



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, JULY 10, 2023

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: June 26, 2023

PUBLIC HEARINGS:

6:01 p.m. None

NEW BUSINESS:

1. Josh Williams, Structural Buildings, requesting Commercial Site Plan approval to construct a 9,352 square foot office/warehouse building for H&H Contracting at 15454 Central Avenue NE

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, JUNE 26, 2023

The Ham Lake Planning Commission met for its regular meeting on Monday, June 26, 2023 in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, Dave Ringler, Jeff Entsminger, Jonathan Fisher and Erin Dixon

MEMBERS ABSENT: Commissioners Kyle Lejonvarn and Scott Heaton

OTHERS PRESENT: City Engineer Tom Collins, Building and Zoning Official Mark Jones and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Fisher, seconded by Dixon, to approve the minutes of the June 12, 2023 Planning Commission meeting as written. All present in favor, motion carried.

Chair Pogalz stated the Commission would review New Business prior to holding the public hearings.

NEW BUSINESS:

Mitch Stone, Stone Construction, requesting Commercial Site Plan approval to construct a 12,992 square foot addition to Jam Hops at 1460 133rd Lane NE

Mr. Paul Stone and Mr. Mitch Stone were present. Mr. Mitch Stone spoke on behalf of Stone Construction. Mr. Stone stated Jam Hops has operated in Ham Lake for over 26 years. Mr. Stone stated Jam Hops offers various classes and programs to kids and adults such as gymnastics, Ninja, recreational dance classes, competitive dance classes, competitive boys' and girls' gymnastics teams and an academic preschool. Mr. Stone stated Jam Hops opened their current location in 2017 and have steadily grown their business; some classes have had wait lists for two years. Mr. Stone stated the project is a 12,992 square foot addition to the existing building, which will primarily be gym space, as well as a parking lot expansion. Commissioner Entsminger asked if the septic design issues have been resolved. Mr. Stone stated they are still working with the Building Official on that. Chair Pogalz asked Engineer Collins to comment on the project.

Engineer Collins stated the current screening, consisting of pine trees, were planted along the east side of the parcel and on the south side of 133rd Lane NE where the property abuts residential zoning when the Jam Hops building was constructed. Engineer Collins stated the stormwater treatment basin that was constructed with the building has adequate capacity for the proposed expansion. Engineer Collins stated Building Official Jones is working with the Building Official from the City of Wyoming on review of the septic design. Engineer Collins stated the State Fire Marshall's office will determine if the reserve water tank and pump capacity of the existing fire suppression system are sufficient for the new addition. Chair Pogalz asked if the screening that is currently in place will remain. Engineer Collins stated it would. Building Official Jones stated the current screening is insufficient and needs to be improved to meet the requirements of Article 11-1853.A. Commissioner Dixon completed the inspection; a copy which is on file. Commissioner Dixon stated the trees on the north side of the property have large gaps between them and no trees are currently in place on the east side of the property. Commissioner Dixon stated Building Official Jones has stated some residents to the north of Jam Hops have complained about headlights shining into their houses when vehicles are departing from Jam Hops in the evening. Chair Pogalz asked Commissioner Dixon if screening was discussed with the applicant. Commissioner Dixon stated she did discuss screening requirements with Mr. Mitch Stone. Mr. Mitch Stone and Mr. Paul Stone asked Building Official Jones to clarify what is needed for screening. Building Official Jones stated coniferous trees should be planted staggered in two rows so that they become intermingled as they grow; the trees that get planted must be conifers that are at least five feet high. Building Official Jones stated the applicant could also put up a fence on the east and north sides of the property; the fence height must be at least six feet high. Building Official Jones stated the screening plan will not hold up the issuance of a building permit but a screening plan must be provided. Chair Pogalz asked Building Official Jones if anything needed to be stated in the motion tonight about the septic design. Building Official Jones stated the motion should include that no building permit will be issued until the septic design has been approved by the City of Wyoming Building Official. **Motion by Dixon, seconded by Pogalz, to recommend approval for Stone Construction to build a 12,992 square foot addition to the existing Jam Hops building located at 1460 133rd Lane NE subject to providing a screening plan that meets the approval of the Building Official, submitting a septic design that can accommodate the occupancy load as required by Minnesota Subsurface Sewage Treatment System Program (SSTS) rules (no building permit will be issued until the septic design has been approved by the City of Wyoming Building Official), meeting the requirements of the City Engineer and the Building Official and meeting all City, County and State requirements. All present in favor, motion carried. This application will be placed on the City Council's Wednesday, July 5, 2023 agenda.**

PUBLIC HEARING:

Richard and Diane Sylvester requesting Preliminary and Final Plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Toby's Trails (3 single family residential lots) located in Section 15

Richard and Diane Sylvester were present. Mrs. Sylvester stated they are creating this subdivision to provide their daughters with lots to build houses on. Chair Pogalz asked

Engineer Collins to comment. Engineer Collins stated the property is currently zoned Residential Single Family (R-1) and Rural Residential Single Family (R-A); the entire plat will be rezoned to R-1. Engineer Collins stated this is a minor plat; it does not require the existing driveway for Lot 1 to be paved nor does the driveway have to outlet onto an improved road. Engineer Collins stated per Article 10-430E.2 of the City Code, the existing Lot 1 gravel driveway will have to be paved prior to approval of any future building permits. Engineer Collins stated future subdivision of Lot 1 is anticipated that could create up to four more lots; any future subdivision will require the upgrade of Naples Street NE from Constance Boulevard NE to the southeast plat border. Engineer Collins stated the existing septic system on Lot 1 requires a compliance inspection per Article 11-450.4.c. Engineer Collins stated easements along Constance Boulevard NE are larger than the standard ten-foot easement due to wetland buffers; an encroachment agreement is required for Lots 2 and 3. Engineer Collins stated a development agreement is not required as the plat will be utilizing existing infrastructure; a \$200 drainage fee and \$2500 parkland dedication fee will need to be paid for each lot. Engineer Collins stated the thoroughfare plan shows East Lake Netta Drive NE extending to the south of Constance Boulevard NE; the applicants have provided 33' of right-of-way in the northwest corner of the plat. Commissioner Entsminger completed the inspection; a copy which is on file. Commissioner Entsminger stated "it's land". Commissioner Entsminger spoke with the applicants about Engineer Collins memo; the applicants understand the requirements of the plat.

Chair Pogalz opened the public hearing at 6:18 p.m. and asked for public comment.

Kathy Johnson, 16130 Naples Street NE. Mrs. Johnson stated she would like information on the East Lake Netta Drive NE road extension to the south and southwest. Engineer Collins stated the City sees future development potential for the property directly west of the Sylvester's property. Engineer Collins stated Anoka County has specific intersection spacing guidelines and will want a future extension of East Lake Netta Drive NE to be aligned with the existing road to the north; the road will extend directly south of Constance Boulevard NE and will turn to the west. Mrs. Johnson asked if this was being pursued because the City doesn't want to improve Naples Street NE for Mr. Glen Haag. Engineer Collins stated the dedication of the right-of-way by the Sylvester's will end in a small cul-de-sac on the property directly west of the Sylvester property for anticipated future development. Engineer Collins provided additional explanation on the thoroughfare plan to Mrs. Johnson and stated any future development that would occur on the Haag property would be accessed via Naples Street NE.

Chair Pogalz closed the public hearing at 6:21 p.m.

Motion by Entsminger, seconded by Fisher, to recommend approval of the request of Richard and Diane Sylvester for Preliminary and Final Plat approval and rezoning of a portion of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Toby's Trails (3 single family residential lots) located in Section 15 subject to removal/relocation of portions of the existing gravel driveway that encroaches into the ten-foot drainage and utility easement, having a compliance inspection performed on the existing septic system on Lot 1, signing an

encroachment agreement for Lot 2 and Lot 3 driveways encroaching into the drainage and utility easement adjacent to Constance Boulevard NE, paving the existing gravel driveway of Lot 1 before any future building permits are issued on that parcel, upgrading Naples Street NE from Constance Boulevard NE to the southeast plat border if the property is subdivided again in the future, meeting the requirements of the City Engineer, and meeting all City, State and County requirements. All present in favor, motion carried. *This application will be placed on the City Council's Wednesday, July 5, 2023 agenda.*

Jeff Stalberger, HFN Properties, LLC, requesting Preliminary Plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Hidden Forest East Fourth Addition (22 Single Family Residential lots and 3 out-lots) in Sections 24 and 25

Mr. Jeff Stalberger, Sr. Mr. Jeff Stalberger, Jr. and Mr. Ryan Stalberger were present. Mr. Stalberger Sr. spoke on behalf of the project. Mr. Stalberger stated this plat will have 22 residential lots. Mr. Stalberger stated some cul-de-sacs have been pulled back from the temporary dead ends to minimize the impact to the wetlands and to avoid impacting septic areas or driveways of parcels near those areas. Mr. Stalberger stated there are three out-lots (A, B, C). Mr. Stalberger stated those out-lots were created with future development in mind; the northern most out-lot will be deeded to the property owner to the northeast so the land owner has a connection to future development and the other two out-lots will be deeded back to the Knoll family. Mr. Stalberger stated out-lot A from the Hidden Forest East Third Addition is included in the Hidden Forest East Fourth Addition; parkland was dedicated with the third addition so the three lots in the fourth addition, that are within former out-lot A of the third addition, will not be required to pay a parkland dedication fee; all other lots within the fourth addition will be required to pay a parkland dedication fee. Chair Pogalz asked Engineer Collins to comment on the plat. Engineer Collins stated parkland dedication fees will need to be paid. Engineer Collins stated the developer is considering another phase for this development in the future which would be adjacent to Lexington Avenue NE; the City will determine if additional parkland will be needed at that time. Engineer Collins stated an encroachment agreement will be needed for Lot 10, Block 1, due to a septic line crossing a drainage and utility easement and a FEMA Letter of Map Amendment will be required for Lots 1, 2, 3, 5, 6, 7 of Block 1. and Lot 2 and Lot 3 Block 3. Engineer Collins stated a rare species survey required by the DNR Natural Heritage Review found the presence of threatened black huckleberry plants; a takings permit will need to be obtained from the DNR to remove the black huckleberry plants. Engineer Collins stated the Coon Creek Watershed District (CCWD) has approved the project; the developer must provide proof of the NPDES/MPCA Construction Stormwater permit, submit verification of the Wetland Bank Credit Withdrawal and submit the DNR Takings Permit prior to obtaining the CCWD permit. Engineer Collins stated a temporary cul-de-sac right-of-way on Stutz Street NE is proposed to be vacated in the yard of Lot 1, Block 2; the vacation process must be completed and recorded before the plat is recorded. Commissioner Fisher completed the inspection; a copy which is on file. Commissioner Fisher stated the land the development will be on will compliment the existing developments well. Chair Pogalz asked what future phase will connect with Lexington Avenue NE as some residents in the existing developments have expressed concern about having only one street for ingress/egress.

Mr. Stalberger stated he hopes the next phase will include ingress/egress to Lexington Avenue NE.

Chair Pogalz opened the public hearing at 6:32 p.m. and asked for public comment; with there being none, he closed the public hearing at 6:32 p.m.

Motion by Fisher, seconded by Entsminger, to recommend approval of the request Jeff Stalberger, HFN Properties, LLC, for Preliminary Plat approval and rezoning of portions of land from R-A (Rural Single Family Residential) to R-1 (Single Family Residential) of Hidden Forest East 4th Addition (22 Single Family Residential lots and 3 out-lots) in Sections 24 and 25 subject to meeting the requirements of the City Engineer as noted in his June 22, 2023 memo, and meeting all City, State and County requirements. All present in favor, motion carried. *This application will be placed on the City Council's Wednesday, July 5, 2023 agenda.*

COMMISSION BUSINESS:

City Council Update

Chair Pogalz stated the City Council concurred with the recommendation to approve the Preliminary and Final Plat of the Hentges Addition. Commissioner Fisher will attend the July 5, 2023 City Council meeting.

ADJOURNMENT:

Motion by Dixon, seconded by Fisher, to adjourn the Planning Commission meeting at 6:36 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: July 10, 2023

INSPECTION ISSUED TO: Kyle Lejonvarn

APPLICANT/CONTACT: Structural Buildings, Josh Williams

TELEPHONE NUMBER: 320-248-3870 or j.williams@structuralbuildings.com

BUSINESS/PLAT NAME: H&H Contracting

ADDRESS/LOCATION OF INSPECTION: 15454 Central Ave NE

APPLICATION FOR: Commercial Site Plan

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE
Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 24TH JDW 21 April 2023

Date of Receipt 4/24/23
Receipt # 95799

Meeting Appearance Dates:
Planning Commission 7-10-23 City Council _____

Please check request(s):

- | | |
|---|--|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input checked="" type="checkbox"/> Commercial Building Site |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other |

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: H&H Contractors

Address/Location of property: 15454 Central Avenue NE Ham Lake, MN

Legal Description of property: Sec 20, Twsp 32, Range 23

PIN # 20-32-23-24-001 Current Zoning CD-2 Proposed Zoning CD-2

Notes: Demo residential home & build a new warehouse/office facility for the H&H Contractors' business operations.

Applicant's Name: Josh Williams

Business Name: Structural Buildings

Address 12926 First Street

City Becker State MN Zip Code 55308

Phone 763-296-5800 Cell Phone 320-248-3870 Fax 763-296-5801

Email address j.williams@structuralbuildings.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 21 April 2023

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO

Attachment to Planning Request

April 21, 2023

Description of Request(s):

Project Name: H&H Facility (Shop/Office)

Nature of Proposed Use:

The Applicant intends to develop the previously residential property into a commercial use facility for its Landscaping & Snow Removal business. This would remove the existing residential structures to build a new shop & office facility with parking & ADA accessibility features.

The new facility would employ approximately 15 employees during regular business hours of Mon-Fri 7am to 5pm. The shop's intended use is for equipment maintenance & washing. The West yard is intended to provide storage of misc. equipment & trailers.

Seeking:

Commercial building site & development approval.

Reasons to Approve Request:

Landscaping Businesses and Office Warehouses are permitted uses in the CD-2 zoning district. References to this can be found in Article 9, Section 9-220.3.b.
Article 9

Meeting Date: July 10, 2023

CITY OF HAM LAKE

STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: H&H Contractors requesting site plan approval to build a 9,352 square foot office/warehouse building at 15454 Central Avenue NE

Introduction/Discussion:

H&H Contractors is a landscaping & snow removal business. H&H Contractors wants to build a 9,352 square foot office/warehouse building at 15454 Central Avenue NE. The main floor will have 6,400 square feet of warehouse space and 2,952 square feet of office space; the second floor will be 1,292 square feet and is intended to be used for storage. One bay in the warehouse will be used for equipment maintenance and to wash equipment and vehicles. The remaining space will be used for storage of equipment and landscaping materials. The west yard will have a Class 2 base and will be used for storage of equipment, trailers and miscellaneous items. Parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer per Articles 9-220.1.a and 11-1851. Fifteen employees will be working on-site. Business hours will be Monday – Friday, 7am to 5 pm.

The west side of the parcel has some deciduous trees which currently provide natural screening, but may not provide proper screening during fall and winter months. Per Article 11-1853, where property lines are adjacent to residential areas, a planting screen of conifers shall be required of sufficient size and proximity to provide an intermingled screen within five years. Also, per 11-1853, decorative trees shall be planted along the right of way lines of adjacent public roadways. The Code does not require a specific number of trees along the right of way lines of adjacent public roadways. The Planning Commission will need to determine the number of trees needed to provide adequate screening along the right of way line.

Recommendation:


I recommend site plan approval for H&H Contracting with the following conditions:

- 1) That parking spaces and the septic system meet the maximum occupancy load of 41.
- 2) Ground work cannot begin until a Coon Creek Watershed District permit and National Pollutant Discharge Elimination system (NPDES) permit have been issued.
- 3) All screening requirements proposed by the planning committee or City Council must be approved by the City Engineer and Building Official before a building permit will be issued.

Memorandum

Date: July 6, 2023

To: Planning Commissioners

From: David A. Krugler, City Engineer 

Subject: H&H Contractors

Introduction:

The proposed 9,352 square-foot H&H Contractors building is located on the 4.75-acre 15454 Central Avenue parcel. The parcel is zoned Commercial Development Tier 2 (CD-2). A 100-scale aerial photo, a 500-scale zoning map and a 400-scale half section map are attached.

Discussion:

The Storm Water Calculations and Report of Geotechnical Explorations received June 20th, Topo Survey, Site Plan, Standard Notes & Specifications, Standard Details, Grading Plan, SWPPP – Standard Notes, SWPPP – Plan View, Utility Plan and Photometrics Plan received June 29th and Retaining Wall Drawings received June 30th address prior review comments.

The attached Landscape Plan with a revision date of June 1st shows existing tree screening to remain to the west and southwest of the proposed building. Per the zoning map, the parcels to the west are zoned Single Family Residential (R-1). Landscaping in commercially zoned areas is to be per 11-1800 of City Code (attached). The Landscape Plan also shows two existing trees to remain and a rock garden and flag pole installed along Central Avenue. Per 11-1853(B) of the City code, decorative trees shall be planted along the right of way lines of adjacent public roadways. 11-1860 allows for case-by-case evaluation for landscape approval and “strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan”. A determination needs to be made as to whether the proposed Landscaping is adequate where adjacent to R-1 zoning and the City Right-of-Way or if additional screening is required.

H&H Contractors was conditionally approved by the Coon Creek Watershed District (CCWD) Board of Managers at their June 12th meeting. The Notice of Application Status is attached. The execution of an Operation and Maintenance Agreement for the storm water treatment is required to obtain the CCWD Permit. A CCWD permit is required before grading operations can commence. A MPCA Construction Stormwater Permit is also required before grading operations can commence because the disturbed area is over one-acre.

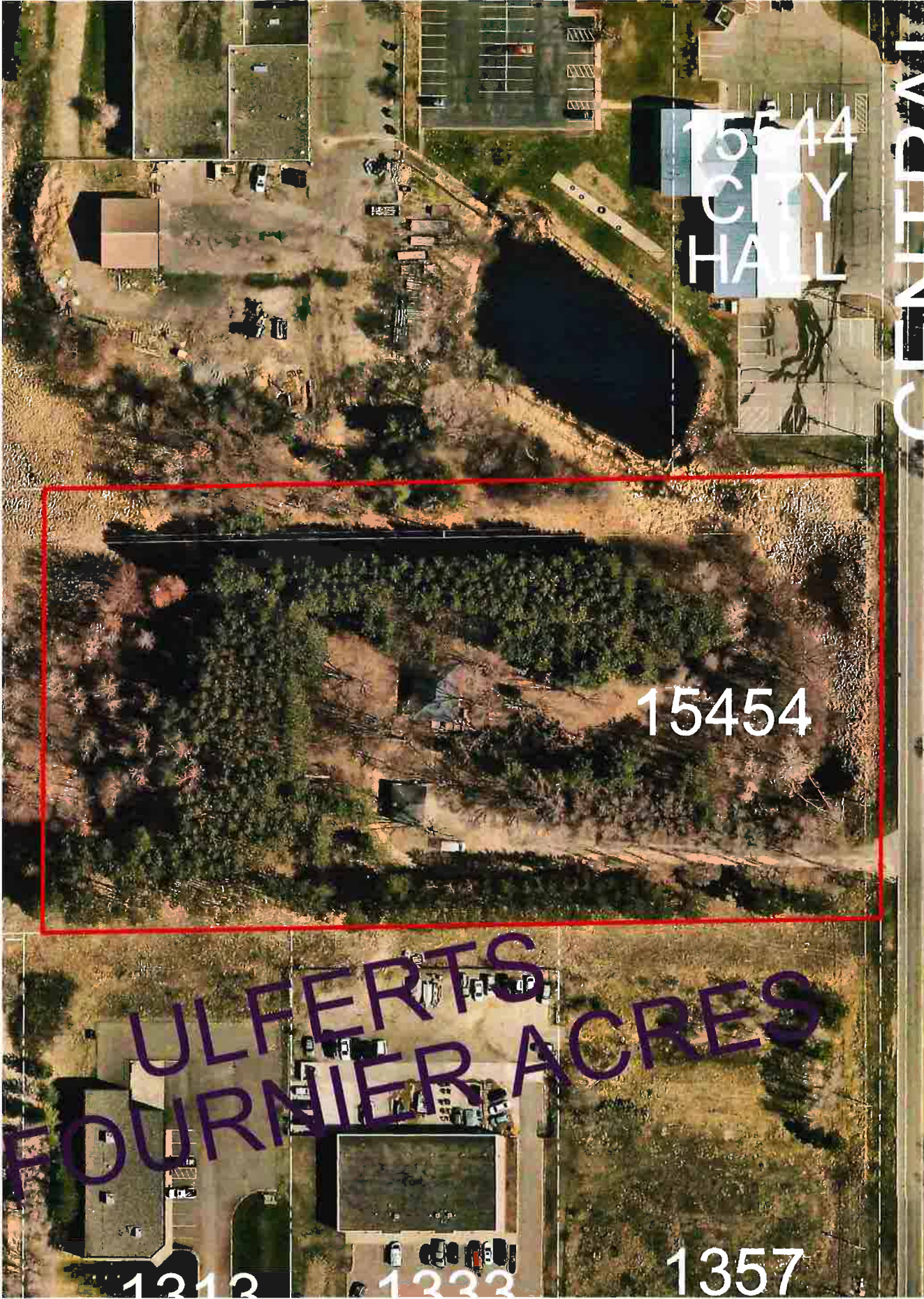
There is a drainage and utility easement over the easterly portion of the parcel which extends beyond the typical 10-foot drainage and utility easement that was obtained during the construction of the streets within Bostrom's Addition and Fredrickson Addition. An Encroachment Agreement will be required for the driveway and retaining wall encroaching into the drainage and utility easement.

There is a Rural Cooperative Power Association (RCPA) easement over the northerly 70-feet of the property as shown on the attached Site Plan and half section map. Great Rivers Energy has jurisdiction over the easement. Per the attached Great River Energy Encroachment Application, encroachments shown on the site plan within their easement are approved.

There is a Minnesota Pipeline Company easement over the southerly portion of the property ranging from 33-feet wide on the east side to 44-feet wide on the west side of the property as shown on the attached Site Plan and half section map. Koch Pipeline has jurisdiction over the easement. No work is proposed within this easement so Koch Pipeline approval is not required.

Recommendation:

It is recommended that the H&H Contractors plans be recommended for approval, including the determination if the proposed screening is adequate.



15544
CITY
HALL

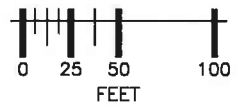
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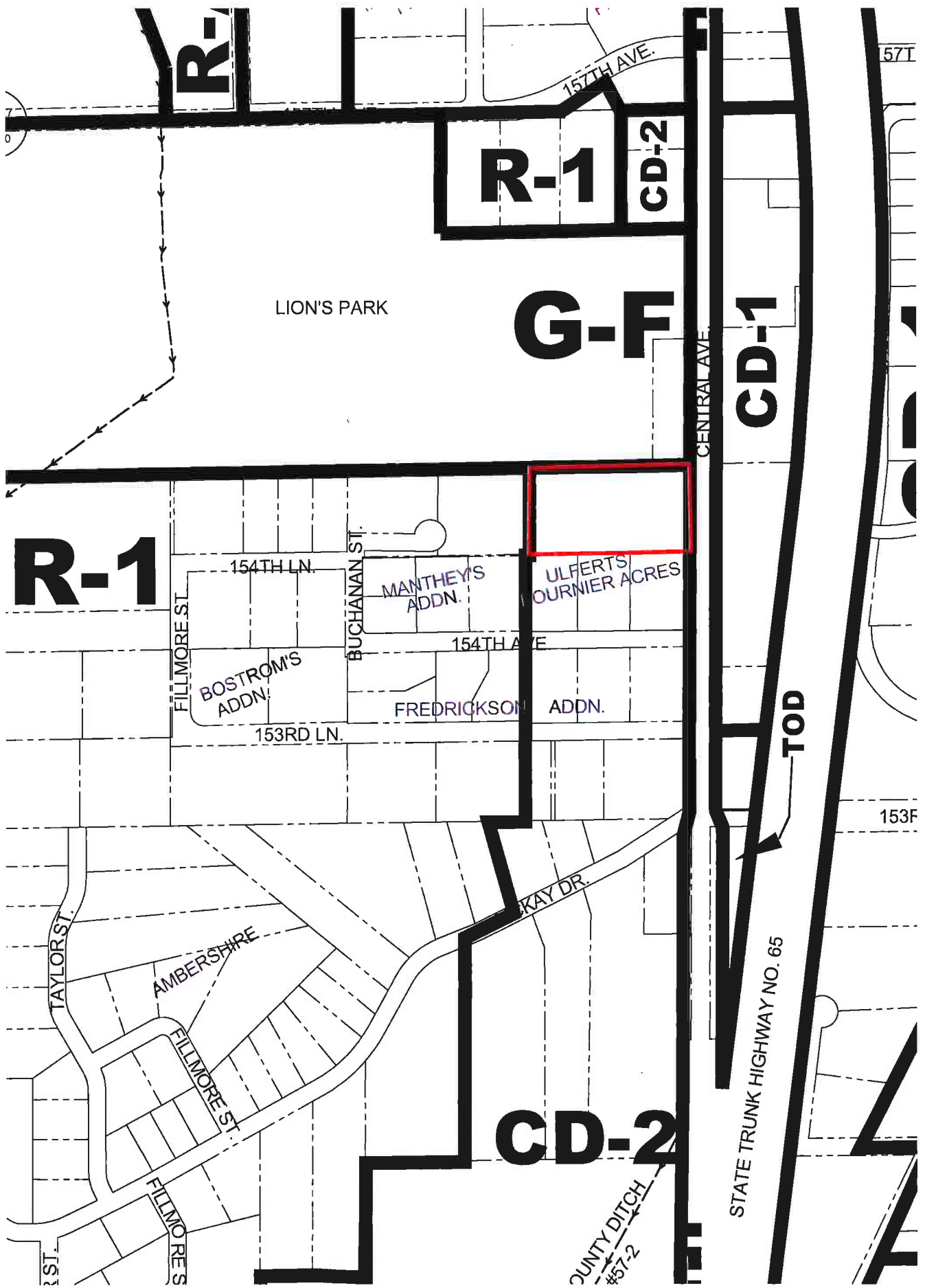
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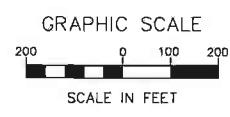
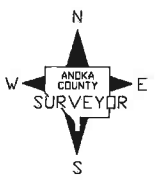
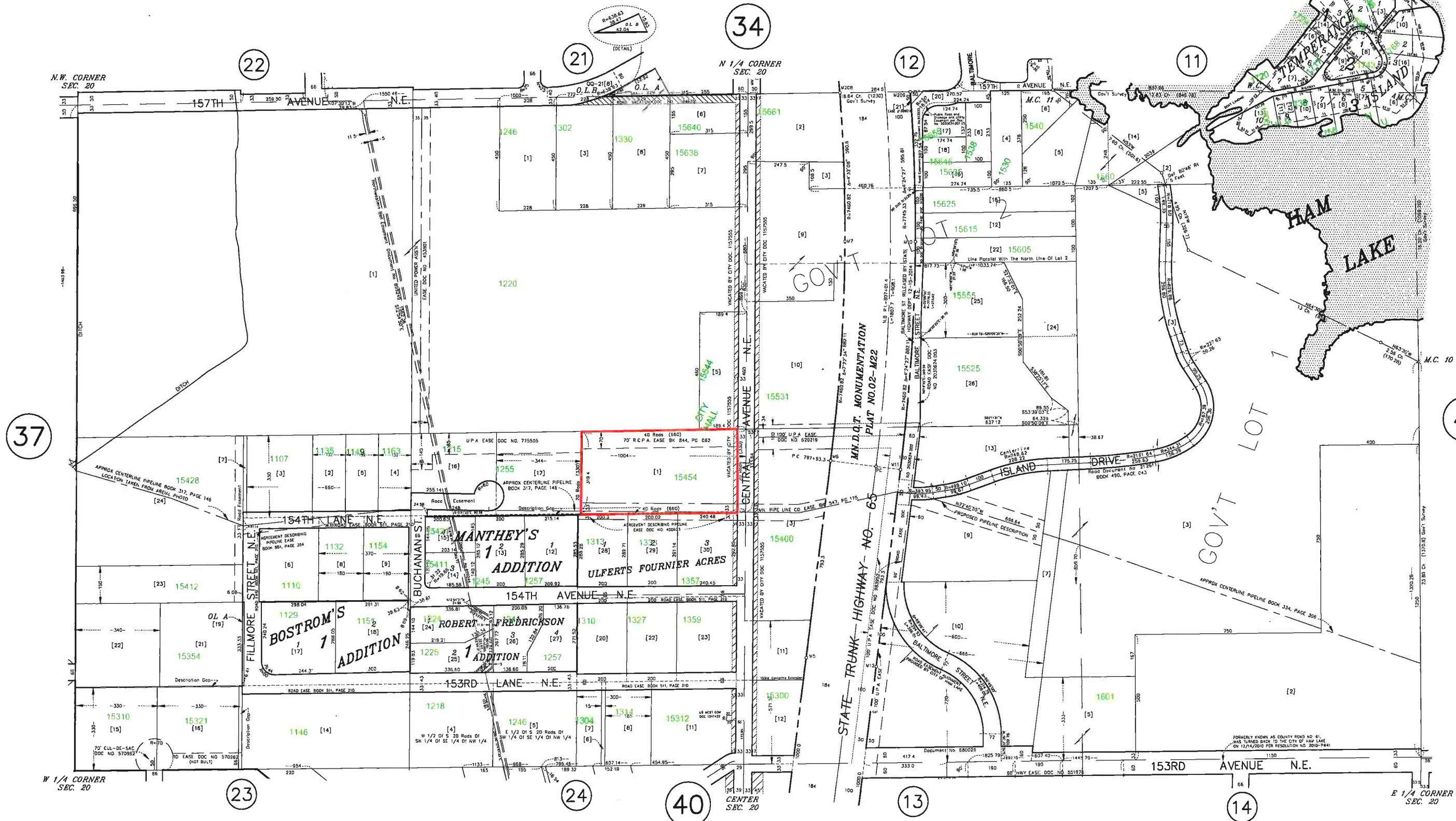
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N 1/2 SECTION 20, T. 32, R. 23

CITY OF HAM LAKE



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

22	21	12	11
23	24	13	14
NORTH HALF OF SECTION			
32	31	42	41
33	34	43	44
SOUTH HALF OF SECTION			

PROPERTY IDENTIFICATION NUMBER

Section	Township	Range	Quarter	Specific
Number	Number	Number	Number	Number
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 20-32-23-13-010

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.

NEW BUILDING FOR: H & H FACILITY 15454 CENTRAL AVE NE HAM LAKE, MN 55304

PROJECT TEAM

GENERAL CONTRACTOR: STRUCTURAL BUILDINGS, INC.
12924 FIRST STREET
BECKER, MN 55308
PHONE: (763) 261-4150

ARCHITECT: COLE GROUP ARCHITECTS
216 PARK AVENUE SOUTH
SUITE 102
ST. CLOUD, MN 56301
PHONE: (320) 654-6570

STRUCTURAL ENGINEERING: DUFFY ENGINEERING & ASSOCIATES
350 HIGHWAY 10 SOUTH
ST. CLOUD, MN. 56304
PHONE: (320) 259-6575

CIVIL ENGINEERING: SCHULTZ ENGINEERING & SITE DESIGN
18 SOUTH RIVERSIDE AVENUE
SUITE 230
SARTELL, MN 56311
PHONE: (320) 339-0669

CODE SUMMARY

BUILDING DESCRIPTION:

A NEW ONE STORY 1,048 GROSS S.F. STORAGE WAREHOUSE WITH 4,608 GROSS S.F. TWO STORY OFFICE BUILDING.

CODE SUMMARY:

2020 MINNESOTA STATE BUILDING CODE AND RELATED CODES

- OCCUPANCIES (MNBC CHAPTER 3):**
S-1 WAREHOUSE (SECTION 311.2)
B BUSINESS (SECTION 304)
- OCCUPANCY SEPARATION (MNBC CHAPTER 5):**
NO SEPARATION REQUIRED
- ALLOWABLE AREA PER FLOOR (MNBC CHAPTER 5 TABLE 508.4):**
BASIC ALLOWABLE AREA PER FLOOR = 9,000 S.F.
FRONTAGE INCREASE = 9,000 S.F. X (1.75) = 4,750 S.F. (SECTION 504.2)
TOTAL ALLOWED FLOOR AREA = 15,750 S.F.
TOTAL ACTUAL BUILDING FLOOR AREA = 9,352 S.F.
- ALLOWABLE HEIGHT (MNBC CHAPTER 5 TABLE 504.3 & 504.4):**
S-1 OCCUPANCY = 1 STORY / 40'-0"
S-1 OCCUPANCY = ACTUAL HEIGHT 1 STORY - 24'-9"
B OCCUPANCY = 2 STORIES / 40'-0"
B OCCUPANCY = ACTUAL HEIGHT 2 STORIES - 22'-0"
- TYPE OF CONSTRUCTION (MNBC CHAPTER 4):**
TYPE V-B (NOT RATED)
- FIRE SPRINKLERS (MNBC CHAPTER 9):**
NOT REQUIRED PER THE FOLLOWING:
 - S-1 FIRE AREA LESS THAN 12,000 SF (ACTUAL 9,349 SF)
 - S-1 FIRE AREA NOT LOCATED MORE THAN 3-STORIES ABOVE GRADE (ACTUAL: 1-STORY)
 - COMBINED S-1 FIRE AREA LESS THAN 24,000 SF (ACTUAL: 11,656 SF)
 - TENANTS NOT STORING COMMERCIAL MOTOR VEHICLES
 - TENANTS DO NOT CLASSIFY AS A REPAIR GARAGE
 - TENANTS NOT STORING MORE THAN 20,000 CUBIC FEET OF TIRES (COMBINED)
 - TENANTS NOT STORING MORE THAN 2,500 SF OF UPHOLSTERED FURNITURE OR MATTRESSES (COMBINED)

H. MEANS OF EGRESS (I.B.C. CHAPTER 10):

WASHBAY (S-1 OCCUPANCY)
GRADE FLOOR: 1,121 S.F. (TABLE 1004.5)
1,121 S.F. / 500 S.F. PER OCC. = 4
2 EXITS REQ'D - 2 PROVIDED (TABLE 1006.2.1)
MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1006.2.1)

WAREHOUSE (S-1 OCCUPANCY)
GRADE FLOOR: 5,322 S.F. (TABLE 1004.5)
5,322 S.F. / 500 S.F. PER OCC. = 11
2 EXITS REQ'D - 2 PROVIDED (TABLE 1006.2.1)
MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1006.2.1)

BUSINESS (B OCCUPANCY)
GRADE FLOOR: 2,304 S.F. (TABLE 1004.5)
2,304 S.F. / 150 S.F. PER OCC. = 14
2 EXITS REQ'D - 2 PROVIDED (TABLE 1006.2.1)
MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1006.2.1)

SECOND FLOOR: 1,292 S.F. (TABLE 1004.5)
1,292 S.F. / 150 S.F. PER OCC. = 9
2 EXITS REQ'D - 2 PROVIDED (TABLE 1006.2.1)
MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 15'-0" (TABLE 1006.3.2(2))

MEZZANINE: 220 S.F. (TABLE 1004.5)
200 S.F. / 300 S.F. PER OCC. = 1
1 EXIT REQ'D - 1 PROVIDED (TABLE 1006.2.1)
MAXIMUM EXIT ACCESS TRAVEL DISTANCE LESS THAN 100'-0" (TABLE 1006.2.1)

TOTAL
41 OCCUPANTS

J. PLUMBING FIXTURES: (CHAPTER 29 TABLE 2902.1)

PLUMBING FIXTURES - WATER CLOSETS

S-1 OCC. (WAREHOUSE - AREAS)
15 OCCUPANTS
1 PER 100 = 15/100 = 0.08 UNISEX
UNISEX - 1 TOILET PROVIDED

B OCC. (BUSINESS - AREAS)
24 OCCUPANTS/2 = 13 EA M+W
1 PER 25 = 13/25 = 0.52 MEN
1 PER 25 = 13/25 = 0.52 WOMEN

0.52 = (1) MEN REQUIRED
0.52 = (1) WOMEN REQUIRED
MEN - 1 TOILET PROVIDED
WOMEN - 1 TOILET PROVIDED

PLUMBING FIXTURES - LAVATORIES

S-1 OCC. (WAREHOUSE - AREAS)
15 OCCUPANTS
1 PER 100 = 15/100 = 0.08 UNISEX
UNISEX - 1 LAVATORY PROVIDED

B OCC. (BUSINESS - AREAS)
24 OCCUPANTS/2 = 13 EA M+W
1 PER 40 = 13/40 = 0.325 MEN
1 PER 40 = 13/40 = 0.325 WOMEN

0.325 = (1) MEN REQUIRED
0.325 = (1) WOMEN REQUIRED
MEN - 1 LAVATORY PROVIDED
WOMEN - 1 LAVATORY PROVIDED

PLUMBING FIXTURES - SERVICE SINKS

1 REQUIRED FOR THE ENTIRE BUILDING
1 PROVIDED

PLUMBING FIXTURES - DRINKING FOUNTAINS

S-1 OCC. (WAREHOUSE - AREAS)
15 OCCUPANTS
1 PER 1,000 = 15/1,000 = 0.015

B OCC. (BUSINESS - AREAS)
24 OCCUPANTS
1 PER 100 = 24/100 = 0.24
0.015 + 0.24 = (1) REQUIRED
1 PROVIDED

SHEET INDEX

ARCHITECTURAL:

- A001 CODE INFO & ADA DETAILS
- A101 FIRST FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A401 FINISH PLAN & SCHEDULES
- A501 ELEVATIONS
- A701 CROSS SECTIONS
- A801 DETAILS

1	SEE ICC/ANSI A117.1 - CHAPTER 4 & 10 GRAB BAR ELEVATION SCALE: 1/2" = 1'-0"	2	SEE ICC/ANSI A117.1 - CHAPTER 4 & 10 GRAB BAR ELEVATION SCALE: 1/2" = 1'-0"
3	SEE ICC/ANSI A117.1 - CHAPTER 4 & 10 GRAB BAR ELEVATION SCALE: 1/2" = 1'-0"	4	SEE PART 1540.0300.8 SUB PART 1 OF STATE CODE LAVATORY AND ACCESSORIES SCALE: 1/2" = 1'-0"
7	SEE ICC/ANSI A117.1 - CHAPTER 4 REQUIRED DOOR CLEARANCES TYPICAL ALL DOORS (N.T.S.)	10	SEE ICC/ANSI A117.1 - CHAPTER 3 ACCESSIBLE REACH RANGES SCALE: 1/2" = 1'-0"
5	SEE ICC/ANSI A117.1 - CHAPTER 4 ACCESSIBLE URINAL SCALE: 1/2" = 1'-0"	12	SEE ICC/ANSI A117.1 - CHAPTER 4 & 10 TRANSFER TYPE SHOWER STALL (36"x36") SCALE: N.T.S.

ACCESSIBLE CLEARANCES

BATHROOM FIXTURE CLEARANCES

- 5C** SINK: MIN. CLEARANCE 2'-0" (2'-4" IF FUTURE), MAX. HEIGHT 3'-0"
- 6C** TOILET: MIN. CLEARANCE 2'-0" (2'-4" IF FUTURE), MAX. HEIGHT 3'-0"
- 7C** LAVATORY: MIN. CLEARANCE 2'-0" (2'-4" IF FUTURE), MAX. HEIGHT 3'-0"

KITCHEN FIXTURE CLEARANCES

- 8C** SINK: MIN. CLEARANCE 2'-0" (2'-4" IF FUTURE), MAX. HEIGHT 3'-0"
- 11C** SINK: MIN. CLEARANCE 2'-0" (2'-4" IF FUTURE), MAX. HEIGHT 3'-0"
- 14C** SINK: MIN. CLEARANCE 2'-0" (2'-4" IF FUTURE), MAX. HEIGHT 3'-0"
- 15C** SINK: MIN. CLEARANCE 2'-0" (2'-4" IF FUTURE), MAX. HEIGHT 3'-0"

TRANSFER-TYPE SHOWERS

- 3C** MIN. CLEARANCE 3'-0", MAX. HEIGHT 3'-0"

COLE GROUP ARCHITECTS, INC. 216 PARK AVENUE SOUTH, SUITE 102, ST. CLOUD, MN 56301
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H&H FACILITY
12924 FIRST STREET
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STRUCTURAL BUILDINGS
12924 FIRST STREET
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Project No. 23011
Issue Date: April 19th, 2023
Document Set: PERMIT SET

PLOTTED: 04-19-23 FILE: 23011P-COM-5

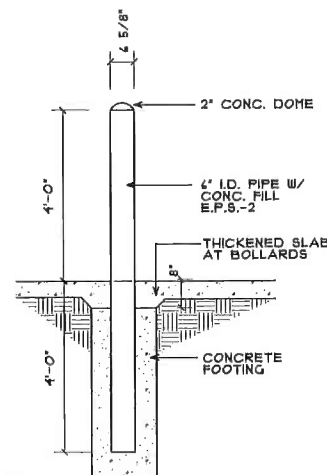
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GENERAL NOTES:

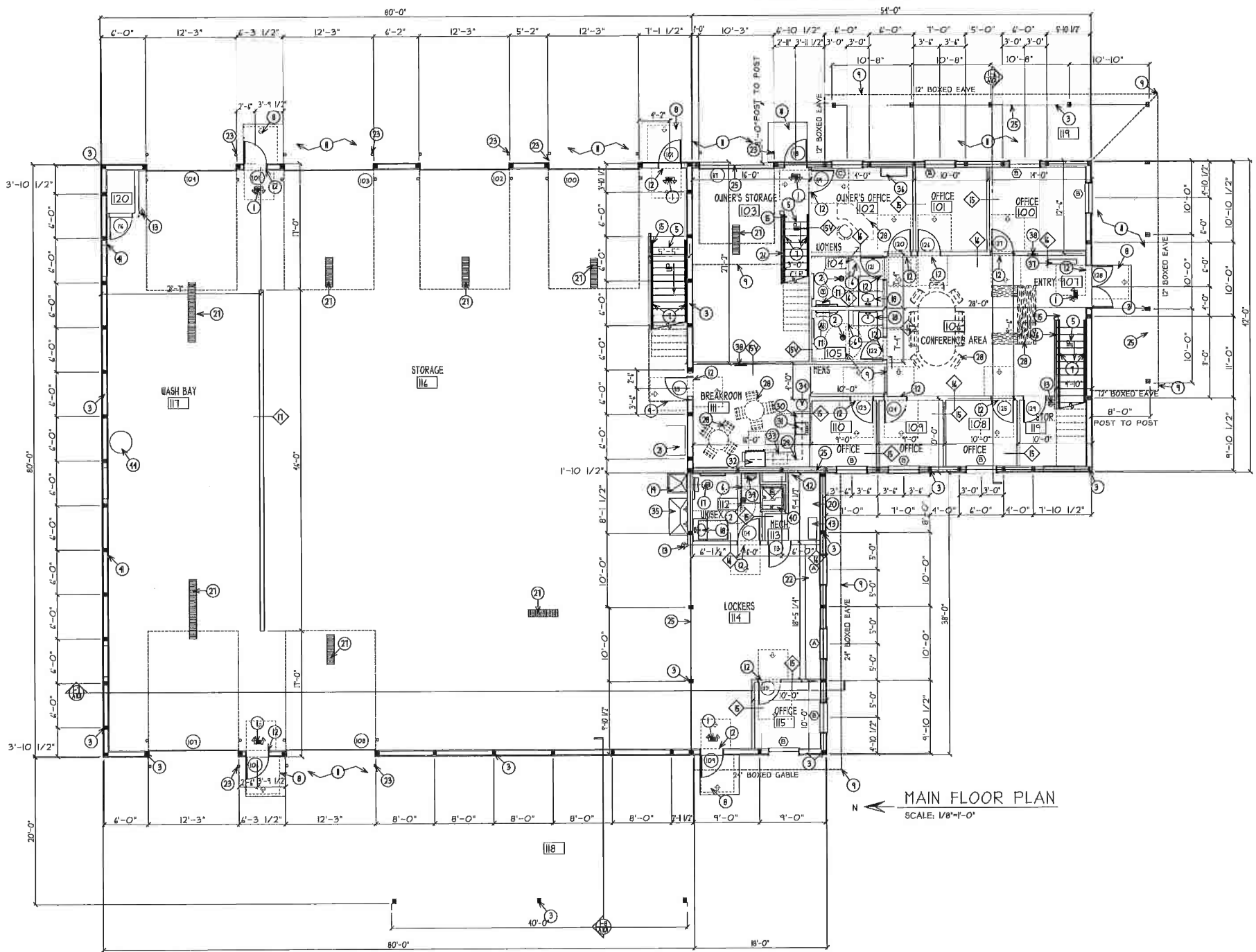
- A) VERIFY FINISHES W/ G.C./OWNER
- B) OFFICE RESTROOMS TO HAVE EPOXY FLOOR, COVE 4" BASE AND F.R.P. 48" A.F.F. ON WET WALLS (MIN).
- C) PROVIDE FIRE EXTINGUISHERS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- E) ALL DOOR HARDWARE TO BE LEVER TYPE.
- F) VERIFY ALL SPECIALTY EQUIPMENT W/ G.C.
- G) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.

FLOOR PLAN NUMBER NOTES:

1. EMERGENCY EXIT LIGHTING AS REQ'D. BY CODE. SEE ELEC. PLANS
2. FLOOR DRAIN. VERIFY LOCATION W/ PLUMBING DRAWINGS.
3. STRUCTURAL COLUMN. VERIFY W/ STRUCTURAL DRAWINGS.
4. 22'-0" MIN. ATTIC ACCESS. VERIFY LOCATION W/ G.C.
5. STAIRWAY WITH T' MAX. RISERS 1" MIN. TREAD DEPTH.
6. ACCESSIBLE TURNING CLEARANCES SHOWN DASHED, SEE DET. 1C/AOOL.
7. HANDRAIL 34"-36" A.F.F. AT EACH SIDE.
8. PROVIDE CONCRETE FROST STOOP FOR EXTERIOR DOOR AS REQ'D.
9. LINE OF ROOF/FLOOR/ BULKHEAD ABOVE. SHOWN DASHED.
10. LINE OF ROOF BELOW.
11. PROVIDE CONTINUOUS CONCRETE APRON. VERIFY EXTENTS W/ G.C.
12. MAINTAIN PROPER ACCESSIBLE DOOR CLEARANCES. SEE DETS. 1 & 15C/AOOL.
13. FIRE EXTINGUISHER. VERIFY LOCATION & QUANTITY W/ FIRE MARSHAL. SEE DET. 10/AOOL.
14. ATTIC DRAFT STOP EVERY 3,000 S.F. MAX.
15. EXTEND HANDRAIL AT STAIR ANGLE ONE TREAD DEPTH PAST BOTTOM RISER.
16. EXTEND HANDRAIL 12" HORIZONTALLY PAST TOP RISER.
17. ACCESSIBLE TOILET. PROVIDE BLOCKING & INSTALL GRAB BARS AS REQ'D. SEE DETS. 1-3 & 1C/AOOL.
18. ACCESSIBLE LAVATORY TO MEET THE REQUIREMENTS OF DETS. 4, 5C & 1C/AOOL.
19. HOP SINK. VERIFY W/ G.C.
20. EQUIPMENT THIS ROOM. SEE MECHANICAL PLANS.
21. ICE MAKER BY OWNER. VERIFY LOCATION WITH OWNER.
22. (6) 12"X12"X4" SINGLE TALL LOCKERS.
23. CONC. FILLED PIPE BOLLARD. SEE DETAIL 42/AOI.
24. MEZZANINE TO HAVE GUARD RAIL.
25. VERIFY HEADER W/ STRUCT. DRAWINGS.
26. 42" HALF WALL. SLOPE AT STAIR AS REQ'D.
27. TRENCH DRAIN. VERIFY LOCATIONS W/ PLUMBING DRAWINGS. SLOPE FLOOR AS REQ'D.
28. F.F.E. BY OWNER.
29. LINE OF UPPER CABINETS. VERIFY REQUIREMENTS WITH G.C.
30. BASE CABINETS W/ 3" COUNTERTOP. VERIFY REQUIREMENTS WITH G.C.
31. SINGLE BOWL KITCHEN SINK. SEE 1C/AOOL FOR ACCESSIBILITY REQUIREMENTS.
32. ACCESSIBLE REFRIGERATOR STYLE & REQUIREMENTS W/ OWNER. SEE DET 8C/AOOL.
33. PROVIDE ELECTRICAL OUTLETS AND COUNTERTOP SPACE FOR MICROWAVE.
34. PROVIDE WATER LINE FOR WATER COOLER BY OWNER THIS AREA. SEE PLUMBING PLANS.
35. HAND WASH STATION.
36. GAS FIREPLACE. SEE HEP PLANS.
37. VESTIBULE HEATER. SEE HEP PLANS.
38. FIRE EXTINGUISHER IN RECESSED CABINET. VERIFY LOCATION & QUANTITY W/ FIRE MARSHAL. SEE DET. 10/AOOL.
39. ACCESSIBLE URINAL. SEE DETAIL 5/AOOL.
40. ACCESSIBLE 34"X34" TRANSFER SHOWER. SEE DETAILS 3C & 12/AOOL. HOLD OUT SLAB AS REQ'D. TO MAINTAIN 1/2" THRESHOLD.
41. WALL TO HAVE LINE RETAIL/PVC. VERIFY EXTENTS W/ G.C.
42. 1 1/2" WALL WATER LINE. SEE HEP PLANS.
43. 100 AMP MAIN SERVICE PANEL. SEE HEP PLANS.
44. 35 CF FLARE TANK. SEE HEP PLANS.



42 PIPE BOLLARD
SCALE: 1/2"=1'-0"



MAIN FLOOR PLAN
SCALE: 1/8"=1'-0"

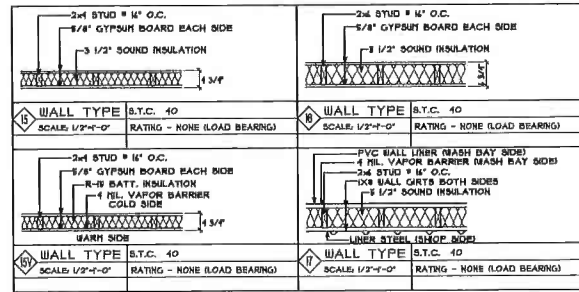
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PROJECT NO. 23011P
 ISSUE DATE: April 19th, 2023
 DOCUMENT SET: PERMIT SET

A101

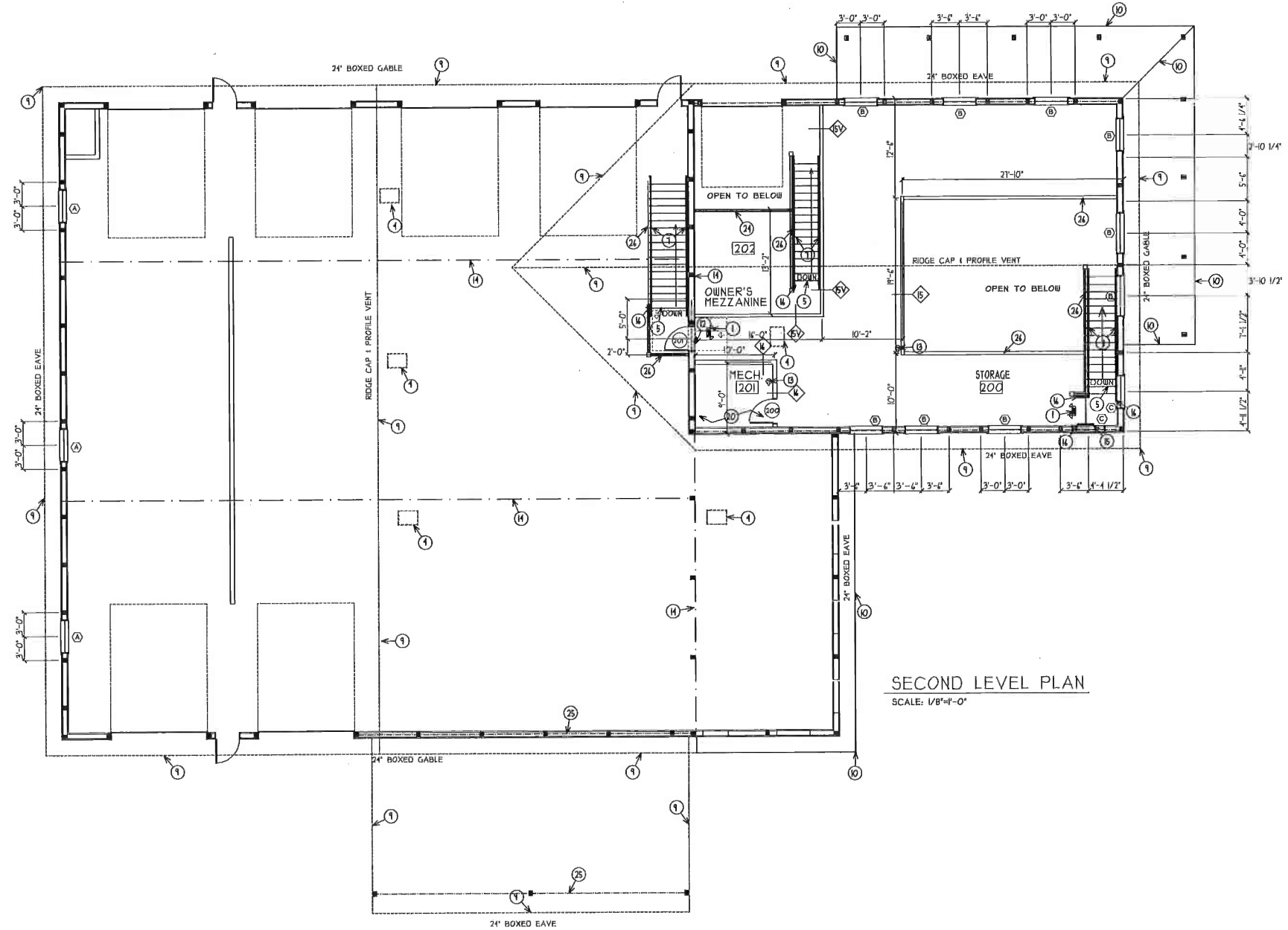


GENERAL NOTES:

- A) VERIFY FINISHES W/ G.C./OWNER
- B) OFFICE RESTROOMS TO HAVE EPOXY FLOOR, COVE 4" BASE AND F.R.P. 48" A.F.F. ON WET WALLS (MIN).
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- D) PROVIDE SMOKE DETECTORS PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.
- E) ALL DOOR HARDWARE TO BE LEVER TYPE.
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- G) PROVIDE EMERGENCY LIGHTING PER CODE. VERIFY LOCATION W/ FIRE MARSHAL.

FLOOR PLAN NUMBER NOTES:

1. EMERGENCY EXIT LIGHTING AS REQ'D. BY CODE. SEE ELECT. PLANS
2. FLOOR DRAIN. VERIFY LOCATION W/ PLUMBING DRAWINGS.
3. STRUCTURAL COLUMN. VERIFY W/ STRUCTURAL DRAWINGS.
4. 22"x30" MIN. ATTIC ACCESS. VERIFY LOCATION W/ G.C.
5. STAIRWAY WITH 1" MAX. RISERS & 11" MIN. TREAD DEPTH.
6. ACCESSIBLE TURNING CLEARANCES SHOWN DASHED. SEE DET. MC/AOOL.
7. HANDRAIL 34"-38" A.F.F. AT EACH SIDE.
8. PROVIDE CONCRETE FROST STOOP FOR EXTERIOR DOOR AS REQ'D.
9. LINE OF ROOF/FLOOR/ BULKHEAD ABOVE. SHOWN DASHED.
10. LINE OF ROOF BELOW.
11. PROVIDE CONTINUOUS CONCRETE APRON. VERIFY EXTENTS W/ G.C.
12. MAINTAIN PROPER ACCESSIBLE DOOR CLEARANCES. SEE DETS. 1 & 15C/AOOL.
13. FIRE EXTINGUISHER. VERIFY LOCATION & QUANTITY W/ FIRE MARSHAL. SEE DET. 10/AOOL.
14. ATTIC DRAFT STOP EVERY 3,000 S.F. MAX.
15. EXTEND HANDRAIL AT STAIR ANGLE ONE TREAD DEPTH PAST BOTTOM RISER.
16. EXTEND HANDRAIL 12" HORIZONTALLY PAST TOP RISER.
17. ACCESSIBLE TOILET. PROVIDE BLOCKING & INSTALL GRAB BARS AS REQ'D. SEE DETS. 1-3 & 7C/AOOL.
18. ACCESSIBLE LAVATORY TO MEET THE REQUIREMENTS OF DETS. 4, 5C & 6C/AOOL.
19. TOP SINK. VERIFY W/ G.C.
20. EQUIPMENT THIS ROOM. SEE MECHANICAL PLANS.
21. ICE MAKER BY OWNER. VERIFY LOCATION WITH OWNER.
22. (8) 12"x12"x4" SINGLE TALL LOCKERS.
23. CONC. FILLED PIPE BOLLARD. SEE DETAIL 42/AOOL.
24. MEZZANINE TO HAVE GUARD RAIL @ 42" A.F.F.
25. VERIFY HEADER W/ STRUCT. DRAWINGS.
26. 42" HALF WALL. SLOPE AT STAIR AS REQ'D.
27. TRENCH DRAIN. VERIFY LOCATIONS W/ PLUMBING DRAWINGS. SLOPE FLOOR AS REQ'D.
28. LINE OF EYEBROW.
29. LINE OF UPPER CABINETS. VERIFY REQUIREMENTS WITH G.C.
30. BASE CABINETS W/ 34" COUNTERTOP. VERIFY REQUIREMENTS WITH G.C.
31. SINGLE BOWL KITCHEN SINK. VERIFY SLOPE & ACCESSIBILITY REQUIREMENTS.
32. ACCESSIBLE REFRIGERATOR. VERIFY SIZE & REQUIREMENTS W/ OWNER. SEE DET 8C/AOOL.
33. PROVIDE ELECTRICAL OUTLETS AND COUNTERTOP SPACE FOR MICROWAVE.
34. PROVIDE WATER LINE FOR WATER COOLER BY OWNER THIS AREA. SEE PLUMBING PLANS.
35. HAND WASH STATION.
36. GAS FIRE PLACE. SEE MEP PLANS.
37. VESTIBULE HURTLER. SEE MEP PLANS.
38. FIRE EXTINGUISHER IN RECESSED CABINET. VERIFY LOCATION & QUANTITY W/ FIRE MARSHAL. SEE DET. 10/AOOL.
39. ACCESSIBLE URINAL. SEE DETAIL 5/AOOL.
40. ACCESSIBLE 34" X 34" TRANSFER SHOWER. SEE DETAILS 3C & 12/AOOL. HOLD OUT SLAB AS REQ'D. TO MAINTAIN 1/2" THRESHOLD.
41. WALL TO HAVE LINER METAL/PVC. VERIFY EXTENTS W/ G.C.
42. 1/2" WALL WATER LINE. SEE MEP PLANS.
43. 100 AMP MAIN SERVICE PANEL. SEE MEP PLANS.
44. 35' CF FLAME TANK. SEE MEP PLANS.



SECOND LEVEL PLAN
SCALE: 1/8"=1'-0"

COLE GROUP ARCHITECTS, INC. PROPOSED BUILDING FOR H&H FACILITY - HAM LAKE, MN
 PROJECT NO. 2301P
 ISSUE DATE: APRIL 18TH, 2023
 DOCUMENT SET: PERMIT SET
 PLOTTED: 04-19-23 FILE: 2301P COW: 5
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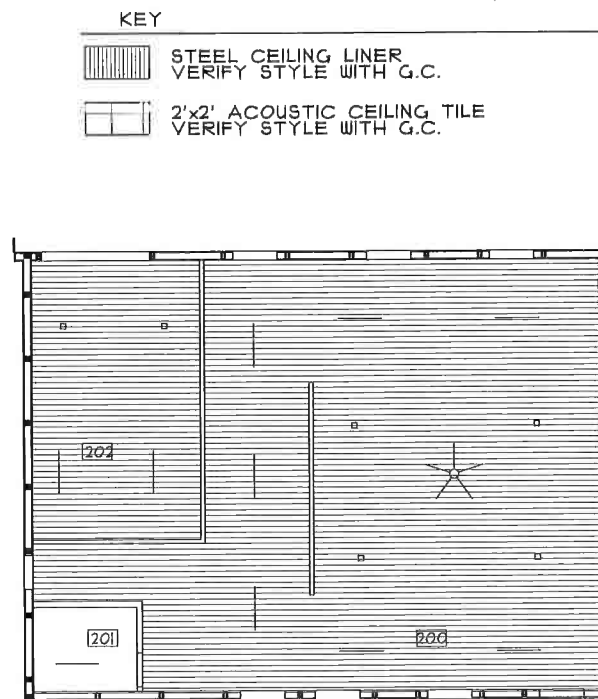
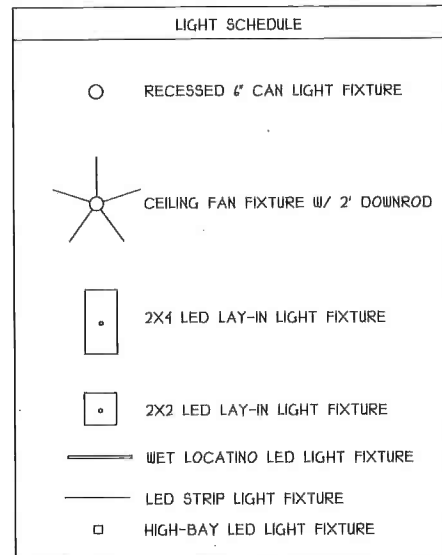
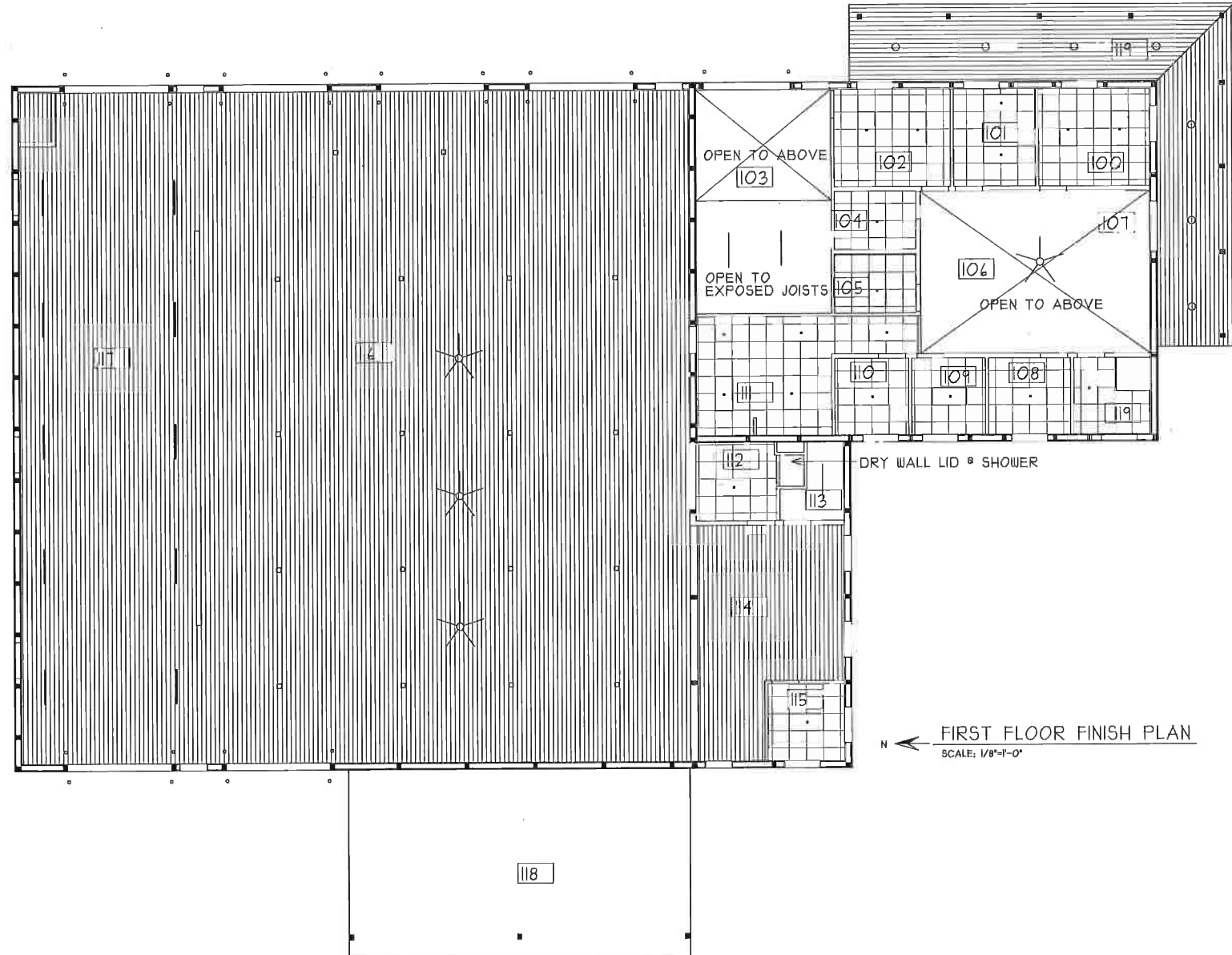
PROJECT NO. 2301P
 ISSUE DATE: APRIL 18TH, 2023
 DOCUMENT SET: PERMIT SET

COLE GROUP ARCHITECTS, INC.
 ARCHITECTS LLC
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 www.colegrouparchitects.com

DOOR SCHEDULE										
LABEL	QTY.	MFG / MODEL	SIZE	ROUGH OPEN	SLAB MAT.	FRAME MAT.	COLOR	SWING	HARDWARE	REMARKS
100	1	TO BE DETERMINED	12X4	12'-0" X 4'-0"	STEEL	STEEL	-	-	-	2 LITE, 1-3/4" (R-LH)
101	1	TO BE DETERMINED, FLUSH	3048	-	STEEL	STEEL	-	RHOS	DB, LL	-
102	1	TO BE DETERMINED	12X4	12'-0" X 4'-0"	STEEL	STEEL	-	-	-	2 LITE, 1-3/4" (R-LH)
103	1	TO BE DETERMINED	12X4	12'-0" X 4'-0"	STEEL	STEEL	-	-	-	2 LITE, 1-3/4" (R-LH)
104	1	TO BE DETERMINED	12X4	12'-0" X 4'-0"	STEEL	STEEL	-	-	-	2 LITE, 1-3/4" (R-LH)
105	1	TO BE DETERMINED, FLUSH	3048	-	-	-	-	LHOS	DB, LL	-
106	1	TO BE DETERMINED, FLUSH	3048	-	-	-	-	LHOS	DB, LL	-
107	1	TO BE DETERMINED	12X4	12'-0" X 4'-0"	STEEL	STEEL	-	-	-	2 LITE, 1-3/4" (R-LH)
108	1	TO BE DETERMINED	12X4	12'-0" X 4'-0"	STEEL	STEEL	-	-	-	2 LITE, 1-3/4" (R-LH)
109	1	TO BE DETERMINED, FLUSH	3048	-	STEEL	STEEL	-	LHOS	DB, LL	-
110	1	OPENING	17X4	17'-0" X 4'-0"	-	-	-	-	-	-
111	1	OPENING	17X4	17'-0" X 4'-0"	-	-	-	-	-	-
112	1	TO BE DETERMINED, SOLID & PANEL	3048	-	WOOD	WOOD	-	LHIS	-	-
113	1	TO BE DETERMINED, SOLID & PANEL	3048	-	WOOD	WOOD	-	LHIS	-	-
114	1	TO BE DETERMINED, SOLID & PANEL	3048	-	WOOD	WOOD	-	RHIS	LL, PRIVATE	-
115	1	TO BE DETERMINED, FLUSH	3048	-	STEEL	STEEL	-	RHOS	DB, LL	FIRE RATED
116	1	TO BE DETERMINED	3048	-	STEEL	STEEL	-	RHOS	-	-
117	1	TO BE DETERMINED	10X10	10'-0" X 10'-0"	STEEL	STEEL	-	-	-	NO WINDOWS
118	1	TO BE DETERMINED, FLUSH	3048	-	STEEL	STEEL	-	LHOS	DB, LL	-
119	1	TO BE DETERMINED, FLUSH	3048	-	-	-	-	RHIS	-	FIRE RATED
120	1	TO BE DETERMINED, 1/2 GLASS	3048	-	STEEL	WOOD	-	RHIS	-	1/2 GLASS W/ RAISE LOWER TILT BLINDS
121	1	TO BE DETERMINED, SOLID & PANEL	3048	-	WOOD	WOOD	-	RHIS	LL, PRIVATE	-
122	1	TO BE DETERMINED, SOLID & PANEL	3048	-	WOOD	WOOD	-	LHIS	LL, PRIVATE	-
123	1	TO BE DETERMINED, SOLID & PANEL	3048	-	WOOD	WOOD	-	LHIS	-	-
124	1	TO BE DETERMINED, SOLID & PANEL	3048	-	WOOD	WOOD	-	RHIS	-	-
125	1	TO BE DETERMINED, SOLID & PANEL	3048	-	WOOD	WOOD	-	LHIS	-	-
126	1	TO BE DETERMINED, 1/2 GLASS	3048	-	STEEL	WOOD	-	LHIS	-	1/2 GLASS W/ RAISE LOWER TILT BLINDS
127	1	TO BE DETERMINED, 1/2 GLASS	3048	-	STEEL	WOOD	-	LHIS	-	1/2 GLASS W/ RAISE LOWER TILT BLINDS
128	1	TO BE DETERMINED, FULL GLASS	4070	-	ALUMINUM	ALUMINUM	-	RHA	DB, LL	-
129	1	TO BE DETERMINED, SOLID & PANEL	3048	-	WOOD	WOOD	-	RHIS	-	-
130	1	TO BE DETERMINED, FLUSH	3048	-	STEEL	STEEL	-	LHIS	-	FIRE RATED
131	1	TO BE DETERMINED, FLUSH	3048	-	STEEL	STEEL	-	LHOS	-	-

WINDOW SCHEDULE								
LABEL	QTY.	MFG / MODEL	SIZE	ROUGH OPEN	MATERIAL	JAMB FINISH	COLOR	REMARKS
A	5	-	48X24	48-1/4" X 24-1/4"	-	-	-	-
B	18	-	48X34	48-1/4" X 34-1/4"	-	-	-	-
C	3	-	48X36	48-1/4" X 36-1/4"	-	-	-	TEMPERED GLASS
D	-	-	-	-	-	-	-	-

ROOM SCHEDULE							
ROOM #	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HT	REMARKS
100	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/8"	-
101	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/8"	-
102	OWNERS OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/8"	-
103	OWNERS GARAGE	CONCRETE	4" RUBBER BASE	STEEL	STEEL	18'-0"	-
104	BATHROOM	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	7'-8 1/8"	EPOXY PAINT WALLS
105	BATHROOM	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	7'-8 1/8"	EPOXY PAINT WALLS
106	CONFERENCE AREA	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	STEEL	18'-0"	OPEN TO ABOVE
107	ENTRY	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	STEEL	18'-0"	OPEN TO ABOVE
108	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/8"	-
109	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/8"	-
110	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/8"	-
111	BREAKROOM	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	9'-1 1/8"	-
112	BATHROOM	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-2	9'-1 1/8"	EPOXY PAINT WALLS
113	MECHANICAL	CONCRETE	4" RUBBER BASE	SHEETROCK	-	9'-1 1/8"	-
114	LOCKERS	CONCRETE	STEEL	STEEL	STEEL	9'-1 1/8"	-
115	OFFICE	PARTIAL FLAKE EPOXY	4" RUBBER BASE	SHEETROCK	ACT-1	9'-1 1/8"	-
116	GARAGE	CONCRETE	STEEL	STEEL	STEEL	18'-0"	-
117	WASH BAY	CONCRETE	STEEL	STEEL	STEEL	18'-0"	-
118	LEAN TO	CONCRETE	-	-	-	12'-0"	-
119	STORAGE	CONCRETE	4" RUBBER BASE	SHEETROCK	ACT-1	7'-8 1/8"	-
120	COMPRESSOR UNIT	CONCRETE	-	STEEL	STEEL	8'-1 1/8"	-
200	STORAGE	3/4" TIG OSB	STEEL	STEEL	STEEL	7'-10 1/8"	-
201	MECHANICAL	3/4" TIG OSB	STEEL	STEEL	-	7'-10 1/8"	-
202	OWNERS MEZZANINE	3/4" CDX	STEEL	STEEL	STEEL	7'-10 1/8"	-
203	-	-	-	-	-	-	-
204	-	-	-	-	-	-	-



SECOND FLOOR FINISH PLAN
SCALE: 1/8"=1'-0"

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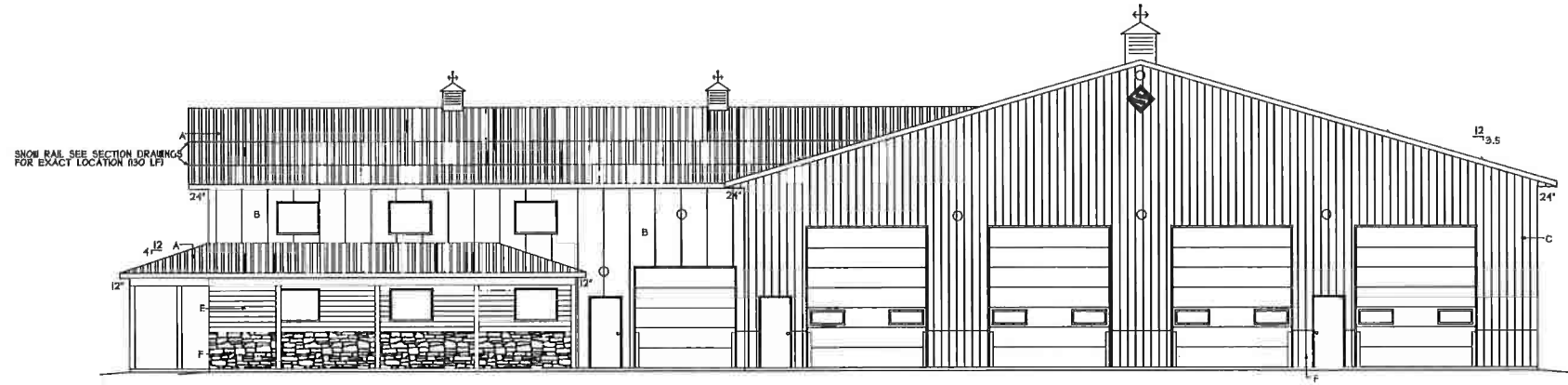
PROPOSED BUILDING FOR
H&H FACILITY

REVISIONS COMMENTS
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 Document Set: PERMIT SET

PLOTTED: 04-19-23 FILE: 23011P CON: 5

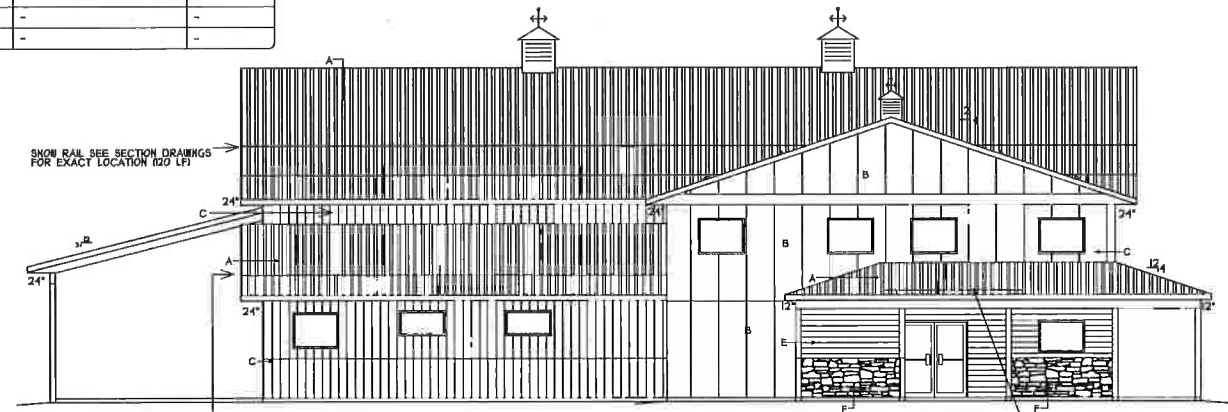
A401



EAST ELEVATION

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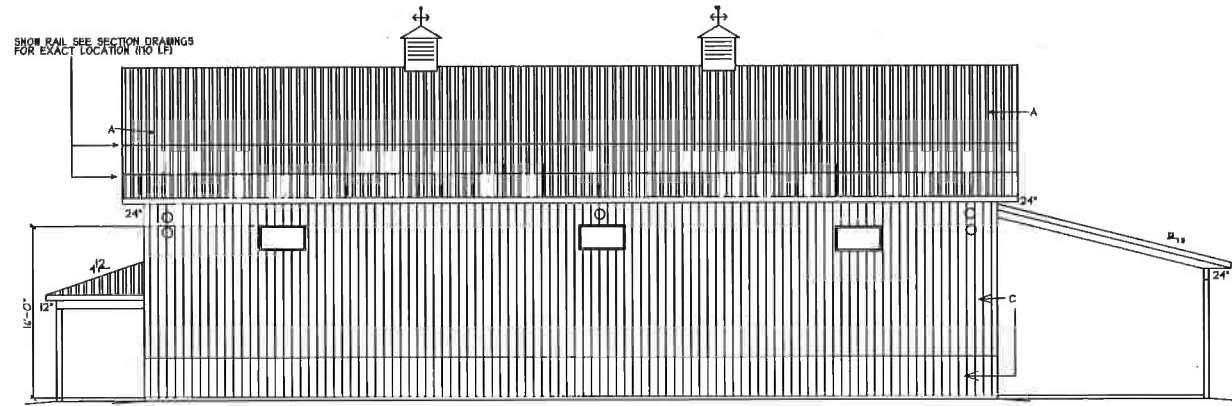
STEEL SCHEDULE					
LOCATION	PART	MANUF.	DESCRIPTION	VERTICAL / HORIZONTAL	COLOR
A	24GA 12" RIBBED	-	ROOF STEEL	-	-
B	BIB	-	SHEET METAL W/ BATTEN STRIPS	-	-
C	STANDARD PANEL	-	STANDARD WALL PANEL	-	-
D	-	-	-	-	-
E	PF HARDI BOARD	-	-	-	-
F	MASONRY VENEER	-	-	-	-
G	-	-	-	-	-
H	-	-	-	-	-



SOUTH ELEVATION

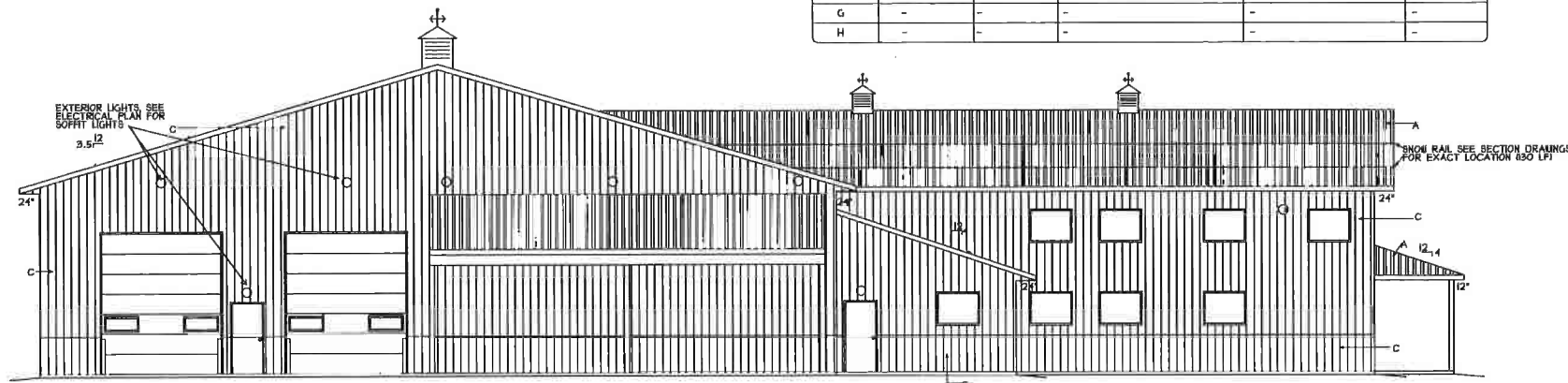
SCALE: 3/32"=1'-0"

STEEL SCHEDULE					
LOCATION	PART	MANUF.	DESCRIPTION	VERTICAL / HORIZONTAL	COLOR
A	24GA 12" RIBBED	-	ROOF STEEL	-	-
B	BIB	-	SHEET METAL W/ BATTEN STRIPS	-	-
C	STANDARD PANEL	-	STANDARD WALL PANEL	-	-
D	-	-	-	-	-
E	PF HARDI BOARD	-	-	-	-
F	MASONRY VENEER	-	-	-	-
G	-	-	-	-	-
H	-	-	-	-	-



NORTH ELEVATION

SCALE: 3/32"=1'-0"



WEST ELEVATION

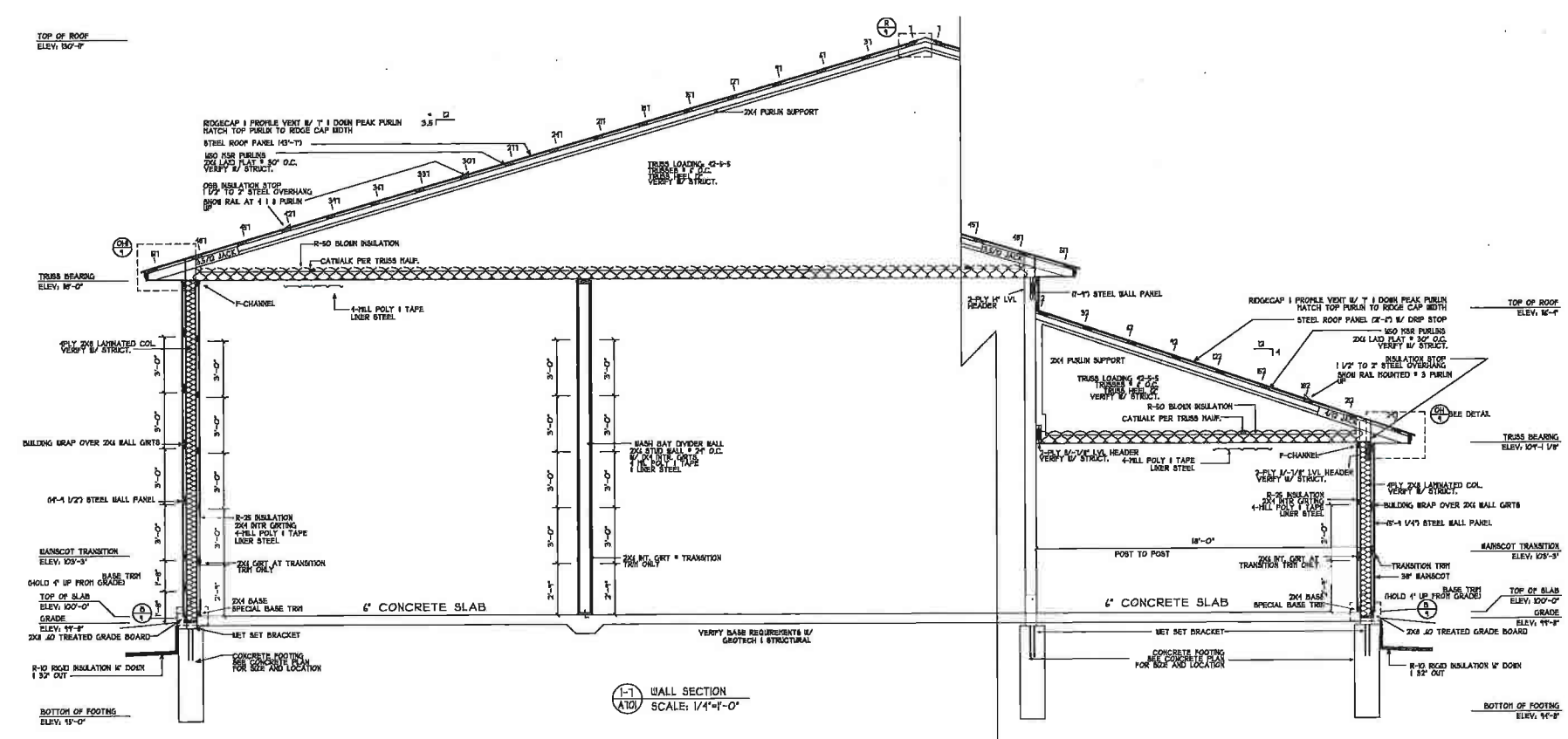
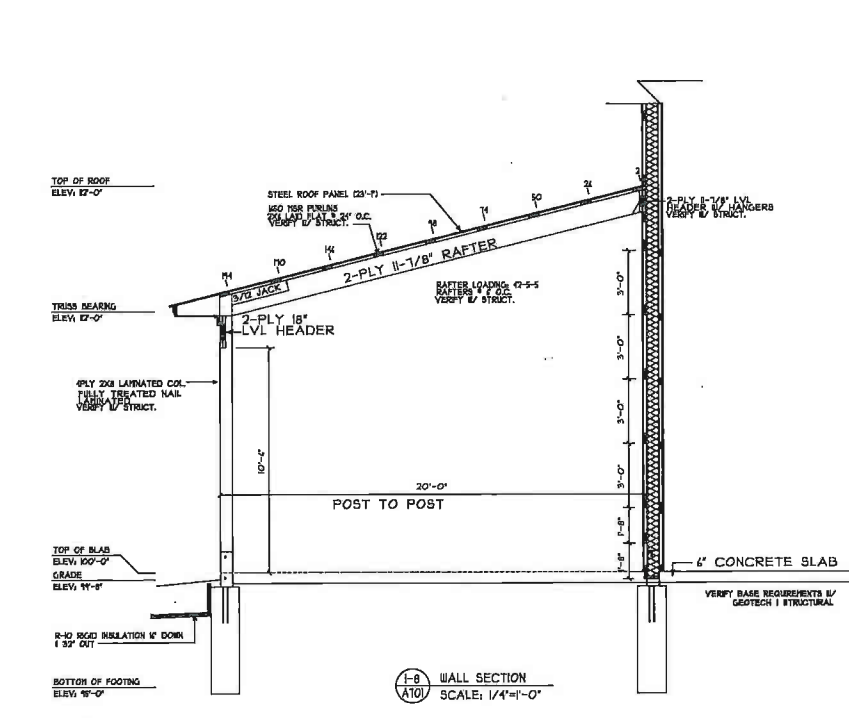
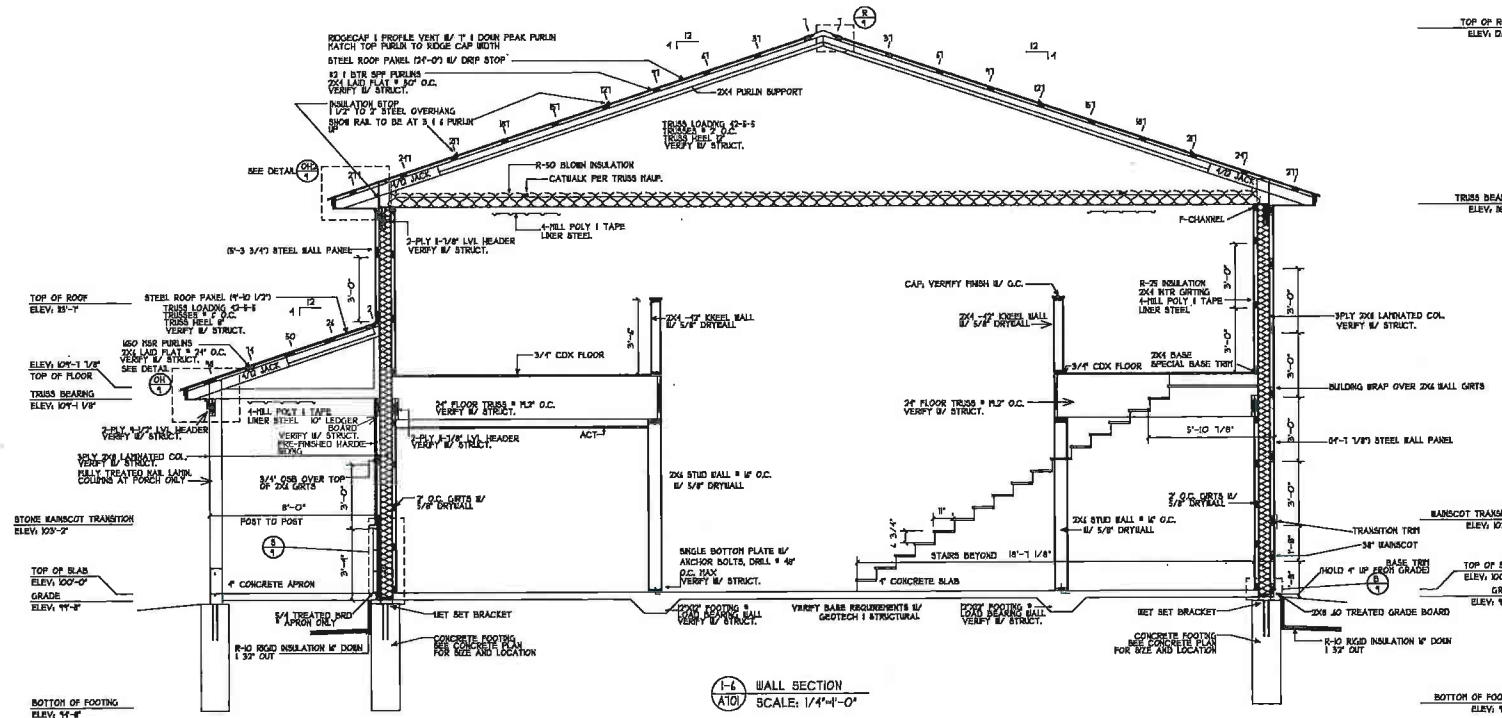
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PLOTTED: 04-19-23 FILE: 2301P CDM: S
 PROJECT NO. 2301
 ISSUE DATE: APRIL 14, 2023
 DOCUMENT SET: PERMIT SET
 A501

COLLE GROUP ARCHITECTS, INC. APPROVALS: REVISIONS COMMENTS
 H&H FACILITY
 12924 FIRST STREET
 BECKER, MN
 (763)261-4150
 HAM LAKE, MN

COLLE GROUP ARCHITECTS, INC.
 212 PARK AVENUE SOUTH
 BECKER, MN 55007
 (763) 261-4150
 COLLEGROUPARCHITECTS.COM

THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER. THE USE OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION AND CONSENT OF COLLE GROUP ARCHITECTS, INC. IS STRICTLY PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL SERVICES FROM ALL APPLICABLE PROFESSIONALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS FROM ALL APPLICABLE SUPPLIERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR FROM ALL APPLICABLE LABORERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT FROM ALL APPLICABLE SUPPLIERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES FROM ALL APPLICABLE PROVIDERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROFESSIONAL SERVICES FROM ALL APPLICABLE PROFESSIONALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS FROM ALL APPLICABLE SUPPLIERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR FROM ALL APPLICABLE LABORERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EQUIPMENT FROM ALL APPLICABLE SUPPLIERS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES FROM ALL APPLICABLE PROVIDERS.



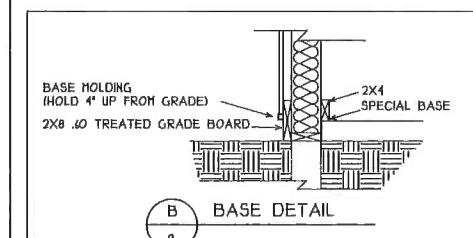
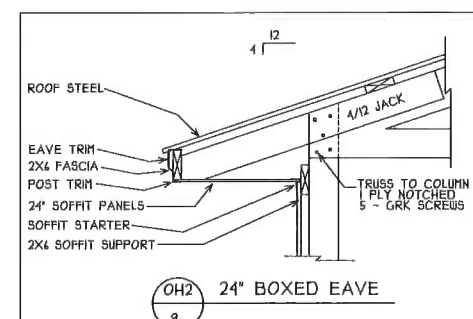
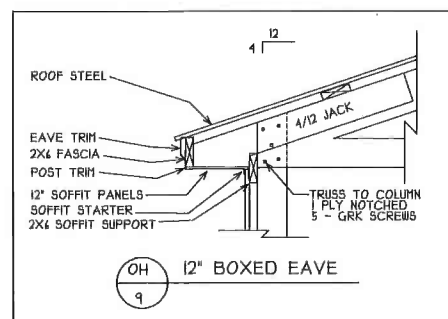
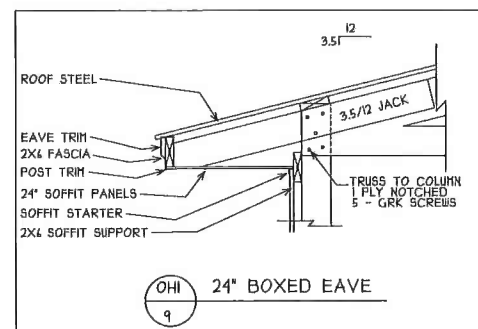
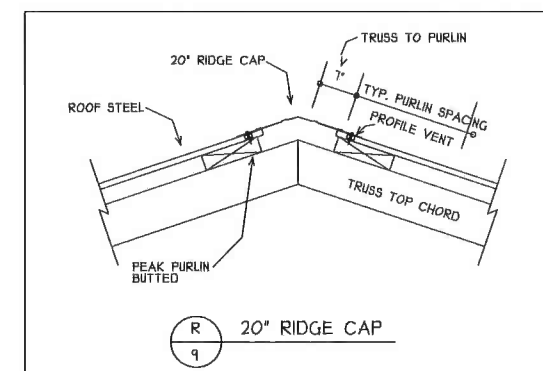
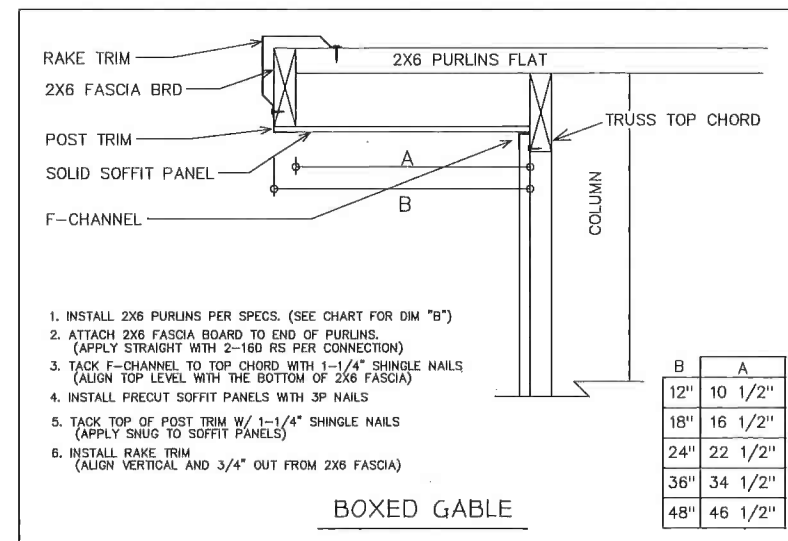
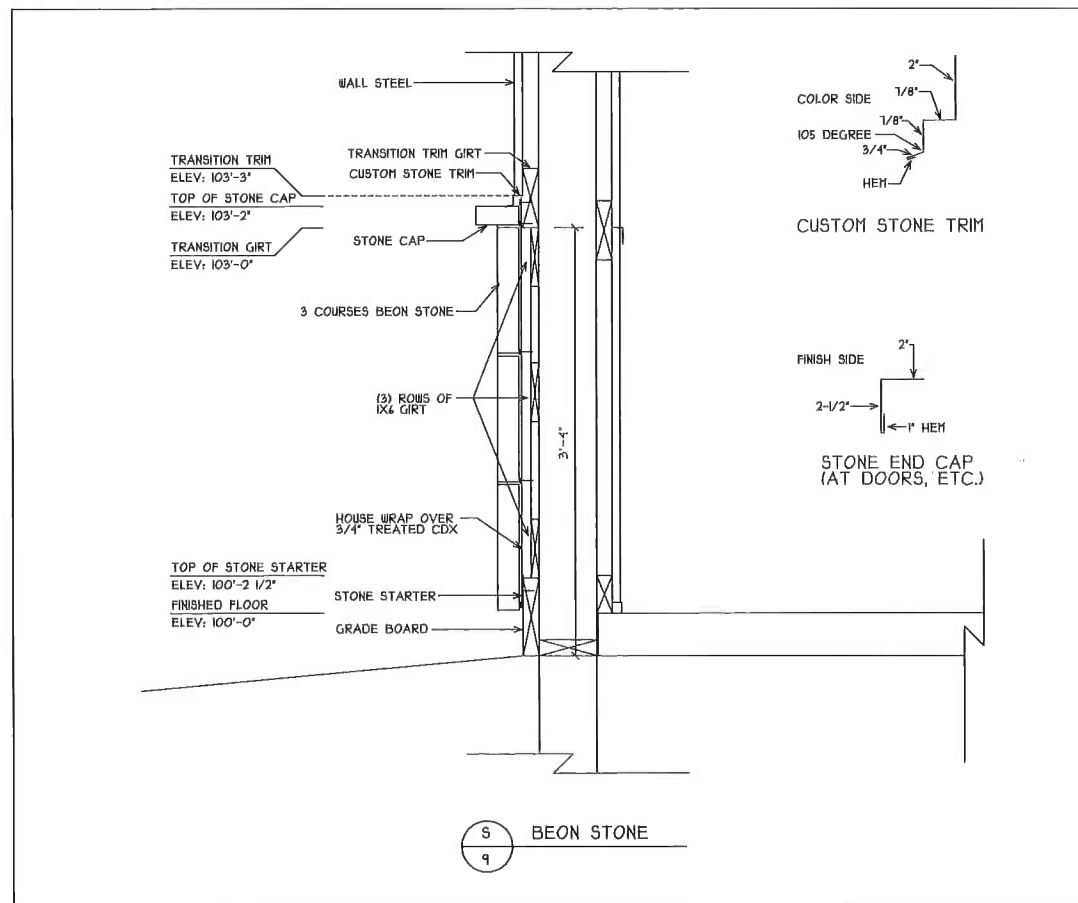
COLE GROUP ARCHITECTS, INC. APPROVING FOR THE CITY OF HAM LAKE, MN. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF COLE GROUP ARCHITECTS, INC. IN THE EVENT OF DISCREPANCY BETWEEN THESE PLANS AND ANY PREVIOUS PLANS, THESE PLANS SHALL CONTROL. THE CLIENT PARTY SHALL HOLD COLE GROUP ARCHITECTS, INC. HARMLESS FROM AND AGAINST ALL SUCH LIABILITY.

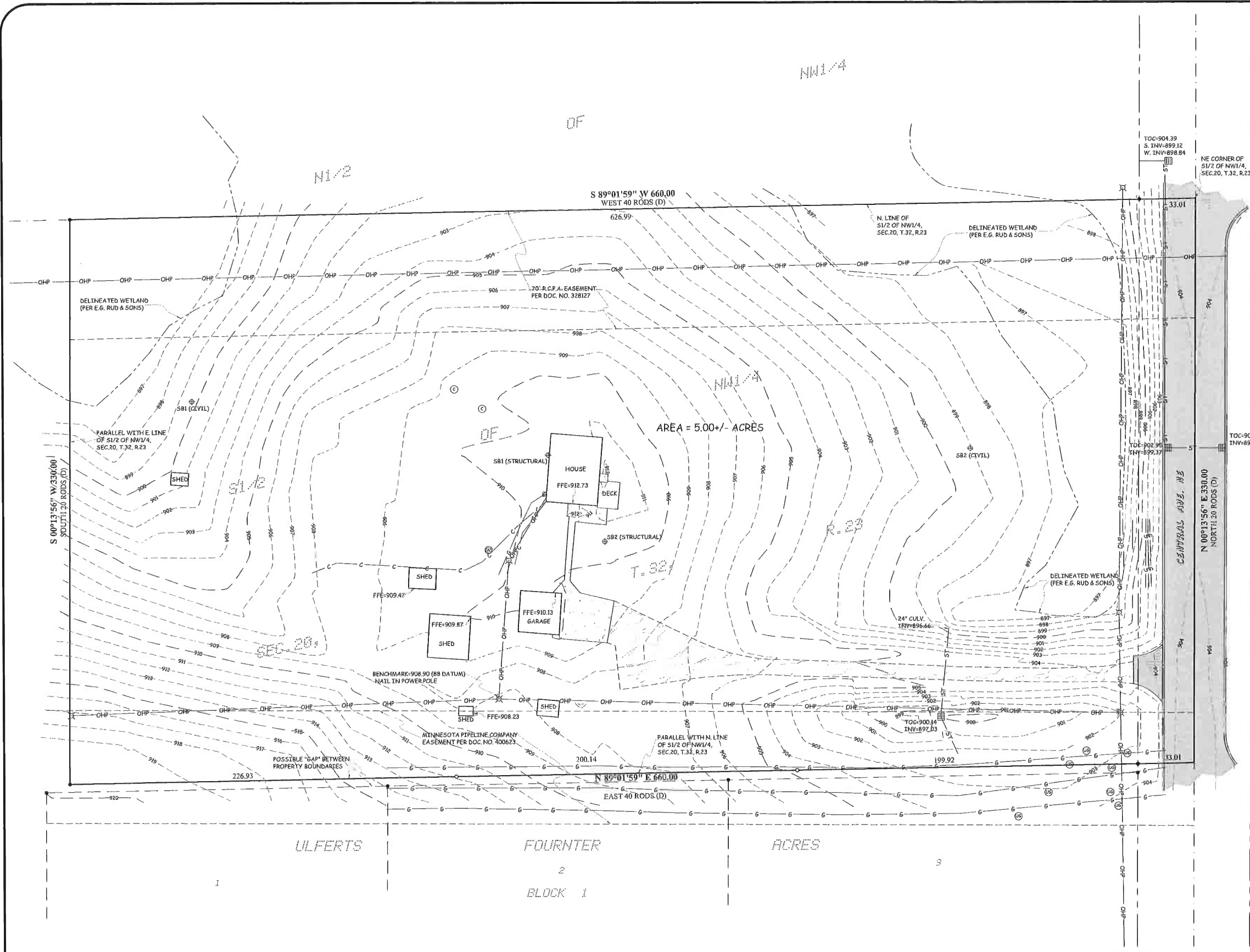
COLE GROUP ARCHITECTS, INC.
 ARCHITECTS
 210 Park Avenue South
 Suite 200, Champlin, MN 55820
 Phone: (763) 451-8700
 www.colegrouparchitects.com

STRUCTURAL BUILDINGS
 H&H FACILITY
 12924 FIRST STREET
 BECKER, MN
 (763) 961-4150
 HAM LAKE, MN

PROJECT NO. 2301P
 ISSUE DATE April 11th, 2023
 DOCUMENT SET PERMIT SET

A701

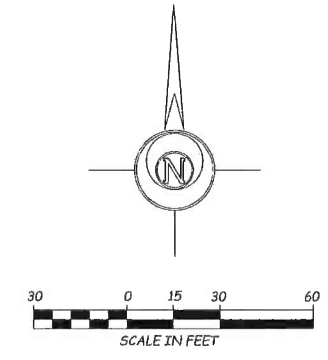




LEGAL DESCRIPTION

(Per Client)
 That part of the South Half of the Northwest Quarter of Section 20, Township 32, Range 23, described as follows, to wit: Commencing at the Northeast corner of the South Half of the Northwest Quarter of Section 20, Township 32, Range 23; thence West on the North line thereof 40 rods; thence South and parallel with the East line thereof 20 rods; thence East and parallel with the North line thereof 40 rods to the East line of said South Half of Northwest Quarter; thence North on said East line to the point of commencement, according to the United States Government Survey thereof and situate in Anoka County, Minnesota.

-The utilities shown hereon were located using the Gopher State One-Call system and verified in the field where possible. Private utility locations, such as underground sprinklers, underground service lines, ect may not have been located. O'Malley & Kron cannot guarantee that all utility companies responded or the accuracy or completeness of the locates. Prior to digging, contact Gopher One at 1-800-252-1166 and refer to ticket number 230720586.



Legend

- INDICATES IRON MONUMENT PLACED
- INDICATES IRON MONUMENT FOUND

LEGEND

- ST— INDICATES STORM SEWER LINE
- G— INDICATES UNDERGROUND GAS
- E— INDICATES UNDERGROUND ELECTRIC
- C— INDICATES UNDERGROUND CABLE
- OHP INDICATES OVERHEAD POWER
- ☒ INDICATES CATCH BASIN
- ⌘ INDICATES POWER POLE
- ⊕ INDICATES SOIL BORING
- ⊞ INDICATES GAS PEDESTAL
- ⊗ INDICATES UNDERGROUND GAS SIGN
- ⊠ INDICATES CABLE PEDESTAL
- ⊙ INDICATES SEPTIC CLEANOUT
- ⊚ INDICATES WELL
- INDICATES BITUMINOUS SURFACE
- INDICATES CONCRETE SURFACE
- ▨ INDICATES GRAVEL SURFACE

CERTIFICATE OF SURVEY PREPARED FOR:
STRUCTURAL BUILDING
 JOB NO: 2023-85
 FILE NAME: 2023-85.DWG
 LOCATION: 20-32-23

NOTE: THIS SURVEY IS INTENDED ONLY FOR THE BENEFIT OF THE PARTY TO WHOM IT WAS PREPARED FOR AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY OR FOR ANY OTHER PURPOSE. UNAUTHORIZED REPRODUCTION OF THIS DOCUMENT IS PROHIBITED.

CERTIFICATE OF SURVEY PREPARED BY:
O'MALLEY & KRON
 LAND SURVEYORS, INC.
 340 CHAPEL HILL RD.
 COLD SPRING, MN 56320
 PH. 320-685-5905
 FAX 320-685-3056

Revised: 5-24-23: removed proposed septic info.

I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

D.M.K.
 DANIEL M. KRON
 MINNESOTA REGISTRATION NO. 42621

DATE: 03-27-23
 REVISED 05-02-23

SHEET 1 OF 1

LEGEND

	PROPOSED CONCRETE PAVEMENT/APRON		EXISTING STORM SEWER LINE
	PROPOSED CLASS 2 GRAVEL SURFACING		EXISTING UNDERGROUND GAS
			EXISTING UNDERGROUND ELECTRIC
			EXISTING UNDERGROUND CABLE
			EXISTING OVERHEAD POWER
			EXISTING CATCH BASIN
			EXISTING POWER POLE
			SOIL BORING
			EXISTING GAS PEDESTAL
			EXISTING UNDERGROUND GAS SIGN
			EXISTING CABLE PEDESTAL
			EXISTING SEPTIC CLEANOUT
			EXISTING WELL

SURFACING NOTES:

- SURGRADES SHALL BE SCARIFIED AND/OR COMPACTED AS NECESSARY TO ATTAIN THE REQUIRED COMPACTION DESCRIBED IN THE GENERAL NOTES (SHEET C1). TEST ROLLING OF THE SURGRADE SHALL BE OBSERVED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN. LOCATIONS EXHIBING EXCESSIVE RUTTING (PER MNDOT SPEC. 2111) SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER PRIOR TO THE PLACEMENT OF AGGREGATE BASE. COMPACTION TESTING IN UTILITY TRENCHES SHALL BE PERFORMED BY AN INDEPENDENT TESTING FIRM.
- GRAVEL BASE COURSES SHALL BE ROLLED AND COMPACTED. TEST ROLLING OF THE GRAVEL BASE SHALL BE OBSERVED BY A SOILS ENGINEER TO VERIFY STABILITY.
- ALL EXISTING BITUMINOUS OR CONCRETE EDGES, WHICH WILL ABUT NEW BITUMINOUS OR CONCRETE SURFACING SHALL BE SAWCUT TO OBTAIN A VERTICAL EDGE.
- EXPANSION JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE NEW CONCRETE ABUTS EXISTING CONCRETE, AND AT ALL LOCATIONS WHERE SEPARATE CONCRETE POURS ABUT EACH OTHER.
- CONCRETE PAVEMENT OR APRONS, WHICH ABUT DOORWAY OPENINGS SHALL BE TIED TO THE FLOOR SLAB WITH #4 BARS ALONG THE ENTIRE WIDTH OF THE DOORWAY. SEE DETAIL ON SHEET C2.
- SEE SHEET C1 FOR SPECIFICATIONS REGARDING THE CONSTRUCTION OF PAVEMENTS, AND CURB AND GUTTER.

PARKING SPACE CALCULATION

REQUIRED PARKING SPACES (PER ZONING OFFICIAL)

COMMERCIAL BUILDINGS:
REQUIRED PARKING SPACES = BUILDING OCCUPANCY
BUILDING OCCUPANCY = 41

TOTAL REQUIRED PARKING SPACES = 41 SPACES

PROVIDED PARKING SPACES

CURRENTLY PROPOSED PARKING SPACES = 31 SPACES
ADDITIONAL PROOF OF PARKING = 10 SPACES

TOTAL PROVIDED PARKING SPACES = 41 SPACES

ZONING REQUIREMENTS

PROPERTY ZONING:
CD-2 COMMERCIAL DEVELOPMENT II

SETBACKS

FRONT BUILDING SETBACK = 30-FT
SIDE BUILDING SETBACK = 10-FT
REAR BUILDING SETBACK = 20-FT

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Engineer under the laws of the state of Minnesota

Brian J. Schultz, PE
Brian J. Schultz, PE
Date: 05/10/2023
License No.: 43129

SCHULTZ ENGINEERING & SITE DESIGN

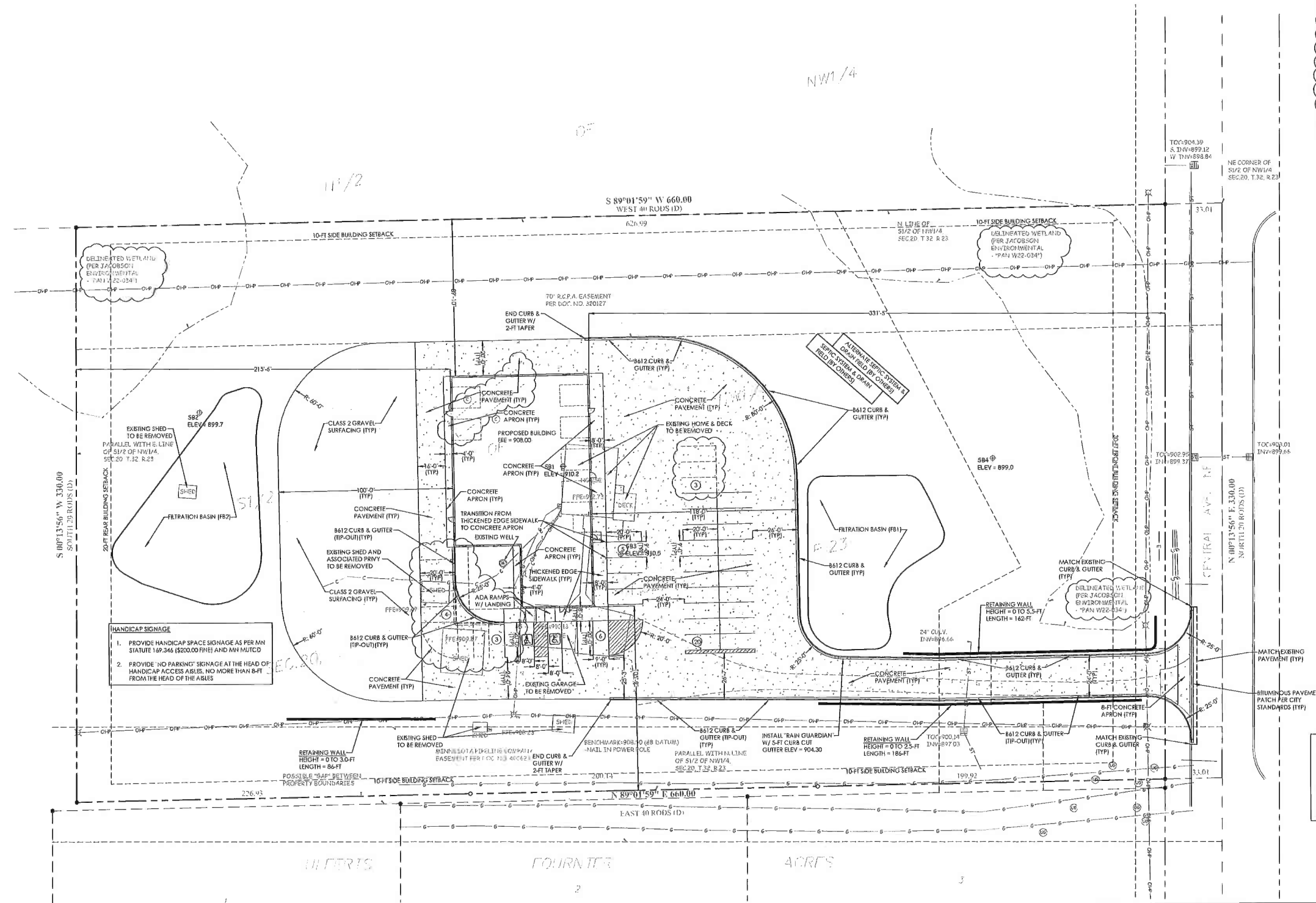
18 South Riverside Avenue
Suite 230
Sartell, MN 56377

Ph: (820) 339-0669
F: (866) 639-1890
schultzeng@live.com
www.schultzengdesign.com

REVISIONS NO.	DATE	DESCRIPTION
1	05/10/2023	SITE RE-DESIGN
2	05/26/2023	PER 05/19/2023 CITY ENGINEER COMMENTS
3	06/20/2023	PER 06/07/2023 CITY ENGINEER COMMENTS
4		

CIVIL SHEET INDEX	SITE PLAN
CS1	STANDARD NOTES & SPECIFICATIONS
CS2	STANDARD DETAILS
CS4	GRADING PLAN
CS5	SWPPP - STANDARD NOTES
CS6	SWPPP - PLAN VIEW
CS7	UTILITY PLAN

PROJECT NUMBER: 23011
SCALE: 1"=30'
CS1 OF 1



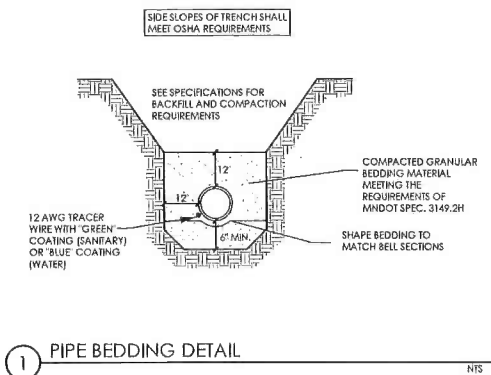
CIVIL SHEET INDEX

CS1	STANDARD NOTES & SPECIFICATIONS	SITE PLAN
CS2	STANDARD DETAILS	
CS4	GRADING PLAN	
CS5	SWPPP - STANDARD NOTES	
CS6	SWPPP - PLAN VIEW	
CS7	UTILITY PLAN	

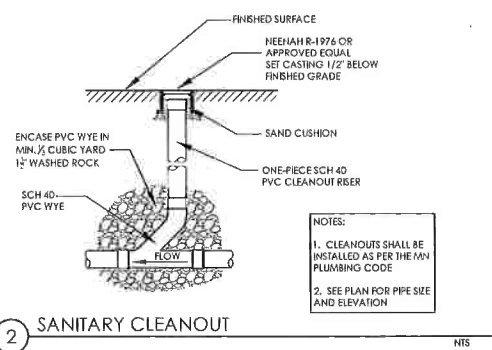
SITE PLAN

Scale: 1"=30'

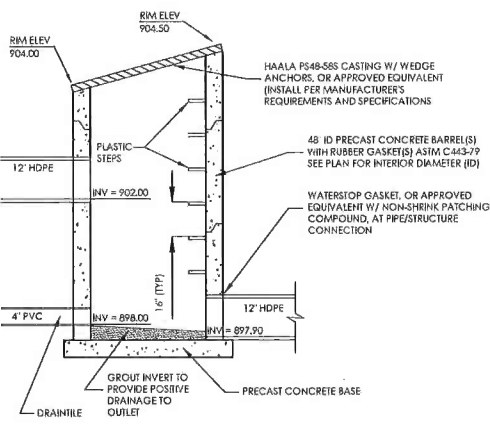
23011 Site.dwg
H & LANDSCAPE CONTRACTORS
H & NEW FACILITY
1545 CENTRAL AVENUE
HAWLAKE, MN



1 PIPE BEDDING DETAIL NTS

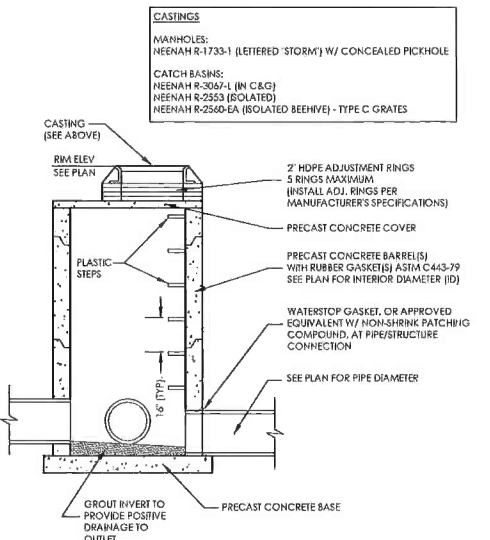


2 SANITARY CLEANOUT NTS



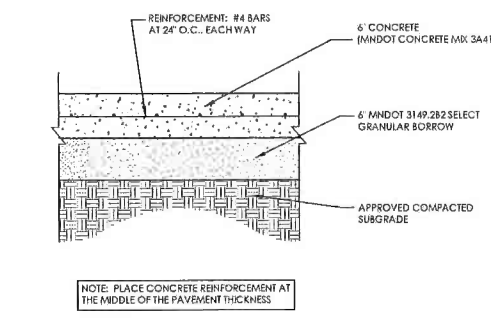
NOTES:
 1. SEE PLAN FOR INTERIOR DIAMETERS (ID) OF PRECAST CONCRETE BARREL SECTIONS
 2. SEE PLAN FOR PIPE CUT-OUT SECTIONS
 3. CONSTRUCT GROUDED FLOW LINES WITHIN STRUCTURE TO DIRECT FLOW TO OUTLET WITH NON-SHRINK GROUT
 4. FILL ANNULAR SPACE BETWEEN PIPE AND BARREL WITH NON-SHRINK GROUT.
 5. PRECAST CONCRETE COVERS, BARREL SECTIONS, AND BASES SHALL MEET THE REQUIREMENTS OF STANDARD MNDOT PLATES 4011 AND 4020
 6. PLASTIC STEPS SHALL BE AS PER MNDOT STANDARD PLATE 4180 AND SHALL BE PLACED OVER THE OUTLET PIPE

3 FILTRATION BASIN OUTLET STRUCTURE (FB1 & FB2) NTS

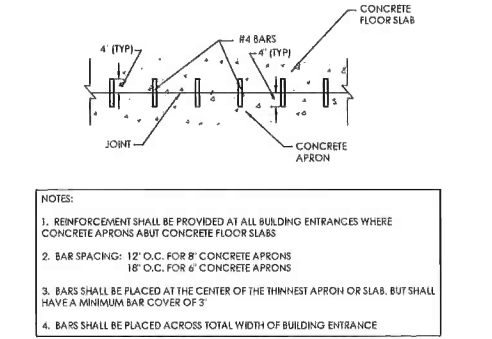


NOTES:
 1. SEE PLAN FOR INTERIOR DIAMETERS (ID) OF PRECAST CONCRETE BARREL SECTIONS
 2. SEE PLAN FOR PIPE CUT-OUT SECTIONS
 3. CONSTRUCT GROUDED FLOW LINES WITHIN STRUCTURE TO DIRECT FLOW TO OUTLET WITH NON-SHRINK GROUT.
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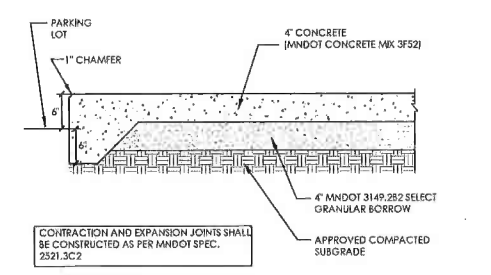
4 STORM MANHOLE OR CATCH BASIN NTS



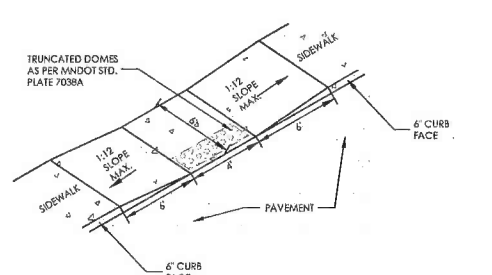
5 CONCRETE APRON SECTION NTS



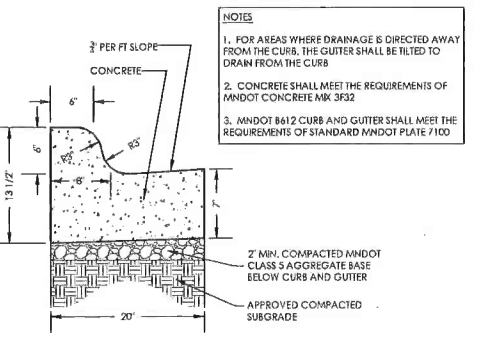
6 APRON/FLOOR SLAB JOINT REINFORCEMENT NTS



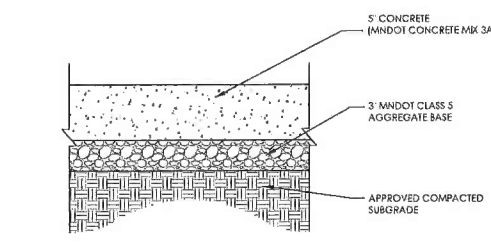
7 THICKENED EDGE SIDEWALK NTS



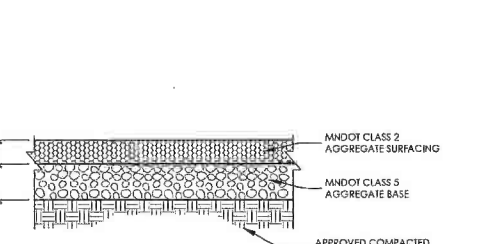
8 ADA RAMP NTS



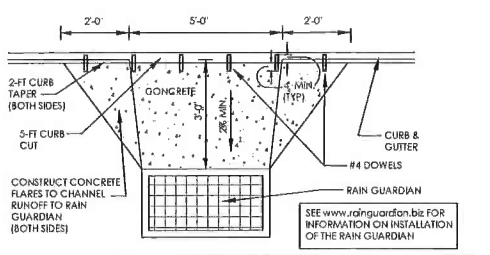
9 CURB & GUTTER (MNDOT B612) NTS



10 CONCRETE PAVEMENT SECTION NTS

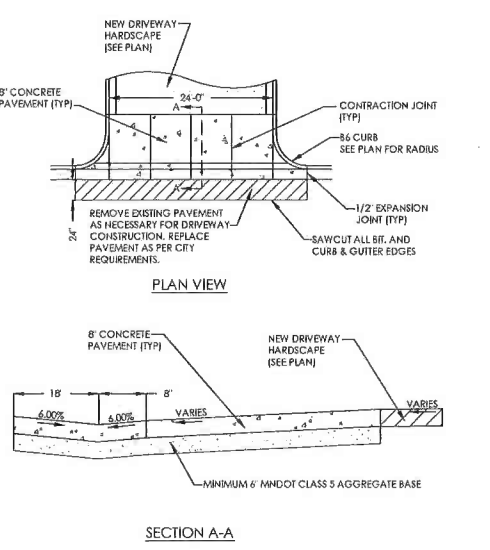


11 GRAVEL PARKING LOT NTS



NOTES:
 1. CONCRETE SHALL BE 6-IN THICK OVERLYING 6\"/>

12 CURB AT RAIN GUARDIAN NTS



13 CONCRETE DRIVEWAY APRON NTS

STANDARD DETAILS

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Engineer under the laws of the state of Minnesota

Brian Schultz, PE
 License No.: 43129
 Date: 05/10/2023

SCHULTZ ENGINEERING & SITE DESIGN

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 Fx: (656) 633-1830
 schultzeng@live.com
 www.schultzengdesign.com

18 South Riverside Avenue
 Suite 230
 Stillwell, MN 56677

REVISIONS	NO.	DATE	DESCRIPTION
	1	05/10/2023	SITE RE-DESIGN
	2		
	3		
	4		

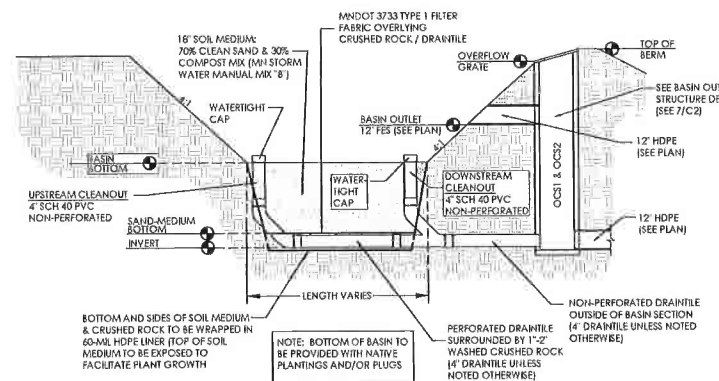
H & H LANDSCAPE CONTRACTORS
 NEW FACILITY

15454 CENTRAL AVENUE
 HAM LAKE, MN

PROJECT NUMBER:
 23011

C2 OF 6

FILTRATION BASIN ELEVATIONS									
FILTRATION BASIN	DRAIN TILE INVERT	SAID BOTTOM	BASIN BOTTOM	BASIN OUTLET	OVERFLOW GRADE	TOP OF BERM	100-YEAR PEAK (FB1)	100-YEAR PEAK (FB2)	
FB1 & FB2	898.00	898.50	900.00	902.30	904.00	905.00	903.33	903.79	



1 FILTRATION BASIN (FB1 & FB2)

LEGEND

	PROPOSED CONTOUR		EXISTING MAJOR CONTOUR
	PROPOSED FILTRATION BASIN OUTLET ELEVATION CONTOUR		EXISTING MINOR CONTOUR
	PROPOSED STORM SEWER		EXISTING STORMSEWER LINE
	PROPOSED FILTRATION BASIN DRAIN TILE		EXISTING UNDERGROUND GAS
	PROPOSED SPOT ELEVATION		EXISTING UNDERGROUND ELECTRIC
	PROPOSED FILTRATION BASIN DRAIN TILE CLEANOUT		EXISTING UNDERGROUND CABLE
	PROPOSED RAIN GUARDIAN		EXISTING OVERHEAD POWER
	PROPOSED CATCH BASIN OR OUTLET STRUCTURE		EXISTING CATCH BASIN
	PROPOSED FLARED END SECTION		EXISTING POWER POLE
	PROPOSED SLOPE & DIRECTIONAL ARROW		SOIL BORING
			EXISTING GAS PEDESTAL
			EXISTING UNDERGROUND GAS SIGN
			EXISTING CABLE PEDESTAL
			EXISTING SEPTIC CLEANOUT
			EXISTING WELL

GRADING NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - LOCATIONS, DEPTHS, SEES, AND MATERIAL TYPES OF EXISTING SANITARY, WATER, AND STORM SEWER UTILITIES, INCLUDING EXISTING STUBS
 - RIM AND INVERT ELEVATIONS OF EXISTING SANITARY AND STORM SEWER UTILITIES, INCLUDING EXISTING STUBS
 - LOCATIONS AND DEPTHS OF EXISTING NON-SEWER AND NON-WATER UTILITIES (E.G. GAS, ELECTRIC, COMMUNICATIONS, ETC.)
 - EXISTING ABOVE-GROUND INFRASTRUCTURE AND SITE FEATURES
- NOTIFY ENGINEER IMMEDIATELY IF ANY INCONSISTENCIES ARE DISCOVERED BETWEEN ACTUAL SITE CONDITIONS AND WHAT IS SHOWN ON THE PLANS, WHICH ARE SIGNIFICANT ENOUGH TO ALTER THE INTENT OF THE DRAWINGS.
- EXISTING TOPOGRAPHICAL INFORMATION WAS OBTAINED FROM A TOPOGRAPHICAL SURVEY COMPLETED BY O'MALLEY & KRON LAND SURVEYORS, COLD SPRING, MN, (320) 485-9905
- BENCHMARK: NAIL IN POWER POLE LOCATED APPROX. 75-FT SOUTHWEST OF PROPOSED SOUTHWEST BUILDING CORNER (SEE PLAN) - ELEV = 908.90 (88 DATUM).
- CONTRACTOR SHALL CONTACT GOPHER ONE CALL AT (800) 252-1166 FOR A UTILITY LOCATE PRIOR TO THE START OF CONSTRUCTION AND VERIFY LOCATIONS OF EXISTING UTILITIES BEFORE BEGINNING WORK.
- SEE SHEET C2 FOR STANDARD DETAILS.
- ALL LENGTHS OF STORM SEWER OR CULVERT PIPE SPECIFIED ON THIS PLAN INCLUDE THE LENGTHS OF ANY ASSOCIATED FLARED END SECTIONS.
- BRUSH GUARDS SHALL BE INSTALLED ON ALL STORM SEWER END SECTIONS.
- FINISHED ELEVATIONS OF LANDSCAPED AREAS IMMEDIATELY ADJACENT TO BUILDINGS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR OR TOP-OF-BLOCK ELEVATION, UNLESS NOTED OTHERWISE ON THE PLAN.
- CONTRACTOR SHALL PERFORM ALL NECESSARY CALCULATIONS TO VERIFY EARTHWORK QUANTITIES. CONTRACTOR'S BID RELATED TO EARTHWORK, CUTTING, FILLING, GRADING, ETC. SHALL BE BASED ON EARTHWORK CALCULATIONS COMPLETED BY THE CONTRACTOR.
- SPOT ELEVATIONS INDICATED ON THIS PLAN REPRESENT FINISHED SURFACE ELEVATIONS, UNLESS NOTED OTHERWISE.
- SPOT ELEVATIONS LOCATED ALONG CURB & GUTTER OR THICKENED EDGE SIDEWALK REPRESENT FLOWLINE ELEVATIONS OF GUTTER SECTION OR ADJACENT PAVEMENT. TOP-OF-CURB OR TOP-OF-THICKENED EDGE SIDEWALK SURFACE ELEVATIONS ARE 6" ABOVE THE FLOW LINE SPOT ELEVATION SHOWN ON THE PLANS. UNLESS NOTED OTHERWISE.
- SPOT ELEVATION DESIGNATIONS:
 - EX DENOTES EXISTING SPOT ELEVATION
 - HP DENOTES HIGH POINT
 - FL DENOTES FLOWLINE
 - BC DENOTES BACK OF CURB
 - TC DENOTES EDGE OF CONCRETE
 - EP DENOTES EDGE OF PAVEMENT
- ALL SPOT ELEVATIONS AND CONTOURS INDICATED ON THIS PLAN ARE INTENDED TO PROVIDE ADEQUATE POSITIVE DRAINAGE TOWARDS CATCH BASINS, CURB CUTS, PONDS, BASINS AND/OR OTHER OUTLETS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT SPECIFIED SURFACE INFRASTRUCTURE TO ELEVATIONS AND GRADES INDICATED ON THE PLAN, AS WELL AS ENSURE THAT ADEQUATE POSITIVE DRAINAGE IS CONSTRUCTED AND MAINTAINED THROUGHOUT THE ENTIRE SITE AND/OR CONSTRUCTION AREA.
- ALL CONTRACTOR SHALL CONTRACT WITH A LICENSED STRUCTURAL ENGINEER FOR DESIGN OF ANY RETAINING WALLS SHOWN ON THIS PLAN.
- LINEAL FOOTAGE AND HEIGHTS OF ANY RETAINING WALLS SHOWN ON THIS PLAN ARE ESTIMATED, BASED ON THE TOPOGRAPHIC SURVEY BACKGROUND, AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.

IF REQUIRED BY THE MN DEPT. OF LABOR AND INDUSTRY (MNDLI), OWNER AND/OR CONTRACTOR SHALL SUBMIT FOR STATE PLUMBING REVIEW, AND OBTAIN AN APPROVED PLUMBING REVIEW REPORT FROM MNDLI, PRIOR TO THE INSTALLATION OF ANY STORM SEWER UTILITIES.

CONSTRUCTION OF STORM SEWER UTILITIES SHALL NOT COMMENCE UNTIL AFTER THE APPROVED PLUMBING REVIEW REPORT HAS BEEN OBTAINED, AND ANY AND ALL PERTINENT COMMENTS HAVE BEEN ADDRESSED ON THE PLANS AND IN THE PROJECT SPECIFICATIONS. CONTRACTOR IS ADVISED TO ORDER STORM SEWER UTILITY MATERIALS AFTER APPROVED PLUMBING REVIEW REPORT HAS BEEN OBTAINED FROM MNDLI.

NOTE: CADD FILES FOR ESTIMATING EARTHWORK QUANTITIES ARE AVAILABLE TO CONTRACTORS FOR PREPARING BIDS. IN ORDER TO RECEIVE THE CADD FILES, THE CONTRACTOR WILL NEED TO SIGN A HOLD-HARMLESS AGREEMENT PROVIDED BY SCHULTZ ENGINEERING & SITE DESIGN, AND AGREE TO PAY A \$50 PROCESSING FEE. THE CADD FILES WILL BE RELEASED UPON RECEIPT OF THE CHECK.

FILTRATION BASIN NOTES:

- TRAFFIC FROM CONSTRUCTION EQUIPMENT SHALL BE LIMITED AS MUCH AS POSSIBLE ACROSS FILTRATION BASIN AREAS, AND BE ONLY LOW IMPACT TRACK EQUIPMENT. BASIN AREAS SHALL BE EXCAVATED WITH A BACKHOE STATIONED OUTSIDE OF THE AREA AS MUCH AS POSSIBLE.
- DURING CONSTRUCTION OF THE ADJACENT PARKING LOT AND BUILDING, THE FILTRATION BASIN AREA SHALL BE PROTECTED FROM TRAFFIC AND SEDIMENT WITH SILT FENCE. SEE SHEET C3.
- FILTRATION SOIL MEDIA SHALL CONSIST OF MN STORM WATER MANUAL MK "B".
- ONCE THE FILTRATION BASIN HAS BEEN EXCAVATED AND BACKFILLED WITH SOIL MEDIA, THE CONTRACTOR SHALL ARRANGE AND PAY FOR TESTING THE INFILTRATION RATES OF THE SOIL MEDIA. THE TEST RESULTS SHALL BE SUBMITTED TO THE WATERSHED DISTRICT AND THE ENGINEER.
- IN ORDER TO PASS, INFILTRATION TESTING RESULTS SHALL BE IN A SATURATED STATE AND MUST BE NO LESS THAN DOUBLE THE DESIGN RATE. FOR THE PROJECT, THE DESIGN INFILTRATION RATE FOR THE FILTRATION BASIN IS 0.8-IN/HR. THIS INFILTRATION TEST RESULTS MUST BE NO LESS THAN 1.6-IN/HR.
- ONCE EXCAVATED TO FINAL GRADE FILTRATION BASIN AREAS SHALL BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITY IS REACHING THE BASIN AREAS. ALL FILTRATION BASIN AREAS SHALL BE INSPECTED TO ENSURE THAT UNAUTHORIZED EQUIPMENT IS NOT BEING DRIVEN ACROSS THE BASIN AREAS, AS WELL.
- FINAL STABILIZATION OF THE FILTRATION BASINS SHALL NOT BE COMPLETED UNTIL THE UPSTREAM DRAINAGE AREAS HAVE BEEN STABILIZED.

GRADING PLAN



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Engineer under the laws of the state of Minnesota.

Brian Schultz, PE
Date: 05/10/2023
License No.: 43179

SCHULTZ ENGINEERING & SITE DESIGN

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NO.	DATE	DESCRIPTION
1	05/10/2023	SITE RE-DESIGN
2	05/26/2023	PER 05/19/2023 CITY ENGINEER COMMENTS
3	06/20/2023	PER 06/07/2023 CITY ENGINEER COMMENTS
4		

REVISIONS

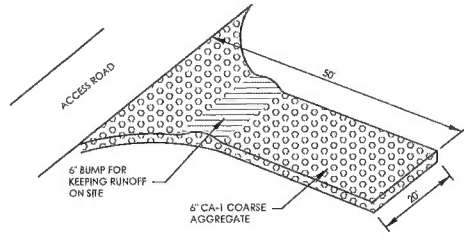
H & H LANDSCAPE CONTRACTORS
& NEW FACILITY

1645 CENTRAL AVENUE
HAM LAKE, MN

PROJECT NUMBER: 23011

SCALE: 1"=30'

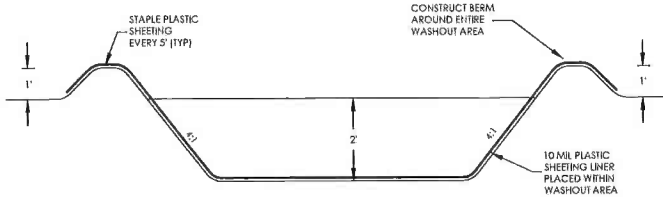
C3 OF 6



1. THE ROCK ENTRANCE SHALL BE CONSTRUCTED PRIOR TO THE START OF GRADING OPERATIONS.
2. THE ENTRANCE SHALL BE GRADED SUCH THAT POSITIVE DRAINAGE DURING CONSTRUCTION IS PROVIDED.
3. THE ENTRANCE SHALL BE MAINTAINED IN SUCH A CONDITION SUCH THAT IT PREVENTS MUD TRACKING OFF-SITE. ADDITIONAL ROCK OR REPLACEMENT OF THE ENTRANCE MAY BE REQUIRED PERIODICALLY IF MUD STARTS TO TRACK OFF-SITE.
4. THE ROCK ENTRANCE MAY BE REMOVED JUST PRIOR TO THE PLACEMENT OF AGGREGATE BASE.

NOTE: PLACING FILTER FABRIC UNDER THE ROCK ENTRANCE MAY REDUCE THE AMOUNT OF MAINTENANCE IT WOULD REQUIRE.

1 TEMPORARY ROCK CONSTRUCTION ENTRANCE



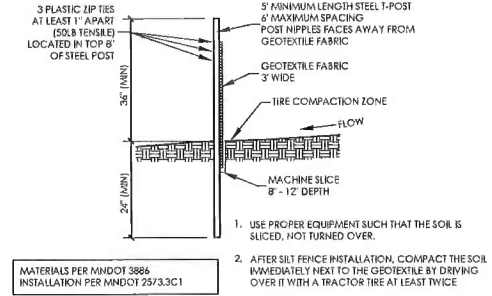
1. BOTTOM OF CONCRETE WASHOUT AREA SHALL BE 10X10
2. CONTRACTOR SHALL REMOVE WASH LIQUID FROM CONCRETE WASHOUT AREA AND DISPOSE OF PER MPCA REQUIREMENTS WHEN WASHOUT AREA BECOMES HALF FULL.
3. CONTRACTOR SHALL SELECT THE MOST OPTIMAL LOCATION FOR THE CONCRETE WASHOUT.

2 CONCRETE WASHOUT

NOTE: SITE SHALL BE STABILIZED AFTER SEVEN (7) DAYS OF BATTERY/GRADING INACTIVITY (SEE SHEET C4 FOR ADDITIONAL INFORMATION)

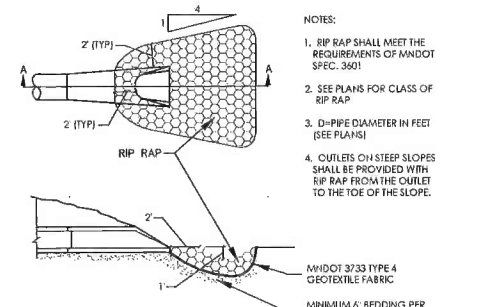
LEGEND

— 900 —	PROPOSED CONTOUR	— 600 —	EXISTING MAJOR CONTOUR
— 800 —	PROPOSED FILTRATION BASIN OUTLET ELEVATION CONTOUR	— 800 —	EXISTING MINOR CONTOUR
— ST —	PROPOSED STORM SEWER	— ST —	EXISTING STORM SEWER LINE
— G — G —	PROPOSED FILTRATION BASIN DRAIN TILE	— G — G —	EXISTING UNDERGROUND GAS
— E — E —	PROPOSED SILT FENCE	— E — E —	EXISTING UNDERGROUND ELECTRIC
— C — C —	PROPOSED FILTRATION BASIN DRAIN TILE CLEANOUT	— C — C —	EXISTING UNDERGROUND CABLE
— OHP — OHP —	PROPOSED RAIN GUARDIAN	— OHP — OHP —	EXISTING OVERHEAD POWER
— [Symbol] —	PROPOSED CATCH BASIN OR OUTLET STRUCTURE	— [Symbol] —	EXISTING CATCH BASIN
— [Symbol] —	PROPOSED FLARED END SECTION	— [Symbol] —	EXISTING POWER POLE
— [Symbol] —	TEMPORARY ROCK CONSTRUCTION ENTRANCE	— [Symbol] —	SOIL BORING
— [Symbol] —	CLASS III RIP RAP OVERLAYING TYPE 4 GEOTEXTILE FABRIC	— [Symbol] —	EXISTING GAS PEDESTAL
— [Symbol] —	CATEGORY 20 EROSION CONTROL BLANKET	— [Symbol] —	EXISTING CABLE PEDESTAL
		— [Symbol] —	EXISTING UNDERGROUND GAS SIGN
		— [Symbol] —	EXISTING CABLE PEDESTAL
		— [Symbol] —	EXISTING SEPTIC CLEANOUT
		— [Symbol] —	EXISTING WELL

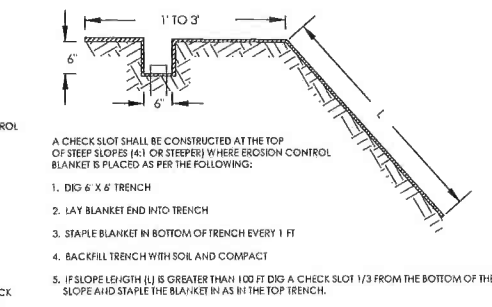


1. USE PROPER EQUIPMENT SUCH THAT THE SOIL IS SLICED, NOT TURNED OVER.
2. AFTER SILT FENCE INSTALLATION, COMPACT THE SOIL IMMEDIATELY NEXT TO THE GEOTEXTILE BY DRIVING OVER IT WITH A TRACTOR TIRE AT LEAST TWICE.

3 SILT FENCE (MACHINE SLICED)



4 RIP RAP AT PIPE OUTLETS



5 EROSION CONTROL BLANKET

1. DIG 6 X 8 TRENCH
2. LAY BLANKET END INTO TRENCH
3. STAPLE BLANKET IN BOTTOM OF TRENCH EVERY 1 FT
4. BACKFILL TRENCH WITH SOIL AND COMPACT
5. IF SLOPE LENGTH (L) IS GREATER THAN 100 FT DIG A CHECK SLOT 1/3 FROM THE BOTTOM OF THE SLOPE AND STAPLE THE BLANKET IN AS IN THE TOP TRENCH.

SWPPP - PLAN VIEW

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Engineer under the laws of the State of Minnesota.

Brian Schultz, PE
Date: 05/10/2023
License No.: 43129

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NO.	DATE	DESCRIPTION
1	05/10/2023	SITE RE-DESIGN
2	05/26/2023	PER 05/19/2023 CITY ENGINEER COMMENTS
3	06/20/2023	PER 06/09/2023 CITY ENGINEER COMMENTS
4		

H & H LANDSCAPE CONTRACTORS NEW FACILITY

15454 CENTRAL AVENUE
HAWK LAKE, MN

PROJECT NUMBER: 23011
SCALE: 1"=30'

23011 SWPPP - Plan.dwg
C5 OF 6



UTILITY NOTES:

WATER AND SANITARY SEWER UTILITIES

1. WATER MAIN AND ANY WATER SERVICE LINES SHALL BE PLACED AT A MINIMUM DEPTH OF 8 FEET BELOW FINISHED GRADE.
2. IF CONFLICTS ARE DISCOVERED WHERE WATER MAIN OR SERVICES CROSS EXISTING OR PROPOSED SANITARY SEWER, SERVICE LINES, OR STORM SEWER, THE WATER MAIN SHALL BE RAISED OR LOWERED APPROPRIATELY WHILE STILL MAINTAINING A MINIMUM DEPTH OF 8 FEET BELOW FINISHED GRADE.
3. INSULATION SHALL BE PLACED AT ALL LOCATIONS WHERE STORM SEWER CROSSES SANITARY SEWER, WATER MAIN, OR ASSOCIATED SERVICES. INSULATION SHALL CONSIST OF AN 8'-X'-8" SQUARE OF 3"-THICK RIGID INSULATION. INSULATION SHALL BE PLACED BETWEEN THE STORM SEWER AND PIPE CROSSING WITH THE EDGES OF THE INSULATION PARALLEL TO THE PIPING AS MUCH AS POSSIBLE.
4. INSTALL SANITARY SEWER SERVICE LINE CLEANOUTS AS REQUIRED BY THE MINNESOTA PLUMBING CODE.
4. INSTALL TRACER WIRE ALONG PROPOSED UNDERGROUND UTILITY PIPE AS PER MINNESOTA RURAL WATER ASSOCIATION STANDARDS AND SPECIFICATIONS.
<https://www.mrwa.com/wp-content/uploads/2022/06/TracerWireSpecGuideFinalweb13.pdf>
5. SEE SHEET C-3 FOR STORM SEWER ELEVATIONS AND SLOPE, AND SHEET C-2 FOR STANDARD DETAILS RELATING TO THE PLACEMENT OF THE UTILITIES.
6. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

OWNER AND/OR CONTRACTOR SHALL SUBMIT FOR STATE PLUMBING REVIEW, AND OBTAIN AN APPROVED PLUMBING REVIEW REPORT FROM MNDI, PRIOR TO THE INSTALLATION OF ANY SANITARY SEWER OR WATER UTILITIES.

CONSTRUCTION OF SANITARY SEWER OR WATER UTILITIES SHALL NOT COMMENCE UNTIL AFTER THE APPROVED PLUMBING REVIEW REPORT HAS BEEN OBTAINED, AND ANY AND ALL PERTINENT COMMENTS HAVE BEEN ADDRESSED ON THE PLANS AND IN THE PROJECT SPECIFICATIONS. CONTRACTOR IS ADVISED TO ORDER UTILITY MATERIALS AFTER APPROVED PLUMBING REVIEW REPORT HAS BEEN OBTAINED FROM MNDI.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Engineer under the laws of the State of Minnesota.

Brian Schultz, PE
 Brian Schultz, PE
 License No.: 43129
 Date: 05/10/2023

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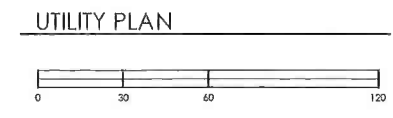
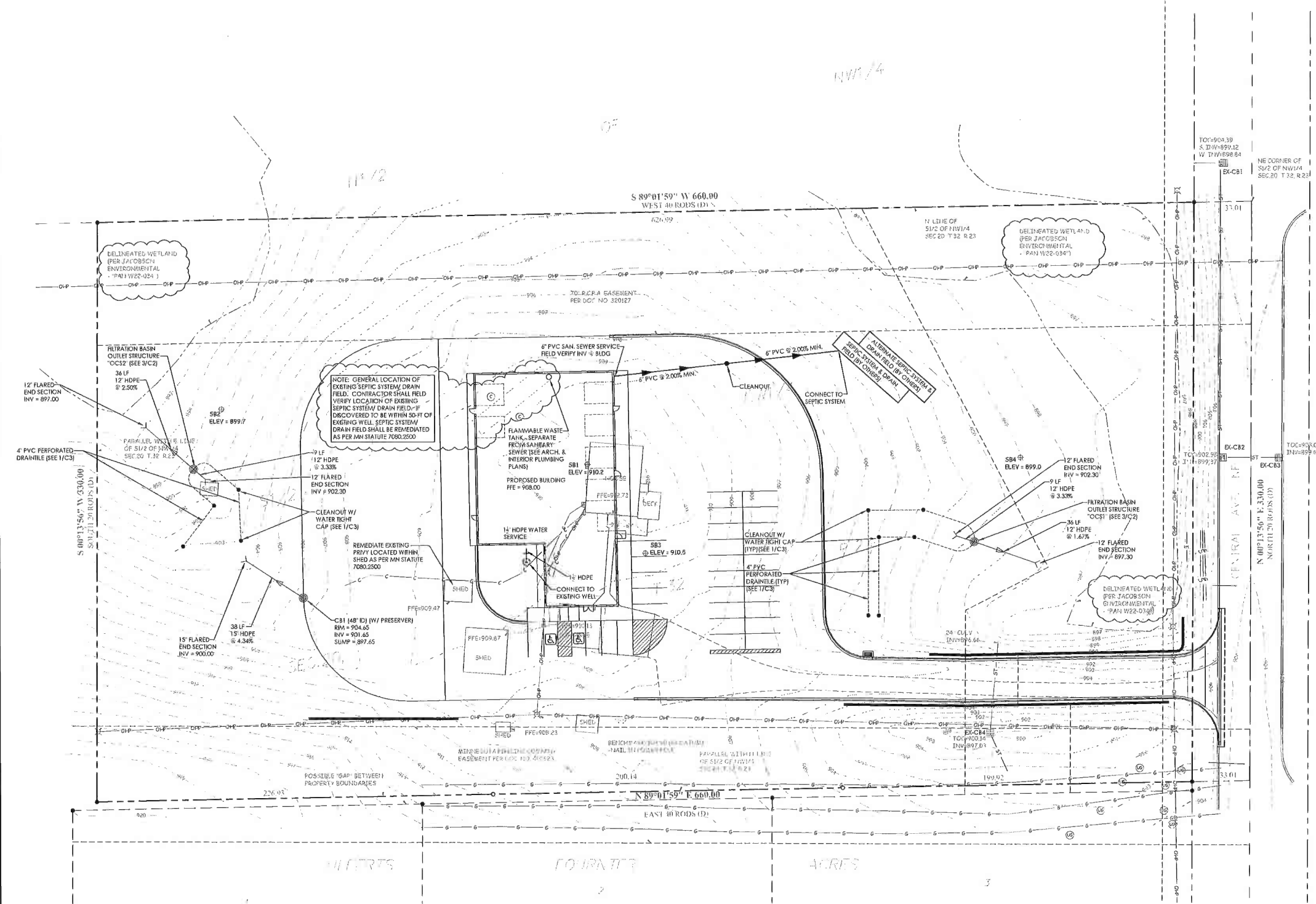
Ph: (920) 839-0669
 Fax: (866) 633-1830
 schultzeng@live.com

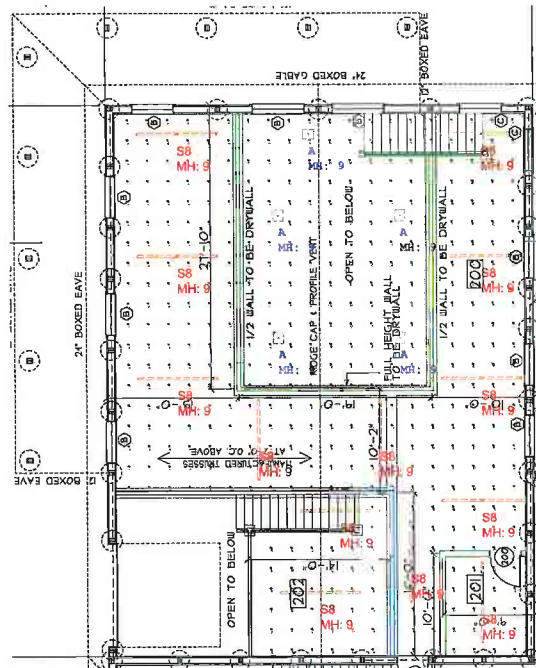
REVISIONS	NO.	DATE	DESCRIPTION
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	2	05/24/2023	PER 05/19/2023 CITY ENGINEER COMMENTS
	3	06/20/2023	PER 06/09/2023 CITY ENGINEER COMMENTS
	4		

H & H LANDSCAPE CONTRACTORS
 NEW FACILITY

15454 CENTRAL AVENUE
 HAM LAKE, MN

PROJECT NUMBER: 23011
 SCALE: 1"=30'
 C6 OF 6

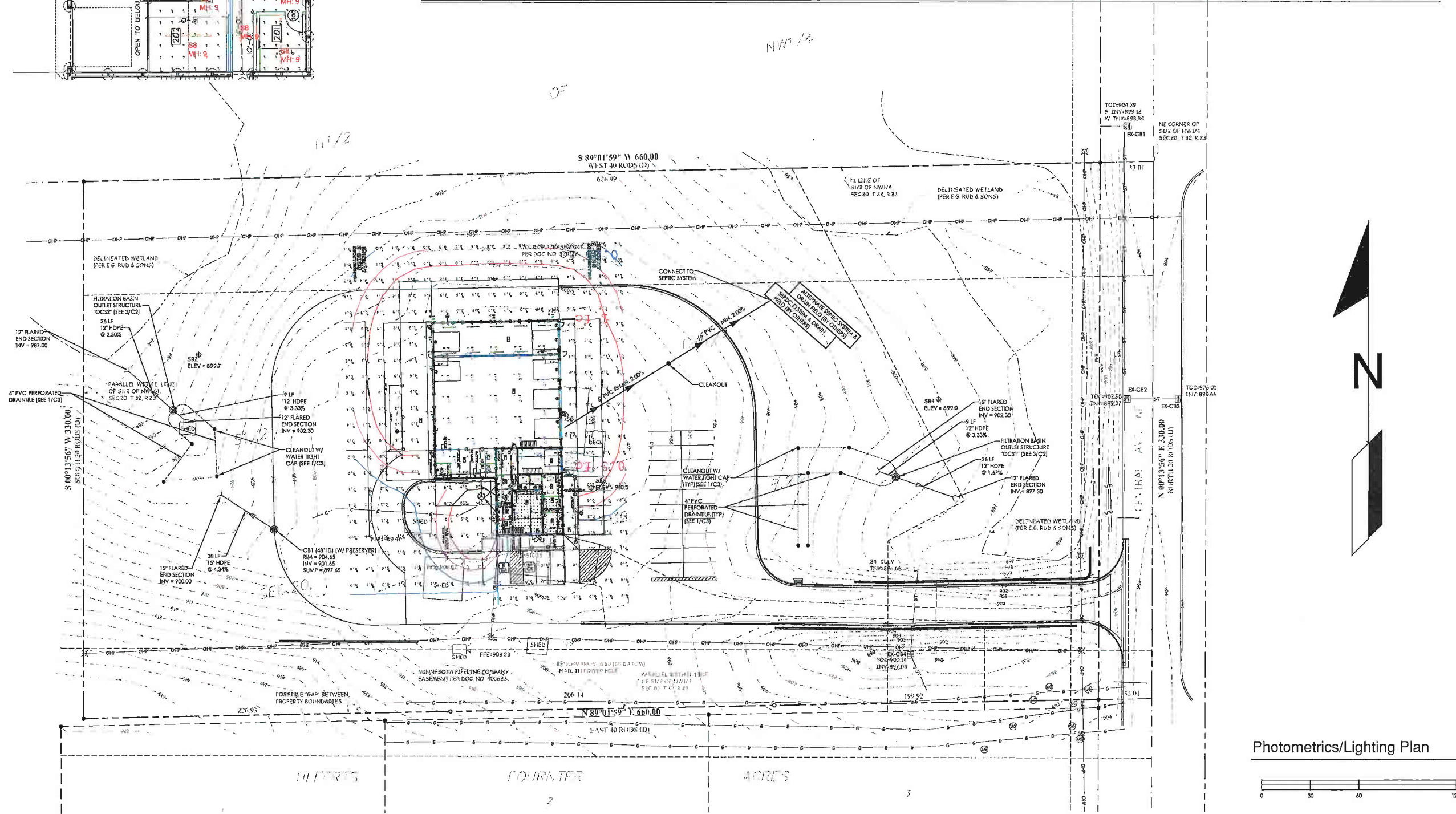




Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Planar	Illuminanc	Fc	1.21	6.9	0.0	N.A.	N.A.
Main Floor Workplane	Illuminanc	Fc	0.00	0	0	N.A.	N.A.
Secondary Schedule Plane	Illuminanc	Fc	0.00	0	0	N.A.	N.A.

Symbol	Qty	Label	LLF	Description	Lum. Watts
	40	A	0.910	CPHB 12000LM SEF GCL MD 50K 80CRI	87.95
	20	B	0.910	CPX 2X4 ALO8 SWW7 4000K High Lumen	48.53
	10	C	0.910	CSVT L96 10000LM MVOLT SWW3 80CRI	83.9754
	3	B2	0.910	CPX 2X2 ALO7 SWW7 4000K High Lumen	35.8
	11	WP	0.910	W34-55L	51.1
	13	S8	0.910	CSS L96 ALO4 MVOLT SWW3 80CRI (10000LM 5000K)	83.98



Photometrics/Lighting Plan



STRUCTURAL BUILDINGS INC.
 12926 FIRST STREET
 BECKER, MN 55308

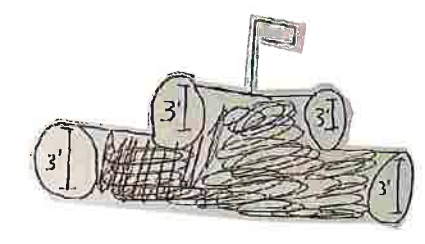
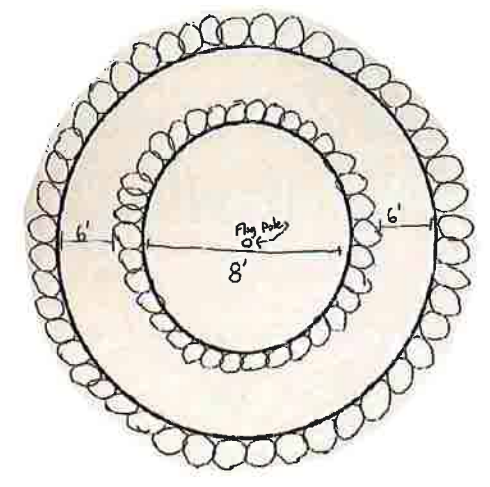
OFFICE (763) 241-4150
 FAX (763) 241-4414

JOB TITLE: H&H FACILITY

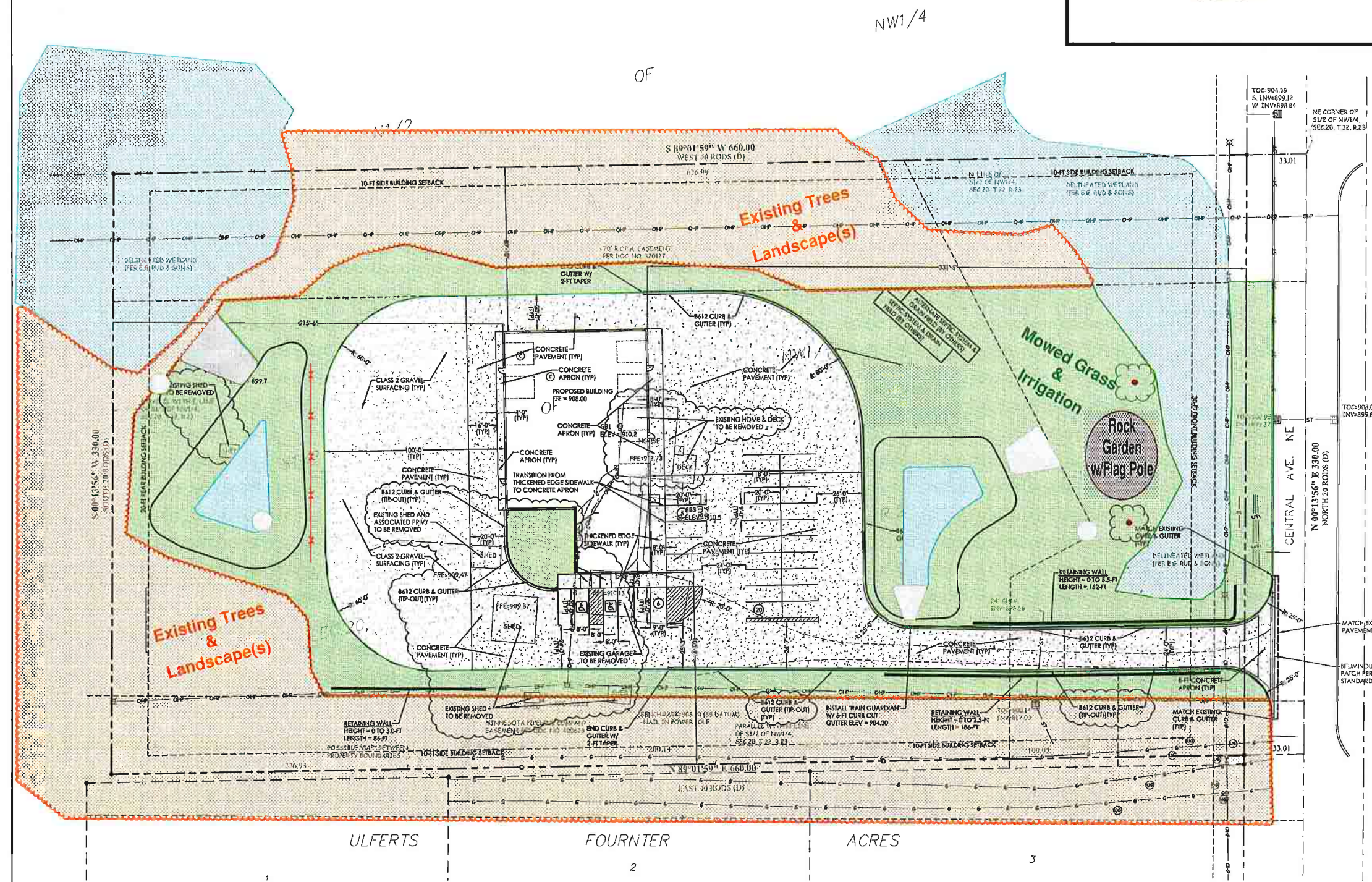
DRAWN BY: AS DATE: 5/10/2023 SALES REP: AL S

REV. # - DATE: CUSTOMER INITIAL:

20' Diameter x 6' (h) Retaining Wall - Landscape Road Screening Feature Detail
Via Owner



Boulder Wall to be made from 3' boulders.
Base course will be 20' in diameter.
2nd Tier to be 6' inset from outer ring of base course.
3-6" River Rock w/Annabelle Hydrangeas
Standard allowable size flag pole w/3x5 Post Flag.



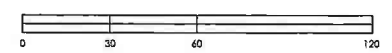
Alternate for Screening:
8' Wooden Fence or Cambrourous Trees
TAB: Evaluated by Building Official
before Certificate of occupancy.

Salvaged Pine Tree

Rock Garden w/Flag Pole
20' diameter x 6' (h) retaining wall
3-6" River Rock
(12) Annabel Hydrangeas - Size 3

11-1860 Case by Case Evaluation
Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

Landscaping Plan



STRUCTURAL BUILDINGS INC.
12926 FIRST STREET
BECKER, MN 55308
OFFICE (763) 241-4150
FAX (763) 241-4414



JOB TITLE: H&H FACILITY
DRAWN BY: AS DATE: 5/10/2023 SALES REP: AL S
REV. #-DATE: 6/1/2023 CUSTOMER INITIAL:

SHEET
1 - 1

RETAINING WALL DRAWINGS FOR 15454 CENTRAL AVENUE NE HAM LAKE, MINNESOTA

INDEX OF SHEETS

SHEET NO.	TITLE
W1	COVER SHEET/DESIGN INFORMATION
W2-W4	WALL ELEVATION VIEW(S)
W5	SECTIONS AND DETAILS

DESIGN PARAMETERS AND PROVISIONS

DESIGN PROVISIONS:

- REFER TO BLOCK MANUFACTURER'S STANDARD SPECIFICATIONS AND DETAILS AS THEY ARE INTEGRAL TO THIS PLAN
- THE DESIGN OF THIS RETAINING WALL SYSTEM WAS BASED UPON THE EFFECTIVE STRENGTH PARAMETERS SHOWN ON THE "SOIL VALUES" TABLE. UNLESS OTHERWISE NOTED, NO FORMAL SOIL INFORMATION WAS PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. IF SOIL CONDITIONS VARY AT TIME OF CONSTRUCTION, WALL ENGINEER MUST BE CONTACTED TO DETERMINE IF A REVISED DESIGN IS NEEDED.
- THE WALL DESIGN WAS BASED ON THE INFORMATION NOTED IN THE KEY PLAN.
- REFER TO WALL CALCULATIONS FOR BEARING CAPACITY REQUIREMENTS.
- NO PRODUCT/MATERIAL SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN PERMISSION OF CRITERIUM-SCHIMNOWSKI ENGINEERS.
- FINAL SITE GRADES AND ROOF DRAINS SHALL DIRECT RUNOFF AWAY FROM ANY RETAINING WALL(S). UNLESS OTHERWISE NOTED, THE WALL(S) HAS NOT BEEN DESIGNED FOR HYDROSTATIC SURCHARGE LOADING.
- THE WALL DESIGN WAS PERFORMED USING DESIGN GUIDELINES PRESENTED IN THE THIRD EDITION OF THE "DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS" PUBLISHED BY NCMA AND FHWA ROCKERY DESIGN AND CONSTRUCTION GUIDELINES.

DESIGN LIMITATIONS:

- THE INFORMATION PROVIDED WITHIN THESE DOCUMENTS IS FOR THE STRUCTURAL DESIGN OF THE PROPOSED RETAINING WALL(S) ONLY. THE REQUIREMENTS FOR AND/OR WORK RELATED TO HANDRAILS, GUARDRAILS, OR OTHER LIFE/SAFETY ISSUES ARE EXCLUDED FROM THESE DOCUMENTS AND ARE TO BE PROVIDED BY OTHERS.
- SITE LAYOUT AND GRADING DESIGN ARE NOT INCLUDED IN WALL DESIGN SERVICES. THOSE SERVICE ARE THE RESPONSIBILITY OF THE SITE CIVIL ENGINEER.
- INTERNAL COMPOUND STABILITY (ICS) HAS BEEN CALCULATED FOR THIS PROJECT BY CRITERIUM. HOWEVER, ICS IS NOT A SUBSTITUTE FOR A GLOBAL STABILITY ANALYSIS WHICH SHOULD BE PERFORMED BY A QUALIFIED GEOTECHNICAL ENGINEER. ADDITIONAL SUBSURFACE EXPLORATION MAY BE REQUIRED.

SUGGESTED QUALITY ASSURANCE REQUIREMENTS:

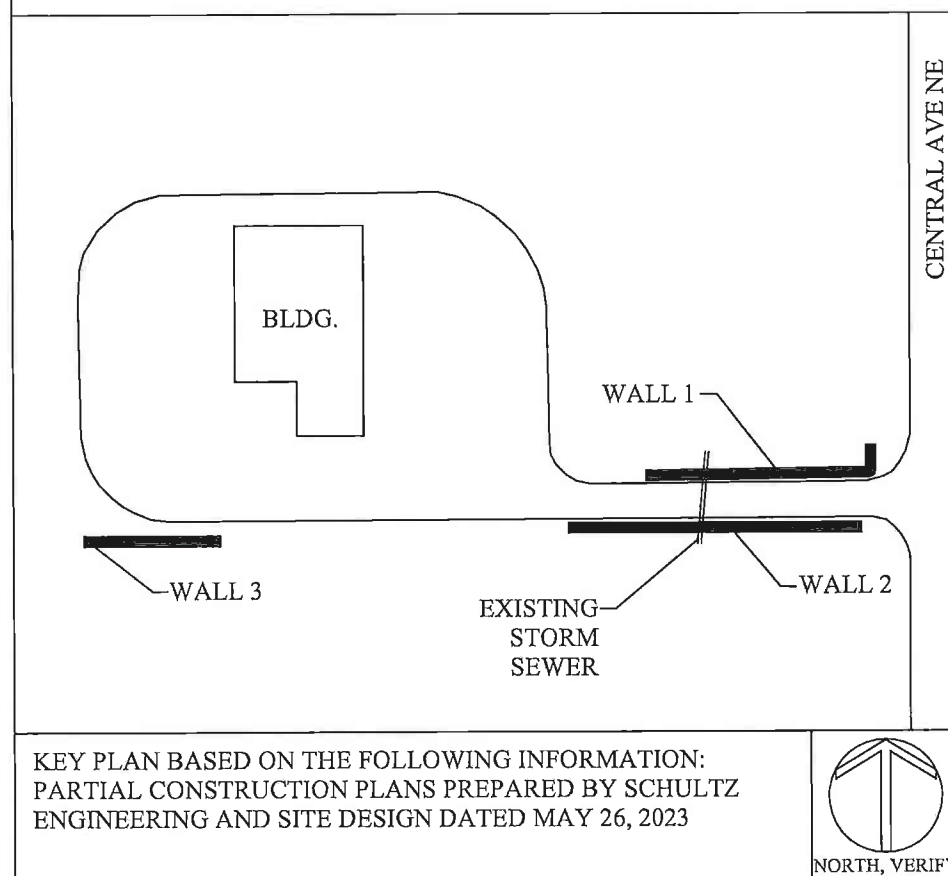
- A QUALIFIED ENGINEER OR TECHNICIAN SHALL SUPERVISE THE WALL CONSTRUCTION TO VERIFY SITE SOIL CONDITIONS. IF THE PROJECT GEOTECHNICAL ENGINEER DOES NOT PERFORM THIS WORK, A QUALIFIED GEOTECHNICAL ENGINEER/TECHNICIAN SHALL BE HIRED TO ASSURE THE RETAINING WALL IS CONSTRUCTED WITH PROPER SOIL PARAMETERS.
- A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO VERIFY THE SUITABILITY OF DESIGN ASSUMPTIONS MADE BY CRITERIUM.
- WALL EXCAVATION AND SOILS SHALL BE INSPECTED FOR GROUNDWATER CONDITIONS. THE GEOTECHNICAL ENGINEER SHALL DETERMINE ADDITIONAL DRAINAGE PROVISIONS TO BE INCORPORATED INTO THE WALL DESIGN.
- THE WALL DESIGN ENGINEER SHALL BE HIRED TO PERFORM A PRE-CONSTRUCTION SITE VISIT.
- THE WALL DESIGN ENGINEER CAN BE HIRED FOR CONSTRUCTION OBSERVATION SERVICES.
- THE WALL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING QUALITY CONTROL FOR THE CONSTRUCTION OF THE WALL IN ACCORDANCE WITH CONTRACT REQUIREMENTS. SEE PROJECT CONTRACT DOCUMENTS FOR SPECIFIC DETAILS ON THE SCOPE OF WORK THAT WILL BE PROVIDED BY ALL PARTIES.

ESTIMATED PROJECT QUANTITIES

WALL FACE*	1521 SQ. FT.	431 LIN. FT.	FIELDSTONE BOULDERS
GEO-GRID*	0 SQ. YDS.	---	NOT REQUIRED

*ACTUAL QUANTITIES MAY VARY AND SHOULD BE FIELD VERIFIED BY CONTRACTOR.

RETAINING WALL LAYOUT KEY PLAN (NOT TO SCALE - REFER TO PROJECT PLANS FOR ACTUAL LOCATION)



KEY PLAN BASED ON THE FOLLOWING INFORMATION:
PARTIAL CONSTRUCTION PLANS PREPARED BY SCHULTZ
ENGINEERING AND SITE DESIGN DATED MAY 26, 2023

DOCUMENT ISSUE RECORD

ISSUE	DATE	DESCRIPTION
#1	6-30-2023	CONSTRUCTION DOCUMENTS
#2	6-30-2023	REVIEW COMMENTS (6-30-2023)

TYPICAL ANGLES OF INTERNAL FRICTION & UNIT WEIGHTS OF SOILS

TYPE OF SOIL*	FRICTION ANGLE (DEGREES)	UNIT WEIGHT (lb/ft ³)
COARSE TO MEDIUM SAND	37-42	140
FINE/SILTY SAND	33-40	130
CLAYEY SAND	28-35	130
SILT/CLAY	25-32	120

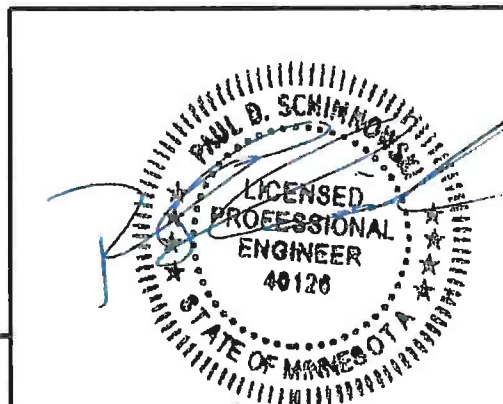
*REFER TO THE UNIFIED SOIL CLASSIFICATION SYSTEM FOR ADDITIONAL INFORMATION.

SOIL VALUES USED IN THE DESIGN OF THIS PROJECT

TYPE OF SOIL	FRICTION ANGLE (DEGREES)	UNIT WEIGHT (lb/ft ³)
REINFORCED BACKFILL	---	---
RETAINED BACKFILL	30	120
FOUNDATION SOIL	30	120

REQUIRED SOIL BEARING CAPACITY: 1,500 PSF

IMPORTANT: WALL CONTRACTOR TO CONTACT WALL ENGINEER PRIOR TO BLOCK PLACEMENT.



PLANS CREATED BY:



Criterion-Schimnowski
Engineers
161 Dunbar Way
Mahtomedi, MN 55115
Phone: 651-779-7700
CriterionMN.com

PREPARED FOR:

H&H LANDSCAPE CONTRACTORS
15454 CENTRAL AVE NE
HAM LAKE, MN
PHONE: 612-382-4081

PROJECT NAME

15454 CENTRAL AVE NE

PROJECT LOCATION

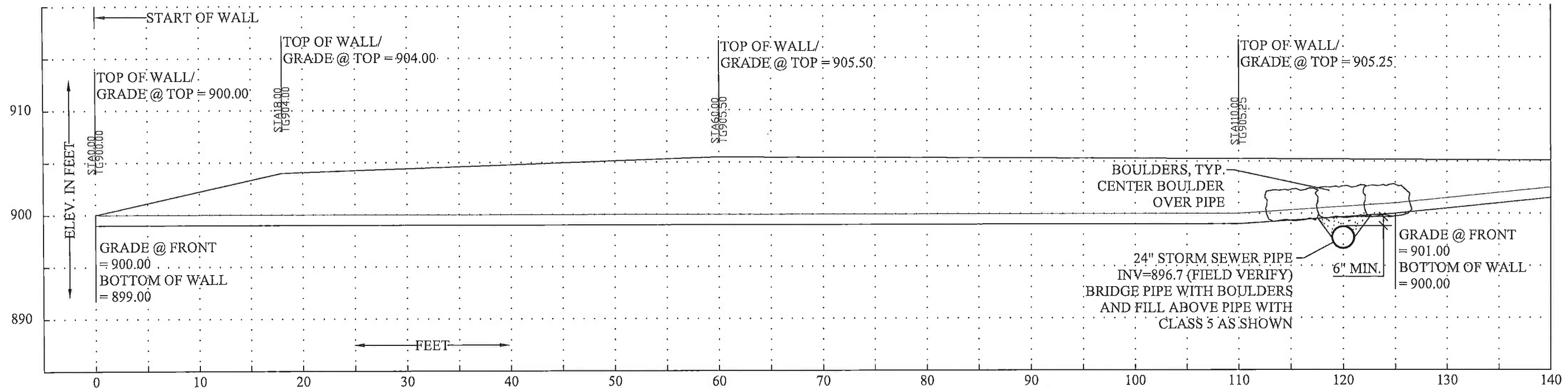
HAM LAKE, MINNESOTA

COVER SHEET/
DESIGN
INFORMATION

SHEET: W1 OF 5
SCALE: AS NOTED
DRAWN BY: PDS
DATE: 6/30/2023
PROJ. NO. 23-7225

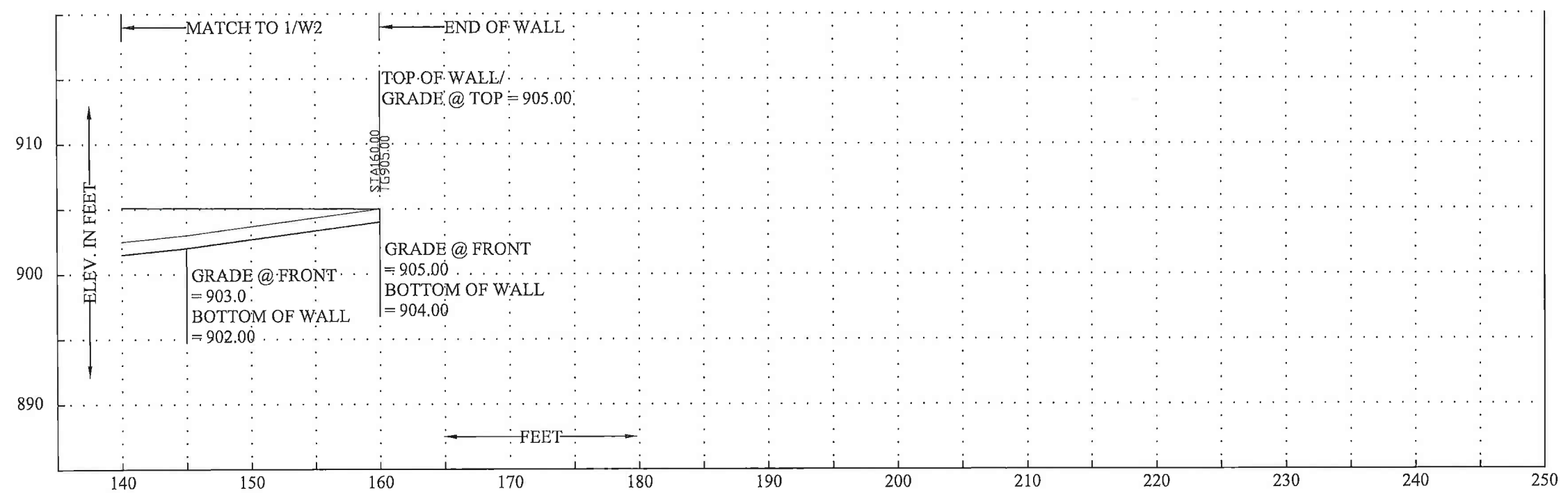
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Signature: *Paul D. Schimnowski*
Typed or Printed Name: Paul D. Schimnowski
Date: 6/30/2023 Reg. No. 40126

CERTIFICATION BLOCK



1 WALL ELEVATION 1 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
W2 NORTH SIDE OF DRIVEWAY


SCALE: 1" = 10'-0"



2 WALL ELEVATION 1 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
W2 CONTINUED

SCALE: 1" = 10'-0"

- WALL 1 NOTES:
- 250 PSF SURCHARGE LOADING BEHIND WALL.
 - NO SOIL REINFORCEMENT REQUIRED.
 - WALL QUANTITY = 813 SQUARE FEET
 - GEO-GRID QUANTITY = 0 SQUARE YARDS
 - MAINTAIN MINIMUM GRADE COVER AT FRONT FACE OF WALL AS SHOWN.
 - SLOPE AT FRONT OF WALL NOT TO EXCEED 3:1
SLOPE AT BACK OF WALL NOT TO EXCEED 10:1
 - CONTRACTOR TO VERIFY GRADES WITH GRADING, DRAINAGE & EROSION CONTROL PLANS.
 - GRADES ARE LINEAR BETWEEN DEFINED POINTS UNLESS NOTED OTHERWISE.
 - SEE SITE LAYOUT DRAWINGS FOR ACTUAL CURVE RADIUS AND LAYOUT INFORMATION.

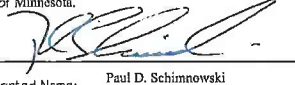
PLANS CREATED BY:

 Criterion-Schimnowski Engineers
 161 Dunbar Way
 Mahtomedl, MN 55115
 Phone: 651-779-7700
 CriterionMN.com

PREPARED FOR:
 H&H LANDSCAPE CONTRACTORS
 15454 CENTRAL AVE NE
 HAM LAKE, MN
 PHONE: 612-382-4081

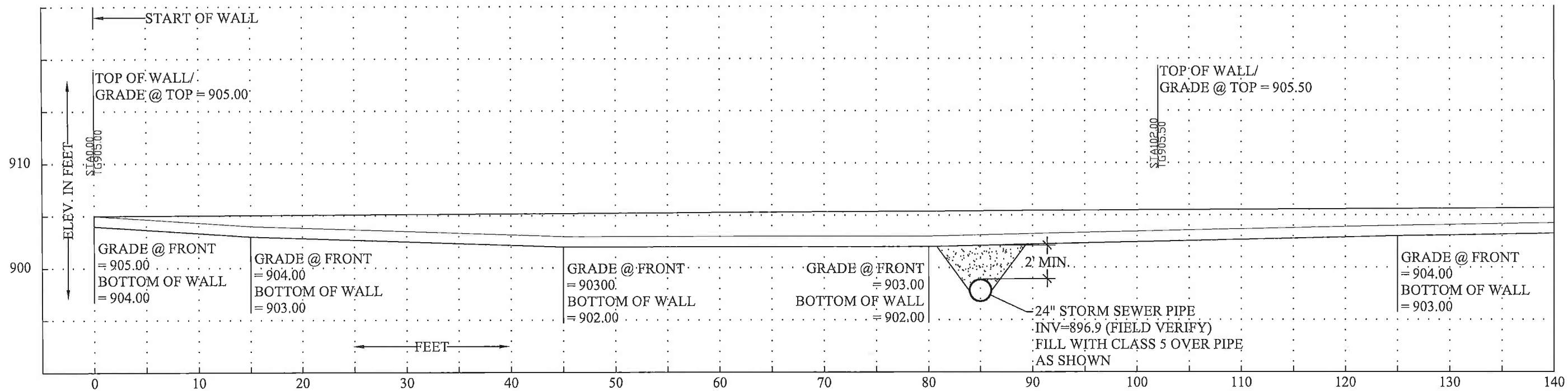
PROJECT NAME
15454 CENTRAL AVE NE
 PROJECT LOCATION
HAM LAKE, MINNESOTA

WALL ELEVATION(S)

SHEET: W2 OF 5
 SCALE: AS NOTED
 DRAWN BY: PDS
 DATE: 6/30/2023
 PROJ. NO. 23-7225

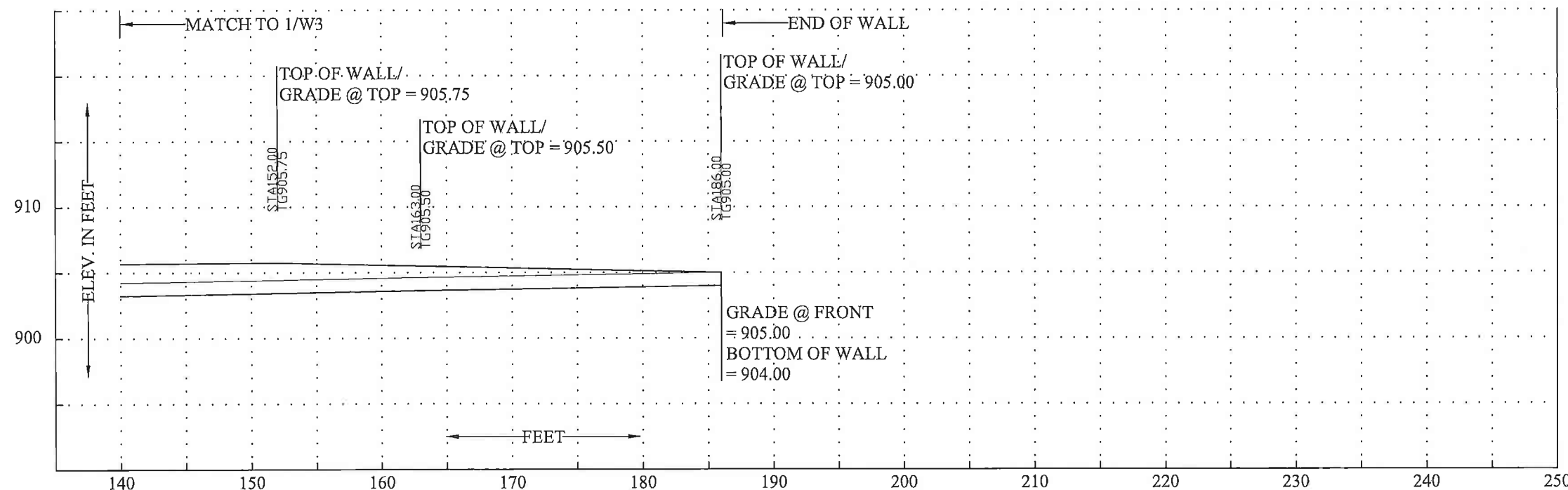
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 Signature: 
 Typed or Printed Name: Paul D. Schimnowski
 Date: 6/30/2023 Reg. No. 40126

REVISION BLOCK



1 WALL ELEVATION 2 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
W3 SOUTH SIDE OF DRIVEWAY

SCALE: 1" = 10'-0"



2 WALL ELEVATION 2 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
W3 CONTINUED

SCALE: 1" = 10'-0"

- WALL 2 NOTES:
- 250 PSF SURCHARGE LOADING BEHIND WALL.
 - NO SOIL REINFORCEMENT REQUIRED.
 - WALL QUANTITY = 475 SQUARE FEET
 - GEO-GRID QUANTITY = 0 SQUARE YARDS
 - MAINTAIN MINIMUM GRADE COVER AT FRONT FACE OF WALL AS SHOWN.
 - SLOPE AT FRONT OF WALL NOT TO EXCEED 3:1
SLOPE AT BACK OF WALL NOT TO EXCEED 10:1
 - CONTRACTOR TO VERIFY GRADES WITH GRADING, DRAINAGE & EROSION CONTROL PLANS.
 - GRADES ARE LINEAR BETWEEN DEFINED POINTS UNLESS NOTED OTHERWISE.
 - SEE SITE LAYOUT DRAWINGS FOR ACTUAL CURVE RADIUS AND LAYOUT INFORMATION.

PLANS CREATED BY:



Criterion-Schimnowski
Engineers
161 Dunbar Way
Mahtomedi, MN 55115
Phone: 651-779-7700
CriterionMN.com

PREPARED FOR:

H&H LANDSCAPE CONTRACTORS
15454 CENTRAL AVE NE
HAM LAKE, MN
PHONE: 612-382-4081

PROJECT NAME

15454 CENTRAL AVE NE

PROJECT LOCATION

HAM LAKE, MINNESOTA

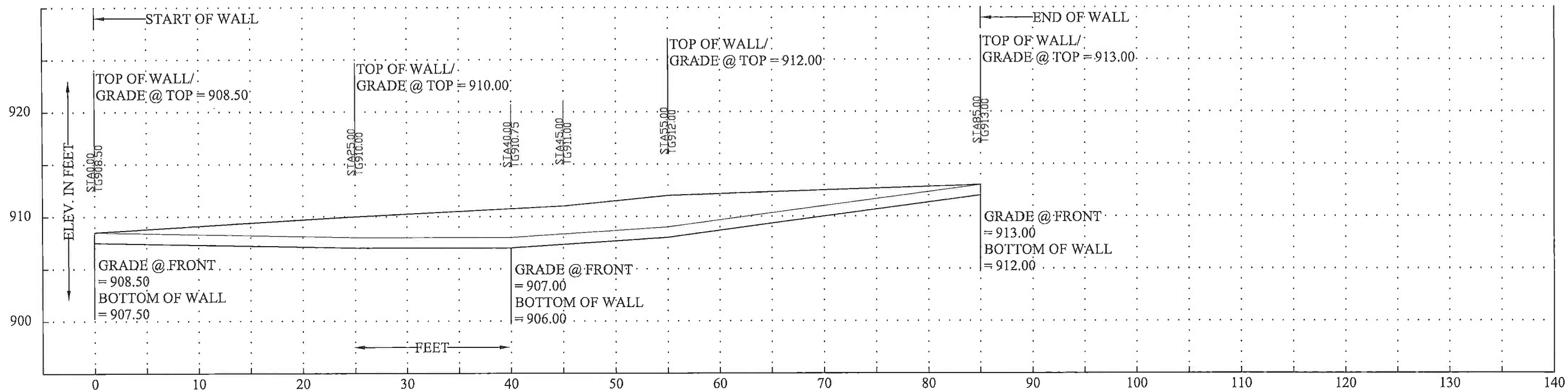
WALL
ELEVATION(S)

SHEET: W3 OF 5
SCALE: AS NOTED
DRAWN BY: PDS
DATE: 6/30/2023
PROJ. NO. 23-7225

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Signature: *[Signature]*
Typed or Printed Name: Paul D. Schimnowski
Date: 6/30/2023 Reg. No. 40126

REVISION BLOCK



1 WALL ELEVATION 3 (PERPENDICULAR VIEW FROM LOW SIDE OF WALL)
W4 SOUTH SIDE OF YARD

SCALE: 1" = 10'-0"

- WALL 3 NOTES:
1. NO SURCHARGE LOADING BEHIND WALL.
 2. NO SOIL REINFORCEMENT REQUIRED.
 3. WALL QUANTITY = 233 SQUARE FEET
 4. GEO-GRID QUANTITY = 0 SQUARE YARDS
 5. MAINTAIN MINIMUM GRADE COVER AT FRONT FACE OF WALL AS SHOWN.
 6. SLOPE AT FRONT OF WALL NOT TO EXCEED 3:1
SLOPE AT BACK OF WALL NOT TO EXCEED 5:1
 7. CONTRACTOR TO VERIFY GRADES WITH GRADING, DRAINAGE & EROSION CONTROL PLANS.
 8. GRADES ARE LINEAR BETWEEN DEFINED POINTS UNLESS NOTED OTHERWISE.
 9. SEE SITE LAYOUT DRAWINGS FOR ACTUAL CURVE RADIUS AND LAYOUT INFORMATION.

PLANS CREATED BY:



Criterion-Schimnowski
Engineers
161 Dunbar Way
Mahtomed, MN 55115
Phone: 651-779-7700
CriterionMN.com

PREPARED FOR:

H&H LANDSCAPE CONTRACTORS
15454 CENTRAL AVE NE
HAM LAKE, MN
PHONE: 612-382-4081

PROJECT NAME

15454 CENTRAL AVE NE

PROJECT LOCATION

HAM LAKE, MINNESOTA

WALL
ELEVATION(S)

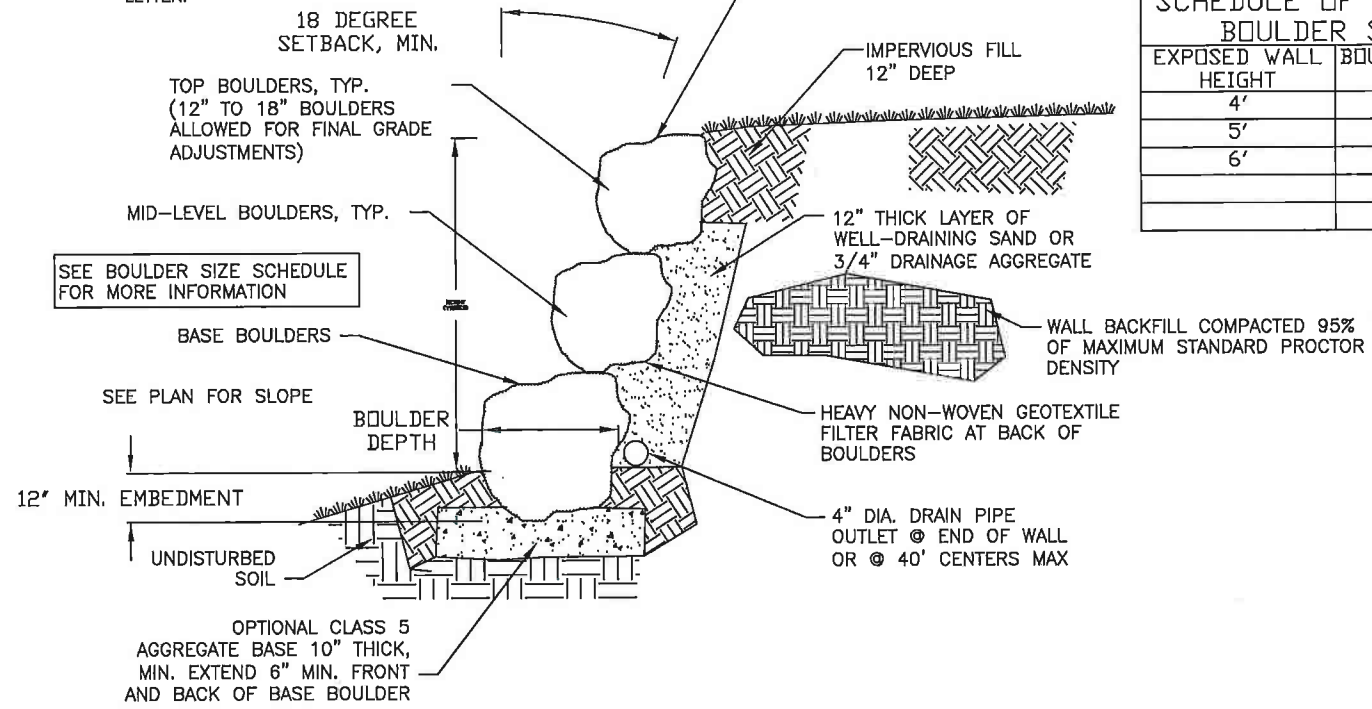
SHEET: W4 OF 5
SCALE: AS NOTED
DRAWN BY: PDS
DATE: 6/30/2023
PROJ. NO. 23-7225

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Signature:
Typed or Printed Name: Paul D. Schimnowski
Date: 6/30/2023 Reg. No. 40126

REVISION BLOCK

SOIL VALUES USED IN THE DESIGN OF THIS PROJECT		
TYPE OF SOIL	FRICTION ANGLE (DEGREES)	UNIT WEIGHT (lb/ft ³)
REINFORCED BACKFILL	----	----
RETAINED BACKFILL	30	120
FOUNDATION SOIL	30	120

CROSS SECTION DESIGN BASED ON INFORMATION LISTED IN COVER LETTER.





FENCE AND GUARDRAIL REQUIREMENTS AND DESIGN BY OTHERS

SCHEDULE OF REQUIRED BOULDER SIZES	
EXPOSED WALL HEIGHT	BOULDER DEPTH, MIN.
4'	28"
5'	32"
6'	36"

TYPICAL SECTION – BOULDER RETAINING WALL (HEIGHT VARIES)

SCALE: NONE

PLANS CREATED BY:  Criterium-Schimnowski Engineers 161 Dunbar Way Mahtomedi, MN 55115 Phone: 651-779-7700 CriteriumMN.com	PREPARED FOR: H&H LANDSCAPE CONTRACTORS 15454 CENTRAL AVE NE HAM LAKE, MN PHONE: 612-382-4081	PROJECT NAME 15454 CENTRAL AVE NE	SECTIONS & DETAILS	SHEET: W5 OF 5 SCALE: AS NOTED DRAWN BY: PDS DATE: 6/30/2023 PROJ. NO. 23-7225	I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Signature:  Typed or Printed Name: Paul D. Schimnowski Date: 6/30/2023 Reg. No. 40126
		PROJECT LOCATION HAM LAKE, MINNESOTA		REVISION BLOCK	

Excerpt from Article 9 of the Ham Lake City Code

...

9-220 Mercantile Districts The land uses described in Article 9-220 are intended to be applicable to developments which utilize subsurface sewage treatment systems (SSTS), and to developments which use approved combined sewage treatment systems. All building permits and Certificates of Occupancy in the Mercantile Districts shall require the review and approval of the City Council, after review and recommendation by the Planning Commission, excepting building permits and/or certificates of occupancy being issued for an alteration to an existing structure under circumstances in which the land use will be unchanged, and in which the alteration will not materially affect parking requirements, stormwater runoff, traffic, sewage treatment needs or aesthetics.

9-220.1 **Standards Common to All Mercantile Districts**

The following standards shall apply to all of the mercantile districts as listed in Article 9-220.

- a) **Paving** All parking lots, drives and surfaces upon which the general public and employees shall have access shall be paved according to specifications to be established by the city's engineer;
- b) **Drainage** Surface water drainage and ponding needs shall be implemented in the manner directed by the city's engineer;
- c) **Landscaping** Landscaping shall be implemented in the manner provided in Article 11-1800;
- d) **Setbacks for Paved Areas** There shall be a ten-foot setback between any lot line and the back of curb of any parking lot or driveway, and a six-foot setback between the back of curb of any parking lot and any building;
- e) **Buffering** When any mercantile land use is located adjacent to a residential area, it shall be screened by opaque fencing, vegetation, or both;
- f) **Refuse Containers** Refuse containers shall be stored in locations which are completely screened from outside view; hazardous materials shall be stored and disposed of in the manner provided by law;
- g) **Parking Lots and Lighting** Off-street parking shall be provided for the general public and employees. The *Zoning Officer* shall maintain a schedule of parking requirements, to be ratified from time to time by resolution of the City Council, to serve as the general guideline for the establishment of parking requirements, subject to modification by the City Council where merited. Security lighting shall be permitted, and may be required on review of site plans, but shall be

directed away from adjacent properties. No light or combination of lights that cast light upon a Residential Land Use shall exceed 4-foot candle meter reading as measured at the residential property line. All measurements shall be made after dark at the property line or edge of roadway.

h) Off-Street Loading All deliveries and bulk pickups of merchandise, inventory and supplies shall be made to loading facilities preferably located in the rear of the building, which loading facilities shall be sufficient to enable the prompt and safe transfer of goods.

i) Signage All signage shall conform to the provisions of Article 11-300.

j) Special Considerations Notwithstanding the limitations as to building styles, construction types and exterior treatments, the City Council, after Planning Commission review, may depart from strict adherence to the standards found in Article 9-220, where special conditions merit such departure, and where certain standards are met. Such special conditions and standards may include, without limitation, the following items.

i) The departure is not being requested for purely economic reasons;

ii) The nature of the business is such that it requires a specific type of building construction in order to improve the business function, such as requirements for sunlight, specialty equipment, interior lighting or the like;

iii) The business is a permitted or conditional use in the zoning district;

iv) The applicant proposes the usage of special aesthetic treatments which provide a superior exterior view, such as landscaping, vegetation screening, berming, or the like;

v) The property contains unusual topography, mature vegetation or other features which can be preserved or enhanced to produce an overall superior appearance;

vi) The property contains unusual accessibility problems to or from adjacent roadways;

vii) The applicant offers to implement more stringent design limitations in certain site plan features than would normally be required, in exchange for being

permitted less stringent design limitations in other site plan features.

- k) **Outside Storage** Outside storage and activities for areas zoned CD-3, CD-4, Industrial Park (I-P) and Light Industrial (I-1) shall be as specifically detailed in the Code Sections dealing with those land uses (Articles 9-220.4 through 9-220.7). For areas zoned CD-1 and CD-2, the following provisions shall apply to outside storage, excepting Fireworks sales and storage, which are governed by the provisions of Article 9-330.6. **Unless specifically permitted by this Article 220.1(k), no Outside Storage shall be allowed in any area zoned CD-1 or CD-2.**

1) **Definitions**

- aa) **Outside Storage** – personal property (not fixtures) that are located within the Approved Property Lines of any parcel bearing a CD zoning classification, but which are found outside of an enclosed, roofed building (including temporary structures). Outside Storage does not include Refuse Containers, customer vehicles, employee vehicles parked while the employee is on duty, delivery vehicles while in the process of delivery or pickup, construction materials or vehicles being used in an active construction project on the parcel, legal signs or banners, or legal temporary structures. Except where specifically excepted, Outside Storage does include inventory of the business occupying the parcel.
- bb) **Inventory** - goods, except Vehicle Inventory, that are offered for sale in the ordinary course of business of any business occupying the parcel. For auto repair shops, inventory shall also be deemed to mean passenger vehicles or pickup trucks awaiting repair services.
- cc) **Vehicle Inventory** – Automobiles, Trucks, Trailers, Manufactured Homes, Recreational Vehicles, Campers, Camper Tops, Truck Toppers, Boats or other wheeled conveyances that are offered for retail sale at a legal business location whose primary business is the retail sale of one or more of the above items. Rental equipment that may be offered for sale is not Vehicle Inventory. Vehicle Inventory that bears obvious signs that the vehicle is not presently capable of being legally operated or conveyed on a public road is not Vehicle Inventory, including, but not limited to vehicles lacking wheels or inflated tires, operable drive train components, broken windows or lights, required current vehicle registration, missing body parts, such as fenders, doors, hood lids, trunk lids, bumpers, lights or trim.

- dd) **Aesthetically Screened Outside Storage** - Inventory or Vehicle Inventory behind an opaque barrier constructed of masonry or brick, attached to and matching or complementary to the main building, and of sufficient height and design so as to give the appearance that the barrier is a part of the main building. No object shall be stored inside of such a barrier if the object protrudes above the height of the barrier. Any gates through the barrier shall be opaque and of aesthetic design.
- ee) **Limited Outdoor Displays** - Temporary displays of merchandise which are normally sold or displayed from within an enclosed retail store location, but which are temporarily placed not more than ten feet from an outside wall of the main retail sales building during business hours, and then returned to inside storage during non-business hours."
- ff) **Improvement Stores** – Businesses that have as their primary source of revenue the retail sale of plants, seeds, landscaping supplies, produce, or yard statuary.
- gg) **24-Hour Convenience Stores** – Businesses that sell gasoline at retail, and, from the same store location, also sell groceries, auto supplies, sundries, over-the-counter medications and personal products, sundries and other items for human consumption, and which remain open for business at all times of every day.
- hh) **Approved Property Lines** – Are the outside perimeter of the real estate parcel or parcels which were shown on the site plan used for the initial municipal approval of a certificate of occupancy or conditional use permit for a particular operation.
- ii) **Pool Stores** – retail stores that engage in the retail sales of above ground or below ground recreational swimming pools that contain electric filtration devices providing water circulation and filtration in the pool, and under conditions where an inventory of above ground or in ground swimming pools is maintained, connected by water and electricity to a source originating in a permanent retail building located on the same parcel. A Pool Store shall not be considered a retail store for the purposes of determining permitted uses under Article 9-220.2 (b) or 9-220.3(b).
- jj) **Screened Outside Storage** – is Inventory or Vehicle Inventory behind an opaque barrier constructed of wood, metal, plastic, masonry, brick or earthen berm, or which is behind an opaque barrier composed of existing buildings or other structures on the property, or which is behind a semi-opaque barrier of vegetation that substantially conceals the storage from outside view.

2) Permitted Outside Storage

- aa) Vehicle Inventory is permitted Outside Storage on any CD-1 or CD-2 parcel in connection with a business that is legally permitted to sell Vehicle Inventory. If specifically permitted by the conditions of any Conditional Use Permit or Temporary Conditional Use Permit for any such parcel, vehicles that do not meet the definition of Vehicle Inventory may also be permitted Outside Storage.
- bb) Aesthetically Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel in connection with the new construction of a main commercial building on the parcel.
- cc) Limited Outdoor Displays are permitted Outside Storage in both the CD-1 and CD-2 districts. If the business is a 24-Hour Convenience Store, the Limited Outdoor Display need not be moved indoors, but the business shall at all times maintain a clear pedestrian path on sidewalks that is at least 36 inches in width.
- dd) Inventory is permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales but must be separately identified on the initial site plan submitted with the initial request for certificate of occupancy or conditional use permit, and must be stored only in conformance with that site plan. Bins or containers housing the Inventory shall also be permitted Outside Storage for Improvement Stores and Manufactured/Prefabricated Structure Sales as shall be other items necessarily incident to the storage, maintenance or protection of the Inventory.
- ee) No Outside Storage shall be permitted for any business unless the storage is within the Approved Property Lines.
- ff) Pool Stores may display above ground or below ground swimming pools as Permitted Outside Storage only on property under conditional use permit, subject to conditions to be established by the City Council, which must include, at a minimum, the following:
 - 1) Pool water must be maintained in a sanitary condition;
 - 2) Below ground pools must be surrounded by code-compliant fencing;
 - 3) Above ground pools must be constructed in a code-compliant method relative to either fencing or sufficient elevation to prevent accidental entry into the pool;
 - 4) Adequate security fencing around the storage display area must be installed to discourage after-hours entry into the pool storage area;

- 5) Reasonable screening from outside view shall be installed;
 - 6) All sources of water and electricity shall be connected to the pools in a code-compliant manner;
 - 7) Only pools that are intended for use with circulating filters shall be permitted outside; no "kiddy pools", wading pools or inflatable pools shall be permitted to be displayed outside.
 - 8) Winter storage of outside pools shall be done in a manner that covers the pool surface and prevents the accidental entry into the pool;
- gg) Screened Outside Storage is permitted outside storage if used as a condition of approval of any site plan, Conditional Use Permit or Temporary Conditional Use Permit on any CD-1 or CD-2 parcel involving pre-existing main buildings or structures that:
- 1) Historically utilized outside storage in connection with business operating on the property, and which uses were never abandoned;
 - 2) Do not involve replacement or major remodeling of the existing structures, but utilizes the existing structures for the business to be operated;

Approval of Screened Outside Storage is discretionary with the City Council.

- hh) **Revocation** All permits and certificates of occupancy issued in the mercantile districts are subject to revocation under the provisions of Article 9-240.

- 3) **Office/Warehouses** Office/Warehouse is a term given to a structure that is designed to have office space in front, behind which is situated an open bay or bays, with the office and bay space to be occupied by a single business. The office space and the bay space may also include area for retail sales. The bay space may also be used for manufacturing, other industrial activity, or warehousing. Building Permits may be issued for Office/Warehouses in any Mercantile District as found in Article 9-220. However, specific uses within each Office/Warehouse are subject to the Permitted Use, Conditional Use and Temporary Conditional Use restrictions for the given zoning district in which the Office/Warehouse is constructed. The issuance of a building permit for an Office/Warehouse does not confer upon the property owner the right to use any portion of the structure in a manner inconsistent with the use restrictions for the zoning district in which the structure is located. All new tenants or occupants of any Office/Warehouse must observe the same conditions for site plan or other approval, as would any other occupant. Further, if the zoning district in which the

Office/Warehouse is to be constructed contains restrictions on building materials or design, those restrictions must be followed. No outside storage unless permitted by Conditional Use Permit, Temporary Conditional Use Permit, or by the given zoning district in which the Office/Warehouse is constructed.

9-220.2 Commercial Development I (CD-1)

The CD-1 zone is intended to apply to certain commercial uses on lands abutting the city's only major thoroughfare, Trunk Highway 65. In that these lands have high visibility to the traveling public, it is considered important to the preservation of land values in general, as well as important to the continuing ability of the city to generate the establishment of quality commercial development and the concomitant tax and employment base, that structures in the CD-1 zones observe specific construction and aesthetic standards, which are listed below. No usage shall be permitted in the CD-1 zone which does not observe the standards found in Article 9-220.2 (a) below.

...

b) Permitted Uses (Including uses that are ancillary to the main use)

- Clubs and Lodges
- Medical Facilities
 - Assisted Living Facilities
 - Chiropractic
 - Clinics of all medical disciplines
 - Dental
 - Diagnostic Facilities
 - Hospitals
 - Laboratories
 - Nursing Homes
 - Residential Treatment Centers
 - Treatment Rooms and Centers
 - Veterinary Clinics
- Hotels, Motels and Lodging Houses under Article 11-1100
- Light Manufacturing, defined as follows: The fabrication or processing of goods for sale to retailers, wholesalers, other manufacturers or at retail that takes place entirely within an enclosed building and that meets the following criteria:
 - a) The business does not generate any noise, odor or vibration detectable from adjoining properties, other than that which occurs in the normal course of business during shipping and receiving activities;

b) There is no outside storage of any item except Aesthetically Screened Outside Storage as defined in Article 9-220(k)(1)(dd) of this Code.

c) No outside cranes or booms are located on the site;

d) Retail sales of the business products can occur on the premises if the commodities are the commodities manufactured on site.

- Offices and Office Buildings
- Office Warehouses

...

9-220.3 Commercial Development II (CD-2)

The CD-2 Districts are located adjacent to the CD-1 Districts, and constitute a second tier of commercial activities along the T.H. 65 corridor. These districts also have importance in presenting a visually pleasing image to the traveling public, but are less visible from the T.H. 65 roadway than the CD-1 districts.

a) Standards for Site and Building Construction

i) Metal or pole-type buildings shall be permitted if surfaces meet the requirements of ii below, and, provided that no galvanized surface may appear, all roofs shall be colored and incorporate a minimum 18-inch soffit on eave edges, 12-inch overhang on gable ends, and 6-inch fascia.

ii) Metal panel with exposed fasteners or architectural metal panel with hidden fasteners may be used for roof surfaces. All wall surfaces may be composed of metal panel, brick, decorative masonry, stone, precast panel, architectural concrete, glass, stucco or wood framed with horizontal lap siding. The exterior wall surface facing or with the most exposure to a public street or right-of-way, shall have a wainscot at least 42-inches in height which is composed of a contrasting color or material.

b) Permitted Uses (Including uses that are ancillary to the main use)

- All Permitted Uses in the CD-1 District

...

approval of the City Council, after review by the Planning Commission, of a landscaping plan meeting the requirements of this code.

11-1820 Installation Required No certificate of occupancy shall be issued for any construction which required a landscaping plan unless the applicant has installed all of the elements of the landscaping plan, or unless the applicant has posted security acceptable to the City to guarantee timely installation of all landscaping.

11-1830 Time for Submission The landscaping plan shall be submitted, whenever possible, at the time of site plan approval. If the landscaping plan is not submitted at the time of site plan approval, it must be separately reviewed by the Planning Commission and approved by the City Council prior to the issuance of any building permits.

11-1840 Contents and Specifications

The landscaping plan shall be a quality document prepared at a scale of one-inch equals thirty feet, showing all relevant dimensions. Fifteen copies of the plan shall be submitted by the applicant. The following data shall be displayed on the plan, legibly labeled:

- A. Perimeter of all buildings, signs or other structures;
- B. Parking lots and walkways, identifying pavement material;
- C. Areas of decorative rock, identifying type of rock;
- D. Areas of lawn;
- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of

at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A.** Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B.** Decorative trees shall be planted along the right of way lines of adjacent public roadways;
- C.** The use of conifers shall be encouraged and preferred.
- D.** Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

11-1900 ILLICIT DISCHARGES AND CONNECTIONS TO STORM DRAINAGE SYSTEM

The purpose of this ordinance is to provide for the health, safety, and general welfare of the citizens of Ham Lake through the regulation of non-

NOTICE OF PERMIT APPLICATION STATUS

Project: H&H Facility

Date: June 13, 2023

Applicant: H&H Contractors
Attn: Eric Hagen
1327 153rd Lane NE
Ham Lake, MN 55304

Permit Application#: P-23-039

Purpose: Construction of a new commercial business shop and office

Location: 15454 Central Avenue NE, Ham Lake

At their meeting on June 12, 2023, the Board of Managers of the Coon Creek Watershed District approved the above referenced project with 6 conditions and 2 stipulations. **This is NOT a permit.**

Prior to permit issuance, the following conditions must be fulfilled. Please respond to each of these items in writing when resubmitting application materials to the District.

Conditions:

1. Submittal of a performance escrow in the amount of \$3,300.00
2. Label Wetland 1 and Wetland 2 on the drainage maps.
3. The 12" flared end section outlet invert elevation for Filtration Basin #2 appears to be mislabeled on the grading and utility plan. Update to reflect the correct elevation.
4. Provide complete P8 results, as there appears to be pages missing from the provided data. Also, update P8 model to be consistent with HydroCAD model:
 - a. Update watershed area for DA1 to be consistent with proposed HydroCAD model.
 - b. Update the Particle Class - Filtration Efficiency to align with the MPCA's recommendation for filtration efficiency, found on the MPCA website (25% for Particle Class P10%).
 - c. It is unclear if the proposed underdrain was added to the model. Update the proposed model to include an underdrain pipe outlet.
5. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.
6. Provide a note on the erosion and sediment control plan to stabilize soils and soil stockpiles within 7 days of inactivity.

After issuance, the permit will include the following stipulations that need to be fulfilled before permit closeout:

Stipulations:

1. Submittal of as-builts for the stormwater management practices and associated structures listed in Tables 2 and 3, including volume, critical elevations and proof of installation for hydrodynamic separators.
2. Completion of post construction infiltration tests on Filtration Basin #1 and Filtration Basin #2 by filling the basin to a minimum depth of 6 inches with water and monitoring the time necessary to drain, or multiple double ring infiltration tests to ASTM standards. The Coon Creek Watershed District shall be notified prior to the test to witness the results.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,

A handwritten signature in black ink that reads "Erin Edison". The signature is written in a cursive, flowing style.

Erin Edison
Watershed Development Coordinator

cc: File P-23-039
Brady Schmitz, Stantec
Danielle Tourtillott, Stantec
Tom Collins, Ham Lake



12300 Elm Creek Blvd • Maple Grove, Minnesota 55369-4718 • 763-445-5000 • Fax 763-445-5050

RIGHT OF WAY VARIANCE AND ENCROACHMENT APPLICATION

Street address of subject property: 15454 Central Ave NE Ham Lake, MN 55304

Legal description of subject property: Northwest quarter of Section 20, Twsp 32, Range 23

Applicant:

Name: Josh Williams - Project Manager (Structural Buildings) Phone #: O-763-296-5800 / C-320-248-3870

Mailing Address: 12926 1st Street Becker, MN 55308

Application is hereby made for a Right of Way Variance Request within Great River Energy's right of way (description of encroachment) Adjust grading on South side of GRE ROW/Easement to accommodate site improvements

I hereby affirm that I am the fee title owner of the above described property or that I have written authorization from the owner to pursue the described action.

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.

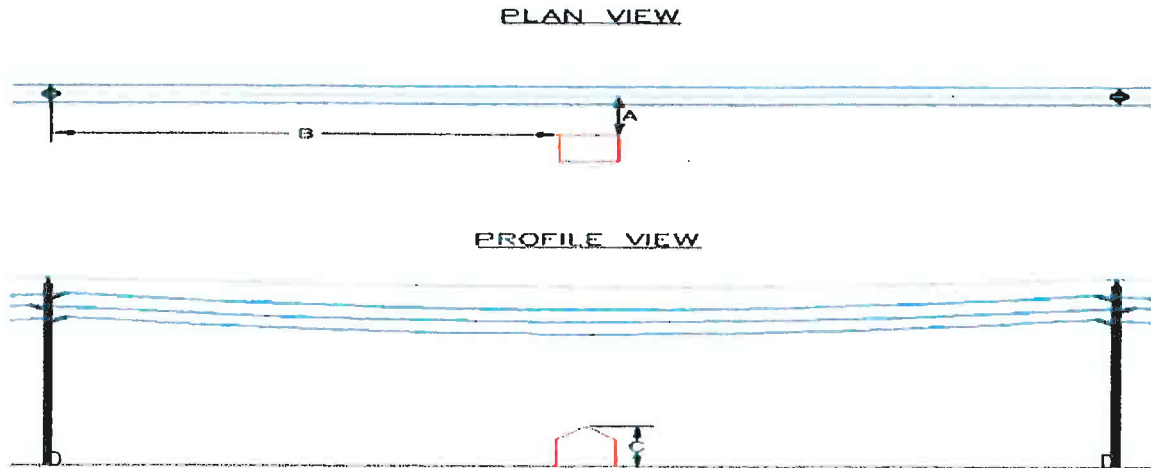
Josh Williams

Applicant Signature

18 APRIL 2023

Date

RESIDENTIAL OR COMMERCIAL ENCROACHMENT



Provide the following measurements (refer to above diagram):

- A. Distance from nearest point of proposed encroachment to the transmission centerline: No Structure(s) - Grading & Temp. Silt Fence ONLY
- B. Distance from encroachment to nearest structure as measured along centerline: No Structure(s) - Grading & Temp. Silt Fence ONLY
- C. Height of proposed encroachment: 0'-0"
- D. Number on structure (Example: EO 125): No Structure(s) - Grading & Temp. Silt Fence ONLY

As of August 1, 2015, Great River Energy has implemented the following fees for Right of Way Variance and Encroachment Requests. These fees cover Great River Energy's costs to research, analyze and thoroughly evaluate requests and process the appropriate documents.

Residential Encroachments:

Raising/lowering grade more than 0.5 ft.	\$150*
Building roof overhang only into Right of Way	\$150*
Deck, Pool, Landscaping	\$250*
Small Shed (under 140 Sq. Ft.)	\$250*
Large Garage/Pole Building (over 140 Sq. Ft.)	\$350*

Commercial Encroachments:

Raising/lowering grade more than 0.5 ft.	\$200
Building Roof overhang only into Right of Way	\$250*
Drive/Parking Areas, Landscaping, Grading and/or Ponds	\$250*
Lighting and/or Signs	\$500*
Buildings	\$500*
Full Plans including all above elements	Up to \$7,000 for Engineering Determination*

*Any encroachment resulting in the need for land survey will be charged an hourly rate for such survey. An estimate of survey cost will be prepared and requestor will be required to pay the estimated cost in advance of any survey work being scheduled.