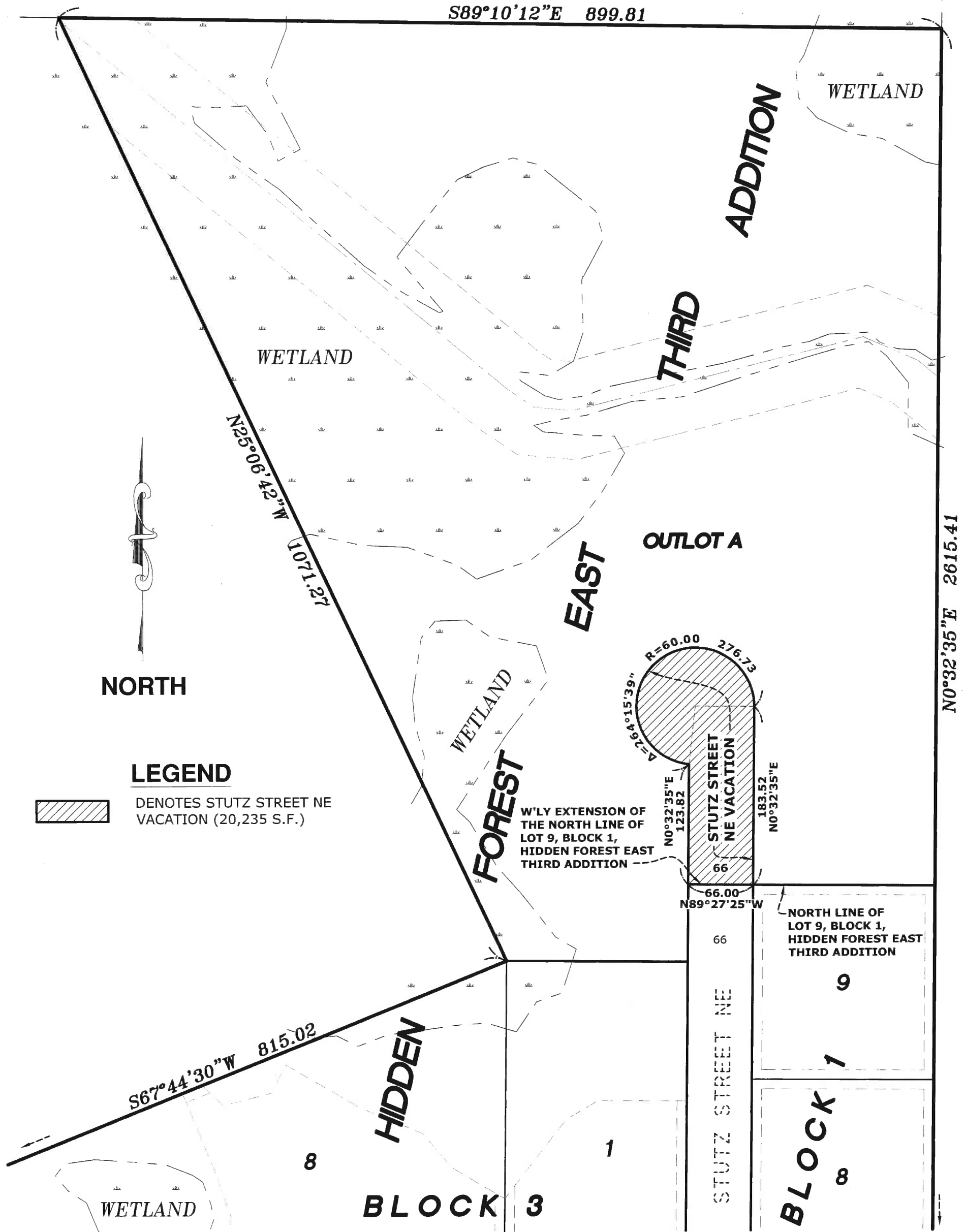
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE CARE OF THE STATE OF MINNESOTA.  
ADAM GINKEL  
Date: 05.10.2023 License No. 43383

HIDDEN FOREST EAST FOURTH ADDITION  
CITY OF HAM LAKE, MINNESOTA  
SWPPP  
PREPARED FOR: HFN PROPERTIES, LLC

SHEET  
**C3.2**

# SKETCH AND DESCRIPTION

~for~ HIDDEN FOREST EAST FOURTH ADDITON  
 ~of~ STUTZ STREET NE VACATION



NORTH

## LEGEND



DENOTES STUTZ STREET NE VACATION (20,235 S.F.)

W'LY EXTENSION OF THE NORTH LINE OF LOT 9, BLOCK 1, HIDDEN FOREST EAST THIRD ADDITION

NORTH LINE OF LOT 9, BLOCK 1, HIDDEN FOREST EAST THIRD ADDITION

## STUTZ STREET NE - VACATION DESCRIPTION

That part of Stutz Street as dedicated on the recorded plat of HIDDEN FOREST EAST THIRD ADDITION, Anoka County, Minnesota, which lies north of the westerly extension of the northerly line of Lot 9, Block 1, HIDDEN FOREST EAST THIRD ADDITION.

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

By:   
 Minnesota License No. 41578

Dated 31st day of July 2023.

DATUM: COUNTY

JOB NO. 210452PP

### REVISIONS

NO.	DATE	DESCRIPTION	BY
1			
2			
3			

SCALE: 1" = 100'

DATE: 07-31-23

DRAWN BY: JEN

CREW: TBD



**E. G. RUD & SONS, INC.**

Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrud.com

**PERMIT**  
**COON CREEK WATERSHED DISTRICT**  
13632 Van Buren St NE  
Ham Lake, MN 55304  
Permit Number: 2330

**Project:** Hidden Forest East Fourth Addition

**Issued to:** HFN Properties, LLC  
17404 Ward Lake Dr  
Anoka MN 55304

**Location:** Stutz St NE and 149th Ave NE  
Ham Lake, MN 55304

**Permit Application #:** P-23-023

**Purpose:** Construction of a 22-lot single family home development with associated stormwater features, streets, and utilities

At its meeting on 4/24/2023, the Board of Managers of the Coon Creek Watershed District reviewed and approved your permit application. The following exhibits are on file describing the approved project:

1. Civil Plans (12 sheets); by Plowe, dated 05/16/2023, received 05/16/2023.
2. Grading Plans (5 sheets); by Plowe, dated 05/16/2023, received 05/16/2023.
3. Stormwater Management Plan; by Plowe, dated 05/16/2023, received 05/16/2023.
4. Response Letter; by Plowe, dated 05/16/2023, received 05/16/2023.
5. Storm Sewer Sizing; by Plowe, dated 4/11/2023, received 4/11/2023.
6. Permit application, by Applicant, dated 2/02/2023, received 2/14/2023.
7. County Ditch Culvert Sizing, by Plowe, dated 2/1/2023, received 2/17/2023.
8. Geotechnical Report, by Braun Intertec, dated 12/08/2022, received 2/14/2023.
9. Soil Borings, by Tradewell Soil testing, dated 12/23/2022, 10/16,2020, 10/32022, received 2/14/2023.
10. High Water Level Memo, by Braun Intertec, dated 1/06/2023, received 2/14/2023.
11. Updated Water Level Reading, by Braun Intertec, dated 2/16/2023, received 3/17/2023.

The Board of Managers found the project as planned to be in accordance with the Rules and Regulations, and Guidelines of the District, and therefore, approved the permit with 3 stipulations.

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Table 2, including volume, critical elevations, and proof of installation for hydrodynamic separators.
2. If dewatering is required, provide DNR dewatering permit prior to construction. If a DNR permit is not required, provide well-field location, rates, discharge location, schedule and quantities prior to construction.
3. Submittal of as-built (invert, pipe material, pipe size) for culvert installation within County Ditch 44-5.

A follow up inspection will be conducted at the project site to assure compliance with all stipulations to this Permit. Failure to comply with the foregoing may result in rescission of the Permit, and is a violation of Minnesota Statutes section 103D.545, a misdemeanor.

This document is not transferable.

Date of Issuance: 7/25/2023

Date of Expiration: 7/25/2024

  
Jim Hafner, President of the Board of Managers

cc: File- P23-023  
Tom Collins, Ham Lake  
Eileen Weigel, Stantec  
Danielle Tourtillott, Stantec

**\*\*\*IMPORTANT PERMIT REQUIREMENTS OUTLINED ON REVERSE\*\*\***



**GENERAL PERMIT STIPULATIONS:**

1. The permittee must maintain the project authorized by this permit in good condition and in conformance with the terms and conditions of this permit.
2. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the District for inspection of the work authorized hereunder.
3. The permittee shall utilize best management practices on the project site to minimize the potential for adverse impacts associated with erosion and sedimentation.
4. This permit applies only to the permitted project and the dated plans approved on this permit. If the design, location or purpose of the project changes you should contact the District to make sure the changes would not violate District Rules or applicable state law.
5. Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project, stating the reason thereof, upon written request to the District.
6. The District may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
  - a. You fail to comply with the terms and conditions of this permit.
  - b. The information provided by you or in support of your permit application proves to have been false, incomplete, or inaccurate.
  - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
7. Permittee shall ensure that the contractor has received and thoroughly understands all conditions of this permit.

**ADDITIONAL WETLAND-RELATED PERMIT CONDITIONS:**

The following additional terms and conditions apply to replacement wetland(s) approved as part of this permit.

1. The replacement wetland approved as part of this permit must be constructed concurrent with or prior to any wetland fill or draining activity; or the District has received and accepted an irrevocable bank letter of credit, a performance bond, or other security acceptable to the District in an amount sufficient to guarantee the successful completion of the wetland replacement as provided under Minn. Rules 8420.0530 (B)(2), as amended.
2. The Notice of Use Restrictions and Maintenance Responsibilities specified in Minn. Rules 8420.0530(D)(6), as amended, must be recorded and proof of recording provided to the District within 30 days of completing construction of the replacement wetland (completion of construction as determined by the District).
3. The permittee each year for five years following completion of the replacement wetland must submit to the District a Monitoring Report on the replacement wetland, which Report includes the information specified in Minn. Rules 8420.0620, as amended. The Report must be submitted to the District no later than October 1 of each year.

**THIS CERTIFICATION ONLY APPLIES TO THE WCA OF 1991, AS AMENDED.** Permits from local, state, and federal agencies may be required. Check with the appropriate authorities before commencing work in or near wetlands. The Combined Project Notification form can be used for this purpose.

**REFUNDING OF ESCROWS:** Upon completion of the project the applicant shall notify the District that:

1. The project is complete
2. The site is stabilized
3. The project is ready for final inspection
4. All stipulations listed on this permit have been fulfilled
5. If applicable, the applicant would like return of its escrow

Upon receipt of such notification the District will inspect the project for conformance with the permit conditions and requirements, permitted plans and water resources associated with the implementation of those plans resulting from construction. If the District determines the project is not complete and/or not stabilized the District will inform the applicant in writing. If the District determines the site is complete and stabilized, the permit conditions and requirements have been satisfied, the District will execute the appropriate refund at its next regularly scheduled meeting where the Board pays bills (typically the second Monday of each month).

Escrow refunds will be calculated as follows and shown on the refund check

1. Amount of escrow balance paid in cash;
2. Minus any permit review and/or inspection fees
3. Minus any other project-related expenses incurred by the District.