

CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, JULY 25, 2022

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: July 11, 2022

PUBLIC HEARING: None

NEW BUSINESS:

1. Kris Daniels, Happy Beans, LLC, requesting Commercial Site Plan approval to construct Scooter's Coffee, a 664 square foot drive-thru retail coffee shop, at 16310 Highway 65 NE

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, JULY 11, 2022

The Ham Lake Planning Commission met for its regular meeting on Monday, July 11, 2022 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Chair Brian Pogalz and Commissioners Dave Ringler, Kyle Lejonvarn, Scott Heaton, Jeff Entsminger and Erin Dixson

MEMBERS ABSENT: Commissioner Jonathan Fisher

OTHERS PRESENT: City Engineer, Dave Krugler and Building and Zoning Clerk, Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Lejonvarn, seconded by Ringler, to approve the minutes of the June 27, 2022 Planning Commission meeting as written. All present in favor, motion carried.

PUBLIC HEARING: None

NEW BUSINESS:

Richard and Diane Sylvester requesting Sketch Plan approval for Toby's Trails (7 single family residential lots) located in Section 15.

Mr. and Mrs. Richard Sylvester were present. Mr. Matt Davich from E.G. Rud & Sons land surveying company spoke on behalf of Mr. & Mrs. Sylvester and stated Mr. & Mrs. Sylvester's children would like to build new homes so they are subdividing the land for this reason. Mr. Davich stated there will be seven lots in the subdivision; the existing home will remain on one lot. Commissioner Heaton asked if the Sylvester's will be paving part of Naples Street NE and one driveway. Mr. Davich stated they would be paving a portion of Naples Street NE and he was informed that the driveway of Lot 1 would need to be paved if the residents requested any building permits in the future. Mr. Sylvester stated he has been obtaining estimates for the paving of Naples Street NE; he may pave at least some of the driveway if feasible. Commissioner Lejonvarn asked if the existing accessory building was used for business purposes or storage. Mr.

Sylvester stated it is used for storage. Chair Pogalz asked Engineer Krugler to comment on the plat. Engineer Krugler stated the plat consists of seven lots. Engineer Krugler stated currently the property has two zoning districts within it, R-A, Rural Single Family Residential and R-1, Single Family Residential; the entire plat will be zoned R-1 following final plat approval. Engineer Krugler stated Naples Street NE will need to be upgraded and paved to the southeast corner of the plat. Engineer Krugler stated Naples Street NE is a municipal state aid street and the street design must meet MnDOT state aid standards for a 9-ton structural capacity roadway. Engineer Krugler stated the existing street right-of-way is wide enough to accommodate a bike lane; easements were obtained north of Constance Boulevard NE from previously approved plats so no bike path easement along Constance Boulevard NE is warranted. Engineer Krugler stated input from the Anoka County Highway Department will determine if the proposed driveway access for Lots 3-7 will be permitted. Engineer Krugler stated the southerly portion of Lot 7 is designated as FEMA Zone A; no construction will be permitted in that area. **Motion by Pogalz, seconded by Lejonvarn, to recommend approval of the Toby's Trails Sketch Plan presented by Richard and Diane Sylvester for a 7-lot single family residential plat located in Section 15 subject to paving Naples Street NE to meet MnDOT state aid standards for a 9-ton structural capacity roadway to the SE Corner of Lot 1, accepting monies in lieu of parkland with credit given for bike lane construction costs, completing a compliance inspection on the existing septic system on Lot 1, receiving approval from the City Council to allow the existing 3,200 square foot accessory building to remain on the property, obtaining approval from the Anoka County Highway Department for (5) driveway accesses onto Constance Boulevard NE, obtaining Coon Creek Watershed approval, meeting the requirements of the City Engineer and meeting all City, State and County requirements. All present in favor, motion carried. This item will be placed on the July 18, 2022 City Council Agenda.**

COMMISSION BUSINESS:

City Council Update

A commissioner was not present at the July 5, 2022 City Council meeting; no update was given. A Planning Commissioner will not be present at the July 18, 2022 City Council meeting.

ADJOURNMENT:

Motion by Heaton, seconded by Dixon, to adjourn the Planning Commission meeting at 6:09 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: 7/25/2022

INSPECTION ISSUED TO: Brian Pogalz

APPLICANT/CONTACT: Kris Daniels

TELEPHONE NUMBER: 612-803-1044 or krisgdaniels@gmail.com

BUSINESS/PLAT NAME: Scoter's Coffee

ADDRESS/LOCATION OF INSPECTION: 16310 Highway 65 NE

APPLICATION FOR: Commercial Site Plan/Building Permit

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 06/10/2022

Date of Receipt 6-22-22

Receipt # 93134

Meeting Appearance Dates:

Planning Commission 7-25-22 City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Site
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Scooter's Coffee

Address/Location of property: 16310 Hwy 65 NE

Legal Description of property: Northeast Quarter of the Northwest Quarter, Section 17, Township 32, Range 23, Anoka County

PIN # 17-32-23-21-0006 Current Zoning CD-1 Proposed Zoning CD-1

Notes: Drive-thru retail coffee shop
Demo existing building, construct new

Applicant's Name: Krisandra Lippert/Kris Daniels

Business Name: ~~Scooter's Coffee~~ (HAPPY BEANS) HAPPY BEANS, LLC

Address 675 Edith Ave

City Mahomet State MN Zip Code 55115

Phone 210.818.5293 Cell Phone *KRIS: 612 803-1044 Fax _____

Email address krisandra.lippert@scooterscoffee.com, krisgdaniels@gmail.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE K. Daniels DATE 6-20-22

- FOR STAFF USE ONLY -

Property Taxes Pd - Yes



July 9th, 2022

City of Ham Lake
15544 Central Ave NE
Ham Lake, MN 55304
Attn: Jennifer Bohr

Re: Scooters Coffee Site Plan Review

Dear Ms. Bohr;

Please accept this cover letter as an introduction and accompaniment to the full set of civil plans for Scooters Coffee.

Scooters is very excited to be working with the City of Ham Lake, and we are looking forward to building a long-term relationship there, while becoming part of the local community.

Scooter's Coffee was founded in the Omaha area in 1998 and is rapidly growing. In 2021 (139) new stores opened, and this year we have had several open already, making us on our way to exceeding last year's growth. To date we have 350+ stores open and operating...the Owners Don & Linda Eckel are still involved with the company, ensuring that we remain a loyal and committed privately held company where everyone is considered family.

Scooter's Coffee is relatively new to Minnesota with operating in Maplewood, Rochester, Litchfield and St. Cloud with several more in design in Sartell, Cambridge, Waconia, Brooklyn Park, Blaine, and here in Ham Lake of course.

We are a drive-thru concept serving specialty coffee drinks, real-fruit smoothies, power drinks and breakfast food, including hand-made from scratch cinnamon rolls in their facility in Omaha. And we work directly with the growers to single source only the 10% highest quality coffee beans available anywhere in the world!

Scooters roots are set in the drive-thru model, with no interior seating, patio, or public access. This not only helps with quality and speed, but it reduces waste and provides a cleaner site environment as well.

Our motto is "Amazing People, Amazing Drinks, Amazingly Fast". We are all about positive interactions with our customers, with a major focus on moving them through our line as fast as possible.

Customer service and sharing smiles is our priority and this, along with speed is what drives us, ever striving to grow and improve while maintaining the consistency our customers expect.



The maximum number of employees working at one time is a maximum of 4-5. The 7 parking stalls shown is enough for the employees to park and also change shifts and is a standard for Scooter's. Shift changes occur at different times for each employee.

Site/Building Data:

This model is approx. 670 sq ft and serves pre-packaged breakfast items so there is no hood, gas, or dish machine; it also has no fire alarm or sprinklers.

The general scope for this project includes demolition of the existing structure, work on the existing septic and well systems, excavating/earthwork, construction of the building, employee only parking, trash enclosure, and landscaping.

Project scheduling is contingent upon city approvals, but we allow an approximate (16) week construction schedule and two weeks for training & stocking.

Again, Scooters is grateful for the opportunity to join you there in Ham Lake as we look forward to a working with you throughout the project.

Sincerely,

Krisandra Lippert

Krisandra Lippert
Development Project Manager
Scooters Coffee, Inc
210.818.5293
krisandra.lippert@scooterscoffee.com



SCOOTER'S COFFEE: COMPANY PROFILE

THE SCOOTER'S COFFEE STORY

It all started in 1998 with one small coffee drive-thru. While living in California, co-founders Don and Linda Eckles witnessed the development of the specialty coffee industry and the drive-thru coffee model. They decided to fuse the two concepts together and bring the idea back to their home state of Nebraska.

The Eckles opened the first Scooter's Coffee in Bellevue, Nebraska, on March 23, 1998. On that blustery morning, Linda Eckles flashed her signature smile, opened the drive-thru window and served the very first cup of world-class Scooter's Coffee. The instant warmth from the friendly conversation, the unique smiley face stickers and the freshly brewed coffee kept the customers coming back for more.

Today, you can visit one of our many stores located across the country, and you will still feel the spirit of that very first store in every single sip! The roots of the company remain at our headquarters in Omaha, where we roast only the top beans from across the world and bake from scratch our signature cinnamon rolls and pastries.

OUR MISSION

Our mantra is "Amazing People ...Amazing Drinks... Amazingly Fast!"® and reflects a steady commitment to providing an unforgettable experience for our customers.

OUR STORES

The Scooter's Coffee "drive- thru kiosk" model is the original business model of the company and remains at the core of our brand. However, we have also experienced success with our drive-thru coffeehouses, where it serves as a gathering place for our customers to enjoy quality coffee, impeccable service and a welcoming atmosphere.

We are in states such as Texas, Florida, Iowa, Illinois, Kansas, Oklahoma, Colorado, Missouri, Utah, New Mexico and more. We are currently moving into Wisconsin, Minnesota and the Dakota's - to date we have 346 stores open and operating, with more coming every month!



SCOOTER'S COFFEE: OUR PRODUCTS

Scooter's Coffee offers a vast range of incomparable products that our customers can enjoy in stores, at home and on-the-go.

Coffee: We pride ourselves on crafting world-class coffee. We roast from only the top 10% of the coffee beans in the world and the result is a rich, smooth, delicious, "warm your heart and make you feel good" cup of coffee.

COFFEE	FLAVOR PROFILE
Scooter's Blend	Medium roast, rich, smooth flavor, easy finish
Ethiopian Select	Bold roast, smooth, full body, floral notes
Guatemala Finca Especial	Bold roast, slightly sweet, smokey flavor
Columbia Decaf	Medium roast, full body, rich, creamy
Scooter Doodle	Medium roast, cinnamon and hazelnut flavor
Hazelnut	Medium roast, hazelnut flavor
Caribbean Caramel (seasonal)	Medium roast, caramel and chocolate flavor
Pumpkin Spice (seasonal)	Medium roast, pumpkin and spice flavor

Specialty Drinks: Hot, iced and blended espresso beverages, real fruit smoothies, "power" smoothies, tea and more! Our signature drink is the Caramelicious®, a caramel-based latté that is drizzled in sweet, caramel syrup and topped with homemade whipped cream. Other customer favorites include the Red Bull Vertigo Smoothie and Candy Bar lattes.

Fresh-Baked Pastries: Muffins, cinnamon rolls, scones, cookies, breads and more... all baked with extra love at the Scooter's Coffee bakery located at our Omaha headquarters.

On-the-Go Food: Breakfast burritos, breakfast sandwiches and healthy oatmeal.

Retail Products: Whole bean and ground coffee, single serve Cups (compatible with Keurig® K-Cup® Machines), Espresso Meltaways (our branded chocolate line), gift cards, mugs, tumblers, etc. We have also recently introduced ready-to-drink cold brew cans with flavors including Scooter Doodle, Guatemala, and Costa Rica Micro Mill.

THE STORY BEHIND THE SMILE

In 1998, Linda Eckles bought happy face stickers at a local store and began placing them on every drink she sold. Customers loved the added touch so much that they often commented on how it made their day a little more special. In 2010, we commissioned a children's book illustrator to create Scooter's Coffee's very own "happy face family." The stickers continue to represent our commitment that you will always walk (or drive) out of a Scooter's Coffee with a world-class cup of coffee and a smile on your face!



Memorandum

Date: July 20, 2022
To: Planning Commissioners
From: Tom Collins, City Engineer **TPC**
Subject: Scooter's Coffee

Introduction:

The proposed 664 square foot building is located on the 0.71-acre (including Constance Boulevard NE right-of-way) 16310 Highway 65 parcel (<https://gis.anokacountymn.gov/propertysearch/?find=17-32-23-21-0006>). The existing Red Ox Cafe is proposed to be removed. The net acreage, excluding right-of-way, is 0.55 acres. The parcel is zoned Commercial Development Tier 1 (CD-1). A 60-scale aerial photo, 300-scale zoning map and 400-scale half-section map are attached.

Discussion:

The Cover Sheet, Existing Condition, Demolition Plan, Site Overview, Site Dimensional & Paving Plan, Grading Plan, Utility Plan, Site Stabilization Plan, Construction Details, Landscape Plan, Landscape Notes & Details and ALTA Survey, received July 13th, address the prior review comments. The existing Red Ox Cafe parking lot is connected to Victory Auto Service & Glass to the north at the 16326 Highway 65 parcel. Per the attached City Attorney Murphy email, the connected parking lots can be allowed as a legal nonconformity.

The proposal is to utilize both the existing well and septic system. Per the attached Drinking Water Laboratory Test Report, the arsenic level in the well exceeds allowable maximum contamination levels. Arsenic treatment is required, and may result in additional water usage and flow to the septic system. A compliance inspection is required for the existing septic system. Building Official Jones does recommend conditional approval of the Site Plan, conditioned on receipt of a compliance inspection showing that the septic is sized to meet all needs including any water treatment for arsenic, iron or other treatment needs. This needs to be completed prior to consideration of the issuance of a building permit.

There is direct stormwater discharge to Highway 65 right-of-way. The rate of discharge is reduced from existing conditions. Per the attached MnDOT review, a drainage permit application is required. Although an application was submitted, per the attached July 14th E. Buck Craig email it was incomplete and rejected. A subsequent application is required, along with the issuance of a drainage permit.

The proposed access to the parcel is off of Constance Boulevard, which is under the jurisdiction of Anoka County. Scooter's Coffee has been working with the Anoka County Highway Department (ACHD) on plan development. Based on the attached Brandon Ulvenes email, dated July 19th, concrete curb and gutter will likely be required along Constance Boulevard along with a concrete flume. Official comments from the ACHD are pending. A County right-of-way permit will need to be obtained prior to construction. Per the attached Sarah Montan email, a Coon Creek Watershed District permit is not required.

Although the existing and proposed accesses are from Constance Boulevard, the existing address is 16310 Highway 65. It is recommended that the address be revised to Constance Boulevard, with an address assigned by the Building Official.

Recommendation:

It is recommended that Scooter's Coffee plans be recommended for approval. Approval is contingent on the following:

- Receipt of a compliance inspection, to the approval of the Building Official, showing that the septic is sized to meet all needs including any water treatment for arsenic, iron or other treatment needs.
- The issuance of a MnDOT drainage permit.
- The issuance of a County right-of-way permit.

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS FOR SCOOTER'S COFFEE

16310 HYW 65 NE
HAM LAKE, MN
PLANS PREPARED FOR

SCOOTER'S COFFEE



ZONING CLASSIFICATION
COMMERCIAL DEVELOPMENT TIER 1 (CD-1)

DESCRIPTION OF PROPERTY SURVEYED
(Per Exhibit A of Stewart Title Guaranty Company, Commitment No. 22000030862, Dated May 11, 2022)

That part of the Northeast Quarter of the Northwest Quarter, Section 17, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the intersection of the Westerly right-of-way line of State Trunk Highway No. 65 and the South line of said Northeast Quarter of the Northwest Quarter; thence West along the South line of said Northeast Quarter of the Northwest Quarter a distance of 210 feet; thence North and parallel with the East line of the Northeast Quarter of the Northwest Quarter a distance of 150 feet; thence East and parallel with the South line of said Northeast Quarter of the Northwest Quarter to a point on the Westerly right-of-way line of State Trunk Highway No. 65; thence Southerly to the point of beginning.

BENCHMARKS

REFERENCE BENCHMARK:
BENCHMARK 1 = MNDOT 6812 STATION #762
MNDOT NAME/ENG NAME: CARY MNDT AZ MK
NORTHING: 183231.94 EASTING: 608194.110 ELEVATION: 912.47 NAVD83
LOCATION: IN HAM LAKE, 3.0 MILES SOUTH ALONG TRUNK HIGHWAY 65 FROM THE JUNCTION OF TRUNK HIGHWAY 65 AND COUNTY ROAD 18 IN HAM LAKE, THEN 0.05 MILE WEST ON COUNTY ROAD 60, THEN 0.15 MILE SOUTH ON CENTRAL AVENUE NORTHWEST, AT TRUNK HIGHWAY 65 MILE POINT 20.6 WEST OF SOUTHBOUND TRUNK HIGHWAY 65, 30.0 FEET EAST OF CENTRAL AVENUE NORTHWEST, 80.0 FEET EAST-SOUTHEAST OF A POWER POLE, 2.5 FEET WEST OF A WITNESS POST.

BEARINGS REFERENCED TO THE ANOKA COUNTY COORDINATES, NAVD83 (1996 ADJUSTMENT)
VERTICAL DATUM = NAVD83

SCALE: 1" = 100'

- REQUIRED SUBMITTALS FOR APPROVAL**
- HOT MIX ASPHALT - MIX DESIGN
 - CONCRETE PAVEMENTS (EXTERIOR) - MIX DESIGN & JOINT PLAN
 - PAVEMENT STONE BASE COURSE - GRADATION
 - PIPE BEDDING & TRENCH BACKFILL - GRADATION
 - MANHOLE BACKFILL - GRADATION
 - PAVEMENT MARKING PAINT
- REQUIRED SUBMITTALS FOR RECORDS**
- WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS
 - SANITARY SEWER PIPE & FITTINGS
 - STORM SEWER PIPE, STRUCTURES, & FITTINGS
 - TRACER WIRE
 - UNDERGROUND UTILITY LOCATION RECORD DRAWINGS
 - ADA SIGN & TRUNCATED DOMES, PAINT & STENCILS
 - CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)

CONTACTS:

CIVIL ENGINEER: NATT CAREY, P.E. PINNACLE ENGINEERING GROUP 20725 W. WATERTOWN ROAD SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888	DEVELOPER: KRIS DANIELS SCOOTER'S COFFEE 10300 SAPP BROTHERS DR OMAHA, NE 68138 (410) 518-5293 KRISANDRA.LIPPERT@SCOOTERSCOFFEE.COM
SURVEYOR: DAVID CLAYTON EVS INCORPORATED 10025 VALLED VIEW ROAD, SUITE 140 EVAN PRALIE, WI 53144 (952) 646-0270	FRANCHISEE: KRIS DANIELS HAPPY BEANS LLC 675 EDITH AVE MANTON, MN 55115 (612) 803-1044 KRISDANIELS@GMAIL.COM

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C & G	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
CB	CATCH BASIN	PT	POINT OF TANGENCY
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
EP	EDGE OF PAVEMENT	R	RADIUS
FF	FINISHED FLOOR	ROW	RIGHT-OF-WAY
FG	FINISHED GRADE	SAN	SANITARY SEWER
FL	FLOW LINE	ST	STORM SEWER
FP	FLOODPLAIN	T	TANGENCY OF CURVE
FR	FRAME	TC	TOP OF CURB
FW	FLOODWAY	TF	TOP OF FOUNDATION
HWL	HIGH WATER LEVEL	TP	TOP OF PIPE
HW	INVERT	TW	TOP OF SIDEWALK
IHV	LENGTH OF CURVE	TW	TOP OF WALK
MH	MANHOLE	WM	WATER MAIN
		Δ	INTERSECTION ANGLE

LEGEND

SANITARY SEWER MANHOLE	PROPOSED	○
STORM SEWER MANHOLE	○	
STORM SEWER CATCH BASIN (ROUND CASTING)	○	
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	○	
PRECAST FLARED END SECTION	○	
CONCRETE HEADWALL	○	
VALVE BOX	○	
FIRE HYDRANT	○	
CLEANOUT	○	
SANITARY SEWER	—	
FORCE MAIN	—	
STORM SEWER	—	
DRAIN TILE	—	
WATER MAIN	—	
FIRE PROTECTION	—	
ELECTRICAL CABLE	—	
OVERHEAD WIRES	—	
GAS MAIN	—	
TELEPHONE LINE	—	
UTILITY CROSSING	—	
CAUTION EXISTING UTILITIES NEARBY	—	
GRANULAR TRENCH BACKFILL	—	
LIGHTING	—	
ELECTRICAL TRANSFORMER OR PEDESTAL	—	
POWER POLE	—	
POWER POLE WITH LIGHT	—	
GUY WIRE	—	
STREET SIGN	—	
CONTOUR	—	
SPOT ELEVATION	—	
FLOODWAY	—	
FLOODPLAIN	—	
HIGH WATER LEVEL (HWL)	—	
NORMAL WATER LEVEL (NWL)	—	
DIRECTION OF SURFACE FLOW	—	
DITCH OR SWALE	—	
DIVERSION SWALE	—	
OVERFLOW RELIEF ROUTING	—	
SOIL BORING	—	
TOPSOIL PROBE	—	
FENCE LINE, TEMPORARY SILT	—	
FENCE LINE, WIRE	—	
FENCE LINE, CHAIN LINK OR IRON	—	
FENCE LINE, WOOD OR PLASTIC	—	
CONCRETE SIDEWALK	—	
CURB AND GUTTER	—	
DEPRESSED CURB	—	
REVERSE PITCH CURB & GUTTER	—	
EASEMENT LINE	—	

EXISTING CONDITIONS LEGEND

△	CONTROL POINT	○	TRAFFIC LIGHT
⊕	BENCH MARK	○	GAS METER
⊙	FOUND CAST IRON MONUMENT	○	GAS VALVE
○	PROPERTY CORNER TO BE SET	○	TRAFFIC HAND HOLE
○	SEPTIC MANHOLE	○	MAIL BOX
○	GREASE TANK MANHOLE	○	SPOT ELEVATION
○	CLEAN OUT	—	SANITARY SEWER LINE
○	AIR CONDITIONER	—	ELECTRICAL TELEVISION LINE
○	ELECTRICAL PEDESTAL	—	FIBER OPTIC LINE
○	TELEVISION PEDESTAL	—	UNDERGROUND ELECTRIC LINE
○	TELEPHONE PEDESTAL	—	OVERHEAD UTILITY LINE
○	UTILITY PEDESTAL	—	WATERMAIN LINE
○	ELECTRIC HANDHOLE	—	GASMAIN LINE
○	ELECTRIC METER	—	ROAD RIGHT-OF-WAY LINE
○	TRANSFORMER	—	ADJACENT LOT LINE
○	UTILITY POLE	—	SUBJECT PROPERTY LINE
○	GUY WIRE	—	COUNTY SECTION LINE
○	BOLLARD	—	WOOD FENCE LINE
○	SIGN	—	TREE CANOPY LINE

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

www.pinnacle-engr.com

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PINNACLE ENGINEERING GROUP
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WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
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CHICAGO | MILWAUKEE | NATIONWIDE

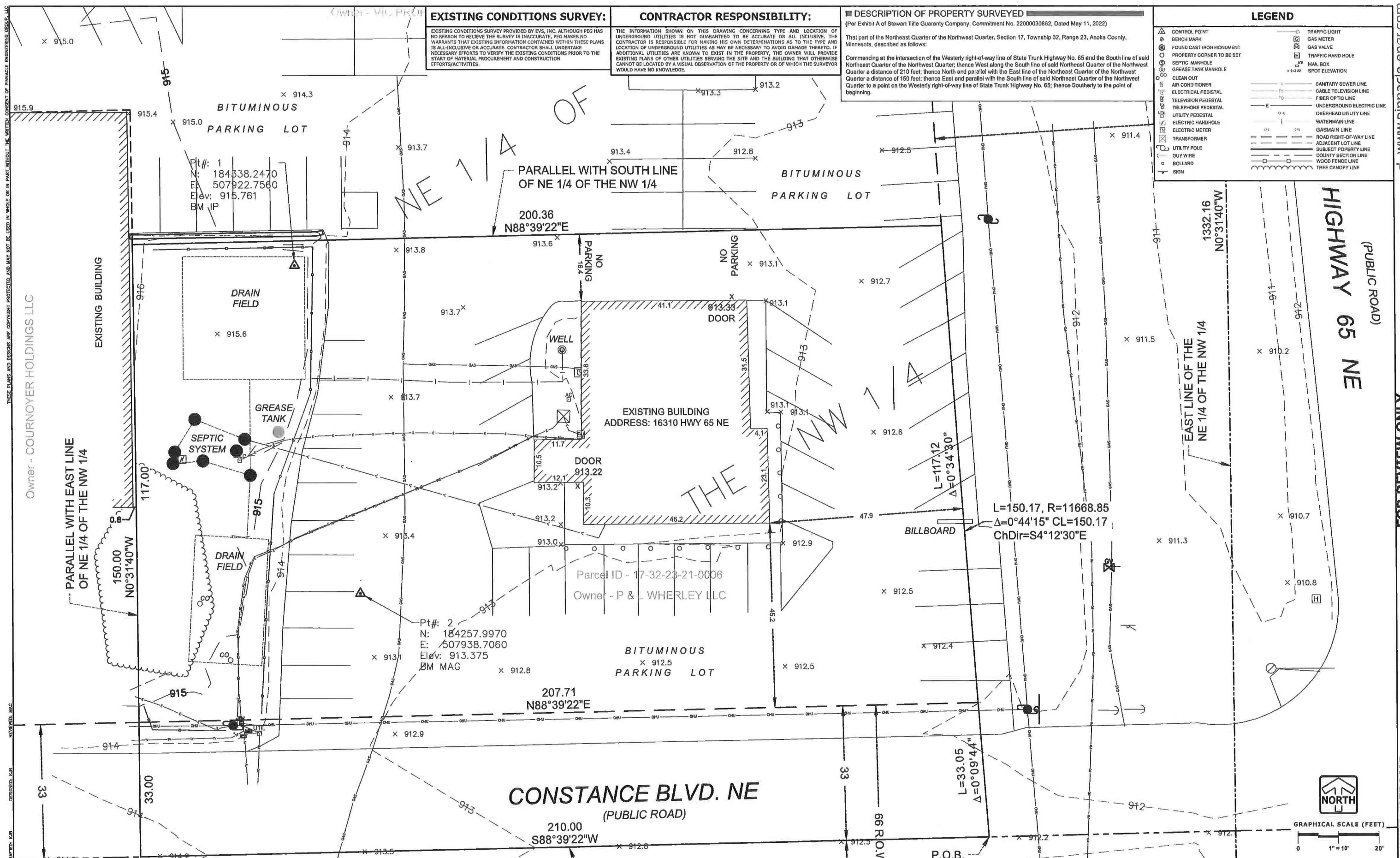
SCOOTER'S COFFEE
HAM LAKE, MN

COVER SHEET

REVISIONS

1	ADDRESS CITY COMMENTS	06/28/22
2	ADDRESS CITY COMMENTS	07/13/22

SHEET
C-1
OF
C-10



EXISTING CONDITIONS SURVEY:
 EXISTING CONDITIONS SURVEY PROVIDED BY EVS, INC. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

CONTRACTOR RESPONSIBILITY:
 THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

DESCRIPTION OF PROPERTY SURVEYED
 (Per Exhibit A of Stewart Title Guaranty Company, Commitment No. 22000030862, Dated May 11, 2022)
 That part of the Northeast Quarter of the Northwest Quarter, Section 17, Township 32, Range 23, Anoka County, Minnesota, described as follows:
 Commencing at the intersection of the Westerly right-of-way line of State Trunk Highway No. 65 and the South line of said Northeast Quarter of the Northwest Quarter; thence West along the South line of said Northeast Quarter of the Northwest Quarter a distance of 210 feet; thence North and parallel with the East line of the Northeast Quarter of the Northwest Quarter a distance of 150 feet; thence East and parallel with the South line of said Northeast Quarter of the Northwest Quarter to a point on the Westerly right-of-way line of State Trunk Highway No. 65; thence Southerly to the point of beginning.

LEGEND

△	CONTROL POINT	○	TRAFFIC LIGHT
⊕	BENCH MARK	⊕	GAS METER
⊕	FOUND CAST IRON MONUMENT	⊕	GAS VALVE
⊕	PROPERTY CORNER TO BE SET	⊕	TRAFFIC HAND HOLE
⊕	SEPTIC MANHOLE	⊕	MAIL BOX
⊕	GREASE TANK MANHOLE	⊕	SPOT ELEVATION
○	CLEAN OUT	—	SANITARY SEWER LINE
○	AIR CONDITIONER	—	CABLE TELEVISION LINE
○	ELECTRICAL PEDESTAL	—	FIBER OPTIC LINE
○	TELEVISION PEDESTAL	—	UNDERGROUND ELECTRIC LINE
○	TELEPHONE PEDESTAL	—	OVERHEAD UTILITY LINE
○	UTILITY PEDESTAL	—	WATERMAIN LINE
○	ELECTRIC HANDHOLE	—	GASMAIN LINE
○	ELECTRIC METER	—	ROAD RIGHT-OF-WAY LINE
○	TRANSFORMER	—	ADJACENT LOT LINE
○	UTILITY POLE	—	SUBJECT PROPERTY LINE
○	GUY WIRE	—	COUNTY SECTION LINE
○	BOLLARD	—	WOOD FENCE LINE
○	SIGN	—	TREE CANOPY LINE

Owner - COURNOYER HOLDINGS LLC
 THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC
 DESIGNED: JLB
 CHECKED: JLB
 PLOTTED: JLB
 DATE: 07/13/22

FOR REVIEW ONLY
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 EXISTING CONDITIONS

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 BROOKFIELD, WI 53186
 (262) 754-8888

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SCOOTER'S COFFEE
 HAM LAKE, MN

EXISTING CONDITIONS

REVISIONS

1	ADDRESS CITY COMMENTS	06/28/22
2	ADDRESS CITY COMMENTS	07/13/22

PEG JOB: N-2885-00-MN
 PEG PM: JLB
 START DATE: 06/02/22
 SCALE:

SHEET C-2 OF C-10

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 DEMOLITION PLAN

DEMOLITION & CLEARING

- CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT THE APPROPRIATE GOVERNMENTAL ENTITIES ARE NOTIFIED OF THE WORK AND NECESSARY PERMITS ARE OBTAINED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ITEMS/DEBRIS, CLASSIFICATION, AND PROPER DISPOSAL (E.G., ARRANGE FOR ADEQUATE COLLECTION, AND TRANSPORTATION TO DELIVER THE RECOVERED MATERIALS TO THE APPROVED RECYCLING CENTER OR PROCESSING FACILITY). CONTRACTOR SHALL MAINTAIN RECORDS ACCESSIBLE TO THE OWNER AND GOVERNMENT ENTITIES.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS IN MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES DESIGNATED TO REMAIN.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR SAFETY AND SECURITY.
- PROVIDE BARRIERS AND APPROPRIATE SIGNS WHERE NECESSARY TO RESTRICT PEDESTRIANS FROM WANDERING INTO CONSTRUCTION AREAS. PROVIDE ACCEPTABLE TEMPORARY SECURITY BARRIERS WHERE PHYSICAL SECURITY OF BUILDINGS OR FENCES IS COMPROMISED DUE TO DEMOLITION WORK.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.
- ERECT TEMPORARY ENCLOSURES AS NECESSARY TO LIMIT DUST. USE WATER AS NECESSARY TO LAY DUST WHEN CHIPPING, CORING, OR SAWING CONCRETE, MASONRY OR SIMILAR MATERIALS. WATER MUST BE CONTROLLED INSIDE BUILDINGS BY DAMMING, OR OTHER CONTAINMENT METHOD.
- PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES AND ADJACENT FACILITIES THAT ARE NOT PART OF DEMOLITION.
- PERFORM WORK IN SAFE AND SYSTEMATIC MANNER.
- WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AT ALL TIMES.
- COMPLETELY BACKFILL BELOW-GRADE AREAS AND VOIDS REMOVED FROM UTILITY REMOVAL AND OTHER DEMOLITION WORK WITH CLOSE GRADED AGGREGATE OR COHESIVE STRUCTURAL FILL.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED.




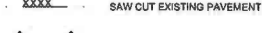

CONTRACTOR RESPONSIBILITY:

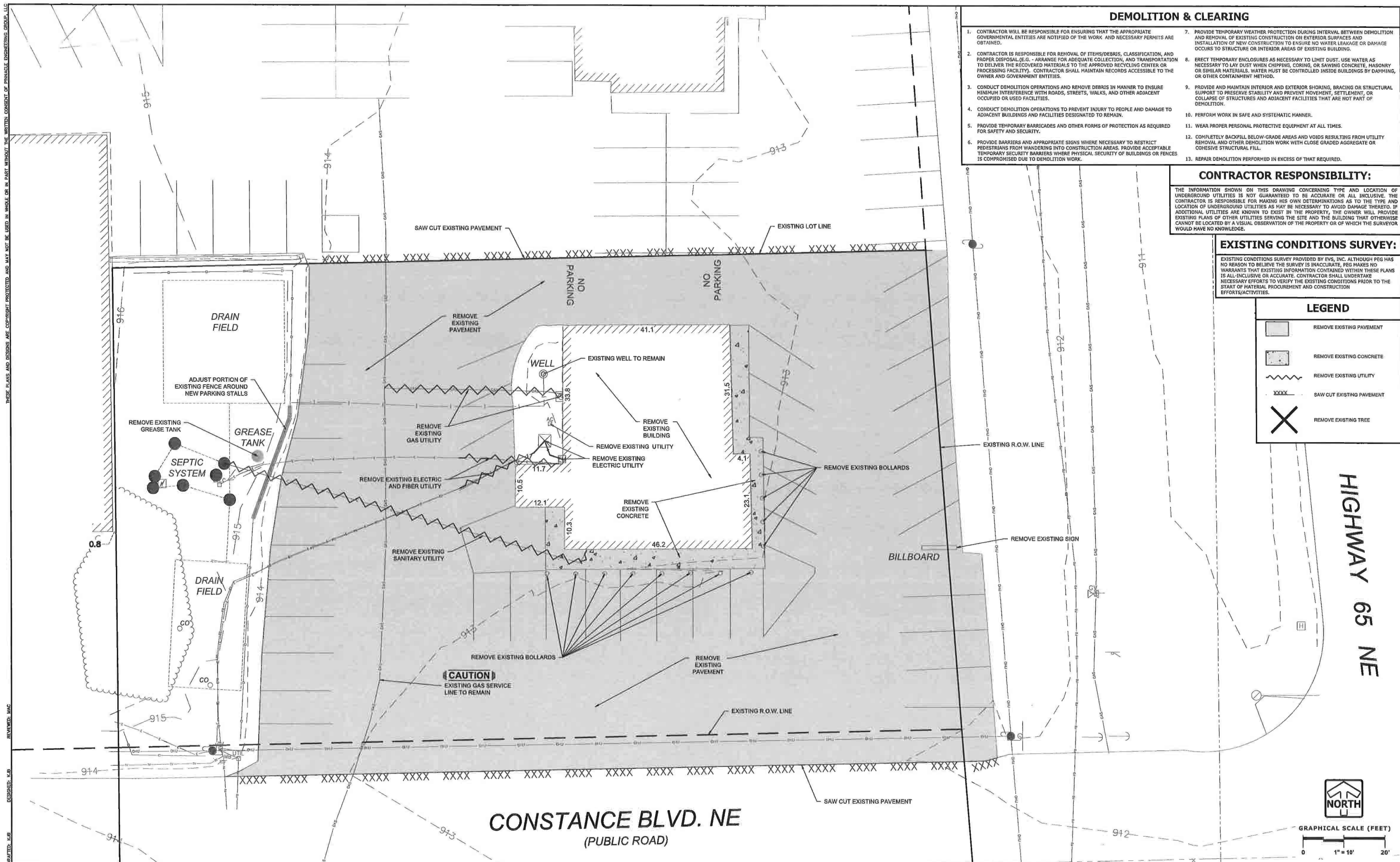
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDINGS THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY EYS, INC. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

LEGEND

-  REMOVE EXISTING PAVEMENT
-  REMOVE EXISTING CONCRETE
-  REMOVE EXISTING UTILITY
-  SAW CUT EXISTING PAVEMENT
-  REMOVE EXISTING TREE



CAUTION
EXISTING GAS SERVICE LINE TO REMAIN



GRAPHICAL SCALE (FEET)
0 1" = 10' 20'


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DEMOLITION PLAN

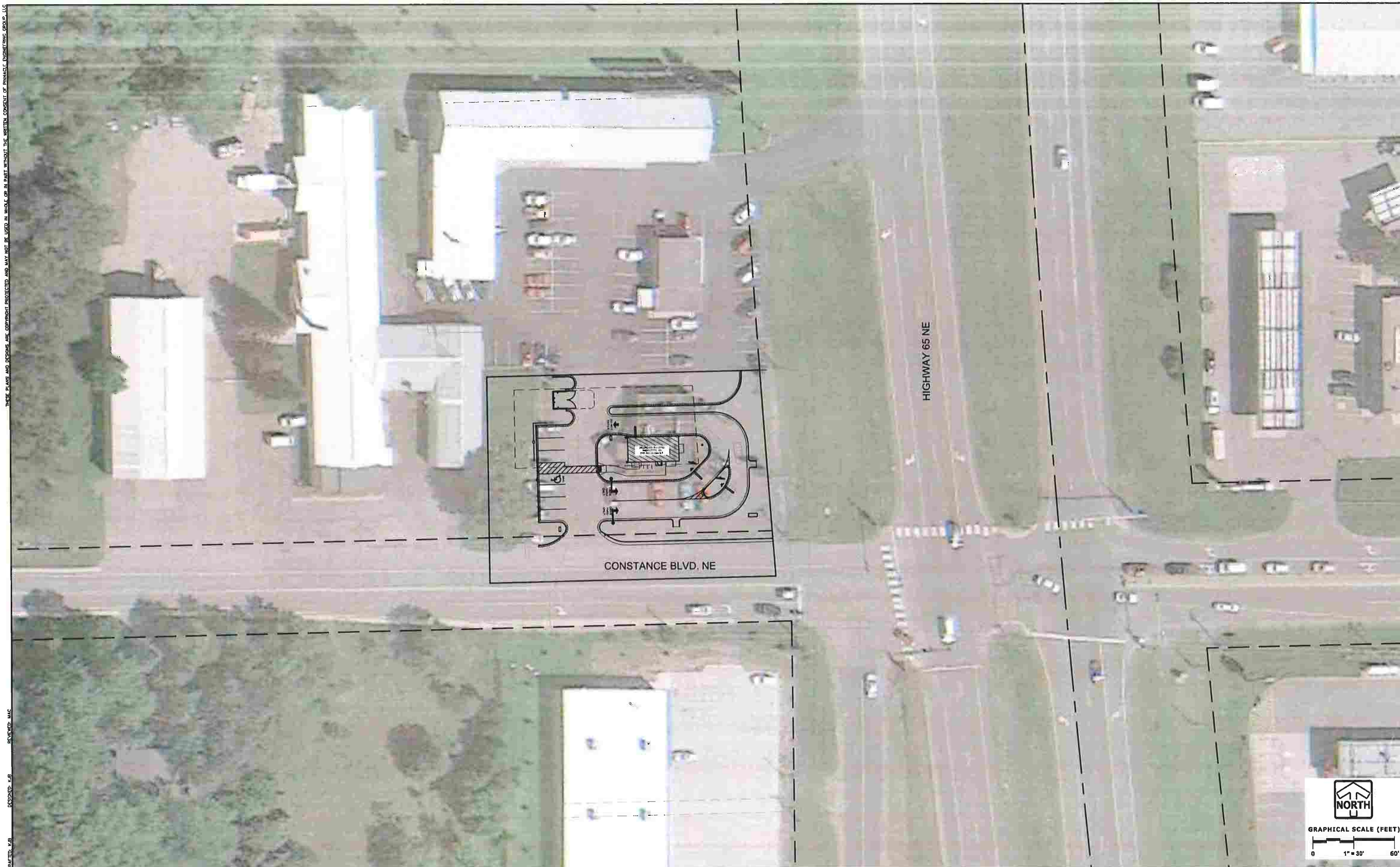
REVISIONS		
1	ADDRESS CITY COMMENTS	06/28/22
2	ADDRESS CITY COMMENTS	07/13/22

REG. JOB NO: 2885-00-MN REG. NO: 2885-00-MN SCALE: 1" = 10' START DATE: 06/02/22	SHEET C-3 OF C-10
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Z:\PROJECTS\2022\2885-00-MN\CAD\SHEETS\2885-00-MN DEMOLITION PLAN.DWG

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SITE OVERVIEW

REVISIONS	
1. ADDRESS CITY COMMENTS	06/28/22
2. ADDRESS CITY COMMENTS	07/13/22

NORTH

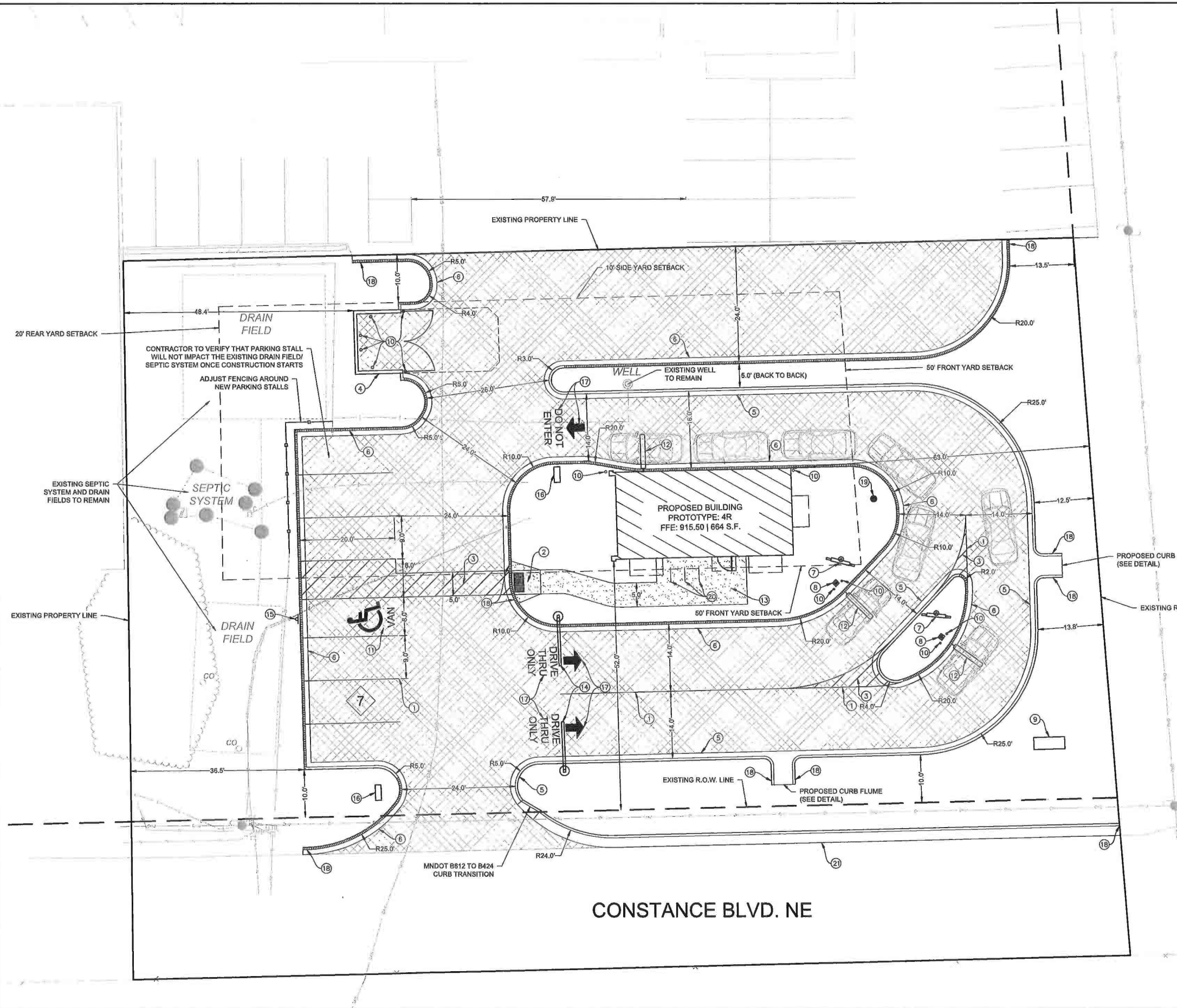
GRAPHICAL SCALE (FEET)
0 1" = 30' 60'

REG. JOB #2885.00-MN
MAC
START DATE 06/02/22
SCALE

SHEET
C-4
OF
C-10

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- ### SITE KEYNOTES:
- INSTALL 4-INCH WHITE PAVEMENT STRIPING. PAINT SHALL MEET OR EXCEED CITY OF HAM LAKE STANDARD SPECIFICATIONS (TYP.).
 - CONSTRUCT (TYPE 3) CURB RAMP PER ADA REGULATIONS, LOCAL JURISDICTIONAL REQUIREMENTS. (SEE DETAIL)
 - INSTALL 4-INCH WHITE PAVEMENT STRIPING AT 45°, 2-FOOT O.C. PAINT SHALL MEET OR EXCEED CITY OF HAM LAKE STANDARD SPECIFICATIONS (TYP.).
 - TRASH ENCLOSURE, REFERENCE ARCHITECTURAL PLANS. CONSTRUCT HEAVY DUTY PAVEMENT APRON AS SHOWN ON PLANS.
 - MNDOT B612 VERTICAL FACE CURB AND GUTTER, REGULAR STYLE (SEE DETAIL)
 - MNDOT B612 VERTICAL FACE CURB AND GUTTER, REVERSE STYLE (SEE DETAIL)
 - MENU BOARD, REFERENCE ARCHITECTURAL PLANS.
 - SPEAKER POST, REFERENCE ARCHITECTURAL PLANS. SEPARATE SIGN PERMIT REQUIRED.
 - CONSTRUCT BOLLARD (SEE DETAIL)
 - INSTALL ADA PARKING STALL AND ASSOCIATED STRIPING AND SIGNAGE PER ADA REGULATIONS AND LOCAL JURISDICTIONAL REQUIREMENTS. (SEE DETAIL)
 - LOOP SENSOR, REFER TO ARCHITECTURE PLANS.
 - CONSTRUCT 5-INCH P.C.C. SIDEWALK, REFERENCE CITY OF HAM LAKE STANDARDS.
 - HEIGHT CLEARANCE BAR, REFER TO ARCHITECTURE PLANS.
 - INSTALL ADA/SIGN BOLLARD. (SEE DETAIL)
 - DIRECTIONAL SIGN DISPLAY, REFER TO ARCHITECTURAL PLANS.
 - DIRECTIONAL PAVEMENT PARKING. (AS SHOWN)
 - CURB TAPER. (SEE DETAIL)
 - FLAG POLE, REFER TO ARCHITECTURE PLANS.
 - THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
 - DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
 - LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
 - PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
 - BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
 - PAVING SPECIFICATIONS -
 CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MINNESOTA DOT PAVEMENT DESIGN MANUAL CHAPTER 5 - PCC (PORTLAND CEMENT CONCRETE). THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 2360 AND 3139 OF THE MINNESOTA DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2020 EDITION.
 18. TIE BARS: PLACE AT ALL LONGITUDINAL JOINTS IN ENTRANCE AREAS/ROADS AND CURB AND GUTTER PER MINNESOTA DOT CHAPTER 5 SECTION 530

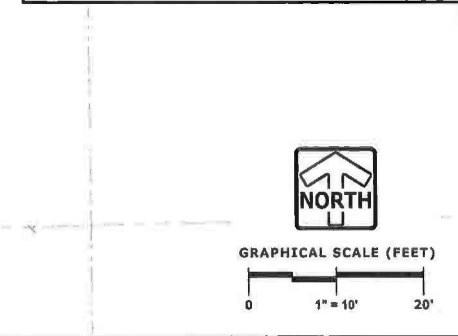
- ### NOTES
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT; EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE 18" CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED.
 - ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT GOPHER STATE 811 ONE CALL (1-800-252-1166) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBS, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
 - ALL PAVING SHALL CONFORM TO MINNESOTA DOT PAVEMENT DESIGN MANUAL AND APPLICABLE CITY OF HAM LAKE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
 - CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
 - PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
 - THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
 - DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
 - LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
 - PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
 - BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
 - PAVING SPECIFICATIONS -
 CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MINNESOTA DOT PAVEMENT DESIGN MANUAL CHAPTER 5 - PCC (PORTLAND CEMENT CONCRETE). THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 2360 AND 3139 OF THE MINNESOTA DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2020 EDITION.
 18. TIE BARS: PLACE AT ALL LONGITUDINAL JOINTS IN ENTRANCE AREAS/ROADS AND CURB AND GUTTER PER MINNESOTA DOT CHAPTER 5 SECTION 530

LEGEND

	STANDARD DUTY CONCRETE PAVEMENT - 4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADE L180T01) - 6" PCC (646 WELDED WIRE FABRIC WITH 1" WIDE CONTRACTION JOINT DEPT 2/4 FILLED WITH HOT POURED SEALER (MNDOT SPECIFICATION 3730))
	CONCRETE SIDEWALK - 4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADE L180T01) - 5" PCC (646 WELDED WIRE FABRIC WITH 1" WIDE CONTRACTION JOINT DEPT 2/4 FILLED WITH HOT POURED SEALER (MNDOT SPECIFICATION 3730))
	AGGREGATE SHOULDER - 4" DENSE CRUSHED AGGREGATE BASE * TO BE PROVIDED BY COUNTY
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

SITE DATA TABLE

TOTAL SITE AREA:	0.55 AC (23,869 S.F.)
BUILDING SIZE:	0.02 AC (664 S.F.)
PROPOSED PARKING SPACES:	7 (1 A.D.A)
ZONING:	CD-1
EXISTING GREENSPACE:	21.7% (0.12 AC)
PROPOSED GREENSPACE:	41.8% (0.23 AC)



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SITE DIMENSIONAL & PAVING PLAN

REVISIONS	
1. ADDRESS CITY COMMENTS	06/28/22
2. ADDRESS CITY COMMENTS	07/13/22

SHEET C-5 OF C-10
 PEG JOB: 2022-08-01-01-01
 MAB
 START DATE: 06/07/22
 SCALE:

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 SITE DIMENSIONAL & PAVING PLAN

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 GRADING PLAN

NOTES

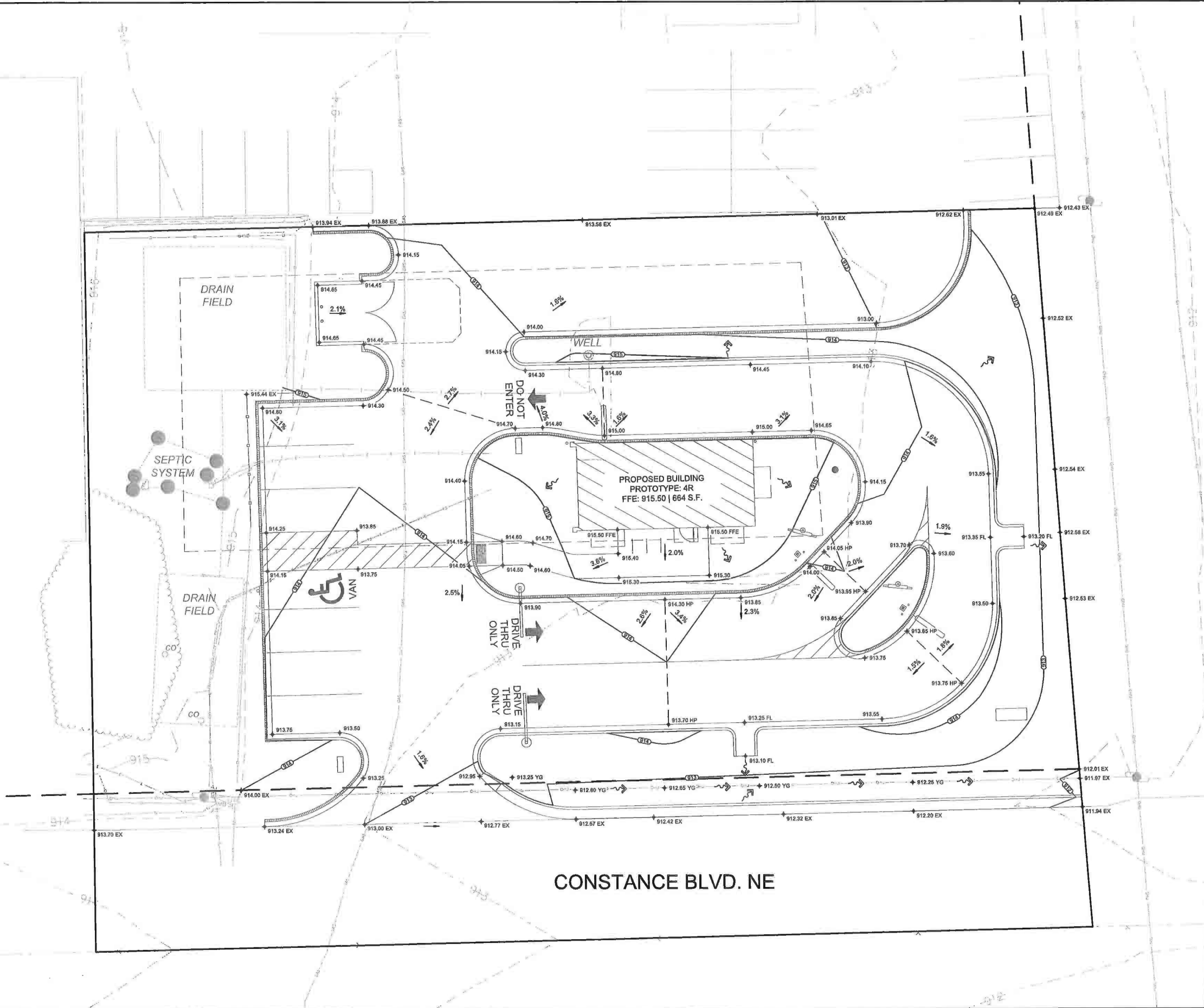
- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL 811" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL ANOKA COUNTY CONSTRUCTION STANDARDS/ORDINANCES.
- LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
- TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3% (+) OPTIMUM MOISTURE CONTENT.
- SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY JONES HAUGH SMITH. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

LEGEND

- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN- ROUND CASTING
- STORM SEWER CATCH BASIN- RECTANGULAR CASTING
- PROPOSED CONCRETE FLARED END SECTION
- PROPOSED CONTOUR
- SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- DITCH OR SWALE
- DIVERSION SWALE
- OVERFLOW RELIEF ROUTING
- CONCRETE SIDEWALK
- CURB AND GUTTER
- DEPRESSED CURB
- REVERSE PITCH CURB & GUTTER
- EP
- FFE
- SW
- ()
- TW/BW



PROPOSED PAVEMENT AREA: 11,626 S.F. (0.27 AC)
 PROPOSED PARKING AREA: 1,400 S.F. (0.03 AC)



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GRADING PLAN

REVISIONS	
1. ADDRESS CITY COMMENTS	06/28/22
2. ADDRESS CITY COMMENTS	07/13/22

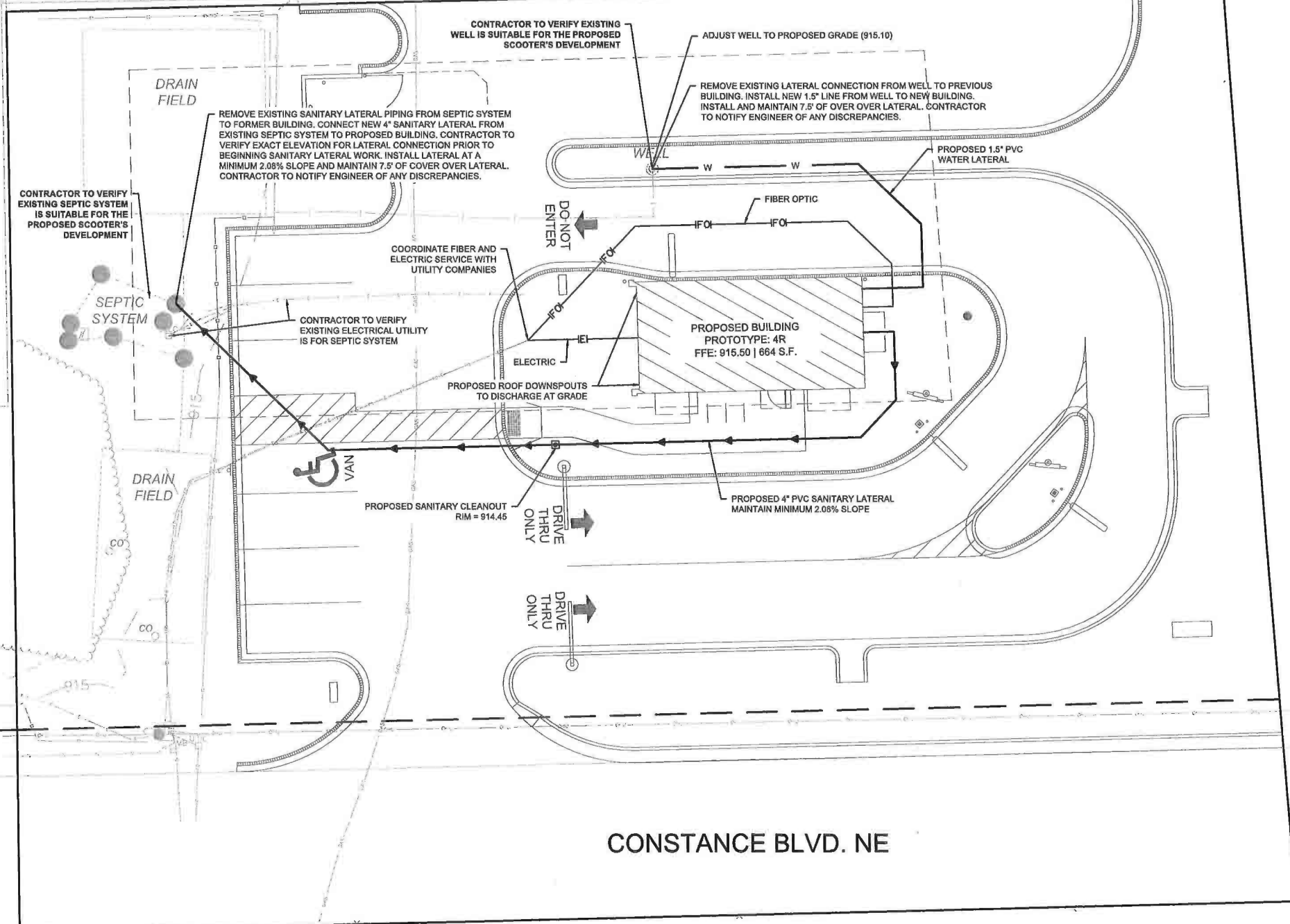
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 DESIGNED: KJB
 CHECKED: KJB
 REVIEWED: MAC
 DATED: 06/28/22

NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THEREOF. CONTRACTOR SHALL CALL "Gopher State One Call 811" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS (LATEST EDITION AND ADDENDUM) AND MINNESOTA STATE PLUMBING CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL CONTACT THE CITY OF HAMM LAKE PUBLIC WORKS DEPARTMENT 48 HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL, AND ANY PERMIT FEES REQUIRED.
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
- STORM SEWER SPECIFICATIONS -
 PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 HEIGHT OF COVER (FEET): 0-2 2-3 3-6 6-15 15-25 25+
 MINIMUM PIPE CLASSIFICATION: IV III II III IV ENGINEER TO SPECIFY
 HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "B", OR POLYVINYL CHLORIDE (PVC) - CLASS 2546 MEETING AASHTO M278. AS NOTED, IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
- INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CEAM SECTION 2611.2 - STANDARD SPECIFICATIONS FOR SANITARY SEWER AND STORM SEWER INSTALLATION. FRAME & GRATE SHALL BE NEENAH R-1580 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN.
- STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
- BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND APPROPRIATE BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH CEAM SECTION 2600.3.
- MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
- WATER MAIN SPECIFICATIONS -
 PIPE - WATER MAIN SHALL BE INSTALLED AS CALLED OUT IN THE PLANS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CEAM SECTION 2611.2. GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF HAMM LAKE AND IN ACCORDANCE WITH CEAM SECTION 2611.2. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
 BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CEAM SECTION 2611.3.
- BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CEAM SECTION 2611.3. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH CEAM SECTION 2611.3.
- SANITARY SEWER SPECIFICATIONS -
 PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE CEAM. BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT.
 BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CEAM SECTION 2600. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL.
 MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2621.3 OF THE CEAM. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
 MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 7.5 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE CEAM.
- SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- PLUMBING CONTRACTOR SHALL BE ON SITE FOR SERVICES STUBBED INTO BUILDING.
- MATERIAL INSTALLED WITHIN 2 FEET OF A BUILDING MUST BE OF MATERIALS APPROVED FOR USE INSIDE OF OR WITHIN A BUILDING.

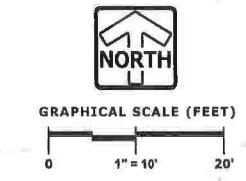


LEGEND

	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	DRAIN TILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE
	POWER POLE WITH LIGHTS
	STREET SIGN
	UTILITY TO BE REMOVED

HIGHWAY 65 NE

CONSTANCE BLVD. NE



PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING
 WISCONSIN OFFICE: 20725 WATERTOWN ROAD, SUITE 100, BROOKFIELD, WI 53116, (262) 754-8888
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UTILITY PLAN

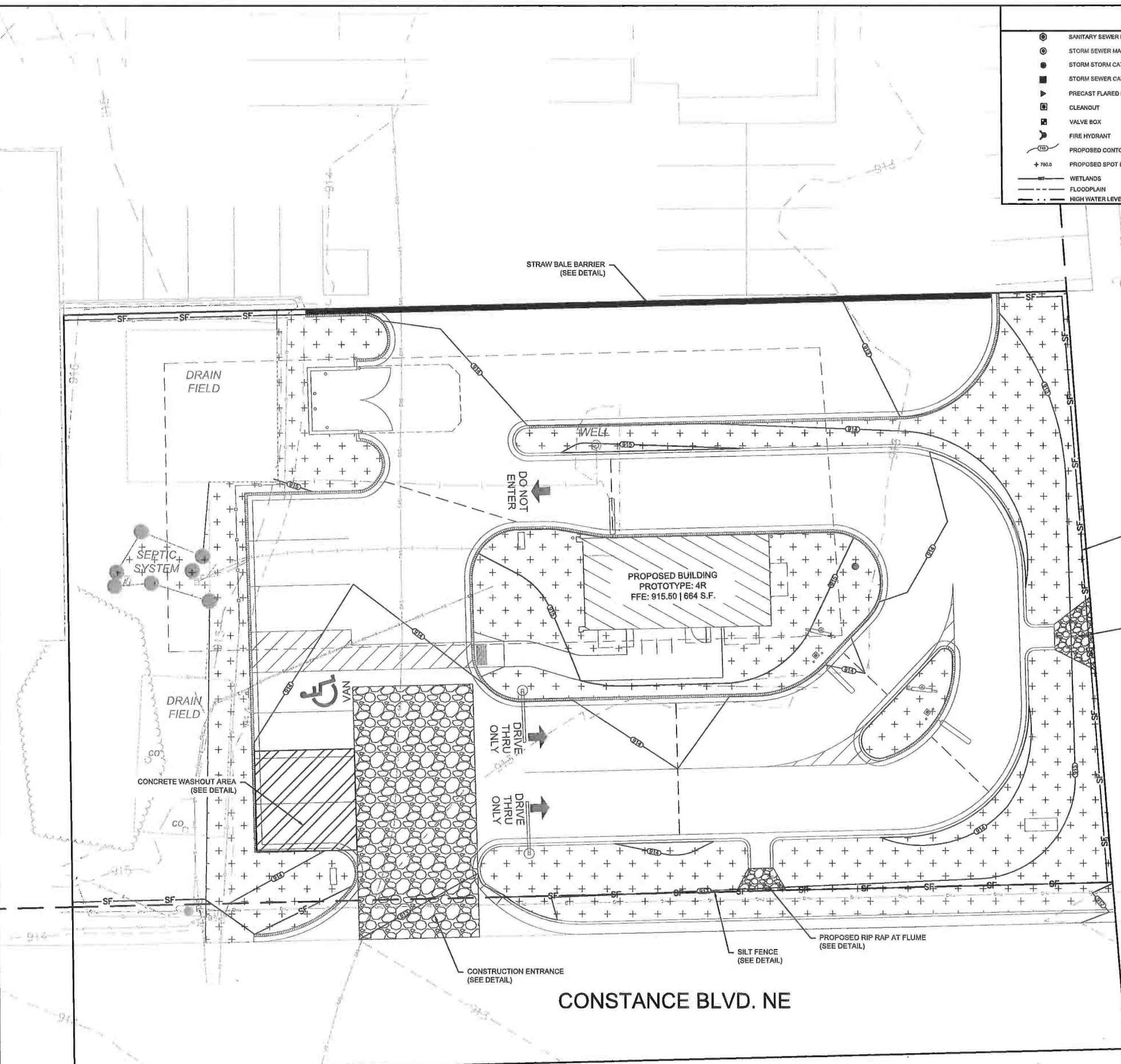
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1	ADDRESS CITY COMMENTS	06/28/22	
2	ADDRESS CITY COMMENTS	07/13/22	

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 SCALE:

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 DESIGNED: KJB
 CHECKED: KJB
 DATE: 06/28/22



LEGEND

- | | |
|---|---|
| <ul style="list-style-type: none"> ○ SANITARY SEWER MANHOLE ⊙ STORM SEWER MANHOLE ● STORM CATCH BASIN (ROUND CASTING) ■ STORM CATCH BASIN (RECTANGULAR CASTING) ▽ PRECAST FLARED END SECTION □ CLEANOUT ⊕ VALVE BOX ⊕ FIRE HYDRANT --- PROPOSED CONTOUR + 780.0 PROPOSED SPOT ELEVATION --- WETLANDS --- FLOODPLAIN --- HIGH WATER LEVEL (HWL) | <ul style="list-style-type: none"> --- NORMAL WATER LEVEL (NWL) → DIRECTION OF SURFACE FLOW --- DITCH OR SWALE --- DIVERSION SWALE --- OVERFLOW RELIEF ROUTING SF SILT FENCE ○ INLET PROTECTION --- CONSTRUCTION ENTRANCE --- HYDROSEED (PER MANUFACTURER SPECIFICATIONS) --- EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL) |
|---|---|

CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
 4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT (MS100001) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE INSTALLED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
10. ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
21. SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

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 SITE STABILIZATION PLAN

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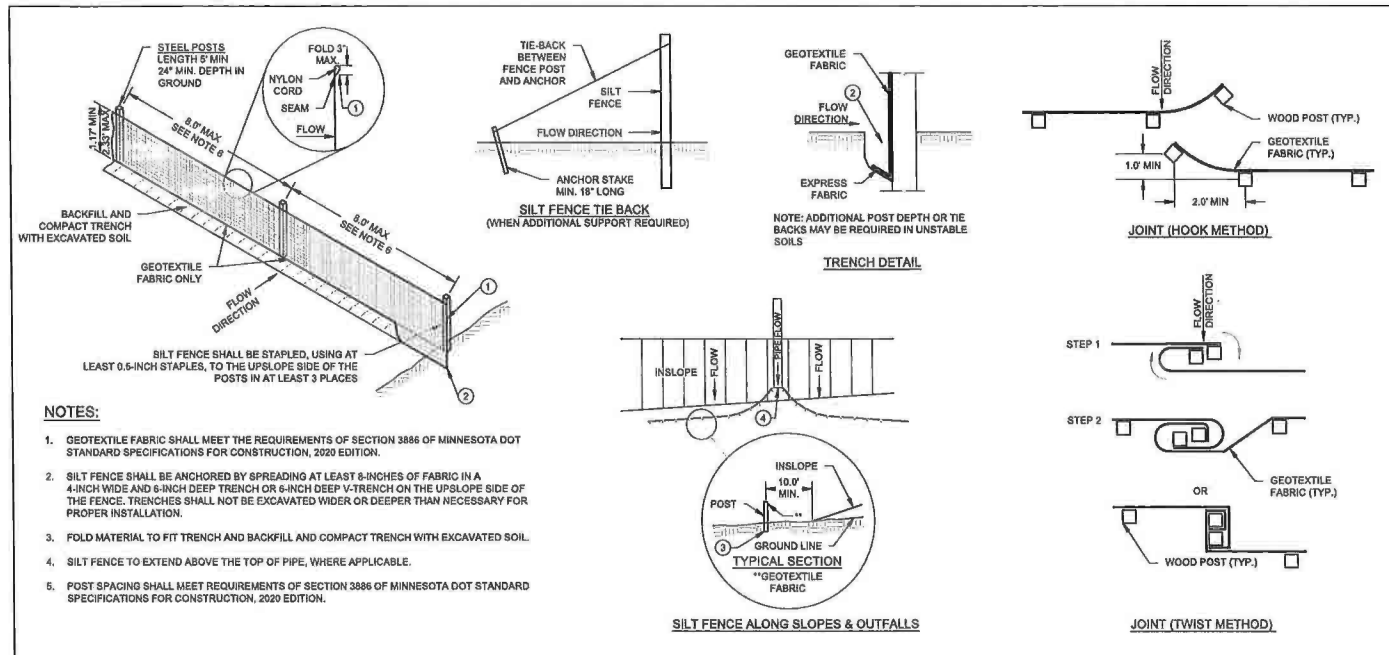
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SITE STABILIZATION PLAN

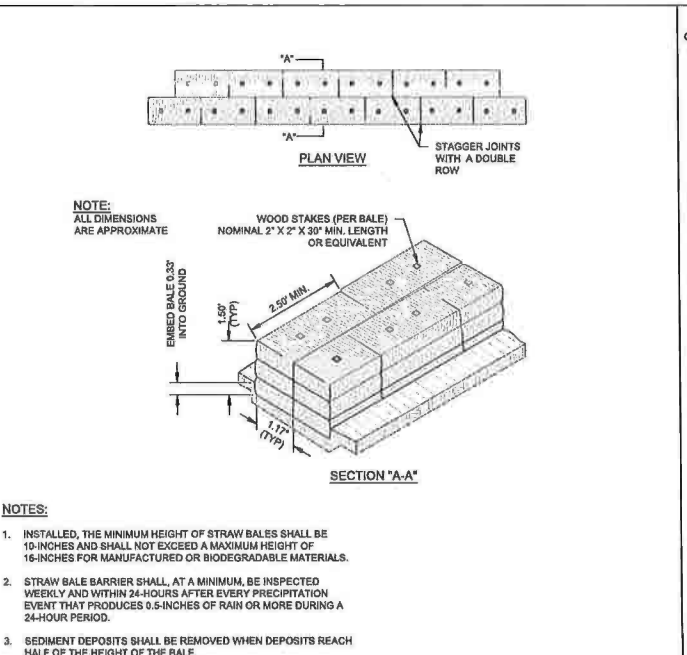
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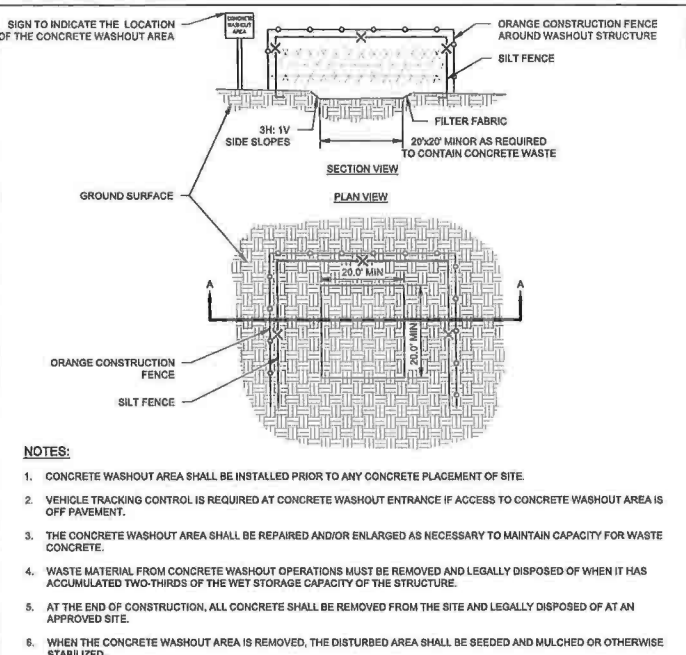
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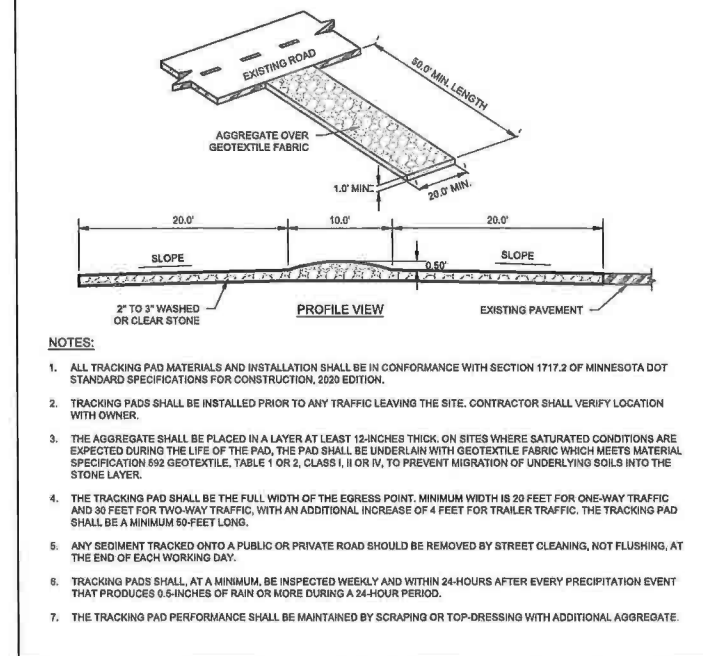
SILT FENCE



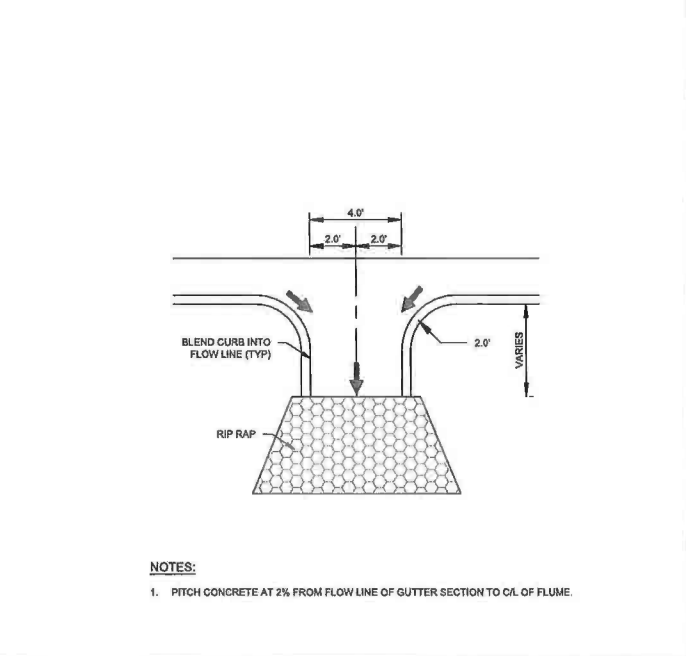
STRAW BALE BARRIER



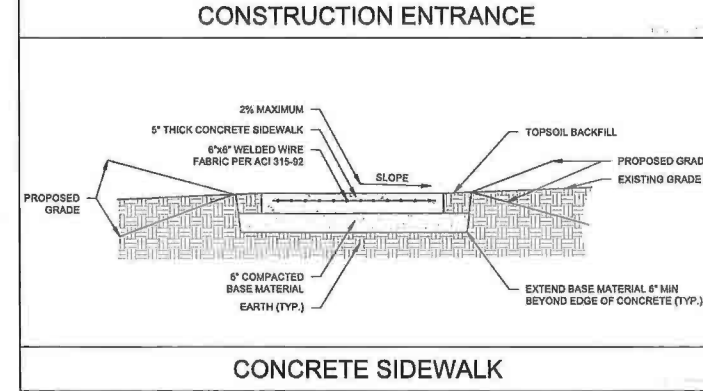
CONCRETE WASHOUT AREA



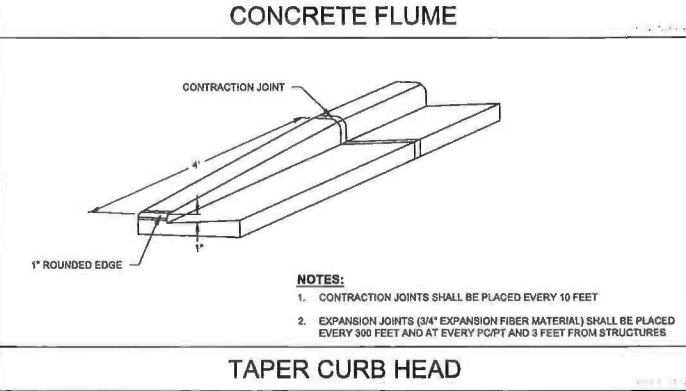
CONSTRUCTION ENTRANCE



CONCRETE FLUME



CONCRETE SIDEWALK



TAPER CURB HEAD

DESIGN B

DESIGN V

DESIGN B		W = 12"		W = 18"		W = 24"		W = 30"		W = 36"						
H	A	CONCRETE		CONCRETE		CONCRETE		CONCRETE		CONCRETE						
		DESIGN NO.	COL. TYP.	DESIGN NO.	COL. TYP.	DESIGN NO.	COL. TYP.	DESIGN NO.	COL. TYP.	DESIGN NO.	COL. TYP.					
4	17-3/8"	B412	0.0421	23.8	B418	0.0521	18.5	B424	0.0637	15.7	B430	0.0743	13.4	B436	0.0853	11.7
6	18"	B412	0.0474	21.1	B418	0.0587	17.2	B424	0.0690	14.5	B430	0.0796	12.5	B436	0.0906	11.0
8	18-5/8"	B812	0.0526	18.9	B818	0.0637	15.7	B824	0.0743	13.4	B830	0.0853	11.7	B836	0.0962	10.4
9	19"	B912	0.0552	17.9	B918	0.0661	15.0	B924	0.0775	12.9	B930	0.0883	11.3	B936	0.0991	10.1
10	19-3/8"	B1012	0.0589	17.0	B1018	0.0697	14.4	B1024	0.0805	12.4	B1030	0.0915	11.0	B1036	0.1021	9.8

DESIGN V		W = 12"		W = 18"		W = 24"		W = 30"		W = 36"						
H	A	CONCRETE		CONCRETE		CONCRETE		CONCRETE		CONCRETE						
		DESIGN NO.	COL. TYP.	DESIGN NO.	COL. TYP.	DESIGN NO.	COL. TYP.	DESIGN NO.	COL. TYP.	DESIGN NO.	COL. TYP.					
4	6"	V412	0.0136	25.7	V418	0.0201	19.9	V424	0.0262	16.4	V430	0.0320	13.9	V436	0.0378	12.1
6	6"	V612	0.0456	23.5	V618	0.0521	18.7	V624	0.0582	15.6	V630	0.0640	13.4	V636	0.0698	11.7
8	6"	V812	0.0451	21.9	V818	0.0561	17.7	V824	0.0671	14.9	V830	0.0781	12.8	V836	0.0891	11.3
9	6"	V912	0.0472	21.2	V918	0.0580	17.2	V924	0.0688	14.5	V930	0.0796	12.6	V936	0.0904	11.1
10	6"	V1012	0.0487	20.5	V1018	0.0595	16.8	V1024	0.0703	14.2	V1030	0.0811	12.4	V1036	0.0919	10.9

APPROVED: MARCH 11, 1994
R.H. Carls
 ACTING STATE DESIGN ENGINEER

STATE OF MINNESOTA
 DEPARTMENT OF TRANSPORTATION
CONCRETE CURB AND GUTTER
 DESIGN B AND DESIGN V

SPECIFICATION REFERENCE: 2531
 REVISION DATE: 2-28-05
 STANDARD PLATE NO.: 7100H

PLAN | DESIGN | DELIVER
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 BROOKFIELD, WI 53196
 (262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE

SCOOTER'S COFFEE

HAM LAKE, MN

CONSTRUCTION DETAILS

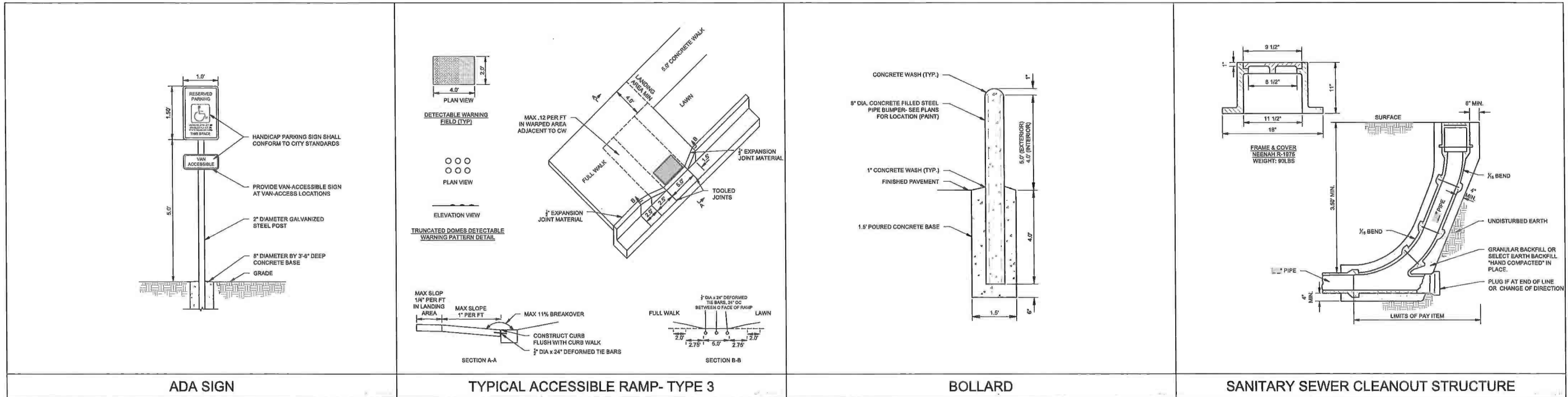
REVISIONS

1	ADDRESS CITY COMMENTS	06/28/22
2	ADDRESS CITY COMMENTS	07/13/22

REG. JOB NO: 2885-00-MN
 START DATE: 06/02/22
 SCALE: _____

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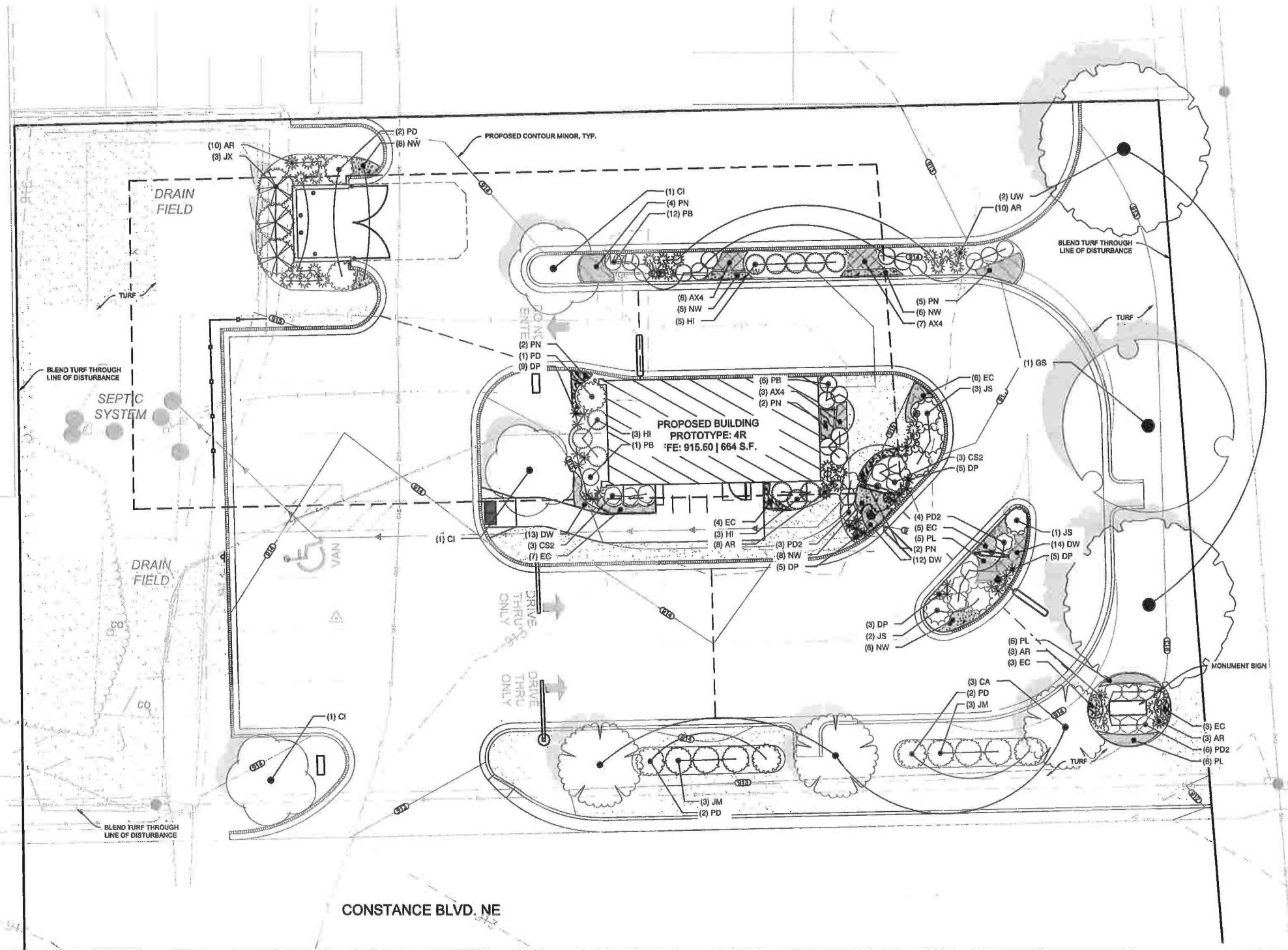
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REG. PM: JMAC
START DATE: 05/02/22
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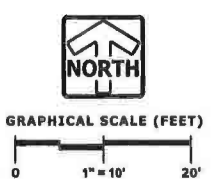
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 DESIGNED: SKT
 CHECKED: SKT
 REVISED: DAB



PLANT SCHEDULE					
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
GS	1	Ginkgo biloba 'Shangri-La'	Shangri-La Maidenhair Tree	1.5' Cal.	
UW	2	Ulmus japonica x pumila 'New Horizon'	New Horizon Elm	1.5' Cal.	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
JK	3	Juniperus x 'J.N. Select Blue'	Star Power Juniper	5' Ht.	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
CA	3	Cornus alternifolia 'Argentea'	Variegated Pagoda Dogwood	1.5' Cal.	
CI	3	Cralaegus crus-galli inermis	Thornless Cockspur Hawthorn	1.5' Cal.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
CS2	6	Comus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	3 gal.	
HI	11	Hydrangea arborescens 'NCHA1' TM	Invincibelle Spirit Hydrangea	3 gal.	
PD2	13	Physocarpus opulifolius 'Donna May' TM	Little Devil Dwarf Ninebark	3 gal.	
PB	7	Physocarpus opulifolius 'Monte' TM	Diabolo Purple Ninebark	3 gal.	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
JM	6	Juniperus chinensis 'Mint Julep'	Mint Julep Juniper	3 gal.	
JS	6	Juniperus sabina 'Buffalo'	Buffalo Juniper	3 gal.	
PB	19	Pinus strobus 'Blue Shag'	Blue Shag White Pine	3 gal.	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
AR	34	Andropogon gerardii 'Red October'	Red October Big Bluestem	1 gal.	
DP	27	Deschampsia cespitosa 'Pride Fountain'	Pride Fountain Tufted Hair Grass	1 gal.	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
AX4	16	Allium x 'Summer Beauty'	Summer Beauty Allium	1 gal.	20" o.c.
DW	39	Dianthus gratianopolitanus 'Firewitch'	Firewitch Cheddar Pink	4.5" Cont.	12" o.c.
EC	28	Echinacea x 'Cheyenne Spirit'	Cheyenne Spirit Coneflower	4.5" Cont.	18" o.c.
NW	33	Napaea x faassenii 'Walkers Low'	Walkers Low Catmint	4.5" Cont.	18" o.c.
PN	15	Perovskia atriplicifolia 'Blue Jean Baby'	Blue Jean Baby Russian Sage	4.5" Cont.	30" o.c.
PL	17	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	4.5" Cont.	20" o.c.
TURF	QTY	BOTANICAL NAME	COMMON NAME		
	1,338,290	Turf Hydroseed	Drought Tolerant Fescue Blend		



PINNACLE ENGINEERING GROUP ENGINEERING NATURAL RESOURCES SURVEYING <small>WISCONSIN OFFICE: 20725 WATERTOWN ROAD, SUITE 100, BROOKFIELD, WI 53186 (262) 754-8888 CHICAGO ILLINOIS OFFICE: 1411 N. LAKEVIEW AVENUE, CHICAGO, IL 60610</small>	<h2 style="margin: 0;">SCOOTER'S COFFEE</h2> <h3 style="margin: 0;">HAM LAKE, MN</h3>	<h2 style="margin: 0;">LANDSCAPE PLAN</h2>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">REVISIONS</th> </tr> </thead> <tbody> <tr> <td style="width: 70%;">1 ADDRESS CITY COMMENTS</td> <td style="width: 30%;">05/28/22</td> </tr> <tr> <td>2 ADDRESS CITY COMMENTS</td> <td>07/13/22</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS		1 ADDRESS CITY COMMENTS	05/28/22	2 ADDRESS CITY COMMENTS	07/13/22				
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<p style="font-size: small; margin: 0;">SHEET L-1 OF L-2</p>			<p style="font-size: x-small; margin: 0;">SCALE: 1" = 10'</p>										

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 FOR REVIEW ONLY
 LANDSCAPE PLAN

GENERAL PLANTING NOTES

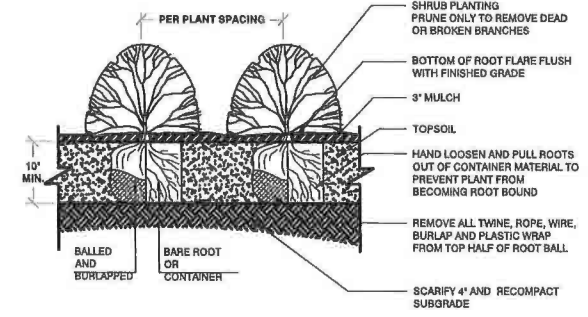
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 4. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. GOPHER STATE ONE CALL - 811.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, DRIVEWAYS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- PART AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

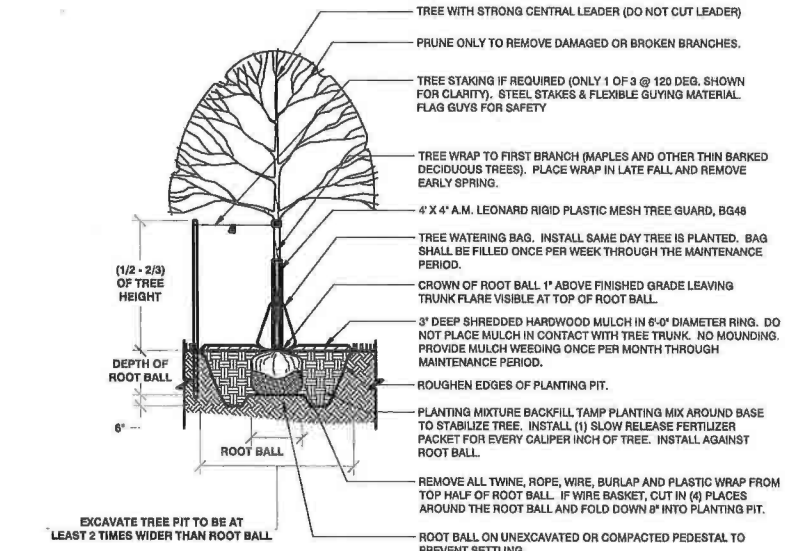
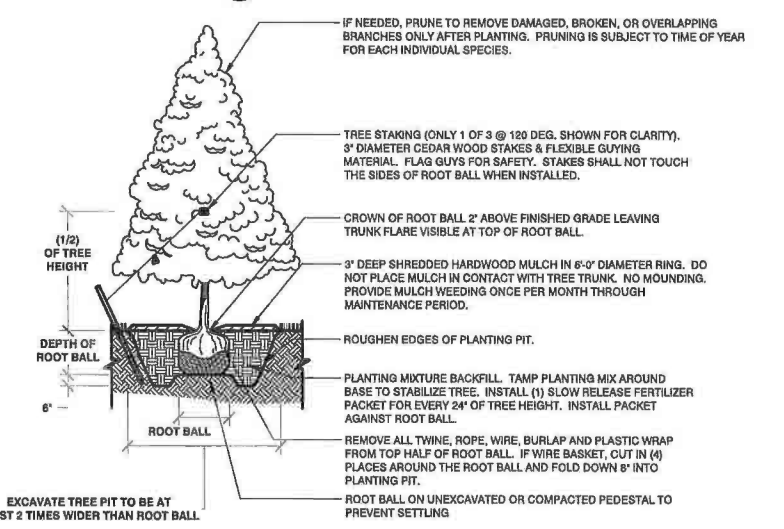
IRRIGATION SYSTEM NOTES

- THE PLUMBING CONTRACTOR SHALL DESIGN AND INSTALL AN IRRIGATION SYSTEM FOR THE SITE. TURF AREAS SHALL RECEIVE SPRAY IRRIGATION, AND BED AREAS SHALL RECEIVE EITHER A SPRAY OR DRIP IRRIGATION SYSTEM.
- IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED PER INDUSTRY STANDARDS.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED UTILIZING IRRIGATION PRODUCTS BY TORO, HUNTER, OR RAINBIRD AND A SINGLE MANUFACTURER SHALL BE USED FOR ALL COMPONENTS.



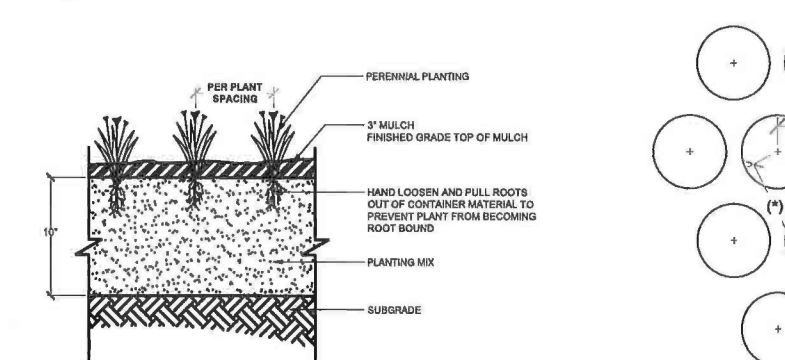
- BAREROOT PLANTING NOTES:**
- SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
 - SCARIFY SIDES AND BOTTOMS OF HOLE.
 - PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
 - TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
 - WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 - BACKFILL VOIDS AND WATER SECOND TIME.
 - PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

1 SHRUB PLANTING

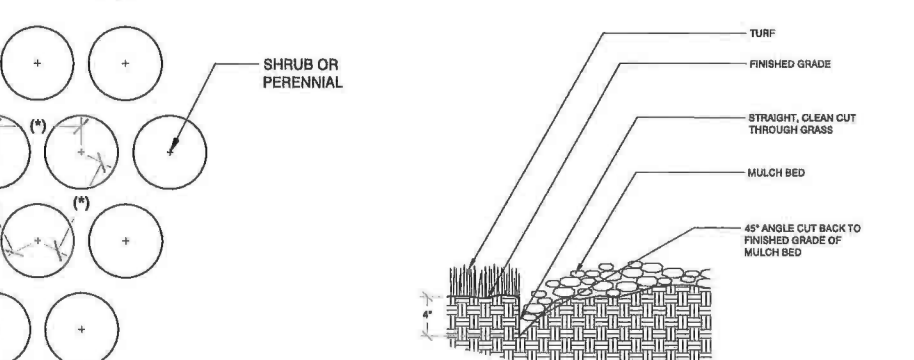


2 TREE PLANTING

3 EVERGREEN TREE PLANTING



4 PERENNIAL PLANTING



5 PLANT SPACING

6 TRENCHED BED EDGE

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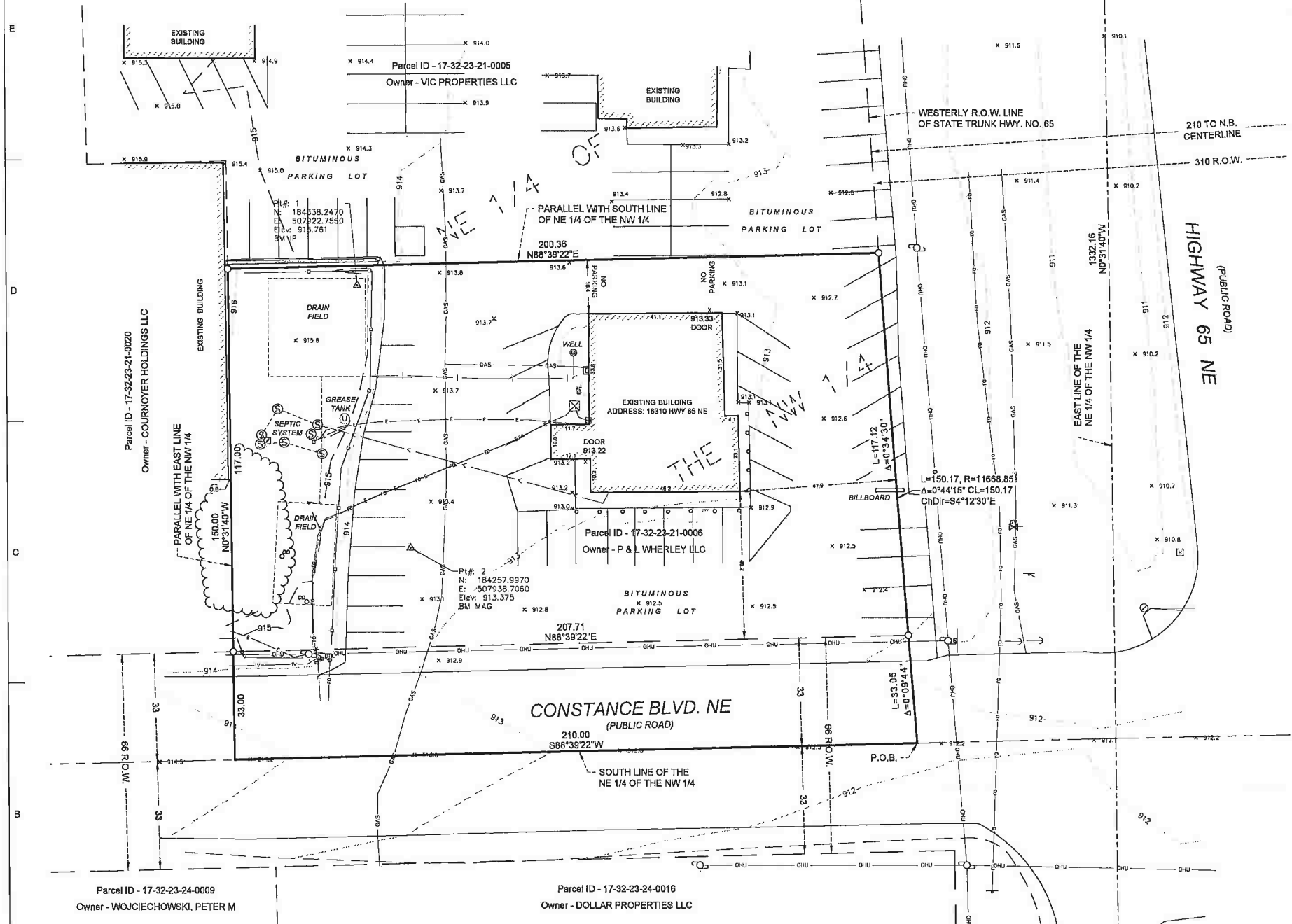
LANDSCAPE NOTES & DETAILS

REVISIONS

NO.	ADDRESS CITY COMMENTS	DATE
1	ADDRESS CITY COMMENTS	06/28/22
2	ADDRESS CITY COMMENTS	07/13/22

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SEC. 17, TWP. 32, RGE. 23



DESCRIPTION OF PROPERTY SURVEYED

(Per Exhibit A of Stewart Title Guaranty Company, Commitment No. 22000030862, Dated May 11, 2022)
 That part of the Northeast Quarter of the Northwest Quarter, Section 17, Township 32, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the intersection of the Westerly right-of-way line of State Trunk Highway No. 65 and the South line of said Northeast Quarter of the Northwest Quarter; thence West along the South line of said Northeast Quarter of the Northwest Quarter a distance of 210 feet; thence North and parallel with the East line of the Northeast Quarter of the Northwest Quarter a distance of 150 feet; thence East and parallel with the South line of said Northeast Quarter of the Northwest Quarter to a point on the Westerly right-of-way line of State Trunk Highway No. 65; thence Southerly to the point of beginning.

Abstract Land.

SCHEDULE B - PART II EXCEPTIONS

SURVEY RELATED EXCEPTIONS - Items pertaining to Schedule B, Part II Exceptions of Commitment to Title Per Stewart Title Guaranty Company, Commitment No. 22000030862, Dated May 11, 2022

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
- Rights or claims of parties in possession, not shown by the public records.
- Easements or claims of easements or other boundary or location disputes, not shown by the public records.
- Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey or inspection of the Land.
- Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
- Taxes or special assessments which are not shown as existing liens by the public records.
- Taxes due and payable in 2022 and subsequent years.
 Note: Taxes for the year 2022 in the amount of \$5,991.04 are unpaid, plus penalty, interest and cost, if any.
 PIN: 17-32-23-21-0006. Non-Homestead
 First half 2022 taxes are not paid and accruing penalty and interest.
 There are no delinquent taxes for prior years.
- Special and pending assessments, if any.
- Rights or claims of tenants, as tenants only, in possession under unrecorded leases.
- Minerals of whatever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
- Terms and conditions of Easement dated June 21, 1950, filed July 25, 1950, as Document No. 135574, in favor of Northwestern Bell Telephone Company. Definition of Easement, as to the above, executed May 23, 1989, filed August 4, 1989, as Document No. 859245. EASEMENT DOES NOT FALL WITHIN SUBJECT PROPERTY
- Terms and conditions of Final Certificates in the Matter of the Condemnation of Certain Lands for Trunk Highway Purposes dated June 11, 1962, filed September 4, 1962, as Document No. 238177. HWY. 65 NE RIGHT-OF-WAY SHOWN
- Terms, agreements, conditions, provisions and limitations of a General Lease dated February 17, 1995, filed March 14, 1995, as Document No. 1156984, by and between the following: Thomas M. and Paula Wherley, Landlord, and Wherley, Inc., Tenant. STATUS OF LEASE IS UNCERTAIN
- Terms, agreements, conditions, provisions and limitations of a Contract for Deed dated December 31, 2021, filed January 18, 2022, as Document No. 2353184.004, by and between Thomas M. Wherley and Paula J. Wherley, married to each other, Seller, and P and L Wherley, LLC, a Minnesota limited liability company, Purchaser.
- Rights of the public, State of Minnesota and the municipality in and to that part of the Land taken or used for road purposes, if any.

"TABLE A" NOTES:

- Monuments placed at all major corners of the boundary of the property, unless already marked.
- The address of the subject property is: 16310 HWY 65 NE, Ham Lake, Mn 55304.
- The property lies in Flood Zone X (areas determined to be outside the 0.2% annual chance floodplain) as designated on Flood Insurance Rate Map Community Panel Number 2709C0215E, Anoka County, Minnesota, published by the Federal Emergency Management Agency, effective December 16, 2015.
- Gross land area of the property is:
 30,750 Sq. Ft. or 0.7059 Acres
 23,858 Sq. Ft. or 0.5477 Acres (excluding Constance Blvd NE.)
- A zoning report or letter was not provided to the surveyor by client.
- Exterior dimensions of all buildings at ground level.
- Substantial features observed in the process of conducting the fieldwork have been shown hereon.
- Parking spaces in parking areas for the subject property are shown on survey.
- Location of utilities existing on or serving the surveyed property as determined by observed evidence.
 AS SHOWN ON SURVEY - SEE SURVEY NOTE #3
- Names of Adjoining owners according to current tax records. AS SHOWN ON SURVEY
- There is no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
- There are no proposed changes in street right-of-way that we are aware of.
- There are no plottable offsite easements or servitudes disclosed in documents provided to or obtained by the surveyor.

DATUMS
 Horizontal: Anoka County Coordinates, NAD83 (1996 Adjustment)
 Vertical: NAVD88
 Geoid: Geoid 03

Benchmarks:
 MnDOT GSID Station #752
 MnDOT Name/NGS Name: Cary MNDT AZ MK
 Northing: 183231.94 Easting: 508194.110 Elevation: 912.47 NAVD88
 LOCATION: IN HAM LAKE, 3.0 MILES SOUTH ALONG TRUNK HIGHWAY 65 FROM THE JUNCTION OF TRUNK HIGHWAY 65 AND COUNTY ROAD 18 IN HAM LAKE, THEN 0.05 MILE WEST ON COUNTY ROAD 60, THEN 0.15 MILE SOUTH ON CENTRAL AVENUE NORTHEAST, AT TRUNK HIGHWAY 65 MILE POINT 20.0, WEST OF SOUTHBOUND TRUNK HIGHWAY 65, 30.0 FEET EAST OF CENTRAL AVENUE NORTHEAST, 80.0 FEET EAST-SOUTHEAST OF A POWER POLE, 2.5 FEET WEST OF A WITNESS POST.

SURVEY NOTES

- All distances shown hereon are in U.S. Survey feet and tenths or hundredths of a U.S. Survey foot and Angular units are shown in degrees (°), minutes (') and seconds (").
- Contour interval = 1 foot.
- Note to the client, insurer, and lender - With regard Utility Locates, source information from plans and markings will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. Per Gopher State One-Call Ticket No. 221365055, the following utilities and municipalities were notified:

Company Name	Facility Types
COMCAST - CCW001	TV, FO
CENTURYLINK - CTLQL - CTLW01	TEL
CONNEXUS ENERGY - EANOXA01	ELECTRIC
MCI - MCI0101	FO
MIDCONTINENT COMMUNICATIONS - MIDCLB21	FO
CENTER POINT ENERGY - MINGAS03	GAS
ZAYO BANDWIDTH - ZAY004	FO

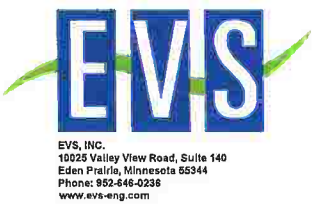
LEGEND

△	CONTROL POINT	⊕	TRAFFIC LIGHT
⊕	BENCH MARK	⊗	GAS METER
○	FOUND CAST IRON MONUMENT	⊗	GAS VALVE
○	PROPERTY CORNER TO BE SET	⊗	TRAFFIC HAND HOLE
⊗	SEPTIC MANHOLE	⊗	MAIL BOX
⊗	GREASE TANK MANHOLE	⊗	SPOT ELEVATION
○	CLEAN OUT		
⊗	AIR CONDITIONER	---	SANITARY SEWER LINE
⊗	ELECTRICAL PEDESTAL	---	CABLE TELEVISION LINE
⊗	TELEVISION PEDESTAL	---	FIBER OPTIC LINE
⊗	TELEPHONE PEDESTAL	---	UNDERGROUND ELECTRIC LINE
⊗	UTILITY PEDESTAL	---	OVERHEAD UTILITY LINE
⊗	ELECTRIC MANHOLE	---	WATERMAIN LINE
⊗	ELECTRIC METER	---	GASMAIN LINE
⊗	TRANSFORMER	---	ROAD RIGHT-OF-WAY LINE
⊗	UTILITY POLE	---	ADJACENT LOT LINE
⊗	QUY WIRE	---	SUBJECT PROPERTY LINE
⊗	BOLLARD	---	COUNTY SECTION LINE
⊗	SIGN	---	WOOD FENCE LINE
		---	TREE CANOPY LINE

SURVEYOR'S CERTIFICATION
 To: P and L Wherley, LLC a Minnesota limited liability company subject to the interest of Thomas M. Wherley and Paula J. Wherley, as Contract for Deed, Seller.; Scooter's Coffee, LLC; Stewart Title Guaranty Company;

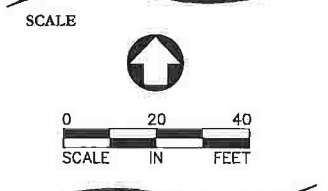
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 6(a), 7(a), 8, 9, 10, 13, 16, 17, and 18 of Table A thereof. The field work was completed on June 01, 2022.
 Date of Map: June 06, 2022.

Scott Alwin, PLS
 MN Registration No. 53528
 EVS Incorporated
 10025 Valley View Road, Suite 140
 Eden Prairie, MN 55344



CLIENT
 PINNACLE ENGINEERING GROUP
 Plan | Design | Deliver
 www.pinnacle-engr.com

PROJECT
SCOOTER'S COFFEE
 LOCATION
HAM LAKE



#	DATE	DESCRIPTION

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Scott Alwin, PLS
 DATE 06/01/2022
 REGISTRATION NUMBER 53528

DRAWN BY
 DRC
 CHECKED BY
 SCA
 PROJECT #
 2022-087.2

SHEET NAME
**ALTA/NSPS
 LAND TITLE SURVEY**

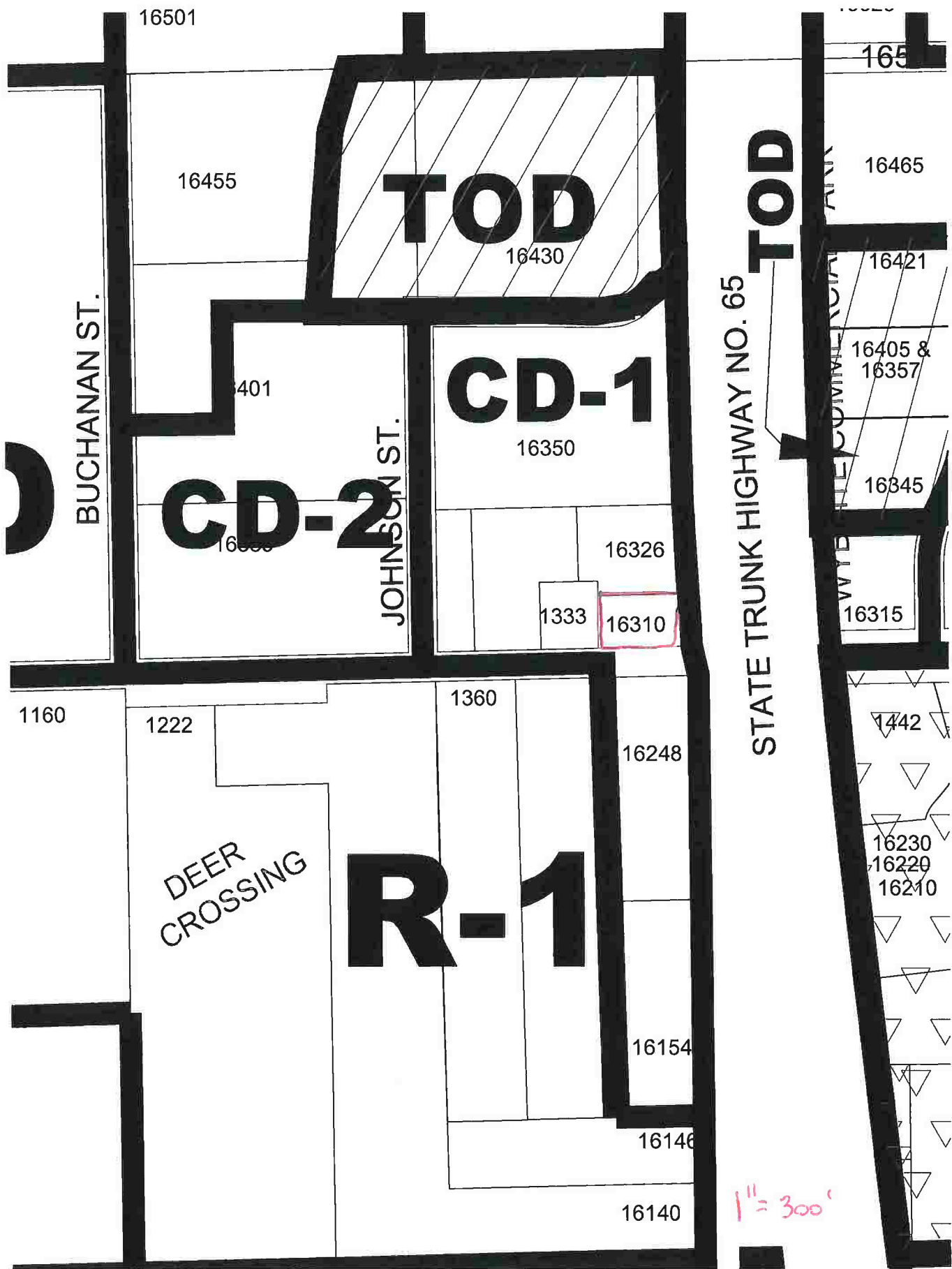


16326

33

16310

1" = 60'



16501

165

16455

TOD

16465

16430

BUCHANAN ST.

401

CD-1

16421

16405 &
16357

16350

CD-2

JOHNSON ST.

16345

16333

16326

1333

16310

16315

1160

1222

1360

16248

DEER
CROSSING

R-1

1442

16230
16220
16210

16154

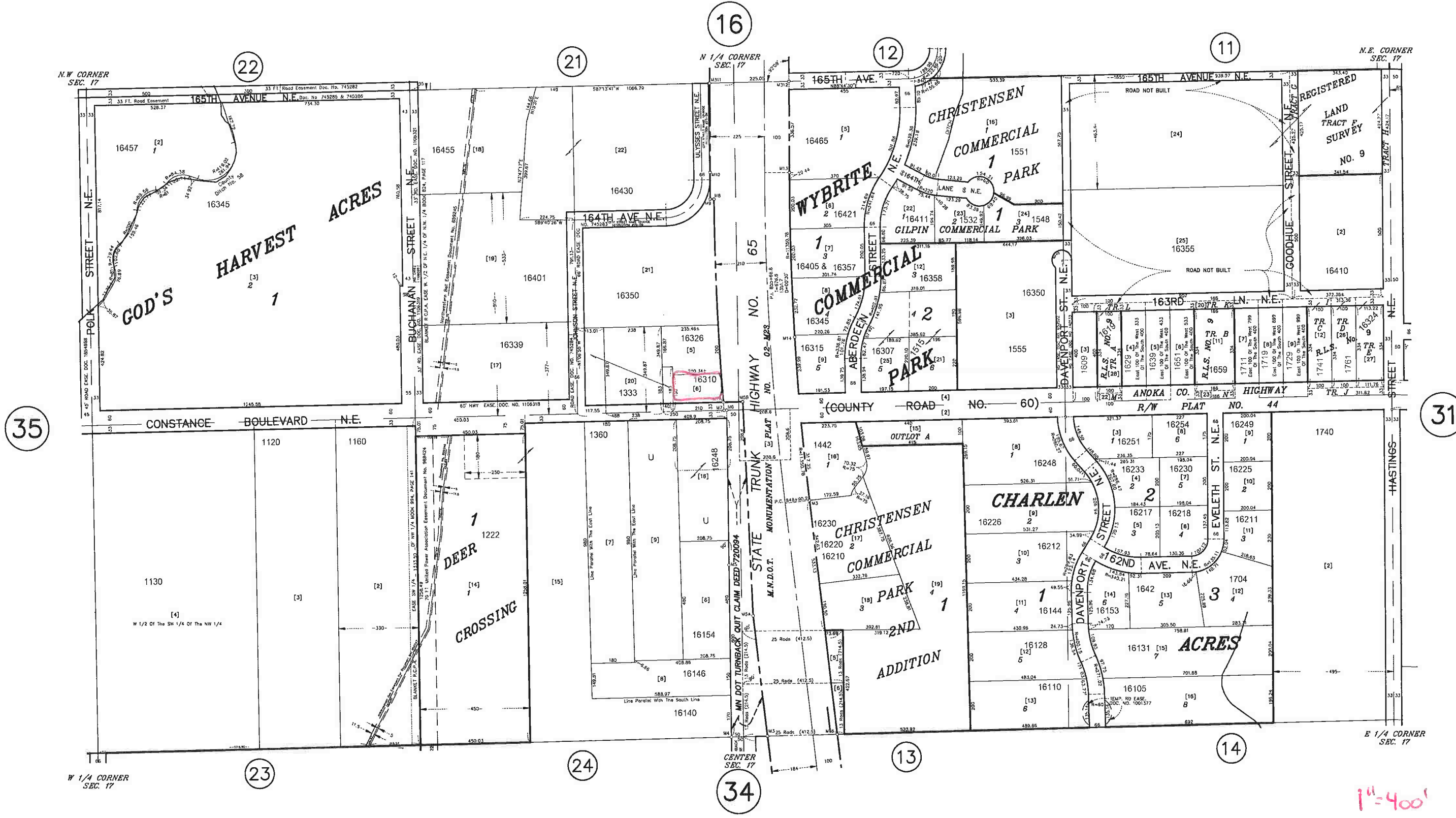
16146

16140

1" = 300'

N 1/2 SECTION 17, T. 32, R. 23

CITY OF HAM LAKE



QUARTER QUARTER INDEX

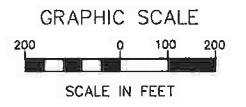
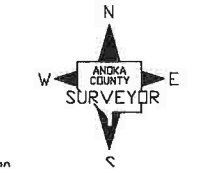
22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

PROPERTY IDENTIFICATION NUMBER

Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
 EXAMPLE OF PIN NUMBER: 17-32-23-13-0018

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.



ANOKA COUNTY SURVEYOR'S OFFICE
 ROOM 224
 2100 3RD AVENUE
 ANOKA, MN 55303
 (763) 324-3200

Tom Collins

From: Joseph Murphy <joseph.murphy@carsoncs.net>
Sent: Wednesday, June 22, 2022 7:26 AM
To: Tom Collins
Cc: Jennifer Bohr
Subject: RE: Scooter's Coffee

Hi Tom,

Based on my understanding of the proposal and the pre-existing pavement, in my opinion, this paved connection at the north end of the parcel could be allowed as a legal nonconformity. As the pavement is currently constructed and used by the current occupant, that legal conformity could continue to be used by the proposed occupant, so long as there is not an expansion of that use.

If the bituminous paved lot is pre-existing within the setback, then the new user would not technically be violating code section 9-141 which prohibits constructing a permanent structure in any setback, because they are not "constructing" or creating the paved area/permanent structure within the setback. Under state law, a legal nonconformity may be continued through "repair, replacement, restoration, maintenance, or improvement." Therefore, it would seem to me that they could continue to use and, if necessary, could repair or resurface the pre-existing pavement that already covers the entire area.

Let me know if you have any additional questions or if I am misunderstanding the facts in some way.

Thanks,

Joseph Murphy
Carson, Clelland & Schreder
6300 Shingle Creek Parkway, Suite 305
Minneapolis, MN 55430
(763)-561-2800

From: Tom Collins [mailto:TCollins@rfcengineering.com]
Sent: Monday, June 20, 2022 4:05 PM
To: Joseph Murphy <joseph.murphy@carsoncs.net>
Cc: Jennifer Bohr <jbohr@ci.ham-lake.mn.us>
Subject: Scooter's Coffee

Hi Joe,

The City received an application and plans for a proposed Scooter's Coffee, which would redevelop the existing Red Ox Café parcel (<https://gis.anokacountymn.gov/propertysearch/?find=17-32-23-21-0006>). There is currently a large bituminous pavement connection between this parcel and the 16326 Highway 65 parcel to the north, as shown on the attached aerial photo. Can the City allow this connection to remain? I asked whether the project representative if there was an existing ingress/egress easement and he said that he did not know. It does not seem that the City can allow the connection to remain, and the northerly Scooter's parking lot will need to meet the 10-foot setback from the north property line. What is your opinion on this? Jennifer, Mark Jones and I are meeting Wednesday afternoon to discuss.

Tom



333 Main Street NW
P.O. Box 388
Elk River, MN 55330
Phone: 763-441-7509
Fax: 763-441-9176

DRINKING WATER LABORATORY TEST REPORT

Last Name: File #: 69597
First Name: Date/Time in Lab: 6/6/2022 12:13 PM
Address: 16310 HWY 65
City: HAM LAKE Unique Well #:
State: MN Zip Code: Drillers #:
County:
Legal:

Ordered By: KRIS DANIELS Sampled From: Outside Tap
Sampled By: Kevin Kloepfner Date/Time Sampled: 06/06/2022 1045
Reason For Test: Water Quality Sample Temp: 15.0 °C
Received on Ice: Yes

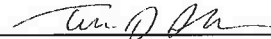
<u>ANALYTE & METHOD</u>	<u>DATE & TIME OF ANALYSIS</u>	<u>MAXIMUM CONTAMINATION LEVEL (EPA)</u>	<u>TEST RESULTS</u>
Coliform Bacteria (SM 9223 B)	06/06/2022 1221	Negative	Negative
E. coli Bacteria (SM 9223 B)	06/06/2022 1221	Negative	Negative
Nitrate + Nitrite (EPA 353.2 Rev 2.0)	06/07/2022 1418	10.0 ppm	< 0.5 ppm
Nitrate (EPA 353.2 Rev 2.0)	06/07/2022 1418	10.0 ppm	< 0.5 ppm
Nitrite (EPA 353.2 Rev 2.0)	06/07/2022 1418	1.0 ppm	< 0.5 ppm
* Arsenic (EPA 200.9 Rev 2.2)	06/07/2022 1015	10.0 µg/L	14.82 µg/L
Lead (SM 3113 B-99)	06/08/2022 1111	15.0 µg/L	< 2.5 µg/L

This sample **DOES NOT** meet EPA guidelines for safe drinking water for the Analytes tested.

Notes:

The test results are only indicative of the sample tested from the sample point on the date collected.
This report must not be reproduced, except in full, without the written approval from Water Laboratories, Inc.
Minnesota Certification# 027-141-110, Wisconsin Certification #399044470 (for compliance with NR812)

Water Laboratories, Inc.

By: 

Date: 06/09/2022

Received By CW Entered By TJ Edited By TJ

Amount Billed: \$348.00

Date Paid: 06/09/2022

Amount Paid: \$348.00



Arsenic in Well Water

Most arsenic in Minnesota's environment is naturally occurring. Soil and rock material can naturally contain arsenic and can enter groundwater (well water) when these materials dissolve. The level of arsenic in well water can vary between wells, even within a small area such as a neighborhood. Most Anoka County residents have some measurable amount of arsenic in their well water. Arsenic in water has no taste or odor, so the only way to know if well water contains arsenic is to have it tested.

Drinking Water Standard

The U.S. Environmental Protection Agency (EPA) has established the Maximum Contaminant Level (MCL) for arsenic at 10 µg/L (micrograms per liter, which is equal to parts per billion) to protect the public from long-term exposure in drinking water. Public water suppliers must not exceed the arsenic MCL. Private (residential) wells are not required to meet this standard. Consuming water with levels of arsenic below this standard over many years can still increase the risk of cancer, and therefore, the EPA has set of goal of 0 µg/L for arsenic in drinking water.

Health Effects

The consumption of drinking water contaminated with arsenic over a long period of time is associated with diabetes and an increased risk of cancers of the bladder, lungs, liver, and other organs.

Other negative health effects of ingesting arsenic can include contributions to cardiovascular and respiratory disease, neurological effects in children, and skin problems. These health effects may take a period of many years to develop.

As long as the level of arsenic is less than 500 µg/L, this water is safe to use for other purposes such as washing dishes, laundry, showering and bathing, brushing teeth, and watering plants (including vegetables), since arsenic is not easily absorbed through the skin.

Treatment Options

Various types of water treatment are effective at removing arsenic, including:

- Adsorptive media filtration
- Anion exchange
- Continuous chlorination and filtration
- Distillation
- Oxidizing media filtration
- Ozonation and filtration
- Reverse osmosis (RO)

Specialty media, distillation, and reverse osmosis (RO) are the most commonly used water treatment options. While some treatment systems may be useful for other purposes, typical water softeners and activated carbon filters will not remove arsenic on their own. In addition, boiling the water will only concentrate the arsenic.

Periodically retesting the well water after installing a water treatment unit is important to ensure it is functioning properly.

ARSENIC IN WELL WATER

It is important to maintain the treatment unit according to the manufacturer's guidance and it is recommended to choose a treatment system that is certified by an independent agency, such as NSF International, Underwriter's Laboratory (UL), or the Water Quality Association.

Other options for reducing arsenic exposure include constructing a new well, connecting to a public water system, or buying bottled water. Bottled water is subject to a variety of standards that may be more or less stringent than those of public water systems. The company producing the bottled water should be able to provide the results of their water testing.

Well Water Testing

It is up to residents with private wells to test their own well water to learn how much arsenic it contains. However, starting in August of 2008, well contractors are now required to test each new well they drill for arsenic and to share the results with the well owner and the Minnesota Department of Health (MDH). If arsenic *is not* detected in this first sample, the water is unlikely to have arsenic later. If arsenic *is* detected in this first sample, MDH recommends residents consider confirming this level by retesting the well water about six months after construction. This is based on new MDH research.

All wells should be tested for arsenic at least once.

Anoka County Environmental Services offers a well water testing program for private well owners. Test kits for arsenic can be picked up at the Anoka County Government Center in downtown Anoka. The current price for an arsenic test is \$15.

Anoka County Environmental Services and MDH also recommend all well water be tested for:

- Coliform bacteria and nitrate (every year)
- Lead (at least once)
- Manganese (before a baby drinks the water)

All of these components, along with many others, can be tested for through the Anoka County Environmental Services well water testing program. Coliform bacteria and nitrate are testing together in a test called "Sanitary Analysis". See the Water Testing FAQs on the Anoka County water website for more information on well water testing.

Resources

[Anoka County Water Website](http://www.anokacounty.us/water)

(www.anokacounty.us/water)

[Know the Flow](http://www.knowtheflow.us) (www.knowtheflow.us)

[Water Testing FAQs](#)

Anoka County
Environmental Services
2100 3rd Avenue STE 600
Anoka, MN 55303
763-324-4260
www.anokacounty.us

05/2020

July 8, 2022

Matt Carey
Pinnacle Engineering Group
20725 Watertown Road, Suite 100
Brookfield, WI 53186

SUBJECT: Scooter's Coffee
MnDOT Review #S22-016
NW quadrant of MN 65 and Constance Blvd NE
Control Section: 0208
Ham Lake, Anoka County

Dear Matt Carey,

Thank you for submitting the plans for Scooter's Coffee. The Minnesota Department of Transportation (MnDOT) has reviewed the documents, received 6/17/22, and has the following comments:

Water Resources

A MnDOT drainage permit is required before development occurs. Though plans show a decrease in impervious surfaces and runoff to MnDOT right of way (ROW), removals are still occurring on MnDOT ROW. MnDOT must have a permit for restoration of this area. Additionally, construction of one concentrated flume for discharge to the ROW must be reviewed with the drainage permit. This represents a changed condition.

The drainage permit application, including the information below, should be submitted online to: <https://olpa.dot.state.mn.us/OLPA/>. Please upload this letter with the drainage permit application.

The following information must be submitted with the drainage permit application:

1. Grading plans, drainage plans, and hydraulic calculations demonstrating that proposed flows to MnDOT right of way remain the same as existing conditions or are reduced.
2. Existing and proposed drainage area maps with flow arrows and labeling that corresponds with the submitted calculations.
3. Hydro CAD model and PDF of output for the 2, 10, and 100-year Atlas 14 storm events.

Once a drainage permit application is submitted, a thorough review will be completed and additional information may be requested. Please contact Jason Swenson, Water Resources Engineering, at 651-234-7539 or jason.swenson@state.mn.us with any questions.

Pedestrian and Bicycle

Consider working with the City to construct a sidewalk along the north side of Constance Blvd that connects to the pedestrian ramp in the NW quad of MN 65 and Constance Blvd.

Please contact Jesse Thorsen, Pedestrian and Bicycle Planning, at jesse.thorsen@state.mn.us or 651-234-7788 with any questions.

Permits

Any other work that affects MnDOT right of way will require an appropriate permit. All permits are available and should be submitted at: <https://olpa.dot.state.mn.us/OLPA/>. Please upload this letter when applying for any permits.

For questions regarding permit submittal requirements, please contact Buck Craig of MnDOT’s Metro District Permits Section at 651-775-0405 (cell) or buck.craig@state.mn.us.

Review Submittal Options

MnDOT’s goal is to complete reviews within 30 calendar days. Review materials received electronically can be processed more rapidly. Do not submit files via a cloud service or SharePoint link. In order of preference, review materials may be submitted as:

1. Email documents and plans in PDF format to metrodevreviews.dot@state.mn.us. Attachments may not exceed 20 megabytes per email. Documents can be zipped as well. If multiple emails are necessary, number each message.
2. For files over 20 megabytes, upload the PDF file(s) to MnDOT’s Web Transfer Client site: <https://mft.dot.state.mn.us>. Contact MnDOT Planning development review staff using the same email above for uploading instructions, and send an email listing the file name(s) after the document(s) has/have been uploaded.

You are welcome to contact me at 651-234-7792, or david.kratz@state.mn.us with any questions.

Sincerely,



Digitally signed by
David Kratz
Date: 2022.07.08
12:52:59 -05'00'

David Kratz
Senior Planner

Copy sent via email:

Jason Swenson, Water Resources
 Buck Craig, Permits
 Mike Lynch, Right of Way
 Ashley Hansen, Traffic
 Jennifer Wiltgen, Area Coordinator
 Lance Schowalter, Design
 Mike Samuelson, Ped/Bike Planning

Jesse Thorsen, Ped/Bike Planning
 Tod Sherman, Planning
 Cameron Muhic, Planning
 Jake Schutt, Planning
 Jennifer Bohr, Ham Lake
 Tom Collins, Ham Lake
 Russell Owen, Metropolitan Council

Tom Collins

From: Craig, E (DOT) <buck.craig@state.mn.us>
Sent: Thursday, July 14, 2022 9:13 AM
To: Matthew Carey; Kratz, David (DOT)
Cc: Swenson, Jason (DOT); Lynch, Mike (DOT); Hansen, Ashley (DOT); Wiltgen, Jennifer (DOT); Schowalter, Lance (DOT); Samuelson, Michael (DOT); Thornsens, Jesse (DOT); Sherman, Tod (DOT); Muhic, P Cameron (DOT); jbohr@ci.ham-lake.mn.us; Tom Collins; Owen, Russell; Schutt, Jake (DOT); Krisandra Lippert
Subject: RE: Scooter's Coffee - MnDOT review S22-016
Attachments: DocDownload (6).pdf

Hi Matthew, I have attached the only part of the plan that was included with the application request. I will reject the request so Kim can re-apply and upload the required plans with calcs. Also a copy of the site plan letter should also be included.

Thanks

E. Buck Craig
Roadway Regulations Supervisor
651-775-0405
MNDOT Metro Division
1500 West County Road B-2
Roseville, MN 55113

From: Matthew Carey <Matt.Carey@pinnacle-engr.com>
Sent: Wednesday, July 13, 2022 4:35 PM
To: Kratz, David (DOT) <David.Kratz@state.mn.us>
Cc: Swenson, Jason (DOT) <Jason.Swenson@state.mn.us>; Craig, E (DOT) <buck.craig@state.mn.us>; Lynch, Mike (DOT) <Mike.Lynch@state.mn.us>; Hansen, Ashley (DOT) <Ashley.Hansen@state.mn.us>; Wiltgen, Jennifer (DOT) <jennifer.wiltgen@state.mn.us>; Schowalter, Lance (DOT) <lance.schowalter@state.mn.us>; Samuelson, Michael (DOT) <Michael.Samuelson@state.mn.us>; Thornsens, Jesse (DOT) <Jesse.Thornsens@state.mn.us>; Sherman, Tod (DOT) <tod.sherman@state.mn.us>; Muhic, P Cameron (DOT) <cameron.muhic@state.mn.us>; jbohr@ci.ham-lake.mn.us; tcollins@rfcengineering.com; Owen, Russell <Russell.Owen@metc.state.mn.us>; Schutt, Jake (DOT) <Jake.Schutt@state.mn.us>; Krisandra Lippert <krisandra.lippert@scooterscoffee.com>
Subject: RE: Scooter's Coffee - MnDOT review S22-016

This message may be from an external email source.

Do not select links or open attachments unless verified. Report all suspicious emails to Minnesota IT Services Security Operations Center.

David (and all),

Please note that we formally submitted the Drainage Permit application for this project today through the online system. Please let me know if you did not receive this. This included the updated plans and the drainage calcs (including Hydrocad reports) that were requested.

Tom Collins

From: Brandon T. Ulvenes <Brandon.Ulvenes@co.anoka.mn.us>
Sent: Tuesday, July 19, 2022 8:21 AM
To: Tom Collins
Subject: RE: 22-148 Scooter's Coffee - Ham Lake, MN - Building Submittal Questions

Hi Tom –

We've been working with Scooter's Coffee to address some concerns we have about the erosion at the edge of pavement on Constance. With the elevations listed on their plans, the bottom of the 'ditch' between Constance and their drive-thru was effectively the same elevation as the edge of pavement. During a phone call with Matt Carey, we decided to look at adding curb to the edge of Constance thru this stretch to protect the pavement and prevent ponding on the roadway from their runoff.

We haven't provided official comment for the newest plans yet – one of our reviewers is out for this week. I expect we'll have some comments about needing a flume to be put on the end of the curb segment on Constance, etc., but generally their access location, site plan, and runoff values are acceptable. I think all of our remaining concerns are focused on that boulevard section between Constance and their drive thru.

Thanks,

Brandon T. Ulvenes
Anoka County Highway Department
Direct – (763) 324 • 3159
Office – (763) 324 • 3100
brandon.ulvenes@co.anoka.mn.us

From: Tom Collins <TCollins@rfcengineering.com>
Sent: Monday, July 18, 2022 2:03 PM
To: Brandon T. Ulvenes <Brandon.Ulvenes@co.anoka.mn.us>
Subject: FW: 22-148 Scooter's Coffee - Ham Lake, MN - Building Submittal Questions

EXTERNAL EMAIL ALERT: This message originated from outside the Anoka County email system. Use Caution when clicking hyperlinks, downloading pictures or opening attachments.

From: Tom Collins
Sent: Monday, July 18, 2022 1:59 PM
To: Brandon Ulvenes <brandon.ulvenes@co.anoka.mn.us>
Cc: Logan J. Keehr <Logan.Keehr@co.anoka.mn.us>
Subject: FW: 22-148 Scooter's Coffee - Ham Lake, MN - Building Submittal Questions

Brandon,

Tom Collins

From: Sarah Montan <smontan@cooncreekwd.org>
Sent: Monday, May 9, 2022 3:43 PM
To: Matthew Carey
Subject: RE: Ham Lake Scooter's

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Matt,

Thank you for sending over that concept plan. As of right now the proposed project does not require a Coon Creek Watershed District permit under our current rules. The site and area of disturbance is less than an acre so stormwater does not apply and no other permit triggers are present on the site.

Please be sure to work with the City and make sure any requirements on their end are met. If the project is not anticipated to begin until after August 1st, you will need to submit for a permit from us before beginning the work under our new rules.

Please let me know if you have any questions.

Thank you,

Sarah Montan

Watershed Development Specialist

763.258.4405 cell
763.755.0975 office

13632 Van Buren NE
Ham Lake, MN 55304
www.cooncreekwd.org



From: Matthew Carey <Matt.Carey@pinnacle-engr.com>
Sent: Monday, May 9, 2022 2:35 PM
To: Sarah Montan <smontan@cooncreekwd.org>
Subject: Ham Lake Scooter's

Hi Sarah,

Thanks again for the time today. Attached is the preliminary site plan for the project. The site is 0.6 AC in size and will include an increase in greenspace with this project. Also, we are certainly planning on providing a full application to you prior to the ordinance changing in August. Given this, can you please let us know when we should formally submit the plans and the Erosion Control application? Do you prefer at the same as when we submit to Ham Lake?

Thanks,

Matt Carey, P.E. (WI, IL, MN, IA, MI, FL), LEED AP | Project Manager



PINNACLE ENGINEERING GROUP

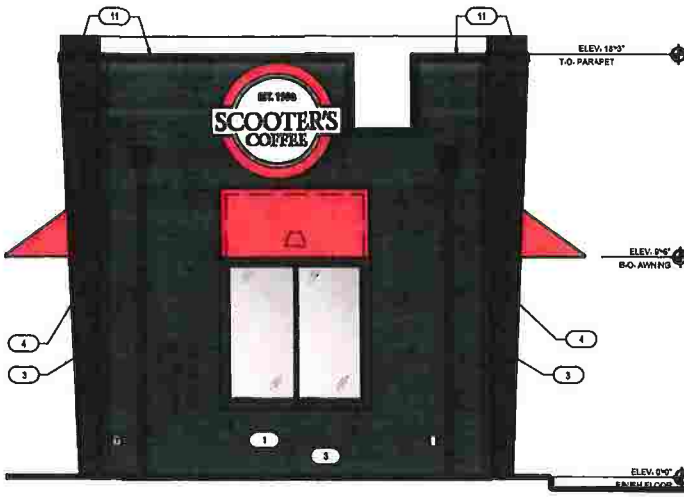
CIVIL ENGINEERING | NATURAL RESOURCES | SURVEYING

20725 Watertown Road | Suite 100 | Brookfield, WI 53186
(262) 754-8888 Main | (262) 754-8898 Direct | (269) 352-1550 Cell | (262) 754-8850 Fax

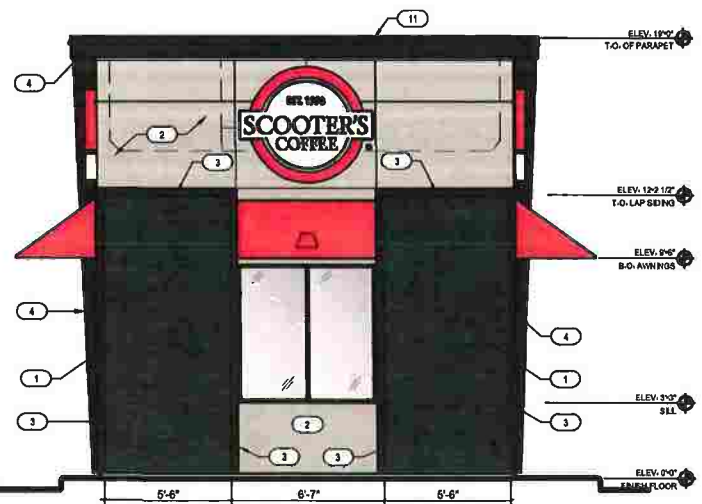


SCOOTER'S
COFFEE DRIVE-THRU

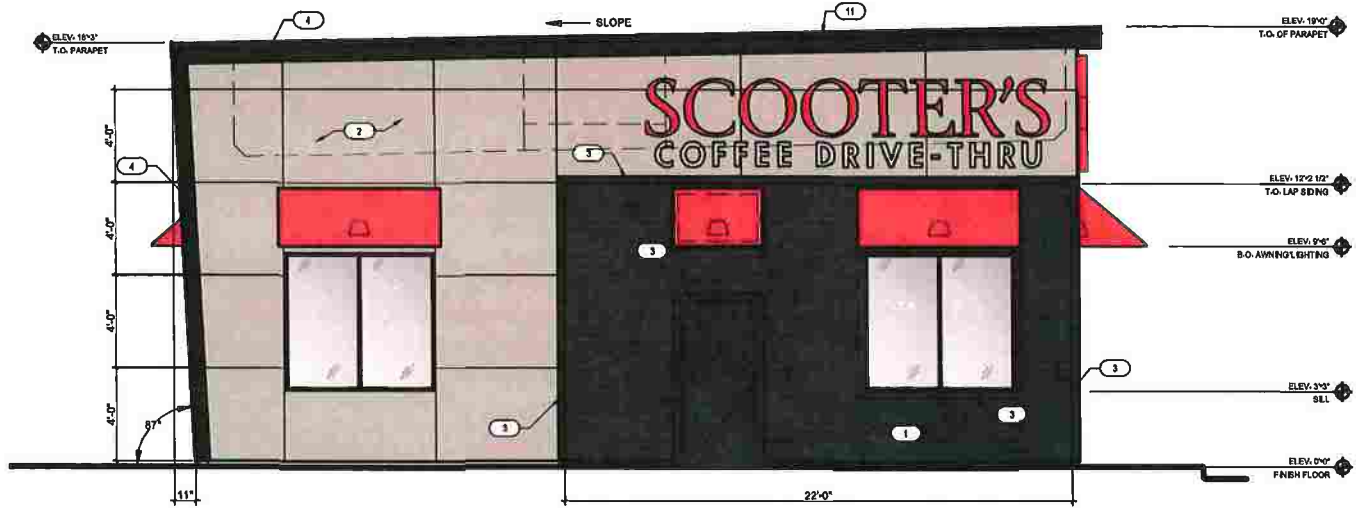




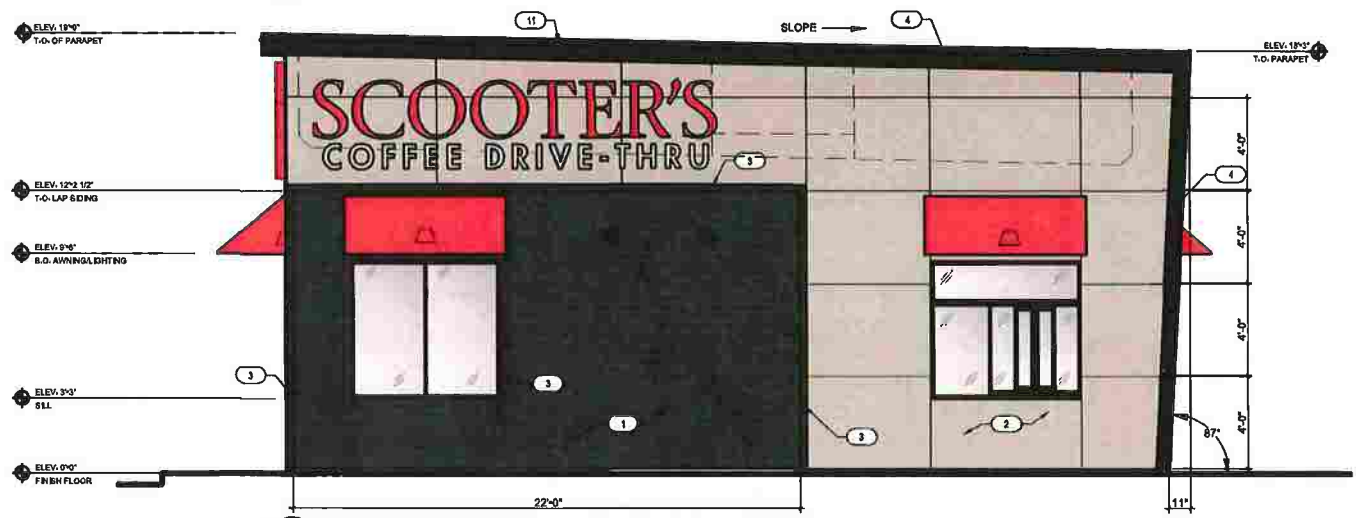
1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



3 DRIVE THROUGH SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

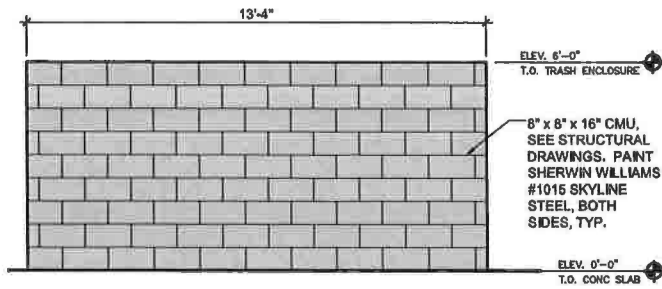
KEYNOTES

- 1. HARDIE PLANK HZ10 LAP SIDING CEDARMILL 6-1/4". SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
- 2. HARDIE REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH. SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL

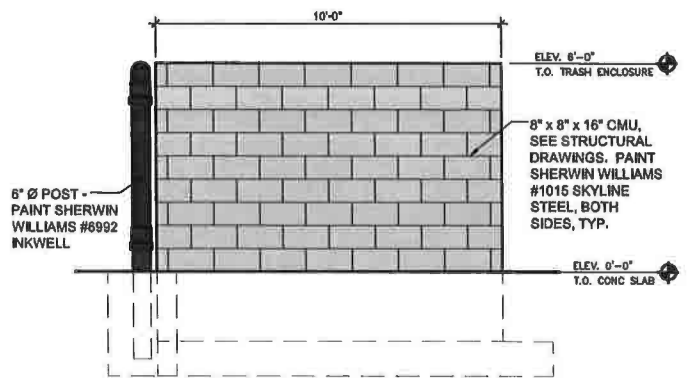
- 3. 3 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
- 4. HARDIE PANEL ACCENTS AND SOFFITS - COLOR: BLACK
- 11. 20 GAUGE METAL PARAPET CAP

4.1 PROTOTYPE
05/26/2022

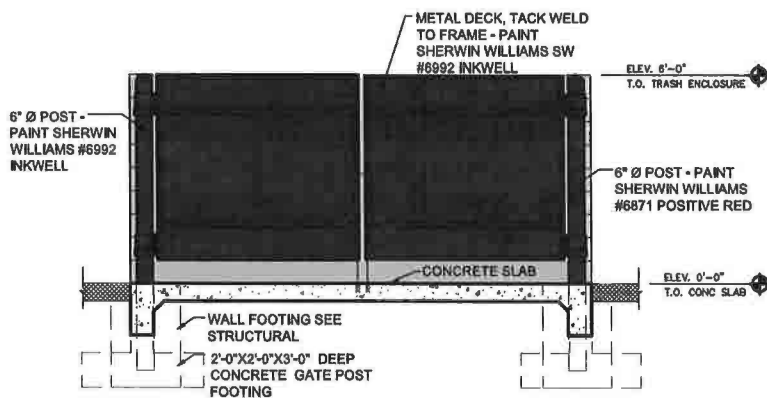




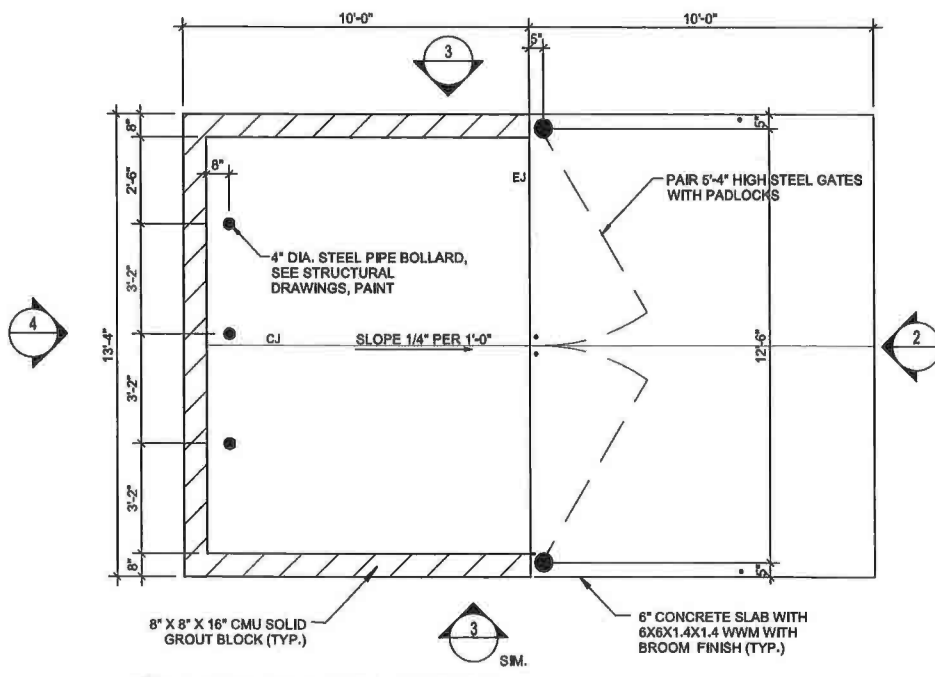
4 TRASH ENCLOSURE ELEVATION
SCALE: 3/16" = 1'-0"



3 TRASH ENCLOSURE ELEVATION
SCALE: 3/16" = 1'-0"



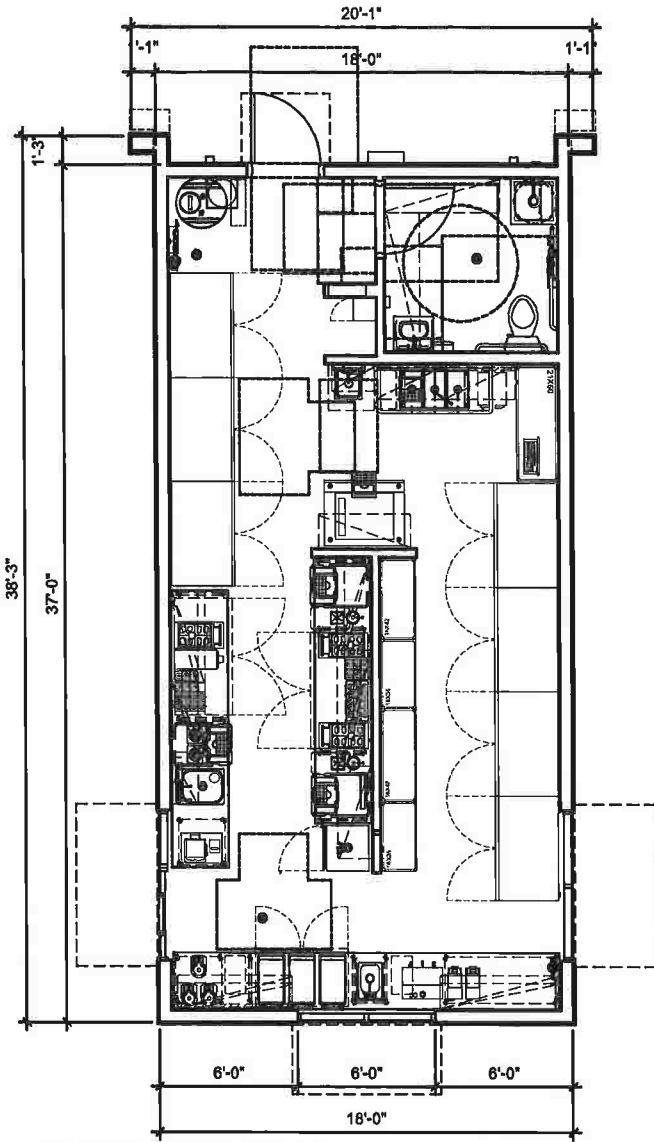
2 TRASH ENCLOSURE ELEVATION
SCALE: 3/16" = 1'-0"



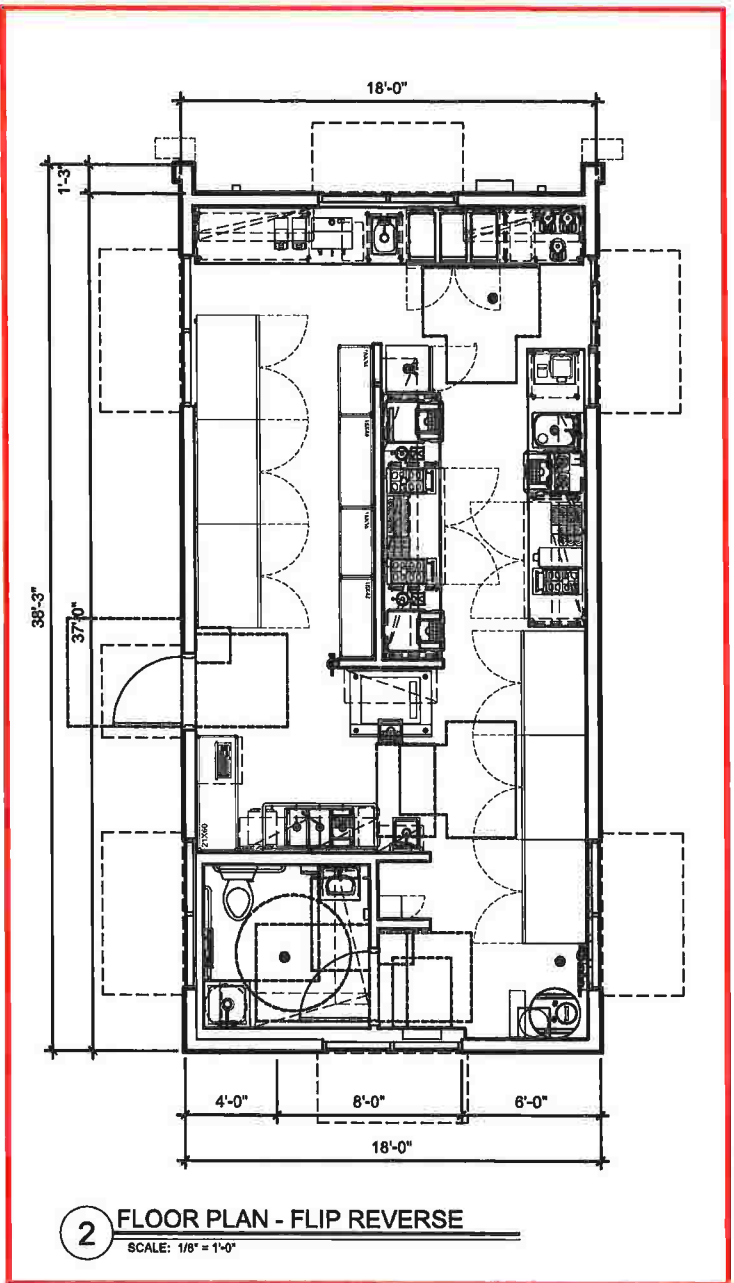
1 TRASH ENCLOSURE PLAN
SCALE: 3/16" = 1'-0"

4.1 PROTOTYPE
05/26/2022





1 FLOOR PLAN - STANDARD
SCALE: 1/8" = 1'-0"



2 FLOOR PLAN - FLIP REVERSE
SCALE: 1/8" = 1'-0"

4.1 PROTOTYPE
05/26/2022





D/F MONUMENT SIGN DISPLAY:
SCALE: 3/8" = 1'-0"

DRAWING #: 121772

PROJECT ID: n/a

SALES PERSON: Andye Nelson

DRAWN BY: Sean Cornett

DATE: 10.01.19 **INSPECTED BY:**

Revised:



VARIOUS LOCATIONS

Omaha Neon Sign Co., Inc.

1120 N 18th Street - Omaha 68102

402.341.6077 - 402.341.7654 fax

This design and all material appearing hereon constitute the original unpublished work of Omaha Neon Sign Co., Inc. and may not be duplicated, used or disclosed without written consent.

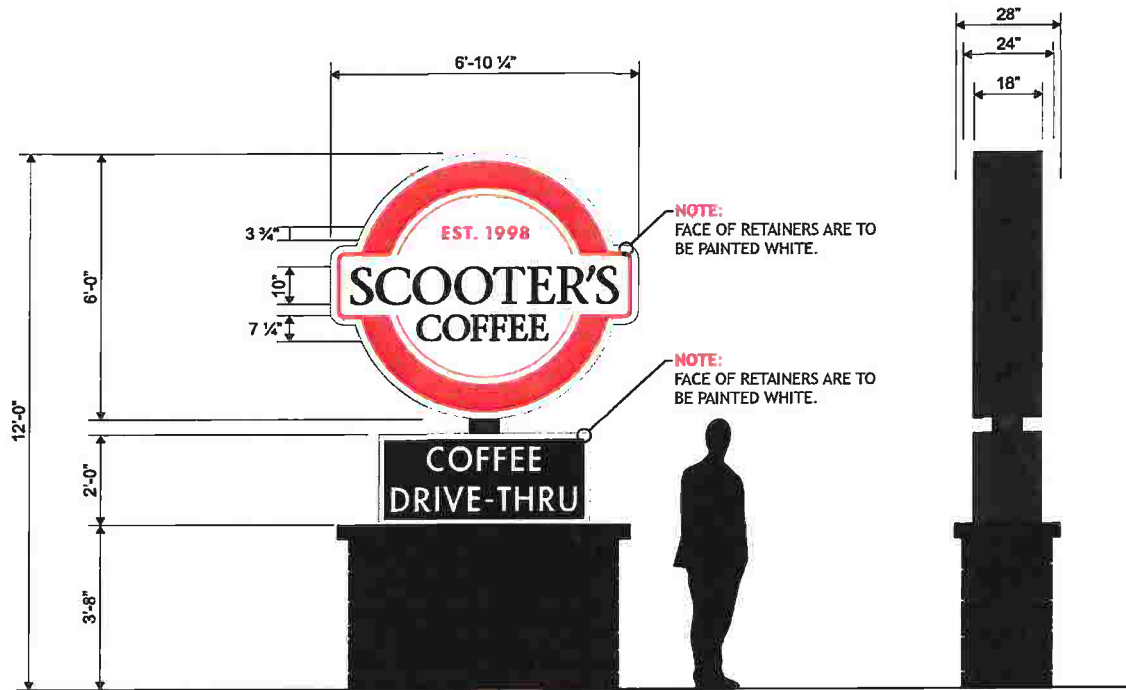
Notes:

NOTICE:

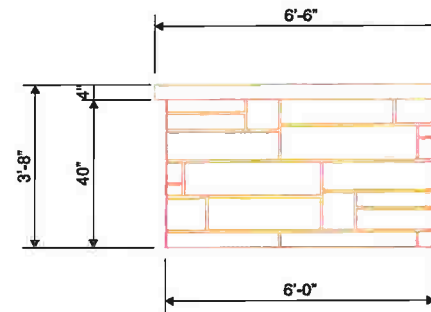
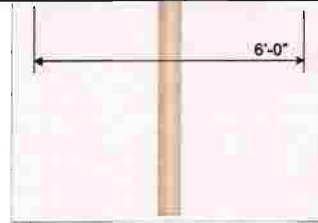
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Signer _____ Date _____
 Sales Rep _____ Date _____

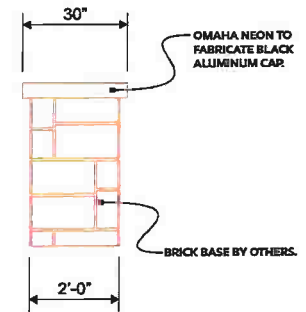
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



SPREAD FOOTING DETAIL
 DEPTH: 5'-0"
 FACE WIDTH: 7'-0"
 END WIDTH: 3'-0"
 TYPE: SPREAD
 STEEL SIZE: 6 INCH STD.
TO BE VERIFIED



BASE DETAIL: FACE



BASE DETAIL: END

SCOOTER'S
 COFFEE DRIVE-THRU

SPECIFICATIONS

D/F SIGN CABINET(S)

FABRICATED FROM .050 ALUMINUM OVER AN INTERNAL ANGLE FRAME WITH WHITE PRE-FINISHED ALUMINUM SKIN. RETAINERS ARE TO BE WHITE PRE-FINISHED ALUMINUM. FACES ARE TO BE WHITE LEXAN WITH 3M VINYL GRAPHICS APPLIED TO THE FIRST SURFACE (AS NOTED). INTERNAL ILLUMINATION WITH ONE (1) ROW OF SYLVANIA OSRAM D/S LED LIGHTING. CABINET IS TO BE MOUNTED TO SINGLE POLE STRUCTURE (AS NOTED).

3M Series 230

