



CITY OF HAM LAKE

15544 Central Avenue NE
Ham Lake, Minnesota 55304
(763) 434-9555
Fax (763) 434-9599

CITY OF HAM LAKE PLANNING COMMISSION AGENDA MONDAY, MARCH 24, 2025

CALL TO ORDER: 6:00 p.m.

PLEDGE OF ALLEGIANCE

APPROVAL OF MINUTES: March 10, 2025

PUBLIC HEARING: None

NEW BUSINESS:

1. Zahira Aqel of Global Distribution Inc. requesting a Certificate of Occupancy to operate a wholesale distribution business for tobacco products and accessories at 14203 Lincoln Street NE.
2. Glen Harstad, Jeff Harstad and Heather Harstad of Hearth Development requesting Commercial Site Plan approval to construct a 22,000 square foot office/warehouse building at 13928 Lincoln Street NE.
3. Jason Osberg of JD Ham Lake Holdings, LLC, requesting Sketch Plan approval of Kohler Farms, a 39-lot single family residential development in Section 13.

COMMISSION BUSINESS:

1. City Council Update

CITY OF HAM LAKE
PLANNING COMMISSION MINUTES
MONDAY, MARCH 10, 2025

The Ham Lake Planning Commission met for its regular meeting on Monday, March 10, 2025, in the Council Chambers at Ham Lake City Hall located at 15544 Central Avenue NE in Ham Lake, Minnesota.

MEMBERS PRESENT: Commissioners Brian Pogalz, David Ross, Dave Ringler and Jonathan Fisher

MEMBERS ABSENT: Commissioners Kyle Lejonvarn, Jeff Entsminger, and Erin Dixson

OTHERS PRESENT: City Engineer Dave Krugler and Building and Zoning Clerk Jennifer Bohr

CALL TO ORDER: Chair Pogalz called the meeting to order at 6:00 p.m.

PLEDGE OF ALLEGIANCE:

The pledge of allegiance was recited by all in attendance.

APPROVAL OF MINUTES:

Motion by Ross, seconded by Ringler, to approve the minutes of the February 24, 2025, Planning Commission meeting as written. All present in favor, motion carried.

NEW BUSINESS:

Ernest and Marian Rud requesting Sketch Plan approval of Ruds Skogsted, a residential development of one single-family residential lot and one outlot in Section 23

Mr. Ernest Rud and Mr. Jason Rud of E.G. Rud & Sons, Inc. were present. Mr. Jason Rud stated the purpose of the plat is to divide the land where Ernest and Marian Rud currently have their residence into two lots so the 5.1-acre home site could be sold if needed and the proposed outlot could be developed in the future. Mr. Jason Rud stated a wetland delineation was completed in 2024, soil borings have been completed to prove livability on the proposed outlot, a secondary septic site has been identified and a septic compliance inspection was completed the week of March 3, 2025 on the 5.1-acre home site. Chair Pogalz asked Engineer Krugler to comment. Engineer Krugler stated the outlot will not need to be combined with an adjacent parcel if livability can be proven on the outlot. Engineer Krugler stated there is an existing pole barn that is over 3,000 square feet which was approved in 2013 on proposed Lot 1, Block 1 of the plat; the pole barn can remain as is due to the proposed lot being over 5 acres. Engineer Krugler stated a

special assessment for the 2020 upgrade of 155th Avenue NE was assessed against the 3958 155th Avenue NE parcel; most of the special assessment has been deferred. Engineer Krugler stated a portion of the special assessment must be paid prior to the plat being filed with Anoka County. Engineer Krugler stated a parkland dedication fee of \$2,500 and a drainage fund contribution of \$200 must be paid for Lot 1. Engineer Krugler stated livability verification will be done when the soil borings that were completed on the outlot are received by the city. Engineer Krugler stated the thoroughfare map shows an extension of Vickers Street NE from the southwest corner of the outlot along the westerly lot line of the plat to 155th Avenue NE. Engineer Krugler stated 300 feet of separation is required between the connection that is shown and Wake Street NE. Engineer Kruger stated the extension of Vickers Street NE to the north may be adjusted when the outlot is developed in the future. Engineer Krugler stated no approval is needed from Coon Creek Watershed District and no plant survey is required at this time as there will be no grading that will be done within this phase of the plat. Chair Pogalz asked Mr. Ernest Rud and Mr. Jason Rud if they had read and understood Engineer Krugler's memo dated March 4, 2025. Mr. Jason Rud stated everything is understood. **Motion by Pogalz, seconded by Fisher, to recommend approval of the Sketch Plan of Ruds Skogsted, a residential development of one single-family residential lot and one outlot in Section 23 as presented by Ernest and Marian Rud subject to paying a \$2,500 parkland dedication fee and \$200 drainage fund contribution fee for Lot 1, paying \$16,009.64 of the outstanding special assessment prior to filing the plat with Anoka County, submitting a septic certification and soil boring logs for the outlot, submitting a septic compliance inspection report for 3958 155th Avenue NE prior to preliminary and final plat approval, meeting the requirements of the City Engineer and meeting all City, County and State requirements. All present in favor, motion carried.** *This application will be placed on the City Council's Monday, March 17, 2025, agenda.*

COMMISSION BUSINESS:

City Council Update

Chair Pogalz informed the Commissioners that the City Council concurred with the Commission's recommendation to approve the preliminary and final plats and rezoning for Entsminger Estates. There will not be a Planning Commissioner present at the March 17, 2025, City Council meeting.

ADJOURNMENT:

Motion by Fisher, seconded by Ross, to adjourn the Planning Commission meeting at 6:10 p.m. All present in favor, motion carried.

Jennifer Bohr
Building and Zoning Clerk

**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: March 24, 2025

INSPECTION ISSUED TO: Dave Ringler

APPLICANT/CONTACT: Zahira Agel

TELEPHONE NUMBER: 612-889-1171 or globaldistribution.1956@gmail.com

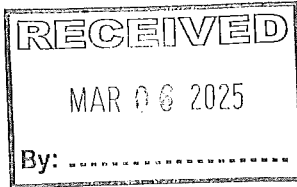
BUSINESS/PLAT NAME: Global Distribution Inc.

ADDRESS/LOCATION OF INSPECTION: 14203 Lincoln St NE

APPLICATION FOR: Certificate of Occupancy

RECOMMENDATION: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

PLANNING REQUEST

Date of Application 3/6/20/25

Date of Receipt 3-6-2025

Receipt # 101785 Amount \$ 200

Meeting Appearance Dates:

Planning Commission 3-24-2025

City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: Global Distribution Inc

Address/Location of property: 14203 Lincoln street, NE, Ham Lake 55304

Legal Description of property: L1/B1 Majestic Cars Commercial ctr 2

PIN # 29-32-23 34-0023 Current Zoning pub CD2 Proposed Zoning Same

Notes: Distribution of Tobacco product & accessories ^{underlying use}

Applicant's Name: ZAHIRA AQEL

Business Name: Global Distribution Inc

Address 14203 Lincoln st NE, Ham Lake, MN 55304

City Ham Lake State MN Zip Code 55304

Phone 763 7865017 Cell Phone 612 8891171 Fax _____

Email address Globaldistribution.1956@gmail.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

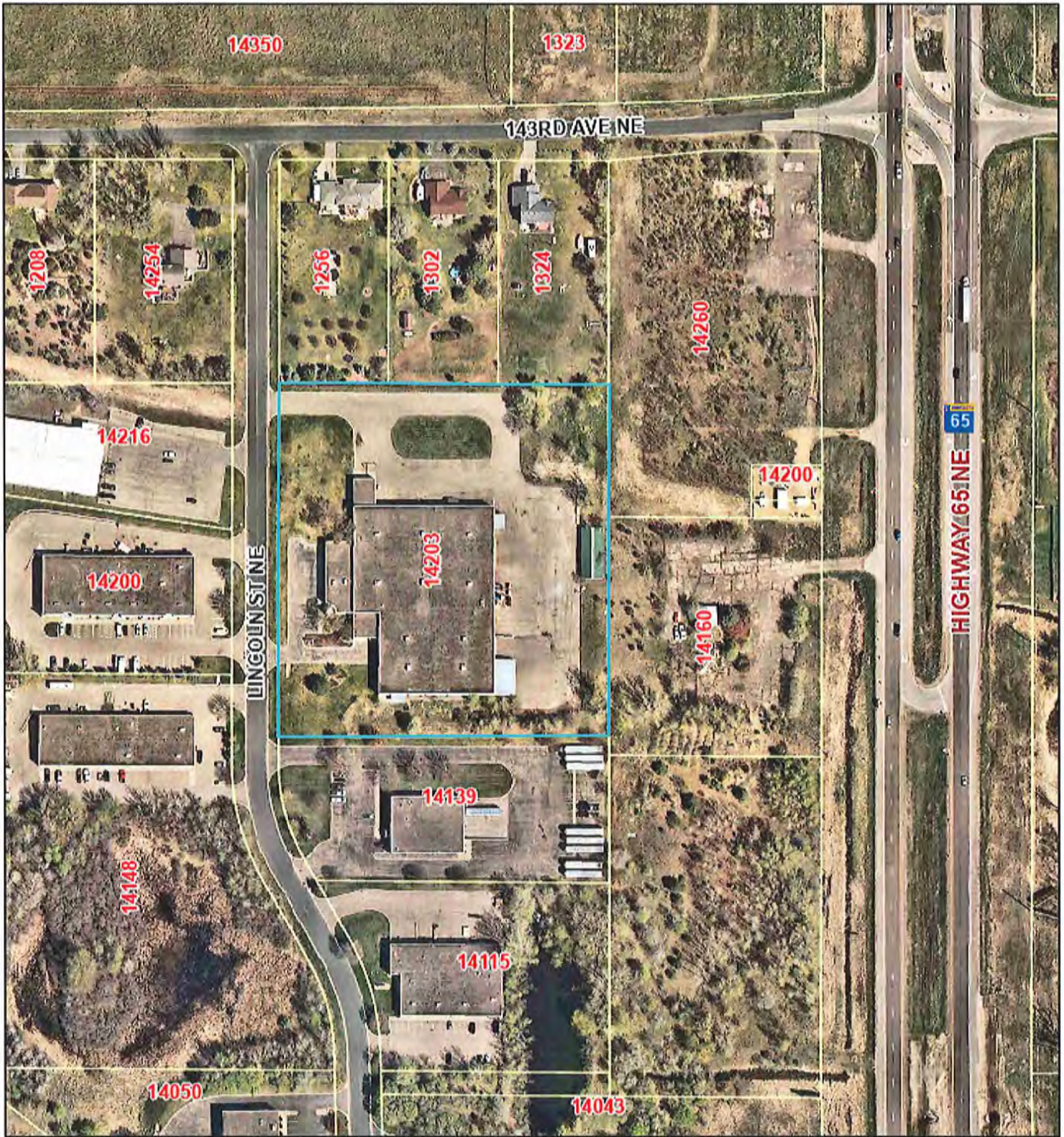
SIGNATURE [Signature] DATE 3/6/25

- FOR STAFF USE ONLY -

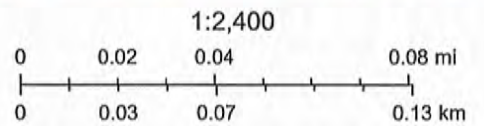
ACTION BY: Planning Commission _____
City Council _____

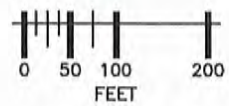
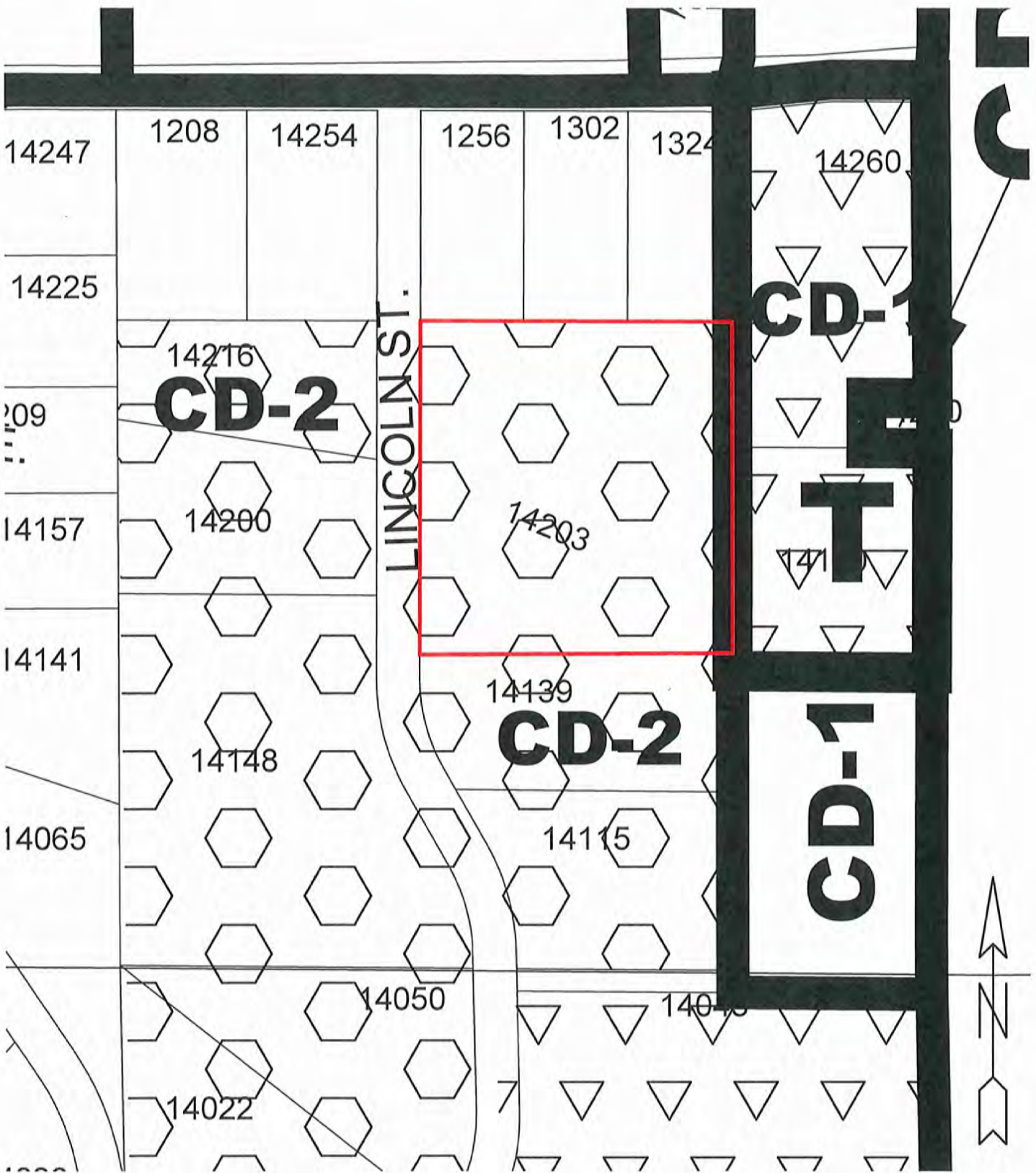
PROPERTY TAXES CURRENT YES NO
Any Active/Deferred Assessments YES NO

ArcGIS Web Map



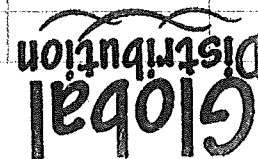
3/20/2025, 2:44:13 PM





Information about the new location in Hamlake

Name of the Business	Global Distribution Inc			
Address	14203 Lincoln St NE	Hamlake	55304	
Current location	10087 Goodhue ST NE	Baline	55449	
Owner 1 50%	Zahira Aqel	President		
Zahira Home Address	11151 Hastings ST NE	Blaine	55449	Building new home in Hamlake on Cord street with Mathew Builder
Owner 2, Investor 50%	Abdulrahman Wazwaz			
Addulrahman Home Address	2791 Alamo Circle NE	Blaine	55449	
Nature of Business	Distribution Wholesale	Tobacco, products and Accessories	Premium Cigars	
	Sell to businesses only			
Business hours	Mon to Friday	9AM-5PM		
	Saturdays	9AM-4PM	Paper work only	
Employees	Up to 10 employees			
	Could be more later in future 15-20 Maxx			
Shipping	Most our sales will be shipping using	UPS, Fedex, Speedy and NTG Trucking		
Shelves	Our products will be stored on pallet racking			
	Heights of shelving up to 10 foot	Will be intalled and shipped by SJF		
Alarm and fire	Par Security			
Camera Instalation	Waller			
Internet and Phone	Camcast			
Parking	Infront the building and the back side			



Meeting Date: March 24, 2025

CITY OF HAM LAKE
STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: Global Distribution Inc. at 14203 Lincoln Street NE

Introduction/Discussion:

Global Distribution Inc. is a wholesale business that distributes E-cig and tobacco products and accessories. All products are distributed to other businesses. There will be no retail sales at this location. Business hours are Monday through Friday 9:00 am to 5:00 pm and Saturday 9:00 am to 4:00 pm. At this time, Global Distribution Inc. will have 10 employees. The number of employees could increase to 20 in the future. Existing parking is adequate, but parking areas may need re-striping. Tobacco products will be stored in a 25-foot X 80-foot humidor that will be built within the existing building. All other product storage will be on pallet racking that is not to be taller than ten feet. The existing building was designed for office, warehouse and fabrication use. Because Global Distribution Inc. will be using the building as an office/warehouse for the distribution of products, truck traffic will increase on Lincoln Street. Products will be transported by box trucks such as those used by UPS, FedEx and Spee-Dee Delivery as well as by semi-trucks operated by other commercial logistics companies.

Recommendation:

I recommend approval of Certificate of Occupancy on the condition that all City of Ham Lake and State codes are met.



PREMIER
COMMERCIAL
PROPERTIES

FOR SALE OR LEASE



Industrial For Sale / Lease

14203 Lincoln Street NE
Ham Lake, MN 55304

Property Details:

- Great location with headquarter image
- 56,427 Total SF
- 5.39 Acres
- Year Built – 2001 / Expansion – 2004
- 18' Clear Height
- Heavy Power and climate controlled
- Zoning: PUD with CD-2 as underlying use
- Abundant parking
- **Available December 1, 2024**



Sale Price: Negotiable

Property Tax: \$105,597.28 (\$1.87 SF)

FOR MORE INFORMATION

Richard Lee

612-718-9919

richlee@premiercommercialproperties.com

Disclaimer: All Measurements, dimensions and sizes are approximate



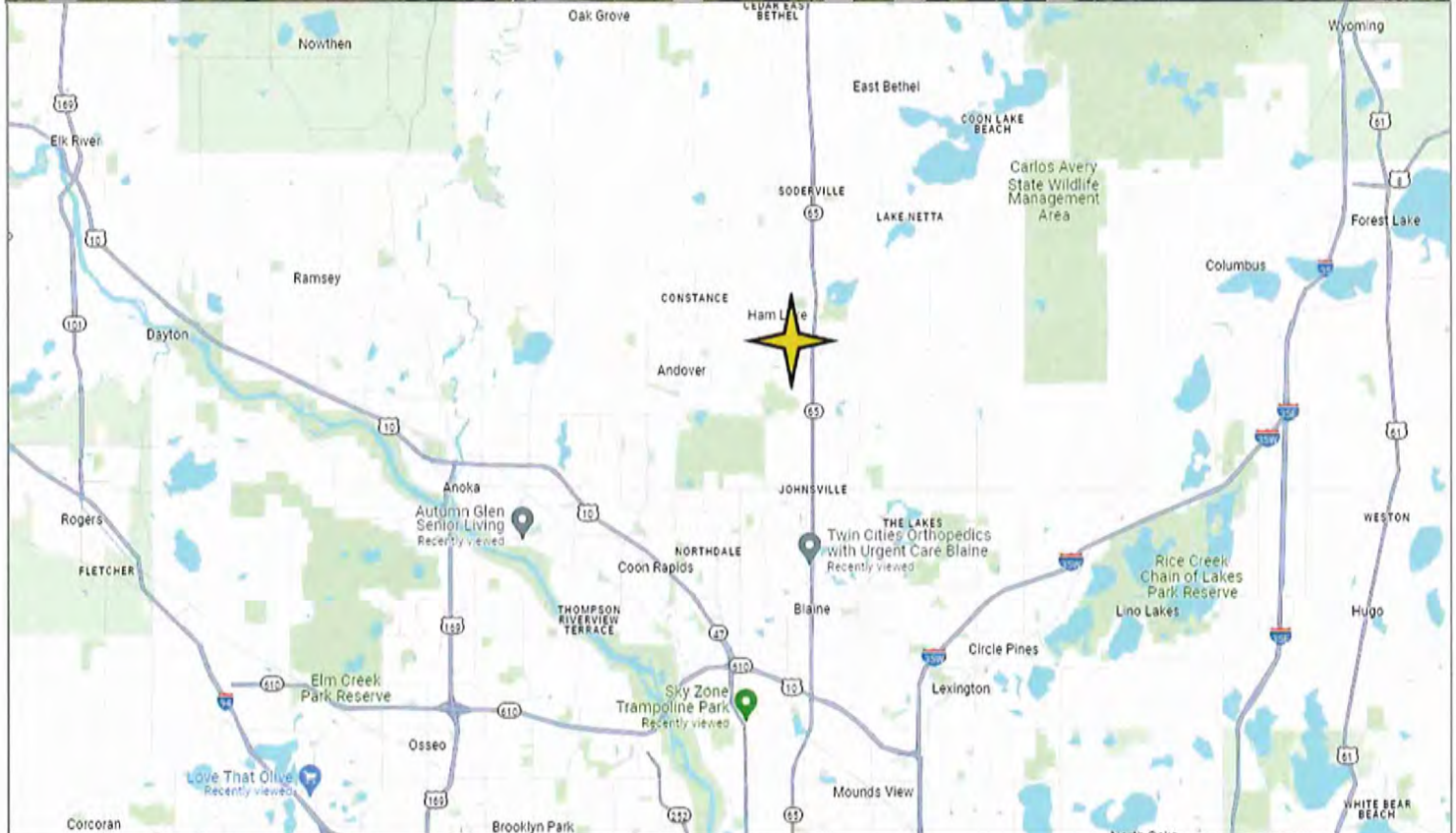
PREMIER
COMMERCIAL
PROPERTIES

FOR SALE OR LEASE

CONTACT: Richard Lee

MOBILE: 612-718-9919

EMAIL: richlee@premiercommercialproperties.com



299 Coon Rapids Blvd NW, Suite 200 | **Coon Rapids, MN 55433** | premiercommercialproperties.com | **763-862-2005**

Disclaimer: All Measurements, dimensions and sizes are approximate



PREMIER
COMMERCIAL
PROPERTIES

FOR SALE OR LEASE

CONTACT: Richard Lee

MOBILE: 612-718-9919

EMAIL: richlee@premiercommercialproperties.com

Main Building:

- 54,267 SF
- Office – 4,600 SF
- Mezzanine 1,535 SF
- Warehouse – 48,132 SF
- 18' Clear Height
- 3 – Dock doors with levelers
- 3 – 14' x 14' Drive in doors
- 3 – 10' Drive in doors
- 1 ton & 2 ton crane
- Covered exterior storage

Main Building:

- (4) 1,200 amp 3 phase panels
- (4) 800 amp 3 phase panels
- 12 HVAC rooftop units (climate controlled)

Cold Storage:

- 2,160 SF (72' x 30')
- 2 – Drive in doors

Lease Rates:

Office – \$12.00 per SF NNN

Warehouse – \$6.00 per SF NNN



PREMIER
COMMERCIAL
PROPERTIES

FOR SALE OR LEASE

CONTACT: Richard Lee

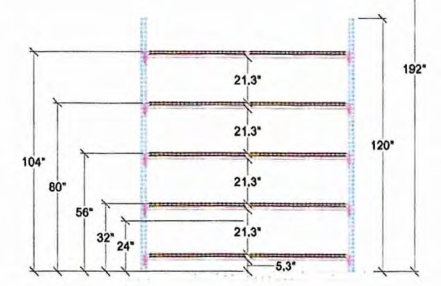
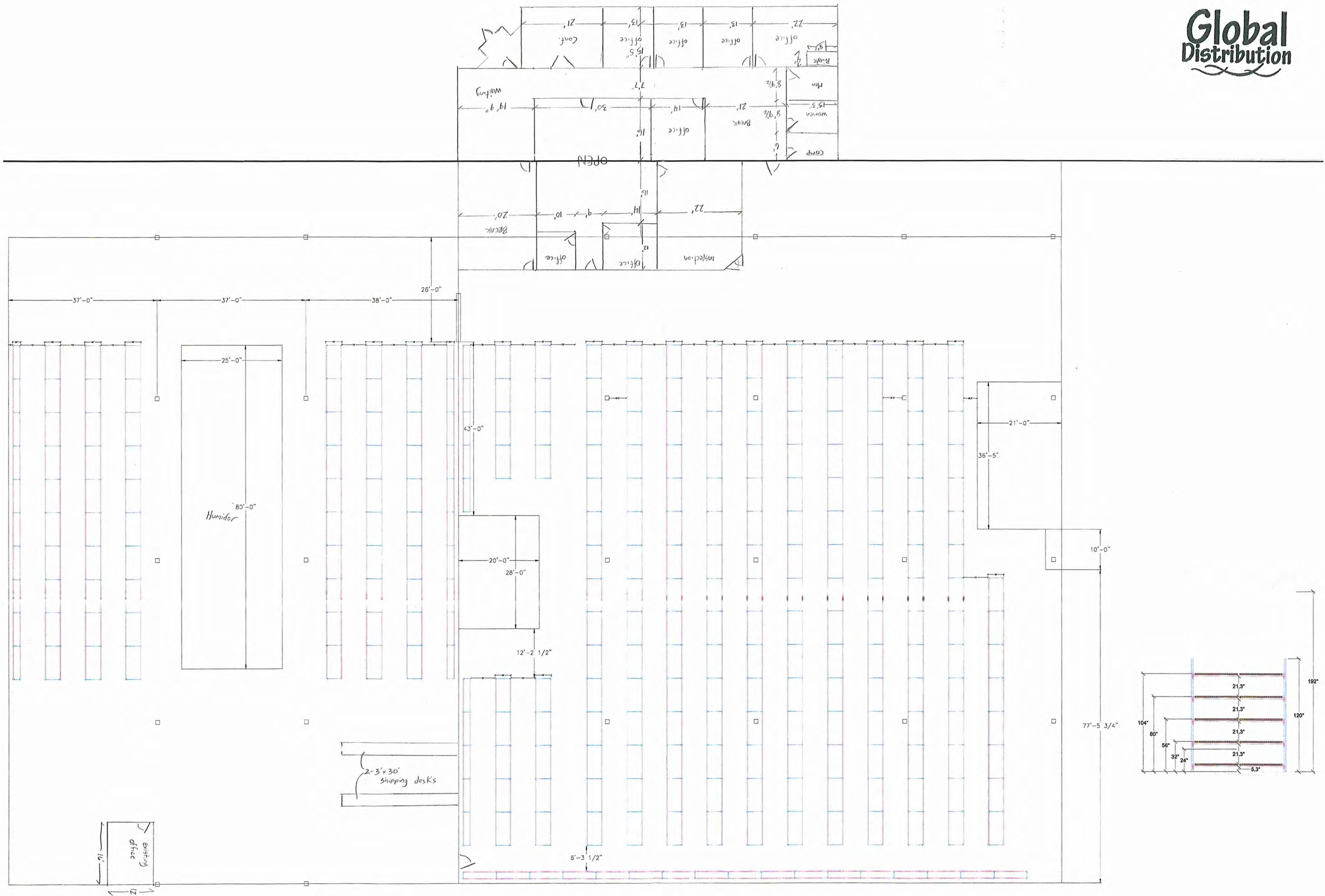
MOBILE: 612-718-9919

EMAIL: richlee@premiercommercialproperties.com



299 Coon Rapids Blvd NW, Suite 200 | **Coon Rapids, MN 55433** | premiercommercialproperties.com | **763-862-2005**

Disclaimer: All Measurements, dimensions and sizes are approximate



**CITY OF HAM LAKE
PLANNING COMMISSION REQUEST APPLICATION
INSPECTION REPORT**

MTG DATE: March 24, 2025

INSPECTION ISSUED TO: Erin Dixon _____

APPLICANT/CONTACT: Jeff Harstad

TELEPHONE NUMBER: 763-234-8482

BUSINESS/PLAT NAME: Allstate Distributions Commercial Building

ADDRESS/LOCATION OF INSPECTION: 13928 Lincoln St NE

APPLICATION FOR: Commercial Site Plan

RECOMMENDATION: _____

DATE: _____

PLANNING COMMISSIONER SIGNATURE: _____



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 03/20/25 Date of Receipt _____

Receipt # 99883 Amount \$ _____

Meeting Appearance Dates:

Planning Commission 3-24-2025 City Council _____

Please check request(s):

- | | |
|---|--|
| <input type="checkbox"/> Metes & Bounds Conveyance | <input checked="" type="checkbox"/> Commercial Building Permit |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Certificate of Occupancy |
| <input type="checkbox"/> Preliminary Plat Approval* | <input type="checkbox"/> Home Occupation Permit |
| <input type="checkbox"/> Final Plat Approval | <input type="checkbox"/> Conditional Use Permit (New)* |
| <input type="checkbox"/> Rezoning* | <input type="checkbox"/> Conditional Use Permit (Renewal) |
| <input type="checkbox"/> Multiple Dog License* | <input type="checkbox"/> Other _____ |

**NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.*

Development/Business Name: Allstate Distribution Building

Address/Location of property: 13928 Lincoln Street NE Ham Lake, MN

Legal Description of property: Lot 4 / Block 2 Majestic Oaks Commercial Ctr

PIN # 32-32-23-21-0009 Current Zoning CD-2 Proposed Zoning —

Notes: Commerical Building Permit Application - Six bay, multi-tenant office/warehouse

Glen Harstad/Jeff Harstad/Heather Harstad

Applicant's Name: _____

Business Name: Hearth Development

Address 3300 Rice Street Suite 100

City Little Canada State MN Zip Code 55126

Phone _____ Cell Phone 763-234-0919 Fax _____

Email address glenharstad@gmail.com

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Handwritten Signature]

DATE 03/20/2025

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO
Any Active/Deferred Assessments YES NO



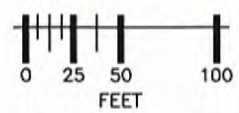
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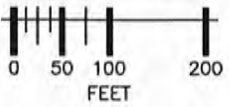
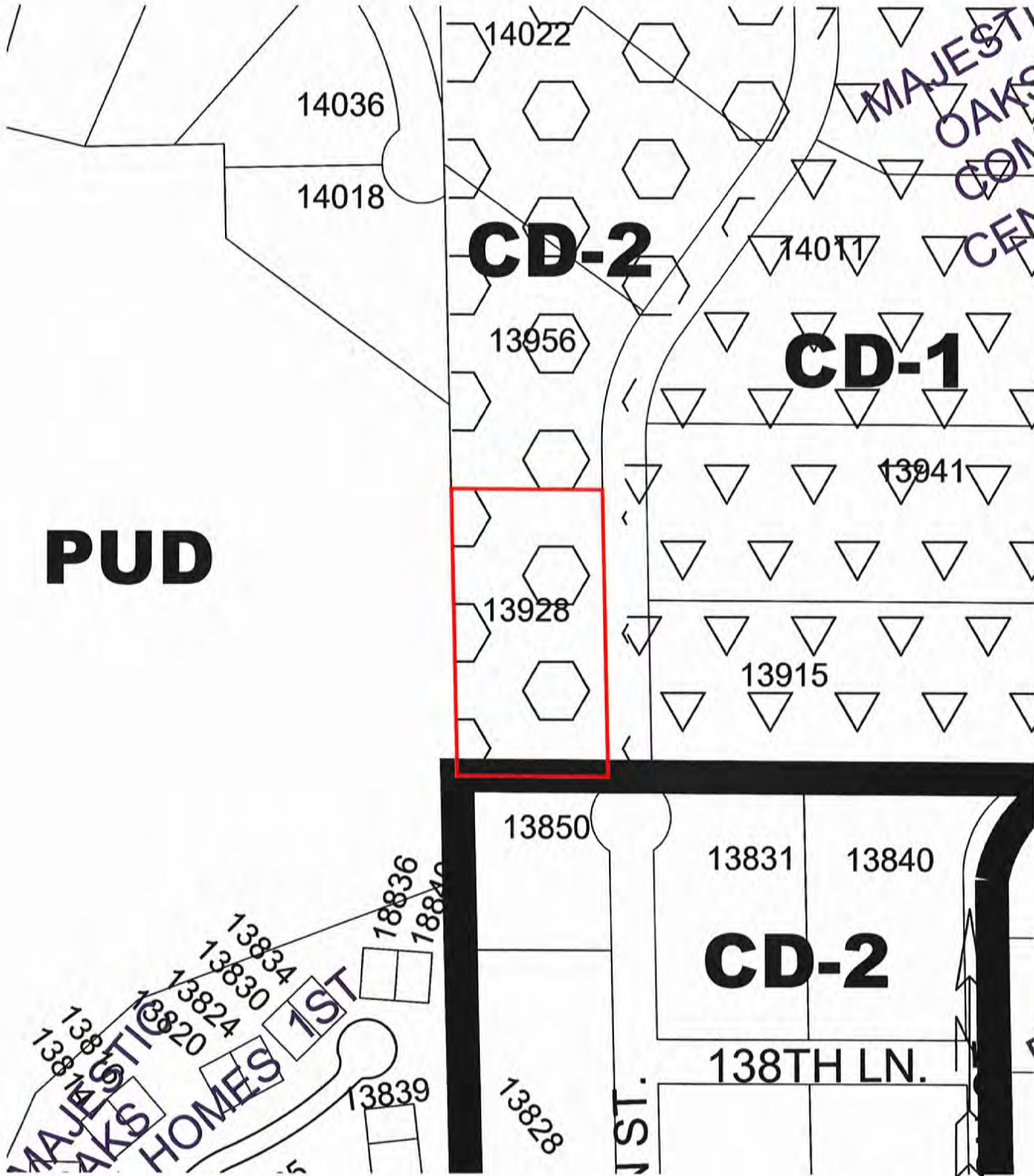
13850

18836

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13





RECEIVED
MAR 13 2025

To the City of Ham Lake,

We are looking at constructing a 22,000 square-foot office Warehouse building. The intention of this building is for using for storing and shipping parts and material. My company Allstate distribution will be a tenant in this building. Safety Speed Cut will be a tenant in this building. We feel this building adds to the neighborhood of manufacturing for the use of housing parts and material.

Sincerely

Glen Harstad

763-234-0919

Memorandum

Date: March 20, 2025
To: Planning Commissioners
From: David A. Krugler, City Engineer
Subject: Allstate Distribution Building



Introduction:

The proposed 22,000 square foot Allstate Distribution Building is located on the 2.26-acre Lot 4, Block 2 Majestic Oaks Commercial Center (PID 32-32-23-21-0009) parcel. An aerial photo is attached. A zoning map showing the parcel is zoned Planned Unit Development (PUD) with Commercial Development Tier 2 (CD-2) as an underlying use is attached.

Discussion:

The Title Sheet, Legend, Existing Conditions & Removal plan, Grading, Drainage, and Erosion Control Plan, Entrance Details, Utility Plan, Details & Notes, Soil Amendment Plan, Floodplain Exhibit, Storm Water Pollution Prevention Plan and Turning Exhibit were received March 17th. Stormwater Calculations were received March 13th. These plans have been revised to address prior review comments.

A public hearing will be scheduled for consideration of vacating a portion of the drainage and utility easements that were recorded with Majestic Oaks Commercial Center plat. The current wetland delineation has resulted in a change in the amount of easement that is required for the wetland as originally delineated in 1998. Under state law, wetland fill is permitted within strict guidelines and is dependent on location within Minnesota. The Technical Evaluation Panel which including the Anoka Conservation District, Coon Creek Watershed District, Board of Water and Soil Resources, and the Army Corps of Engineers has approved the fill of the north three northern wetlands, as detailed in the attached report. The owner will need to dedicate *additional drainage and utility easement to protect the revised wetland boundary currently outside the existing easement.*

The attached Landscape Plan shows proposed trees to the east of the proposed building. Per 11-1853(B) of the City code, decorative trees shall be planted along the right-of-way lines of adjacent public roadways. Per 11-1853(C) of the City Code, the use of conifers shall be encouraged and preferred. 11-1860 allows for case-by-case evaluation for landscape approval and "strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan". A determination needs to be made as to whether the proposed Landscaping is adequate where adjacent to the City right-of-way or if additional screening is required.

The Allstate Distribution Building plans were approved at the June 17th Coon Creek Watershed District Board of Managers meeting. The Notice of Permit Application Status is attached. An Operations and Maintenance Agreement for Stormwater Facilities needs to be executed between the applicant and the Coon Creek Watershed District (CCWD) for on-site stormwater treatment. Grading cannot commence until the CCWD issues a permit.

Recommendation:

It is recommended that the Allstate Distribution Building plans be recommended for approval. It is recommended the city schedule a public hearing to vacate a portion of the drainage easement that no longer contains wetlands. It is also recommended the city require a drainage and utility easement over the wetland boundary not protected by the original drainage and utility easement of the Majestic Oaks Commercial Center plat prior to issuing the Certificate of Occupancy.

Meeting Date: March 24, 2025

CITY OF HAM LAKE
STAFF REPORT

To: Members of the Planning Commission

From: Mark Jones, Building and Zoning Official

Subject: Allstate Distribution Building at 13928 Lincoln Street NE

Introduction/Discussion:

Mr. Glen Harstad, Mr. Jeff Harstad and Ms. Heather Harstad of Hearth Development, are requesting approval to build a 22,000 square foot, six-unit office/warehouse building at 13928 Lincoln Street. Twenty percent of each unit will be office space and the other eighty percent warehouse space. In the narrative, it states this structure will provide other manufacturing businesses with a location to store parts and material. The proposed 22,000 square foot building footprint occupies a large part of the 2.26-acre lot which leaves limited space for parking and the septic area. Because of this, the site will have a total of 30 parking spaces with no proof of future parking. The septic system has been designed for 30 occupants. The occupancy of the building cannot exceed 30. The narrative does not include hours of operation. Per Article 4-712(D), daytime hours are between 7:01 am and 10:00 pm and nighttime hours are between 10:01 pm and 7:00 am. The applicants will need to provide information on hours of operation for the location. The use and occupancy of the building will be limited to a use of warehouse storage and office space. If the building is to be used for storing of vehicles, this will need to be noted and shown on the building design. The building design does not include a loading dock for semi-trucks to unload freight. Items and/or materials shipped or delivered to this location are to be via box trucks such as those used by UPS, FedEx, or Spee-Dee Delivery.

Recommendation:

I recommend approval of the commercial site plan and the construction of the 22,000 square foot building requested by Glen, Jeff and Wendy Harstad of Hearth Development with the following conditions:

- 1) Groundwork cannot begin until a Coon Creek Watershed District permit and National Pollutant Discharge Elimination System (NPDES) permit have been issued.
- 2) The building is to be for office/warehouse only.
- 3) Hours of operation must be determined for the location.
- 4) Trucks unloading or loading shall not block any portion of Lincoln Street at any time.
- 5) No on-street parking is allowed.
- 6) Total occupancy of the building cannot exceed 30 occupants.

ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING

TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN

HAM LAKE, MINNESOTA

DRAWN BY: M.O.A.
 CHECKED BY: PROJ. NO.
 M.O.A. 24-2141

DESIGN BY: Q.M.A.
 PROJ. NO. 24-2141

ORIGINAL DATE: MAY 3, 2024

DATE	REVISION DESCRIPTION
10/9/24	ADDED NOTES ABOUT LOT/BLOCK & REMOVAL OF WETLAND APPROX.

VICINITY MAP



NOT TO SCALE

LEGEND *

<ul style="list-style-type: none"> —O—O— EXISTING OVERHEAD ELECTRIC —TEL— EXISTING UNDERGROUND TELEPHONE —C— EXISTING UNDERGROUND CABLE —T— EXISTING TELEPHONE PEDESTAL —E— EXISTING ELECTRICAL PEDESTAL —C— EXISTING CABLE PEDESTAL —U— EXISTING UTILITY POLE —L— EXISTING LIGHT POLE —S— EXISTING STORM SEWER —W— EXISTING WATER MAIN —S— EXISTING SANITARY SEWER —FM— EXISTING FORCE MAIN —M— EXISTING STORM MANHOLE —C— EXISTING CATCH BASIN —F— EXISTING FLARED-END SECTION —G— EXISTING GATE VALVE —H— EXISTING HYDRANT —S— EXISTING SANITARY SEWER MANHOLE —E— EXISTING CONTOUR —S— EXISTING SPOT ELEVATION —S— EXISTING SPOT ELEVATION (MATCH INTO ELEVATION) —B— EXISTING BITUMINOUS —T— EXISTING TREES —X— EXISTING TREE TO BE REMOVED —W— EXISTING RETAINING WALL —F— EXISTING FENCE —W— EXISTING WETLAND 	<ul style="list-style-type: none"> —W— PROPOSED WATER PIPE —S— PROPOSED SANITARY SEWER PIPE —S— PROPOSED STORM SEWER PIPE —D— PROPOSED DRAIN TILE AND CLEAN-OUT —E— PROPOSED ELECTRIC SERVICE * —G— PROPOSED GAS SERVICE * —TEL— PROPOSED TELEPHONE SERVICE * —M— PROPOSED STORM MANHOLE —C— PROPOSED CATCH BASIN —F— PROPOSED FLARED-END SECTION —G— PROPOSED GATE VALVE —H— PROPOSED HYDRANT —M— PROPOSED SANITARY SEWER MANHOLE —C— PROPOSED CONTOUR —S— PROPOSED SPOT ELEVATION (GUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED) —S— PROPOSED SILT FENCE —S— PROPOSED DIRECTION OF DRAINAGE —B— PROPOSED BITUMINOUS —R— PROPOSED RIP-RAP —F— PROPOSED FILTRATION MEDIA —P— PROPOSED INLET PROTECTION —P— PROPOSED HEAVY-DUTY PAVEMENT —E— PROPOSED ENKAMAT —C— PROPOSED TIP-OUT CURB —W— PROPOSED RETAINING WALL
---	---

* NOT ALL SYMBOLS ARE APPLICABLE.

GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.

ALL UTILITIES THAT WILL BE OWNED AND MAINTAINED BY THE CITY AFTER CONSTRUCTION SHALL BE BUILT TO CITY STANDARDS.

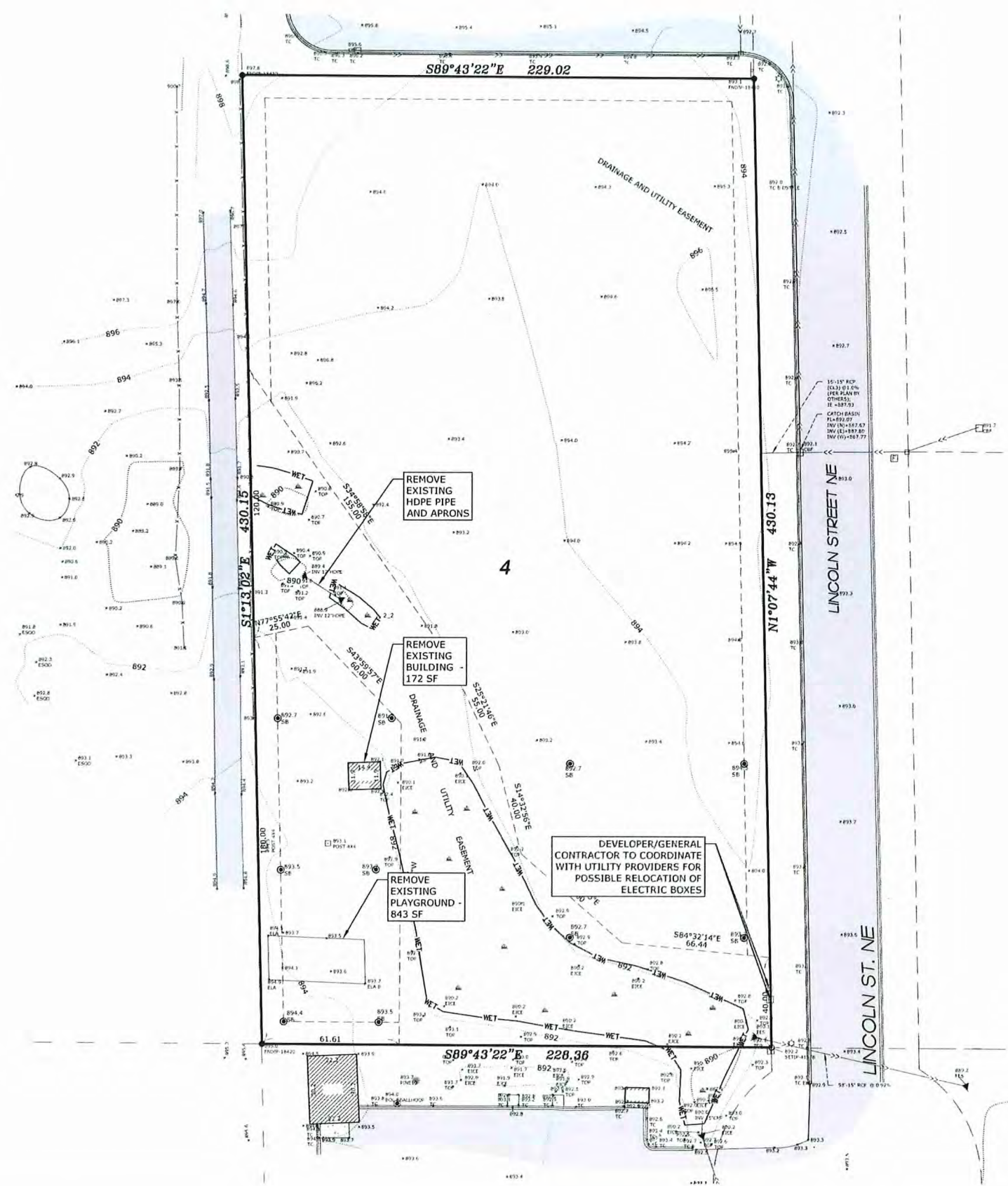
THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE CITY PRIOR TO ANY WORK.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.



GENERAL SITE INFORMATION:

LOT SIZE = 98,338 SF (2.258 ACRES)
 PROPOSED BUILDING ADDITION = 22,000 SF (0.505 ACRES)
 NEW/RECONSTRUCTED IMPERVIOUS = 45,709 SF (1.049 ACRES)
 ZONING = PUD WITH CD-2 UNDERLYING USE
 PROPOSED OCCUPANCY = MIXED USE:
 OFFICE (B)
 WAREHOUSE (S-1)

6 UNITS AT 3,667 SF EACH
 PROPOSED PARKING DATA = OFFICE (20%)
 733 SF AT 1/250 = 3 STALLS / UNIT
 WAREHOUSE (80%)
 2,934 SF AT 1/2000 = 2 STALLS / UNIT

5 STALLS REQUIRED/ UNIT
 5 STALLS PROVIDED / UNIT

PROPERTY DESCRIPTION

Lot 4, Block 2, MAJESTIC OAKS COMMERCIAL CENTER, Anoka County, Minnesota

DEVELOPER

GLEN HARSTAD
 14152 TERRACE BLVD
 HAM LAKE, MN 55304
 CONTACT NAME: GLEN HARSTAD
 CONTACT PHONE: (763) 234-0919
 CONTACT E-MAIL: GLENHARSTAD@GMAIL.COM

CURRENT PROPERTY OWNER

ENTSMINGER ENTERPRISES LLC
 14916 CENTRAL AVE NE
 HAM LAKE, MN 55304
 CONTACT NAME: JEFF ENTSMINGER
 CONTACT PHONE: (612) 669-4004
 CONTACT E-MAIL: JEFF@ALLSEASONSERVICES.COM

CIVIL ENGINEER

PLOWE ENGINEERING
 6776 LAKE DR NE
 LINO LAKES, MN 55014
 CONTACT NAME: MOHAMMAD ABUGHAZLEH
 CONTACT PHONE: (651) 361-8237
 CONTACT E-MAIL: MOE@PLOWE.COM

ARCHITECT

LAMPERT ARCHITECTS
 420 SUMMIT AVE
 ST. PAUL, MN 55102
 CONTACT NAME: JAMES BERTHAUME
 CONTACT PHONE: (763) 755-1211 EXT. 3
 CONTACT E-MAIL: JAMES@LAMPERT-ARCH.COM

SHEET INDEX

- C0 TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN
- C1.1 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C1.2 ENTRANCE DETAILS
- C2 UTILITY PLAN
- C3.1 DETAILS & NOTES
- C3.2 DETAILS & NOTES
- C4 SOIL AMENDMENT PLAN
- C5 FLOODPLAIN EXHIBIT
- C6.1 STORM WATER POLLUTION PREVENTION PLAN
- C6.2 STORM WATER POLLUTION PREVENTION PLAN
- C7 TURNING EXHIBIT

ALLSTATE DISTRIBUTIONS
 COMMERCIAL BUILDING
 HAM LAKE, MINNESOTA

PREPARED FOR:
 GLEN HARSTAD



SITE PLANNING & ENGINEERING
PLOWE
 ENGINEERING, INC.

6776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (651) 361-8210
 FAX: (651) 361-8701

NORTH



C0



below.
 Call before you dig.

S:\prower\m2\prower\811\Lincoln Street Commercial Bldg (Ham Lake)\241 CAD\24-2141.dwg 3/17/2024

DATE	REVISION DESCRIPTION
5/23/24	REVISED BASIN GRADING
10/9/24	REVISED GRADES DUE TO POND RELOCATION
2/24/25	REVISED POND GRADES DUE TO CITY COMMENTS (FF, SEPTIC, ETC.)
3/13/25	REVISED GRADES OF WALL, SWALES, ETC. DUE TO COMMENTS
3/17/25	REVISED GRADES AT SW CORNER OF BLDG

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DATE: 03.17.2025 LIC. NO. 562598

**ALLSTATE DISTRIBUTIONS
 COMMERCIAL BUILDING**
 RAM LAKE, MINNESOTA

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

PREPARED FOR:
 GLEN HARSTAD



SITE PLANNING & ENGINEERING
Plowe Engineering, Inc.
 6776 LAKE DRIVE
 SUITE 110
 LINDO LAKES, MN 56014
 PHONE: (651) 361-8210
 FAX: (651) 361-8701



C1.1

SITE SEQUENCING

- PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL INSTALL ROCK CONSTRUCTION ENTRANCE (LOCATIONS TO BE DETERMINED - COORDINATE WITH OWNER) AND PERIMETER SILT FENCE AS SHOWN ON PLAN. (CONTACT CITY TO INSPECT EROSION CONTROL MEASURES PRIOR TO GRADING OPERATIONS, IF NECESSARY.) ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
- THE CONTRACTOR SHALL PROVIDE ALL SOD, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING MNDOT SPECIFICATIONS AS MODIFIED BELOW.

ITEM	MNDOT SPECIFICATION/NOTES
SOD	367B
SEED **	367E
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-133 (120 LBS/ACRE)
TEMPORARY	
FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

* MOW A MINIMUM OF ONCE PER 2 WEEKS
 ** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

- ALL EXPOSED SOILS & STOCKPILES MUST HAVE TEMPORARY EROSION CONTROL PROTECTION OR PERMANENT COVER WITHIN 24 HOURS OF INACTIVITY.
- THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES IN PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.
- PROTECT ALL STORM WATER MANAGEMENT FACILITIES FROM CONSTRUCTION RUN-OFF. CONTRACTOR TO INSTALL AND CONSTRUCT SAID FACILITIES ONCE SITE HAS BEEN STABILIZED.
- IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BIOROLLS AND EROSION CONTROL BLANKET AS NEEDED.
- THE CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
- THE CONTRACTOR SHALL SOD ALL DISTURBED DRAINAGE AREAS, INCLUDING SWALES & OVERFLOWS.
- UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL WITH SOD OR SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 48 HOURS OF FINAL GRADING.
- EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES.
- IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED.

OTHER POLLUTION CONTROL MEASURES

CONSTRUCTION WASTE MATERIALS - ALL WASTE MATERIALS GENERATED AS A RESULT OF SITE CONSTRUCTION SHALL BE COLLECTED AND REMOVED ACCORDING TO ALL LOCAL AND/OR STATE WASTE MANAGEMENT REGULATIONS BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE CONTRACTOR WILL ENSURE THAT ALL SITE PERSONNEL ARE INSTRUCTED IN THESE PRACTICES.

HAZARDOUS WASTES - ALL HAZARDOUS WASTE MATERIALS SHALL BE STORED PROPERLY TO PREVENT SPILLS AND VANDALISM. WHEN NECESSARY, HAZARDOUS WASTES WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND/OR STATE REGULATION OR BY THE MANUFACTURER.

SANITARY WASTE - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS BY A LOCAL, LICENSED WATER MANAGEMENT COMPANY, AS REQUIRED BY LOCAL REGULATION.

OFFSITE VEHICLE TRACKING - A ROCK CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED. DUMP TRUCKS HAULING LOOSE MATERIALS (SAND, TOPSOIL, ETC.) TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPULIN.

VEHICLE CLEANING - NO ENGINE DEGRASSING IS ALLOWED ON-SITE. EXTERNAL WASHING OF VEHICLES TO BE CONFINED TO A DEFINED AREA ("BONE YARD") ON-SITE. CONTRACTOR TO PROVIDE DESIGNATED TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50' FROM DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE) AND DISPOSED OF PROPERLY.

SPILL PREVENTION AND CONTROL - ALL VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. SPILL KITS WILL BE STORED ON-SITE AND ALL SPILLS WILL BE CLEANED UP IMMEDIATELY DISCOVERED. SPENT ABSORBENT MATERIALS AND BAGS WILL BE HAULED OFF-SITE IMMEDIATELY AFTER THE SPILL IS CLEANED UP AND PROPERLY DISPOSED OF. SPILL PREVENTION AND CONTROL MEASURES SHALL BE IMPLEMENTED ONCE CONSTRUCTION BEGINS.

SOIL STOCKPILES - INSTALL SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AROUND ALL TEMPORARY SOIL STOCKPILES. SOILS AND STOCKPILES MUST BE STABILIZED WITHIN 24 HOURS OF INACTIVITY. LOCATE SOIL OR DIRT STOCKPILES SUCH THAT DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN 8 M (25 FEET) FROM THE TOE OF THE PILE TO A SURFACE WATER, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. IF REMAINING FOR MORE THAN 7 DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN 8 M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARPS, AND PROTECT STORM SEWER INLETS WITH SILT SOCKS OR STAKED SILT FENCE.

PROVIDE WIMCO (OR APPROVED EQUAL) FOR INLET PROTECTION AT ALL EXISTING STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF DURING CONSTRUCTION. INLET PROTECTION TO REMAIN IN-PLACE UNTIL AT LEAST 70% OF SITE VEGETATION HAS BEEN ESTABLISHED.

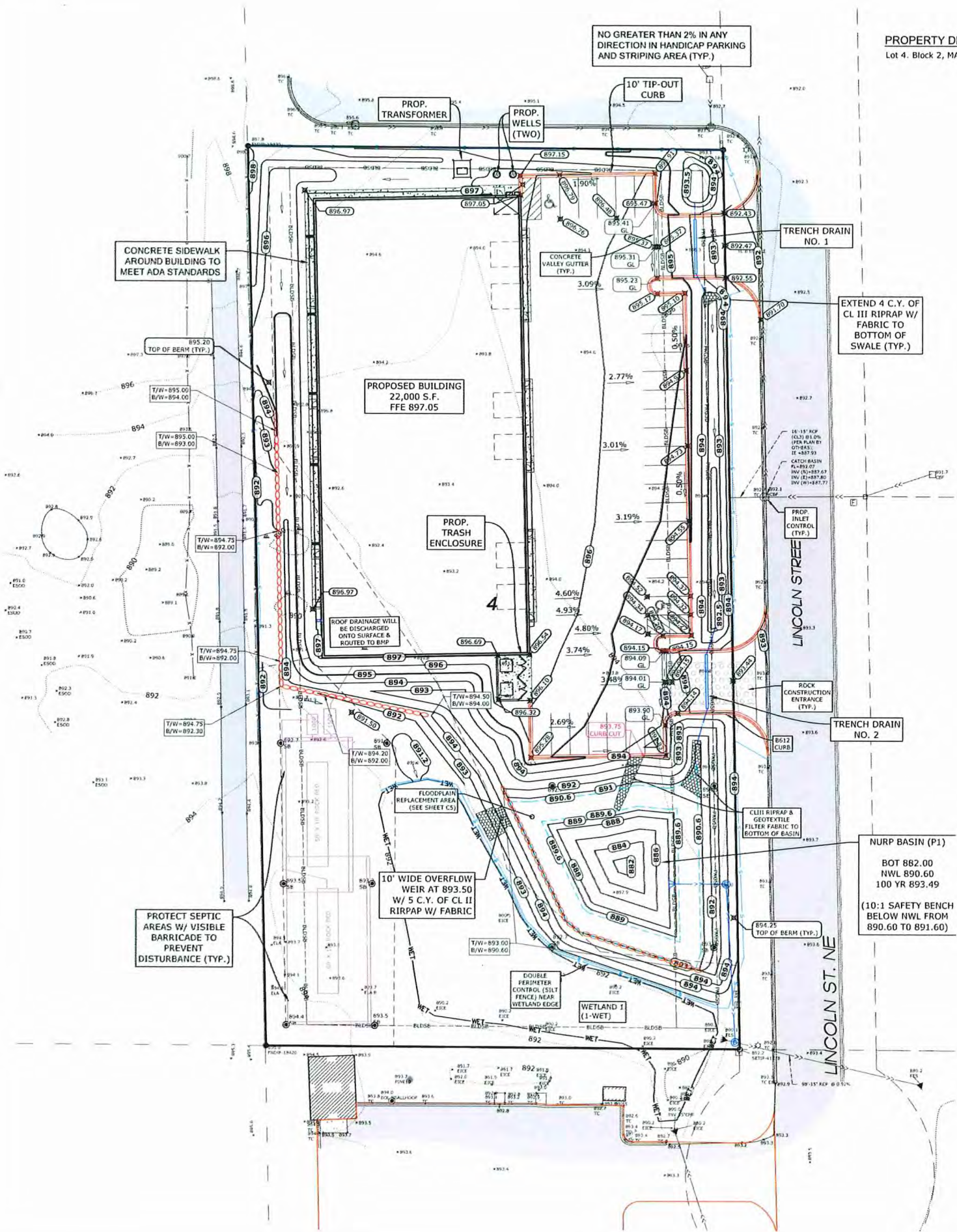
CONTRACTOR TO PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. KEEP WASHOUT AREAS AS FAR AS PRACTICAL FROM STORM DRAINS, DITCHES AND PONDS. DO NOT ALLOW RUN-OFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE. AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. THE CONTRACTOR MAY DISCHARGE FROM THE TEMPORARY OR PERMANENT SEDIMENTATION BASINS TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT NOISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPs, SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES.

PROPERTY DESCRIPTION

Lot 4, Block 2, MAJESTIC OAKS COMMERCIAL CENTER, Anoka County, Minnesota.

NO GREATER THAN 2% IN ANY DIRECTION IN HANDICAP PARKING AND STRIPING AREA (TYP.)



Know what's below.
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GRADING, DRAINAGE, AND EROSION CONTROL PLAN
ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING

3/17/2025
 C:\Users\m220001\OneDrive\Documents\811\Lincoln Street Commercial Bldg\811 CAD\24-2141 CAD\24-2141.dwg

DATE	REVISION DESCRIPTION
5/23/24	REVISED UTILITIES
10/9/24	ADDED SEPTIC & EXTRA WELL, ADJUSTED STORM ID & DATA
2/24/25	REVISED UTILITY TRENCHES, PIPES, ETC.
3/13/25	REVISED GRADE ELEVATIONS OF TRENCH NO. 2

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DATE: 03.17.2025 LIC. NO. 56299
 OASEM M. ABUGHAZLEH

STORM SEWER NOTES

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

STORM SEWER PIPE SHALL BE PVC SCHEDULE 40 MEETING ASTM D1785, D2665, F891, OR F1488 WITH APPROVED FITTINGS (SEE TABLE 701.2). SOLVENT WELDED JOINTS MUST USE ASTM F656 PURPLE PRIMER AND ASTM D2564 CEMENT. THE SEWER MUST BE INSTALLED BY OPEN-TRENCH ON A CONTINUOUS GRANULAR BED PER SECTION 314.4.1. ASTM D2241 PVC IS NOT AN APPROVED MATERIAL FOR BUILDING SEWERS.

STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

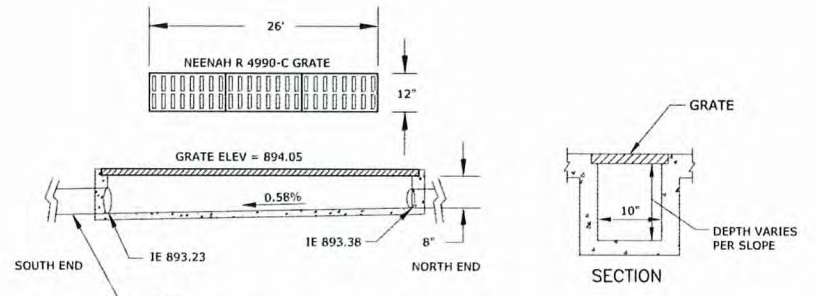
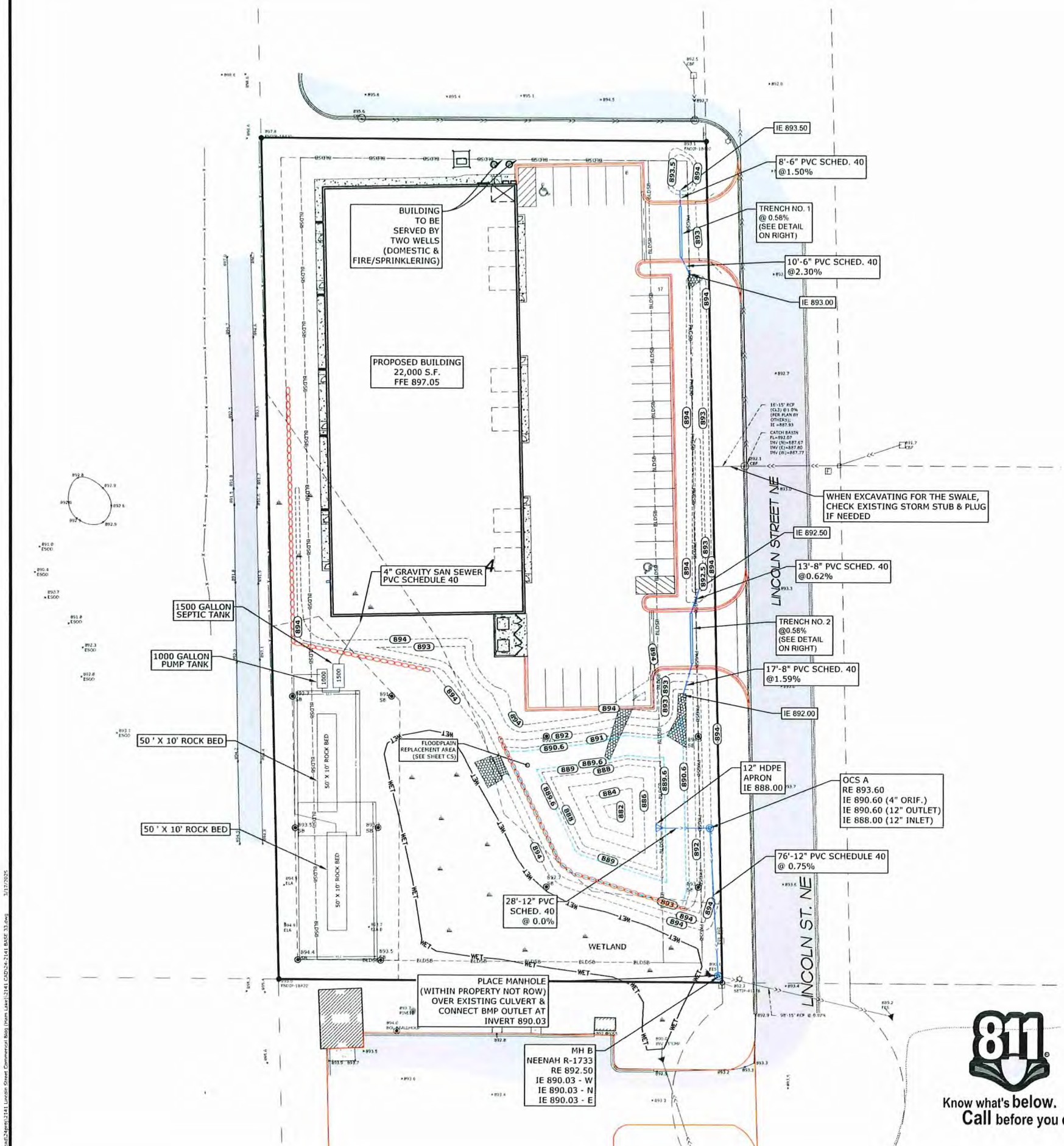
ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.

STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESILIENT RUBBER JOINTS TO MAKE THEM GASTIGHT OR WATERTIGHT. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

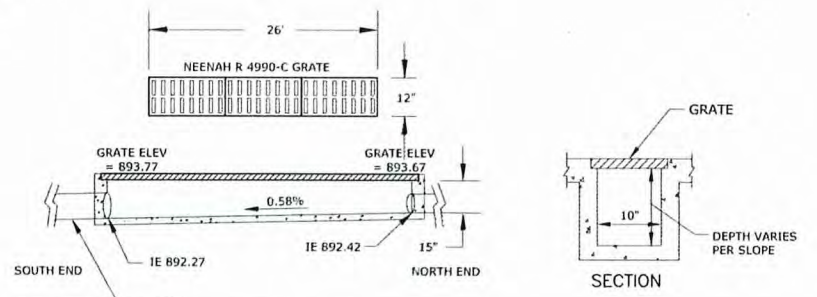
ALL PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS FROM CITY OF HAM LAKE, COON CREEK WATERSHED, AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY THE CONTRACTOR.

INSTALLATION OF UTILITIES SHALL BE CONSTRUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

SEPTIC SYSTEM & CONNECTION TO WELL DESIGN BY OTHERS. SEE DESIGNER'S DESIGN AND NOTES FOR ADDITIONAL DETAILS.



1 TRENCH DRAIN NO. 1
N.T.S.



1 TRENCH DRAIN NO. 2
N.T.S.



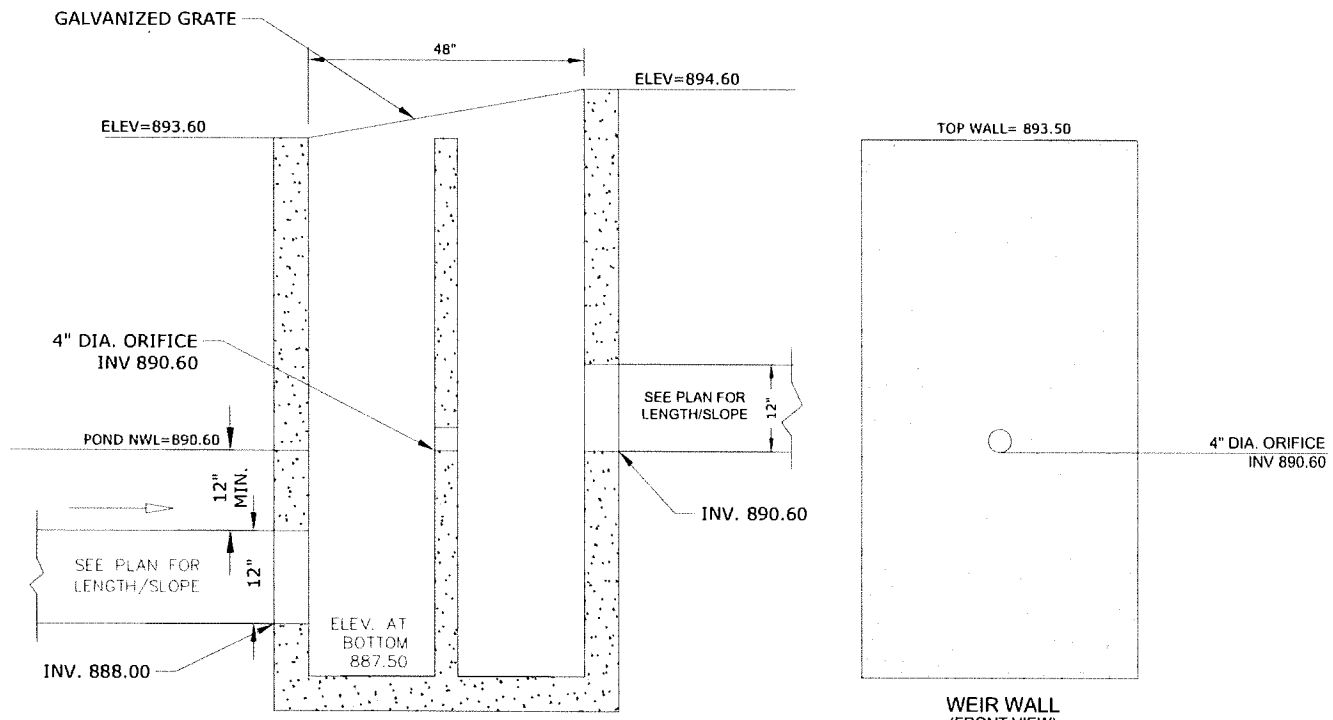
ALLSTATE DISTRIBUTIONS
 COMMERCIAL BUILDING
 HAM LAKE, MINNESOTA
 UTILITY PLAN

PREPARED FOR:
 GLEN HARSTAD

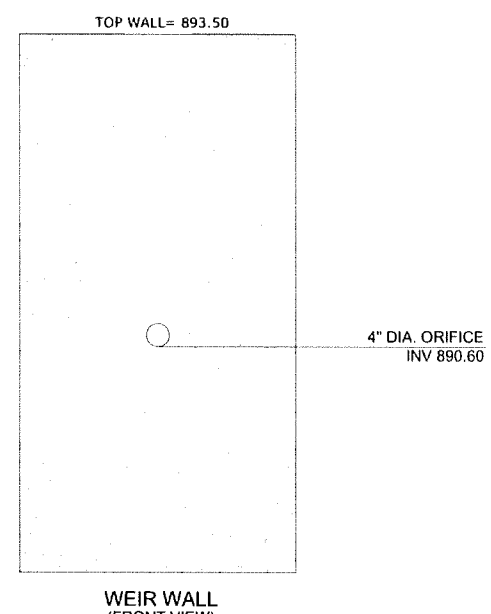
SITE PLANNING & ENGINEERING
Plowe
 ENGINEERING, INC.
 6776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (651) 361-6210
 FAX: (651) 361-8701



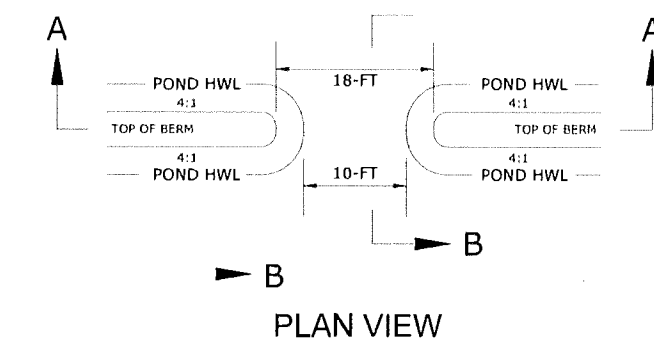
C2



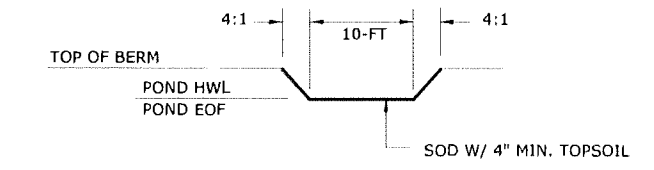
POND 1 OUTLET STRUCTURE (OCS A)
N.T.S.



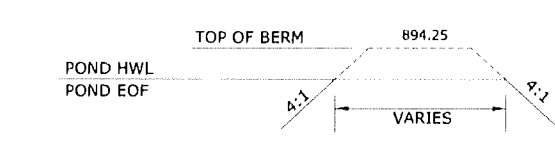
WEIR WALL (FRONT VIEW)



PLAN VIEW

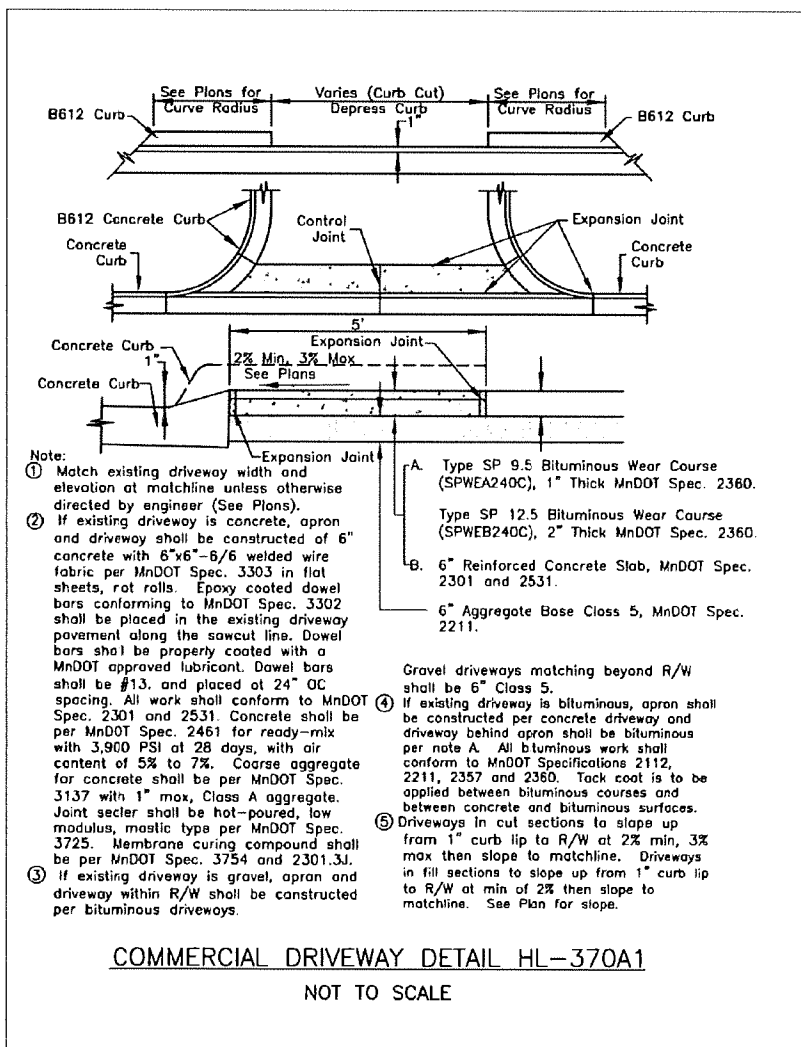


SECTION A - A



SECTION B - B

SODDED OVERFLOW - POND 1 (P1)
N.T.S.



COMMERCIAL DRIVEWAY DETAIL HL-370A1

NOT TO SCALE

- Note:
- Match existing driveway width and elevation at matchline unless otherwise directed by engineer (See Plans).
 - If existing driveway is concrete, apron and driveway shall be constructed of 6" concrete with 6"x6"-6/6 welded wire fabric per MnDOT Spec. 3303 in flat sheets, rot rolls. Epoxy coated dowel bars conforming to MnDOT Spec. 3302 shall be placed in the existing driveway pavement along the sawcut line. Dowel bars shall be properly coated with a MnDOT approved lubricant. Dowel bars shall be #13, and placed at 24" OC spacing. All work shall conform to MnDOT Spec. 2301 and 2531. Concrete shall be per MnDOT Spec. 2461 for ready-mix with 3,900 PSI at 28 days, with air content of 5% to 7%. Coarse aggregate for concrete shall be per MnDOT Spec. 3137 with 1" max. Class A aggregate. Joint sealer shall be hot-poured, low modulus, mastic type per MnDOT Spec. 3725. Membrane curing compound shall be per MnDOT Spec. 3754 and 2301.3J.
 - If existing driveway is gravel, apron and driveway within R/W shall be constructed per bituminous driveways.
 - Type SP 9.5 Bituminous Wear Course (SPWEA240C), 1" Thick MnDOT Spec. 2360.
 - Type SP 12.5 Bituminous Wear Course (SPWEB240C), 2" Thick MnDOT Spec. 2360.
 - 6" Reinforced Concrete Slab, MnDOT Spec. 2301 and 2531.
 - 6" Aggregate Base Class 5, MnDOT Spec. 2211.
 - Gravel driveways matching beyond R/W shall be 6" Class 5.
 - If existing driveway is bituminous, apron shall be constructed per concrete driveway and driveway behind apron shall be bituminous per note A. All bituminous work shall conform to MnDOT Specifications 2112, 2211, 2357 and 2360. Tack coat is to be applied between bituminous courses and between concrete and bituminous surfaces.
 - Driveways in cut sections to slope up from 1" curb lip to R/W at 2% min, 3% max then slope to matchline. Driveways in fill sections to slope up from 1" curb lip to R/W at min of 2% then slope to matchline. See Plan for slope.

DRAWN BY: M.Q.A.	DESIGN BY: O.M.A.
CHECKED BY: M.Q.A.	PROJ. NO. 24-2141
ORIGINAL DATE MAY 3, 2024	
REVISION DESCRIPTION	DATE
REVISED OCS & OVERFLOW DETAILS	5/23/24
REVISED OCS & OVERFLOW DETAILS	10/9/24
REVISED POND OCS AND BERM DETAILS	2/24/25

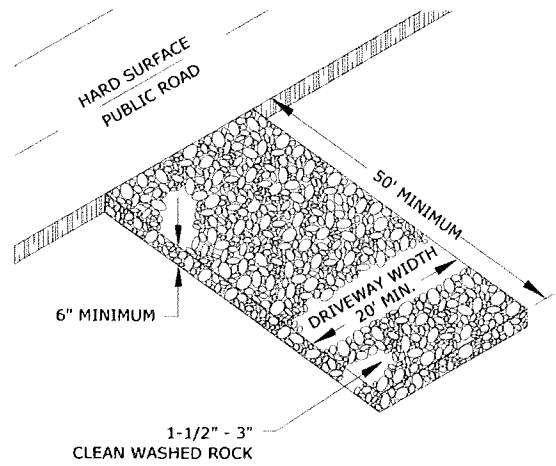
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

OASEM M. ABUGHAZALEH
LIC. NO. 56599
DATE: 03.17.2025

**ALLSTATE DISTRIBUTIONS
COMMERCIAL BUILDING**
HAM LAKE, MINNESOTA

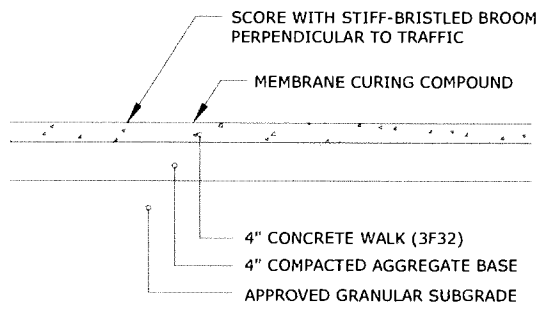
PREPARED FOR:
GLEN HARSTAD

**PLOWE
ENGINEERING, INC.**
6776 LAKE DRIVE
SUITE 110
LINDO LAKES, MN 55014
PHONE (651) 361-6210
FAX (651) 361-8701



ROCK CONSTRUCTION ENTRANCE

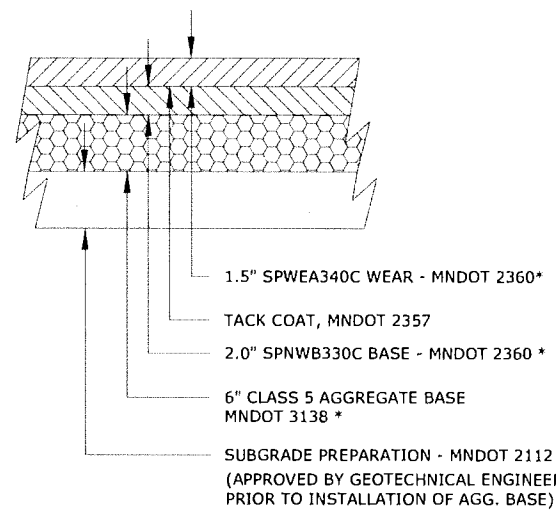
NOT TO SCALE



- NOTES:**
- 1) USE EXPANSION JOINT WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR STRUCTURE.
 - 2) CONTROL JOINTS SHALL BE CUT WITH A JOINTER HAVING A RADIUS OF 1/4" AND SPACED @ 5'-0" O.C. MAX. U.N.O.
 - 3) EXPANSION JOINTS SHALL BE SPACED AT 20'-0" O.C. MAX. AND SHALL CONSIST OF A 1/2" PRE-FORMED JOINT FILLER.
 - 4) ANTI-SPALLING COMPOUND SHALL BE APPLIED TO CONCRETE SURFACES.

TYPICAL CONCRETE SIDEWALK

NOT TO SCALE

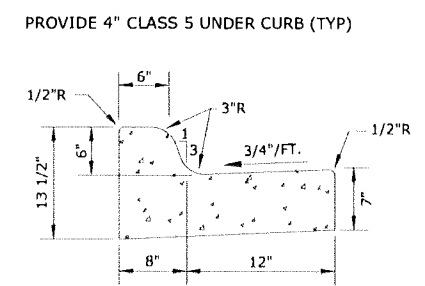


PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S STANDARDS FOR STREET AND UTILITY CONSTRUCTION.

* PAVING SECTION SHALL BE REVIEWED AND APPROVED BY HAUGO GEOTECHNICAL SERVICES OR ANOTHER GEOTECHNICAL ENGINEER PRIOR TO ANY INSTALLATIONS.

BITUMINOUS PAVEMENT

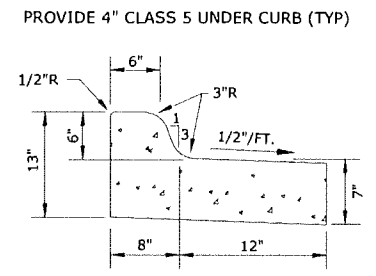
NOT TO SCALE



NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

B612 CONCRETE CURB & GUTTER

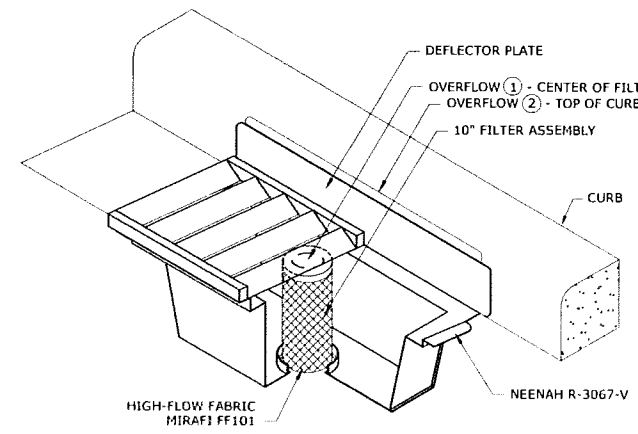
NOT TO SCALE



NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

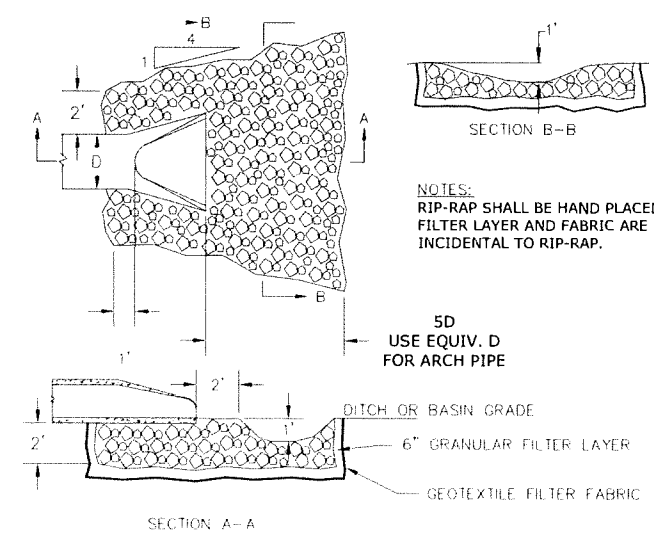
B612 CONCRETE CURB & GUTTER (TIP-OUT)

NOT TO SCALE



WIMCO INLET PROTECTION

NOT TO SCALE



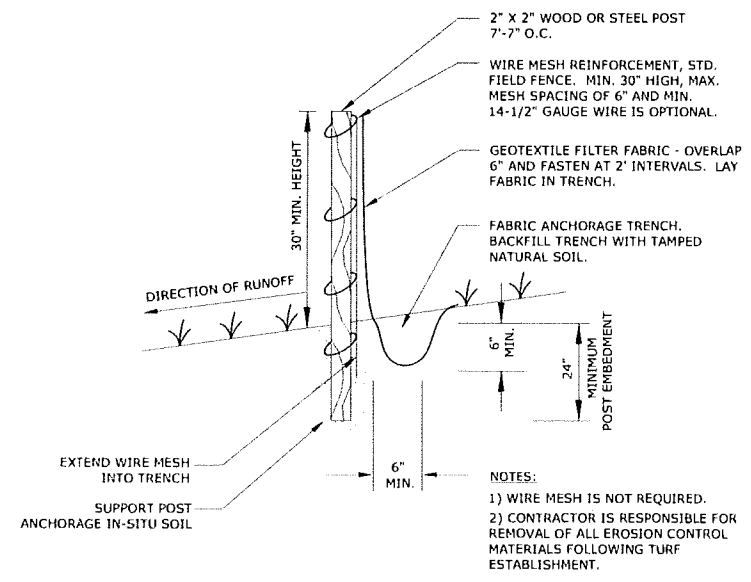
- NOTES:**
- RIP-RAP SHALL BE HAND PLACED.
 - FILTER LAYER AND FABRIC ARE INCIDENTAL TO RIP-RAP.

RIP-RAP QUANTITIES (C.Y.)

PIPE DIA.	RIP-RAP	PIPE DIA.	RIP-RAP	PIPE DIA.	RIP-RAP
12"	4	24"	10	42"	23
15"	5	27"	12	48"	29
18"	6	30"	14	54"	34
21"	8	36"	19	60"	39

RIP-RAP AT OUTLETS

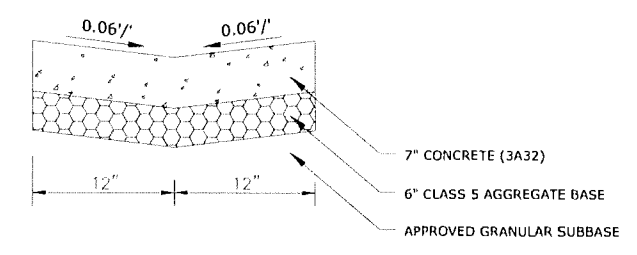
NOT TO SCALE



- NOTES:**
- 1) WIRE MESH IS NOT REQUIRED.
 - 2) CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION CONTROL MATERIALS FOLLOWING TURF ESTABLISHMENT.

SILT FENCE

NOT TO SCALE



CONCRETE GUTTER SWALE

NOT TO SCALE

DRAWN BY:	DESIGN BY:
M.Q.A.	Q.M.A.
CHCKD BY:	PROJ NO.
M.Q.A.	24-2141
ORIGINAL DATE:	
MAY 3, 2024	
REVISION DESCRIPTION	
DATE	REVISED CONCRETE MIX PER CITY COMMENTS
10/9/24	

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DATE: 03.17.2025

LIC. NO. 56299

DASEM M. ABUGHAZLEH

ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING

RAM LAKE, MINNESOTA

DETAILS & NOTES

PREPARED FOR:

GLEN HARSTAD

PLOWE ENGINEERING, INC.

SITE PLANNING & ENGINEERING

6776 LAKE DRIVE SUITE 110 LINDO LAKES, MN 55014

PHONE: (651) 361-6210 FAX: (651) 361-8701

DATE	REVISION DESCRIPTION
5/23/24	REVISED SOIL AMENDMENT AREA
10/9/24	REVISED SOIL AMENDMENT AREA
2/24/25	REVISED SOIL AMENDMENT AREA

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

CASEM M. ABUGHAZLEH
DATE: 03.17.2025 LIC. NO. 562598

**ALLSTATE DISTRIBUTIONS
COMMERCIAL BUILDING**
HAM LAKE, MINNESOTA

SOIL AMENDMENT PLAN

PREPARED FOR:
GLEN HARSTAD

**PLOWE
ENGINEERING, INC.**

SITE PLANNING
& ENGINEERING

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701



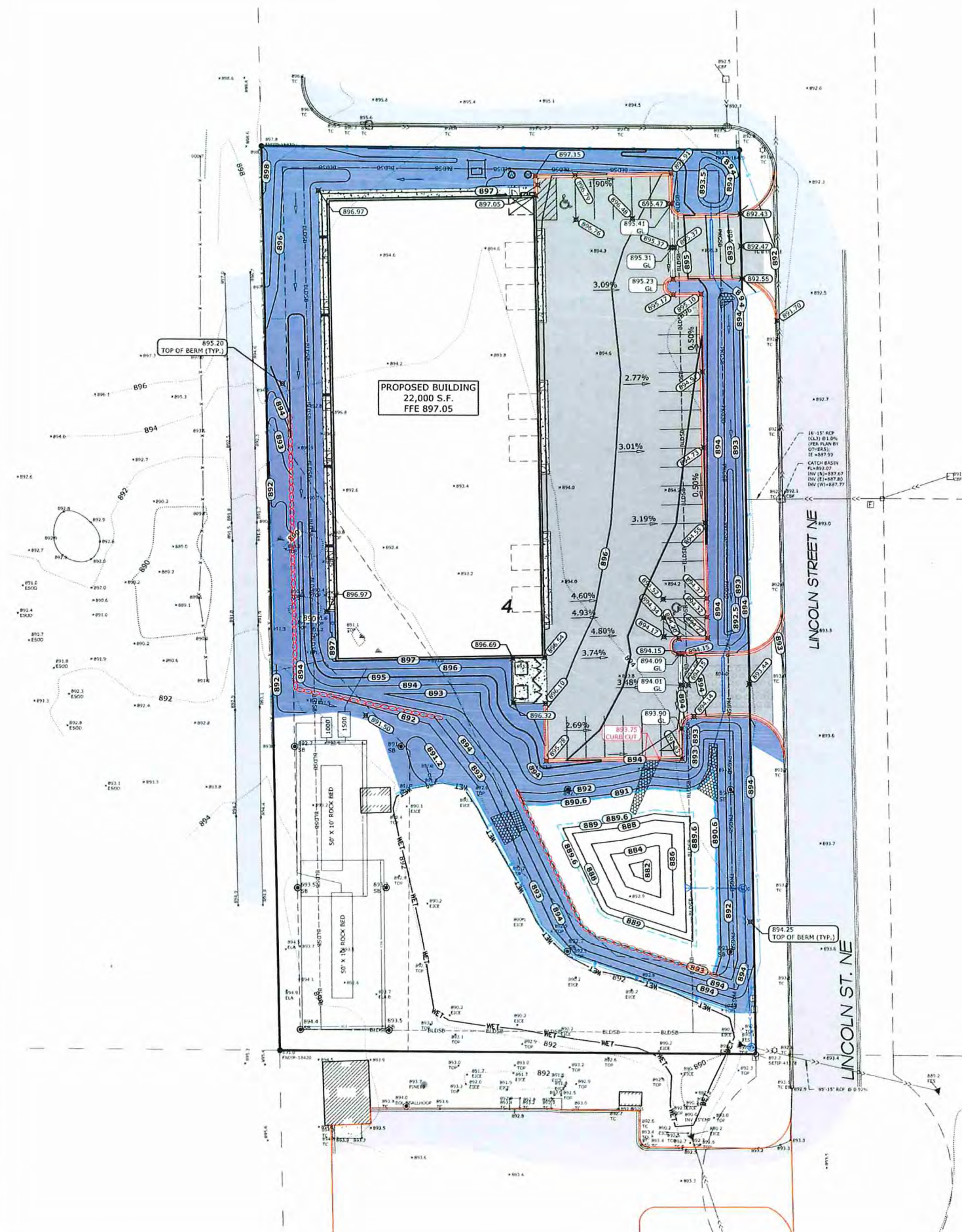
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LEGEND

PROPOSED SOIL AMENDMENT AREAS

SOIL AMENDMENT AREAS (DISTURBED AREAS ONLY)

1. ON-SITE TOPSOIL TO BE STOCKPILED
2. AFTER GRADING, LEAVE AMENDMENT AREAS SUBCUT 8"
3. ALLEVIATE COMPACTED SOILS (PLOW OR TILL) TO A MIN. DEPTH OF 2"
4. APPLY 8" OF STOCKPILED TOPSOIL
5. APPLY 2.5" COMPOST MEETING:
 - 5.1. 8-13% SOIL ORGANIC MATTER
 - 5.2. PH SUITABLE FOR TURF SEEDING
 - 5.3. NOTE: RETAIN RECORDS & RECEIPTS FOR COMPOST DELIVERED TO SITE FOR CCWD INSPECTIONS
6. ROTOTILL COMPOST INTO TOPSOIL TO A MIN. DEPTH OF 8" BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER



Know what's below.
Call before you dig.

ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING

DATE	REVISION DESCRIPTION
5/23/24	REVISED FLOODPLAIN REPLACEMENT AREA
2/24/25	REVISED FLOODPLAIN REPLACEMENT AREA

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DATE: 03.17.2025 LIC. NO. 56299

OASEM M. ABUGHAZLEH

**ALLSTATE DISTRIBUTIONS
 COMMERCIAL BUILDING**
 HAM LAKE, MINNESOTA

FLOODPLAIN EXHIBIT

PREPARED FOR:
 GLEN HARSTAD

**PLOWE
 ENGINEERING, INC.**
 6776 LAKE DRIVE
 SUITE 110
 LINDO LAKES, MN 55014
 PHONE: (651) 361-8210
 FAX: (651) 361-8701



C5

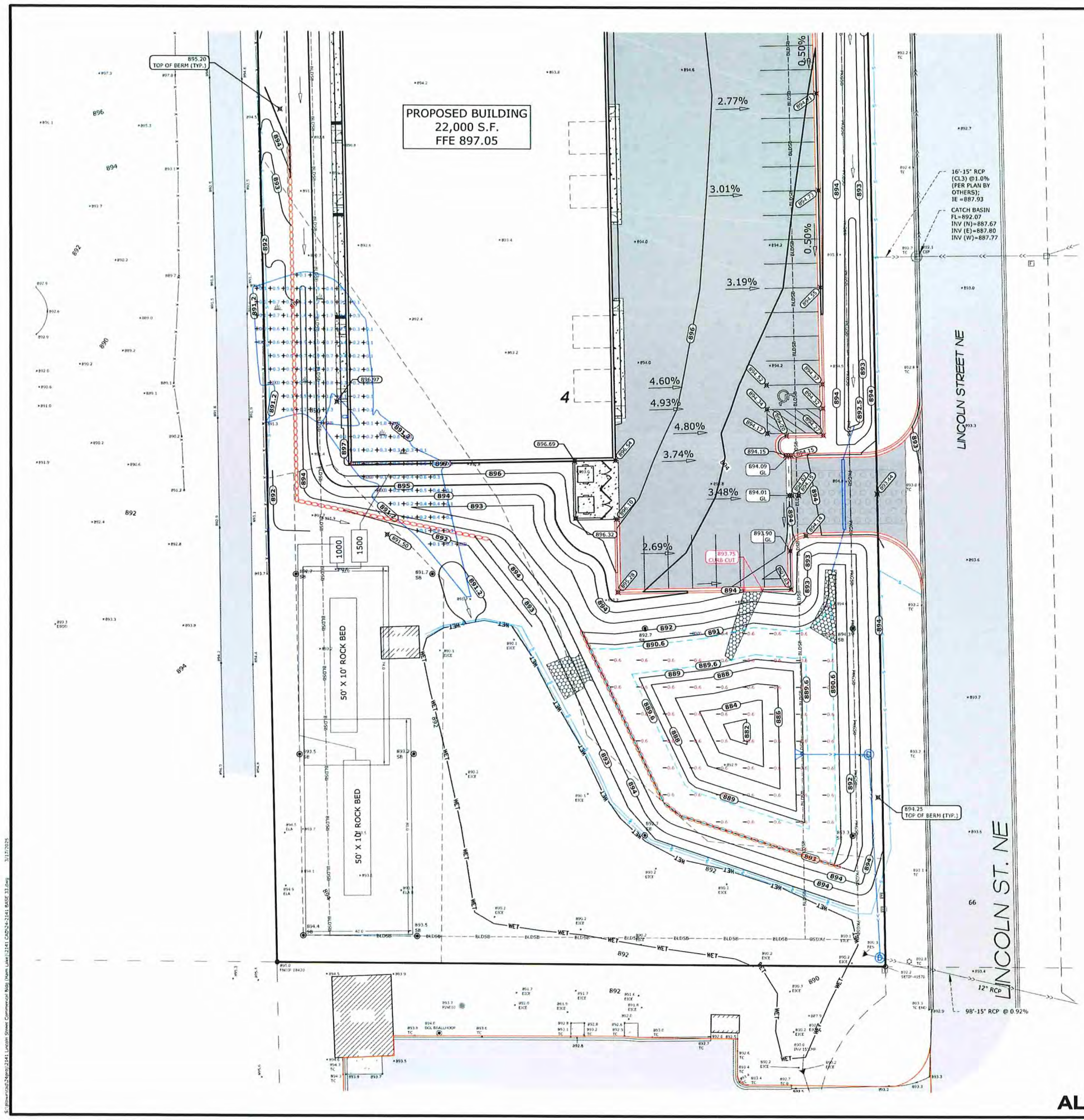
FLOODPLAIN = FROM 890.10 (NWL) TO 891.20 (FLOODPLAIN LEVEL)

FLOODPLAIN FILL = 56.96 C.Y *

FLOODPLAIN REPLACEMENT = 132.51 C.Y. (BETWEEN 890.60 AND 891.20)

TOTAL = 75.55 YD3 (NET CUT)

* FOR CONSERVATIVE PURPOSES, THE FILL DENOTED HERE ALSO INCLUDES THE VOLUME BELOW 890.10 FROM THE BOTTOM OF THE EXISTING THREE WETLANDS (TO BE FILLED IN) UP TO THE 891.20 FLOODPLAIN LEVEL.



Know what's below.
 Call before you dig.

**FLOODPLAIN EXHIBIT
 ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING**

E:\prowe\02\24\2141\Lincoln Street Commercial Bldg (Ham Lake)\2141 CAD\24-2141_BSDP_31.dwg 3/17/2025

PROJECT TITLE
ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING

PROJECT LOCATION
ADDRESS: 13928 LINCOLN ST NE, HAM LAKE, MN 55449

PID: 32-32-23-21-0009

LATITUDE: 45.223
LONGITUDE: -93.240

DEVELOPER
GLEN HARSTAD
14152 TERRACE BLVD
HAM LAKE, MN 55304

GENERAL CONTRACTOR
TBD

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS
PERMANENT STORMWATER MANAGEMENT FEATURES INCLUDE A NURP BASIN THAT WILL PROVIDE WATER QUALITY AND RATE CONTROL.

SITE IMPERVIOUS AREAS

	BEFORE CONSTRUCTION	AFTER CONSTRUCTION
TOTAL SITE AREA (DRAINAGE AREA)	2.63 ACRES	
TOTAL ESTIMATED IMPERVIOUS	0.01 ACRES	1.06 ACRES
TOTAL ESTIMATED FERVIOUS	2.62 ACRES	1.58 ACRES

APPROX 1.05 ACRE INCREASE IN IMPERVIOUS

TOTAL DISTURBED AREA
~2.10 ACRES

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS
SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DENOTING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SITE.

RECEIVING WATERS WITHIN ONE MILE

NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMPAIRED WATER
COON CREEK	CREEK	NO	YES
ON-SITE WETLAND	BASIN	NO	NO
ON-SITE NURP BASIN	BASIN	NO	NO

BUFFER TO SURFACE WATER
 IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO THE SURFACE WATER (RESERVED)?
YES NO N/A

NOTE: NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS.

A) REDUNDANT PERIMETER CONTROL FEATURES ARE PROPOSED.

TEMPORARY SEDIMENTATION BASINS
 IF TEN (10) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS?
YES NO N/A

A) WITH THE ENTIRE SITE ONLY 2.25 ACRES IN SIZE, IT IS NOT ANTICIPATED THAT THAT OVER 5 ACRES WILL BE DISTURBED.

INFILTRATION FEASIBILITY
 ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 16.14 THROUGH 16.21)?
YES NO N/A

A) INFILTRATION IS RESTRICTED DUE TO THE HIGH SEASONAL HIGH WATER TABLE OF 892.00.

ADDITIONAL STORMWATER MITIGATION MEASURES
 ARE THERE ANY STORMWATER MITIGATION MEASURES PER:
YES NO

- ENVIRONMENTAL REVIEW DOCUMENT?
- ENDANGERED SPECIES REVIEW?
- ARCHAEOLOGICAL REVIEW?
- OTHER LOCAL, STATE OR FEDERAL REVIEW?

IF YES TO ANY OF THE ABOVE, DESCRIBE THE MITIGATION MEASURES FOR PURPOSES OF THIS PERMIT. MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. [MINN. R. 7050]

DOCUMENTATION OF TRAINED INDIVIDUALS

A. INDIVIDUAL WHO PREPARED THE SWPPP:
QASEM ABUGHAZLEH
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
LINO LAKES, MN 55914
(651) 361-8233
qasem@plowe.com

B. INDIVIDUAL(S) OVERSEEING IMPLEMENTATION OF REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. [MINN. R. 7050]

C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7050]

CONTACT NAME: _____
CONTACT PHONE: _____
CONTACT E-MAIL: _____

TBD - WHEN INFORMATION BECOMES AVAILABLE, CONTRACTOR TO PROVIDE INFORMATION TO CITY AND WATERSHED.

LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER FACILITIES
THE PROPOSED STORMWATER MANAGEMENT FEATURE FOR THIS SITE IS A NURP BASIN. THIS WILL BE OPERATED AND MAINTAINED BY THE LANDOWNER.

REVEGETATION SPECIFICATIONS

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED**	3876
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
TEMPORARY SPRING/SUMMER COVER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
HYDROMULCH	3884
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

** MOW A MINIMUM OF:
RESIDENTIAL TURF - ONCE PER 2 WEEKS
COMMERCIAL TURF - ONCE PER 4 WEEKS

** SEED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

QUANTITIES - ESTIMATED QUANTITIES FOR EROSION AND SEDIMENT CONTROL MEASURES

TYPE	UNIT
SILT FENCE (TOTAL)	1,050 LINEAR FEET
REDUND. SED. CONTROL (EG. BIO-ROLLS, SILT FENCE)	208 LINEAR FEET
RIP-RAP W/ GEO-FABRIC	19+ CUBIC YARDS
CATCH BASIN INLET PROTECTION	3 EACH
POND RIPRAP OVERFLOW	2 EACH
EROSION CONTROL BLANKET	SQUARE YARDS
SEED & MULCH (GENERAL)	0.69 ACRE
ROCK CONSTRUCTION ENTRANCE	1 EACH

NARRATIVE - TIMING FOR INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES
ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES PHASE II PERMIT REQUIREMENTS.

PHASE I:

- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND SWPPP MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES
- INSTALL STABILIZED CONSTRUCTION ENTRANCE
- PROVIDE TEMPORARY PARKING AND STORAGE AREA
- INSTALL SILT FENCE AS SHOWN ON PLAN
- ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE
- THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION
- SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED
- CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIO-ROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING
- CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 6.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
- CONTRACTOR TO PROVIDE TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN SECTION 14.1 THROUGH 14.10
- PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES IN PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES
- STABILIZE SOIL STOCKPILES. STABILIZATION SHALL BE INITIATED IMMEDIATELY.
- FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS
- CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY

PHASE II:

- PROVIDE TEMPORARY SEED FOR DISTURBED AREAS
- INSTALL RIP-RAP AT FLARED-END SECTIONS
- INSTALL TEMPORARY INLET PROTECTION FOR ALL STORM SEWER INLET STRUCTURES IN PAVING AREAS. INSTALL UTILITIES INCLUDING SANITARY SEWER, WATER MAIN, STORM SEWER
- INSTALL CURB AND GUTTER
- PREPARE SITE FOR PAVING
- PAVE SITE
- COORDINATE SMALL UTILITIES INSTALLATIONS (GAS, PHONE, ELECTRIC, CABLE, FIBEROPTIC, ETC.) AFTER PAVEMENT INSTALLATION
- INSTALL INLET PROTECTION DEVICES
- COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND/OR SOD
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONLY AFTER SITE HAS BEEN STABILIZED

NPDES DEFINITIONS

"BEST MANAGEMENT PRACTICES (BMPS)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF EROSION PREVENTION AND SEDIMENT CONTROL, AND WATER QUALITY MANAGEMENT PRACTICES THAT ARE THE MOST EFFECTIVE AND PRACTICABLE MEANS OF CONTROL, PREVENT, AND MINIMIZE DEGRADATION OF SURFACE WATER, INCLUDING AVOIDANCE OF IMPACTS. CONSTRUCTION PHASING, MINIMIZING THE LENGTH OF TIME SOIL AREAS ARE EXPOSED, PROHIBITIONS, POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING, AND OTHER MANAGEMENT PRACTICES PUBLISHED BY STATE OR DESIGNATED AREA-WIDE PLANNING AGENCIES. [MINN. R. 7050]

"CONSTRUCTION ACTIVITY" MEANS ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATING, THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE ACRE, INCLUDING THE DISTURBANCE OF LESS THAN ONE ACRE OF TOTAL LAND AREA THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE IF THE LARGER COMMON PLAN WILL ULTIMATELY DISTURB EQUAL TO OR GREATER THAN ONE ACRE. THIS INCLUDES A DISTURBANCE TO THE LAND THAT RESULTS IN A CHANGE IN THE TOPOGRAPHY, EXISTING SOIL COVER, BOTH VEGETATIVE AND NONVEGETATIVE, OR THE EXISTING SOIL TOPOGRAPHY THAT MAY RESULT IN ACCELERATED STORMWATER RUNOFF THAT MAY LEAD TO SOIL EROSION AND MOVEMENT OF SEDIMENT. CONSTRUCTION ACTIVITY DOES NOT INCLUDE A DISTURBANCE TO THE LAND OF LESS THAN FIVE ACRES FOR THE PURPOSE OF ROUTINE MAINTENANCE PERFORMED TO MAINTAIN THE ORIGINAL LINE AND GRADE, HYDRAULIC CAPACITY, AND ORIGINAL PURPOSE OF THE FACILITY. ROUTINE MAINTENANCE DOES NOT INCLUDE ACTIVITIES SUCH AS REPAIRS, REPLACEMENT AND OTHER TYPES OF NON-ROUTINE MAINTENANCE. PAVEMENT REHABILITATION THAT DOES NOT DISTURB THE UNDERLYING SOILS (E.G. MILL AND OVERLAY PROJECTS) IS NOT CONSTRUCTION ACTIVITY. [MINN. R. 7050]

"DEWATERING" MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY AND/OR SOLIDIFY A CONSTRUCTION SITE TO ENABLE CONSTRUCTION ACTIVITY. DEWATERING MAY REQUIRE A MINNESOTA DEPARTMENT OF NATURAL RESOURCES WATER APPROPRIATION PERMIT AND, IF DEWATERING WATER IS CONTAMINATED, DISCHARGE OF SUCH WATER MAY REQUIRE AN INDIVIDUAL MPCA NPDES/SDS PERMIT. [MINN. R. 7050]

"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING. [MINN. R. 7050]

"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS, WHERE THE CONSTRUCTION PROJECT INVOLVES MORE THAN ONE CONTRACTOR, THE GENERAL CONTRACTOR IS THE PARTY RESPONSIBLE FOR MANAGING THE ENTIRE PROJECT ON BEHALF OF THE OWNER. IN SOME CASES, THE OWNER IS THE GENERAL CONTRACTOR. IN THESE CASES, THE OWNER SIGNS THE PERMIT APPLICATION AS THE OPERATOR AND BECOMES THE SOLE PERMITTEE. [MINN. R. 7050]

"GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER UNDER CONFINED, UNCONFINED, OR PERCHED CONDITIONS, IN NEAR SURFACE UNCONSOLIDATED SEDIMENT OR REGOLITH, OR IN ROCK FORMATIONS DEEPER UNDERGROUND. [MINN. R. 7050]

"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE. [MINN. R. 7050]

"INFEASIBLE" MEANS NOT TECHNOLOGICALLY POSSIBLE OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. [MINN. R. 7050]

"INITIATED IMMEDIATELY" MEANS TAKING AN ACTION TO COMMENCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHEN THE LAND-DISTURBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE. IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PORTION OF THE SITE WILL BE TEMPORARILY CEASED FOR 14 OR MORE ADDITIONAL CALENDAR DAYS OR 7 CALENDAR DAYS WHERE ITEM 23 APPLIES, PERMITTEES CAN INITIATE STABILIZATION BY:
A. PREPPING THE SOIL FOR VEGETATIVE OR NON-VEGETATIVE STABILIZATION; OR
B. APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT TO THE EXPOSED SOIL AREA; OR
C. SEEDING OR PLANTING THE EXPOSED AREA; OR
D. STARTING ANY OF THE ACTIVITIES IN A - C ON A PORTION OF THE AREA TO BE STABILIZED, BUT NOT ON THE ENTIRE AREA; OR
E. FINALIZING ARRANGEMENTS TO HAVE STABILIZATION PRODUCT FULLY INSTALLED IN COMPLIANCE WITH THE APPLICABLE DEADLINE FOR COMPLETING STABILIZATION. [MINN. R. 7050]

"IMPERVIOUS SURFACE" MEANS A CONSTRUCTED HARD SURFACE THAT EITHER PREVENTS OR RETARDS THE ENTRY OF WATER INTO THE SOIL, AND CAUSES WATER TO RUN OFF THE SURFACE IN GREATER QUANTITIES AND AT AN INCREASED RATE OF FLOW THAN PRIOR TO DEVELOPMENT. EXAMPLES INCLUDE ROOFTOPS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, AND CONCRETE, ASPHALT, OR GRAVEL ROADS. BRIDGES OVER SURFACE WATERS ARE CONSIDERED IMPERVIOUS SURFACES. [MINN. R. 7050]

"NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, MONITORING, ENFORCING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT, AS AMENDED (33 U.S.C. 1251 ET SEQ. SECTION 1342 AND 40 CFR PARTS 122, 123, 124 AND 450). [MINN. R. 7050]

"NATURAL BUFFER" MEANS AN AREA OF UNDISTURBED COVER SURROUNDING SURFACE WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED. NATURAL BUFFER INCLUDES THE VEGETATION, EXPOSED ROCK, OR BARREN GROUND THAT EXISTS PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES. [MINN. R. 7050]

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT. [MINN. R. 7050]

"OPERATOR" MEANS THE PERSON (USUALLY THE GENERAL CONTRACTOR), FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY DESIGNATED BY THE OWNER WHO HAS DAY TO DAY OPERATIONAL CONTROL AND/OR THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SWPPP. THE PERMIT APPLICATION MUST LIST THE OPERATOR AS A PERMITTEE. SUBCONTRACTORS HIRED BY AND UNDER SUPERVISION OF THE GENERAL CONTRACTOR ARE NOT OPERATORS. [MINN. R. 7050]

"OWNER" MEANS THE PERSON, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY POSSESSING THE TITLE OF THE LAND ON WHICH THE CONSTRUCTION ACTIVITIES WILL OCCUR OR, IF THE CONSTRUCTION ACTIVITY IS FOR A LEASE, EASEMENT, OR MINERAL RIGHTS LICENSE HOLDER, THE PARTY OR INDIVIDUAL IDENTIFIED AS THE LEASE, EASEMENT OR MINERAL RIGHTS LICENSE HOLDER, OR THE CONTRACTING GOVERNMENT AGENCY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY. [MINN. R. 7050]

"PERMANENT COVER" MEANS SURFACE TYPES THAT WILL PREVENT SOIL FAILURE UNDER EROSION CONDITIONS. EXAMPLES INCLUDE GRAVEL, CONCRETE, PERENNIAL COVER, OR OTHER LANDSCAPED MATERIAL THAT WILL PERMANENTLY ARREST SOIL EROSION. PERMITTEES MUST ESTABLISH A UNIFORM PERENNIAL VEGETATIVE COVER (I.E., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) WITH A DENSITY OF 70 PERCENT OF THE NATIVE BACKGROUND VEGETATIVE COVER ON ALL AREAS NOT COVERED BY PERMANENT STRUCTURES, OR EQUIVALENT PERMANENT STABILIZATION MEASURES. PERMANENT COVER DOES NOT INCLUDE TEMPORARY BMPS SUCH AS WOOD FIBER BLANKET, MULCH, AND ROLLED EROSION CONTROL PRODUCTS. [MINN. R. 7050]

"PERMITTEES" MEANS THE PERSONS, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY IDENTIFIED AS THE OWNER AND OPERATOR ON THE APPLICATION SUBMITTED TO THE MPCA AND ARE RESPONSIBLE FOR COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. [MINN. R. 7050]

"PROJECT(S)" MEANS ALL CONSTRUCTION ACTIVITY PLANNED AND/OR CONDUCTED UNDER A PARTICULAR PERMIT. THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PERMIT APPLICATION, THE SWPPP AND IN THE ASSOCIATED PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS. [MINN. R. 7050]

"PUBLIC WATERS" MEANS ALL WATER BASINS AND WATERCOURSES DESCRIBED IN MINN. STAT. SECT. 103G.005 SUBP. 15 [MINN. R. 7050]

"SEDIMENT CONTROL" MEANS METHODS EMPLOYED TO PREVENT SUSPENDED SEDIMENT IN STORMWATER FROM LEAVING THE SITE (E.G. SILT FENCES, COMPOST LOGS AND STRAW DRAIN INLET PROTECTION). [MINN. R. 7050]

"STABILIZE"/"STABILIZED"/"STABILIZATION" MEANS THE EXPOSED GROUND SURFACE HAS BEEN COVERED BY APPROPRIATE MATERIALS SUCH AS MULCH, STAKED SOD, RIPRAP, EROSION CONTROL BLANKET, MATS OR OTHER MATERIAL THAT PREVENTS EROSION FROM OCCURRING. GRASS SEEDING, AGRICULTURAL CROP SEEDING OR OTHER SEEDING ALONE IS NOT STABILIZATION. MULCH MATERIALS MUST ACHIEVE APPROXIMATELY 90 PERCENT GROUND COVERAGE (TYPICALLY 2 TON/ACRE). [MINN. R. 7050]

"STORMWATER" MEANS PRECIPITATION RUNOFF, STORMWATER RUNOFF, SNOWMELT RUNOFF, AND ANY OTHER SURFACE RUNOFF AND DRAINAGE. [MINN. R. 7050]

"STEEP SLOPES" MEANS SLOPES THAT ARE 1:3 (V:H) (33.3 PERCENT) OR STEEPER IN GRADE. [MINN. R. 7050]

"STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" MEANS A PLAN FOR STORMWATER DISCHARGE THAT INCLUDES ALL REQUIRED CONTENT UNDER IN SECTION 5 THAT DESCRIBES THE EROSION PREVENTION, SEDIMENT CONTROL, AND WASTE CONTROL BMPs AND PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7050]

"SURFACE WATER OR WATERS" MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WETLANDS, RESERVOIRS, SPRINGS, RIVERS, DRAINAGE SYSTEMS, WATERWAYS, WATERCOURSES, AND IRRIGATION SYSTEMS WHETHER NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE. EXCEPT THAT SURFACE WATERS DO NOT INCLUDE STORMWATER TREATMENT SYSTEMS CONSTRUCTED FROM UP-PLAN. THIS PERMIT DOES NOT CONSIDER STORMWATER TREATMENT SYSTEMS CONSTRUCTED IN WETLANDS AND MITIGATED IN ACCORDANCE WITH SECTION 22 AS SURFACE WATERS. [MINN. R. 7050]

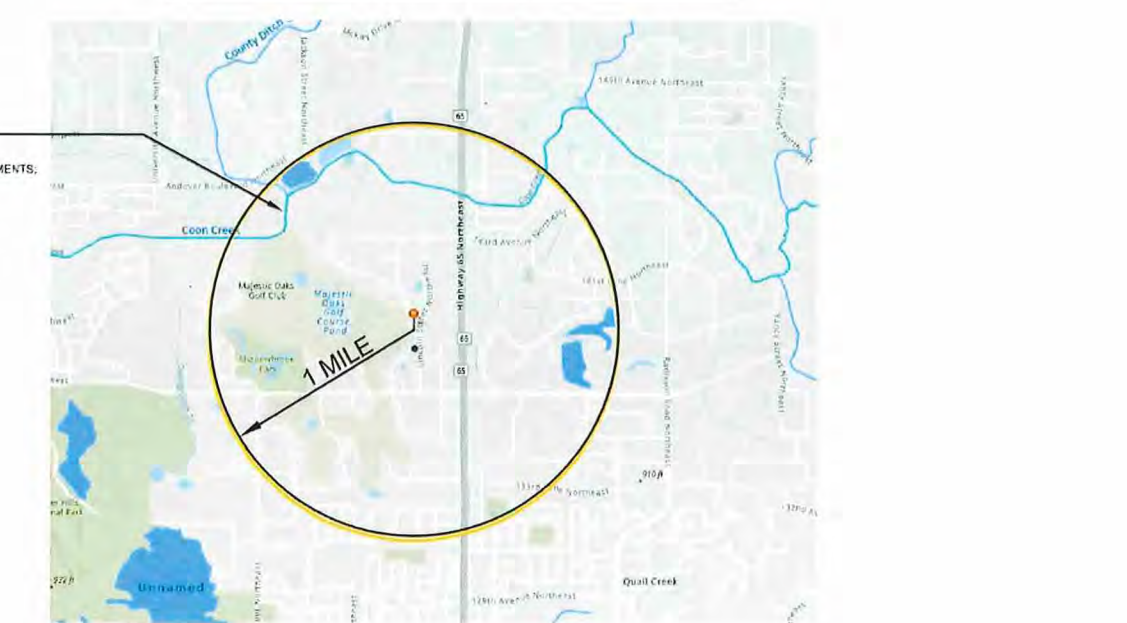
"WATERS OF THE STATE" (AS DEFINED IN MINN. STAT. SECT. 115.01, SUBP. 22) MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WATERWAYS, WELLS, SPRINGS, RESERVOIRS, AQUIFERS, IRRIGATION SYSTEMS, DRAINAGE SYSTEMS AND ALL OTHER BODIES OR ACCUMULATIONS OF WATER, SURFACE OR UNDERGROUND, NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, WHICH ARE CONTAINED WITHIN, FLOW THROUGH, OR BORDER UPON THE STATE OR ANY PORTION THEREOF. [MINN. STAT. 115.01, SUBP. 22]

"WATER QUALITY VOLUME" MEANS ONE (1) INCH OF RUNOFF FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT (CALCULATED AS AN INSTANTANEOUS VOLUME). [MINN. R. 7050]

"WETLANDS" (AS DEFINED IN MINN. R. 7050.0166, SUBP. 1A-B.) MEANS THOSE AREAS THAT ARE INUNDED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT, AND UNDER NORMAL CIRCUMSTANCES DO SUPPORT, A PREVALENCE OF VEGETATION TYPICALLY ADAPTED FOR LIFE IN SATURATED SOIL CONDITIONS. WETLANDS GENERALLY INCLUDE SWAMPS, MARSHES, BOGS, AND SIMILAR AREAS, CONSTRUCTED WETLANDS DESIGNED FOR WASTEWATER TREATMENT ARE NOT WATERS OF THE STATE. WETLANDS MUST HAVE THE FOLLOWING ATTRIBUTES:

- A PREDOMINANCE OF HYDRIC SOILS; AND
- INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT A PREVALENCE OF HYDROPHYTIC VEGETATION TYPICALLY ADAPTED FOR LIFE IN A SATURATED SOIL CONDITION; AND
- UNDER NORMAL CIRCUMSTANCES SUPPORT A PREVALENCE OF SUCH VEGETATION [MINN. R. 7050.0166, SUBP. 1A-B.]

MAP OF SURFACE WATERS



STORM WATER POLLUTION PREVENTION PLAN ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING

DRAWN BY: MQA DESIGN BY: QMA
CHECKED BY: MQA PROJ. NO. 24-2141
ORIGINAL DATE: MAY 3, 2024

DATE	REVISION DESCRIPTION	UPDATE QUANTITIES
10/9/24		

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QASEM M. ABUGHAZLEH
LIC. NO. 562599
DATE: 03/17/2025

PREPARED FOR:
GLEN HARSTAD

ALLSTATE DISTRIBUTIONS
COMMERCIAL BUILDING
HAM LAKE, MINNESOTA

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55914
PHONE: (651) 361-8210
FAX: (651) 361-8701

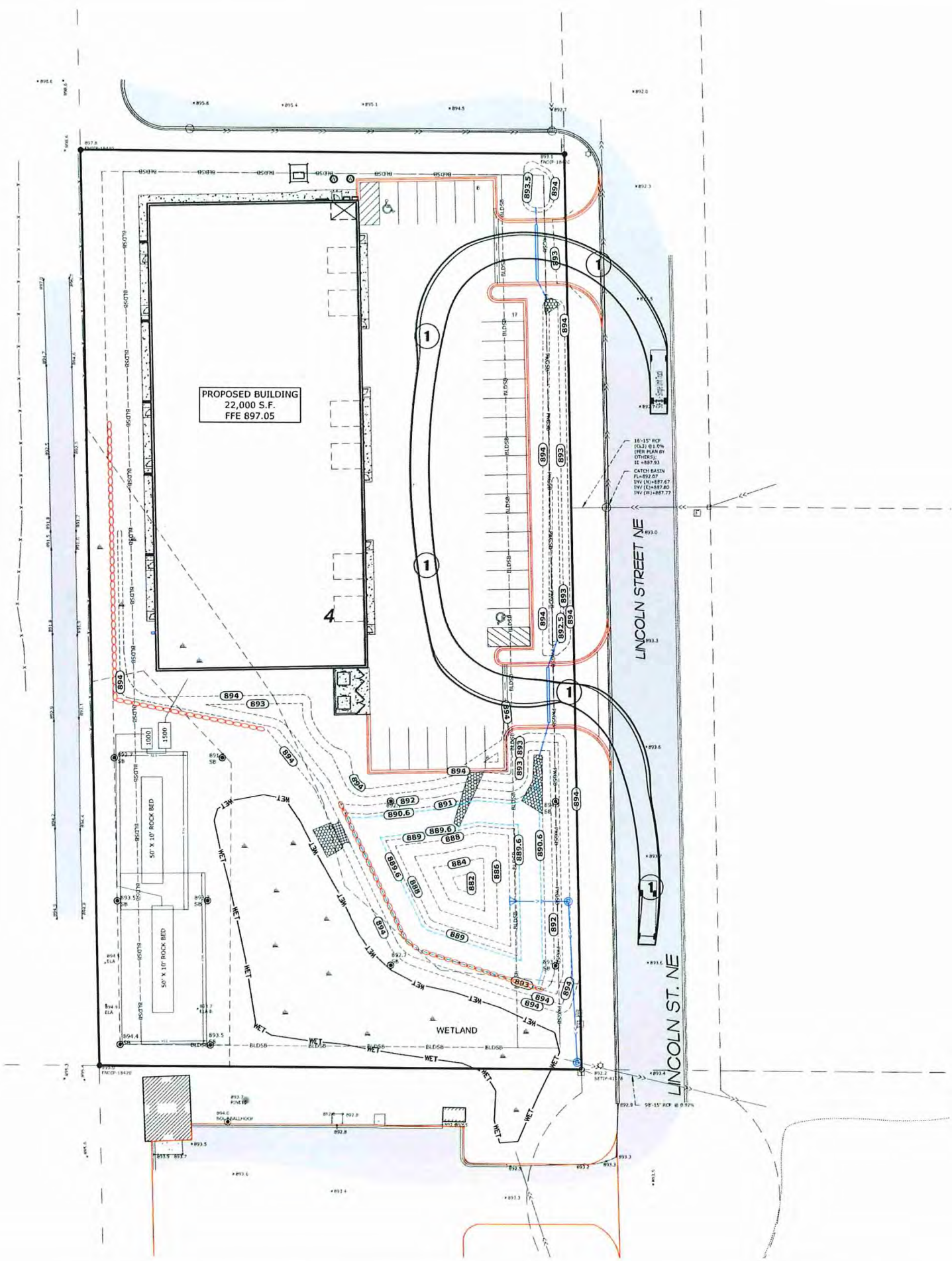
STORM WATER POLLUTION PREVENTION PLAN

STORM WATER POLLUTION PREVENTION PLAN

C6.2

3/17/2025 S:\prowe\proj\2024\3141 Allstate Commercial Bldg (Ham Lake)\3141 CO2-24-2141 SWPP 31.dwg

S:\pwwork\241141\Lincoln Street Commercial Bldg (Name, LAM) 241141 CAD\24-2141 BASE 31.dwg 3/17/2025



DRAWN BY:	DESIGN BY:
M.O.A.	Q.M.A.
CHCKD BY:	PROJ. NO.
M.O.A.	24-2141
ORIGINAL DATE:	
MAY 3, 2024	
DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QASEM M. ABUGHAZLEH
 DATE: 03.17.2025 LIC. NO. 562599

**ALLSTATE DISTRIBUTIONS
 COMMERCIAL BUILDING**
 HAN LAKE, MINNESOTA

TURNING EXHIBIT

PREPARED FOR:
GLEN HARSTAD

**PLOWE
 ENGINEERING, INC.**

6776 LAKE DRIVE
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 LINDO LAKES, MN 55014
 PHONE: (651) 361-8210
 FAX: (651) 361-8701



**TURNING EXHIBIT
 ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING**

C7

ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING

COMMERCIAL PLAN REVIEW FOR CODE COMPLIANCE

GENERAL INFORMATION

A. PROJECT NAME: Allstate Distributions Commercial Building
 B. PROJECT LOCATION: Lot 4, Block 2, Majestic Oaks Commercial Center
Ham Lake, Minnesota
 C. ZONING AND LAND USE: PUD with CD2 Underlying use
 D. LOT SIZE: 2.26 Acres 98,338 s.f.

APPLICABLE CODES:

A. HAM LAKE ZONING ORDINANCE Current Edition
 B. MINNESOTA STATE BUILDING CODE (MSBC)
 C. CHAPTER 1305 - INTL. BUILDING CODE 2020 Edition
 D. CHAPTER 1311 - INTL. EXISTING BUILDING CODE 2020 Edition
 E. CHAPTER 1315 - NATIONAL ELECTRIC CODE 2023 Edition
 F. CHAPTER 1322/23 - INTL. ENERGY CONSERVATION CODE 2024 Edition
 G. CHAPTER 1341 - MN. ACCESSIBILITY CODE 2020 Edition
 H. CHAPTER 1346 - INTL. MECHANICAL CODE 2020 Edition
 I. CHAPTER 4714 - MN PLUMBING CODE 2020 Edition

PROPOSED BUILDING CLASSIFICATION

A. OCCUPANCY GROUPS/ TYPE OF CONST (IBC Chpt 3 & IBC Chpt 6)
 1. Potential Occupancy Groups
 - Group B, S-1, S-2
 - Type of Construction - II-B
 - Area - 22,000 s.f.
 - Proposed Height - 25'-0", 1 Story
 2. Mixed Occupancy (IBC 508)
 Occupancy Groups Intended To Be Non-Separated
 3. Incidental Uses (IBC 509)
 - None
 B. FIRE-RESISTANCE-RATED CONSTRUCTION
 1. Building Elements (IBC Tables 601 & 602)

Element	Rating
Structural Frame	0 Hours
Exterior Bearing Walls	0 Hours
Interior Bearing Walls	0 Hours
Exterior Non-Bearing Walls	0 Hours
Interior Non-Bearing Walls	0 Hours
Floor Construction	0 Hours
Roof Construction	0 Hours

2. Exterior Wall Openings (IBC Table 705.8)
 - Separation Distance (North Wall) 20-25 Feet

Classification	Area of Opening
Unprotected	No Limit
Protected	No Limit

3. Fire Walls (IBC 706)
 - Not Required -
 4. Fire Barriers (IBC 707)
 - Not Required -

5. Fire Partitions (IBC 708)
 - Not Required -

C. ROOF AND INTERIOR FINISH REQUIREMENTS

1. Minimum Wall and Ceiling Finish Requirement (IBC Table 803.13)

Building Component	Finish Class
Vertical Exits/ Exit Passageways	Class B - Group B Class C - Group S
Exit Access Corridors/ Other Exit Ways	Class C
Rooms and Enclosed Spaces	Class C

2. Minimum Roof Covering Classification (IBC Table 1505.1) = Class C
 - (Contractor To Provide Class A Roof Assembly)

AUTOMATIC SPRINKLER REQUIREMENTS

A. AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM IS PROVIDED THROUGHOUT THE BUILDING (IBC 903.3.1.1)
 1. Required Location(s) (IBC 903.2)
 - Throughout The Building Where The Fire Area Containing Group S-1 Exceeds 12,000 s.f., Or Exceeds 3 Stories, Or The Combined Fire Areas Of Group S-1 Exceeds 24,000 s.f.

PROPOSED ALLOWABLE HEIGHT, ALLOWABLE AREA

A. ALLOWABLE HEIGHT (IBC Table 504.3/504.4)
 (Non-Separated Use - Group S-1 Is The Most Restrictive Occupancy Group)
 1. Group S-1, Type II-B
 - Sprinklered 75'-0", 3 Stories
 2. Height Check
 - 1-Story < 3 Stories
 - 25'-0" < 75'-0"

B. ALLOWABLE AREA (IBC Table 506.2)
 (Non-Separated Use - Group S-1 Is The Most Restrictive Occupancy Group)
 1. Group S-1, Type II-B
 - Tabular Area = 70,000 s.f.
 - Frontage Increase (IBC 506.3)

$$17,500 \left(\frac{640 \text{ Feet}}{640 \text{ Feet}} - .25 \right) \times \frac{(22')}{30} = 9,625 \text{ s.f.}$$

Per Floor = 79,625 s.f.

2. Area Check
 - Whole Building Area Check
 $22,000 / 79,625 = 27.6\% < 100\%$

MEANS OF EGRESS

A. DESIGN OCCUPANT LOAD (IBC Chpt 1004)
 1. Total Occupants = To Be Determined
 B. EXIT/EXIT ACCESS
 1. Number Required (IBC Table 1006.2.1, 1006.3.2) = 2
 2. Number of Accessible Required (IBC 1009) = 2
 3. Arrangement (IBC 1007)
 - Not Less Than 1/2 Overall Diagonal (Non-Sprinklered Building)
 4. Travel Distance Maximums
 - Exit Access (IBC 1017) = 250'/300'
 - Common Path of Egress (IBC 1006.2.1) = 100'
 - Dead Ends (IBC 1020.4) = 50'
 5. Sizing (The Greater of Two Conflicting Widths Shall Be Used)
 - Design Egress Sizing (IBC 1005.3) = N/A
 Stairways (Occ Load x .3) = TBD
 Other Components (Occ Load x .2) = TBD
 - Stairways (IBC 1011.2) = 44"
 - Corridors (IBC 1020.2) = 44"
 - Exit Passageways (IBC 1024.2) = 44"
 - Exit Doors (IBC 1010.1.1) = 32" Min Clear
 48" Max Nom
 6. Doors
 - Swing (IBC 1010.1.2.1)
 - Side Hinged Swinging Out At Occupant Load Of 50 Or More
 - Landings (IBC 1010.1.5)
 Width Not Less Than Width of Door Or Stairway
 Length in Direction of Travel Not Less Than 44"
 - Thresholds (IBC 1010.1.7)
 Max Height = 1/2" - 1:2 Beveled Edge If 1/4"-1/2"
 - Door Arrangement (IBC 1010.1.8) 48" + Door Width Apart
 - Lock or Latch (IBC 1010.1.9)
 Operable From Egress Side Without Use of Knowledge or Keys
 Manually Operated Flush Bolts Permitted on Inactive Leaf.
 - Panic/Fire Exit Hardware (IBC 1010.1.10)
 Not Required At Exit/Exit Access Doors

PLUMBING FIXTURES

A. NUMBER FIXTURES REQUIRED (IBC 2902.1)
 1. To Be Determined With Tenant Build-out

OTHER

A. ACCESSIBILITY
 1. Building is Accessible
 B. GUARDS (IBC 1015)
 1. 42" High Minimum Guards Shall Be Installed Where A Change In Levels Drops 30" Or More.
 C. ROOF ACCESS (IBC 306.5)
 1. 60" Ships Ladder To B s.f. Roof Hatch (Min Dim 1'-8") Provided
 - Provide 42" Guard If Opening Is Within 10' Of Roof Edge.
 D. CONCEALED SPACES
 1. Floors (IBC 718.3)
 - Draftstops Not Required in Sprinklered Building
 2. Attics (IBC 718.4)
 - Draftstops Not Required in Sprinklered Building
 E. VENTILATION
 1. Attics (IBC 1202.2)
 - Not Required
 2. Under-Floors (IBC 1202.4)
 - Not Required
 F. ATTIC ACCESS (IBC 1208.2)
 - Not Required
 G. SAFETY GLAZING (IBC 2406)
 1. Safety Glazing Shall Be Installed In Hazardous Locations As Specified In IBC 2406.4
 H. RECYCLING SPACE (MSBC 1303.1500)
 1. .001 x 22,000 s.f. = 22 s.f. Required
 J. FIRE ALARM AND DETECTION SYSTEMS
 1. Fire Alarm And Detection System Not Required (IBC 907.2)
 2. If Required Provide Audible And Visible Alarm Notification Devices (IBC 907.5, NFPA 72)
 K. PARKING AND MANEUVERING (Ham Lake Zoning Ordinance)
 1. Parking Stall Calculation

OFFICE (20%) 6 Units of 733 s.f. 733 s.f. At 1/250	3 Stalls
WAREHOUSE (80%) 6 Units of 2,934 2,934 s.f. At 1/2,000 s.f.	2 Stalls
Total Stalls Required (Office+Warehouse)	30 Stalls
Total Stalls Provided	30 Stalls
Accessible Requirement Per 30 Stalls (IBC Table 1106.1)	2 Stalls

2. Stall Size
 - 9'-0" x 21'-0"
 3. Aisle Size
 - 24'-0"
 4. Striping
 - 4" White Stripes
 5. Pavement Design
 - All Drive Aisles And Truck Maneuvering Areas
 2" Bituminous Wear Course
 2" Bituminous Binder Course
 B" Compacted Class 5 Base
 - All Parking Areas
 1 1/2" Bituminous Wear Course
 1 1/2" Bituminous Binder Course
 6" Compacted Class 5 Base
 - Verify With Existing Soil Conditions And Adjust Accordingly

ENVELOPE COMPLIANCE

ANSI/ASHRAE STANDARD 90.1-2019

Note: Compliance Is For Building Envelope Only. The Design-Build HVAC and Electrical Designers Must Submit Documentation Proving Compliance With HVAC, Lighting, And Water Heating

GENERAL

A. Space Conditioning Category (5.1.2)
 1. Nonresidential Conditioned Space
 B. Climate (5.1.4)
 1. Zone 6 - Southern Minnesota

COMPLIANCE PATH

A. Prescriptive Building Envelope Option (5.2)
MANDATORY PROVISIONS
 A. Components Of The Building Envelope Shall Comply With Section 5.4
 1. Insulation (5.4.1) Shall Comply With Section 5.8.1
 2. Fenestration/Door Performance (5.4.2) Shall Comply With Section 5.8.2
 3. Air Leakage (5.4.3)
 The Building Envelope Shall Contain An Air Barrier And Be Sealed At The Following Areas:
 - Joints Around Fenestration And Door Frames
 - Junctions Between Walls and Floors, Walls At Building Corners, Walls and Roofs or Ceilings
 - Penetrations Of Utility Services At Walls, Floors, and Roofs
 - Building Assemblies Used As Ducts Or Plenums
 - Joints, Seams, Conn. Between Planes Or Changes In Air Barrier Materials
 Fenestration and Doors - According To 5.4.2
 Loading Dock Weatherstrips - Required According To 5.4.3.2
 Vestibules - Required at Building Entrances According To 5.4.3.3

PRESCRIPTIVE REQUIREMENTS

Table 5.5-6 Building Component	Maximum Assembly	Minimum Insulation	Proposed
ROOF: Entirely Above Deck	U-0.032	R-30 (ci)	R-30 (ci)
WALLS: Mass	U-0.080	R-13.3 (ci)	R-15.5 (ci)
S. O. G. FLOORS: Unheated	F-0.510	R-10.0 (3/1)	R-15.5 (ci)
OPAQUE DOORS: Swinging	U-0.370	U-0.20	U-0.20
OPAQUE DOORS: Non-Swinging	U-0.310	U-0.147	U-0.147
FENESTRATION: 0-40% Glazing	U-0.340 (0.38 SHGC)	U-0.340	U-0.340

SUBMITTALS

A. Contractor To Provide Product Submittals If Requested By The Building Official
PRODUCT INFORMATION AND INSTALL. REQ.
 A. Building Components Must Identify R-Values Or U-Values Clearly Labeled On The Product In Accordance With Section 5.8

DEVELOPMENT TEAM

OWNER
 GLEN HARSTAD
 JEFF HARSTAD

GENERAL CONTRACTOR
 NOTTINGHAM
 CONSTRUCTION
 3300 Rice Street, Suite 100
 St. Paul, MN 55126
 Phone: 651-383-4850
 Contact: Ryan Grimes

CIVIL ENGINEER
 PLOWE
 ENGINEERING
 6776 Lake Drive, Suite 110
 Lino Lakes, MN 55014
 Phone: 651-361-8210
 Contact: Mohammad Abughazleh

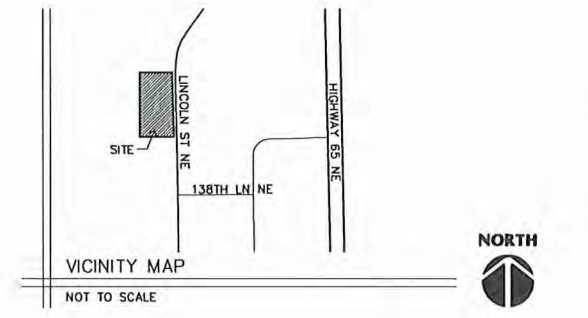
STRUCTURAL ENGINEER
 STROH
 ENGINEERING
 P.O. Box 1058
 Jerome, AZ 86331
 Phone: 808-463-2256
 Contact: Bernie Stroh

ARCHITECT
 LAMPERT
 ARCHITECTS
 420 Summit Ave
 St. Paul, MN 55102
 Phone: 763-755-1211
 Contact: James Berthiaume

SHEET SCHEDULE

Sheet	Description
T1	Title Sheet
A1	Site Plan
L1	Landscape Plan
L2	Schematic Site Lighting Plan
A2	Floor Plan
A3	Building Elevations
A4	Roof Plan
A5	Wall Sections
A6	Restroom Plans, Component Types, Schedules
S1	Footings & Foundation Plan
S2	Roof Framing Plan
S3	Structural Details

VICINITY MAP



NOTE TO ALL DESIGN/BUILD CONTRACTORS AND THEIR SUB-CONTRACTORS:
 THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, OR ANY OTHER DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS AS PERTAINING TO THE WORK FOR THIS PROJECT. IT IS THE DESIGN/BUILD SUB-CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN/BUILD CONTRACTOR OF ANY CONFLICTS WITH THE ARCHITECTURAL AND STRUCTURAL DOCUMENTS DUE TO SIZES, LOCATIONS, QUANTITIES, ROUGH-IN DIMENSIONS AND CODE INTERPRETATIONS. THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY OF ANY ARCHITECTURAL REVISIONS REQUIRED DUE TO THE COORDINATION OF EACH DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS.



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 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

 SIGNATURE: LEONARD LAMPERT
 PRINT NAME: LEONARD LAMPERT
 LICENSE NO: 13669
 EXPIRES: 2/24/25
 DATE

NOTTINGHAM CONSTRUCTION
 3300 Rice Street Suite 100
 St. Paul, MN 55126

ALLSTATE DISTRIBUTIONS COMMERCIAL BUILDING
 Ham Lake, Minnesota

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 Project Designer: JAMES B
 Drawn By: JRB
 Checked By: LL
 Revisions

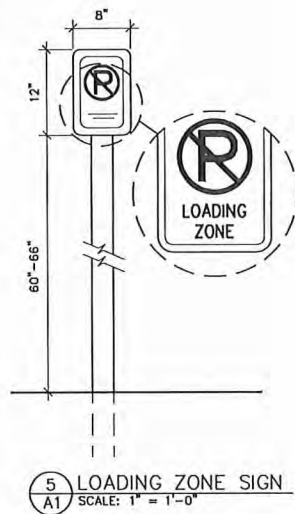
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9/9/24	REVISIONS
10/9/24	REVISIONS
2/24/25	REVISIONS

TITLE SHEET

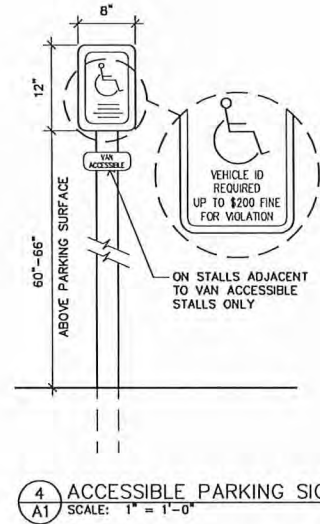
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T1

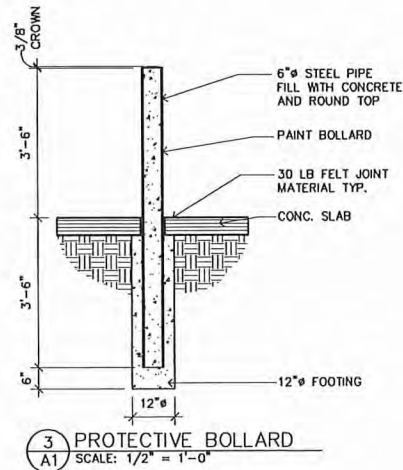
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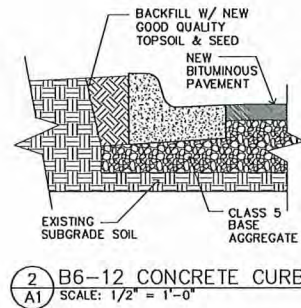
5 LOADING ZONE SIGN
A1 SCALE: 1/4" = 1'-0"



4 ACCESSIBLE PARKING SIGN
A1 SCALE: 1/4" = 1'-0"



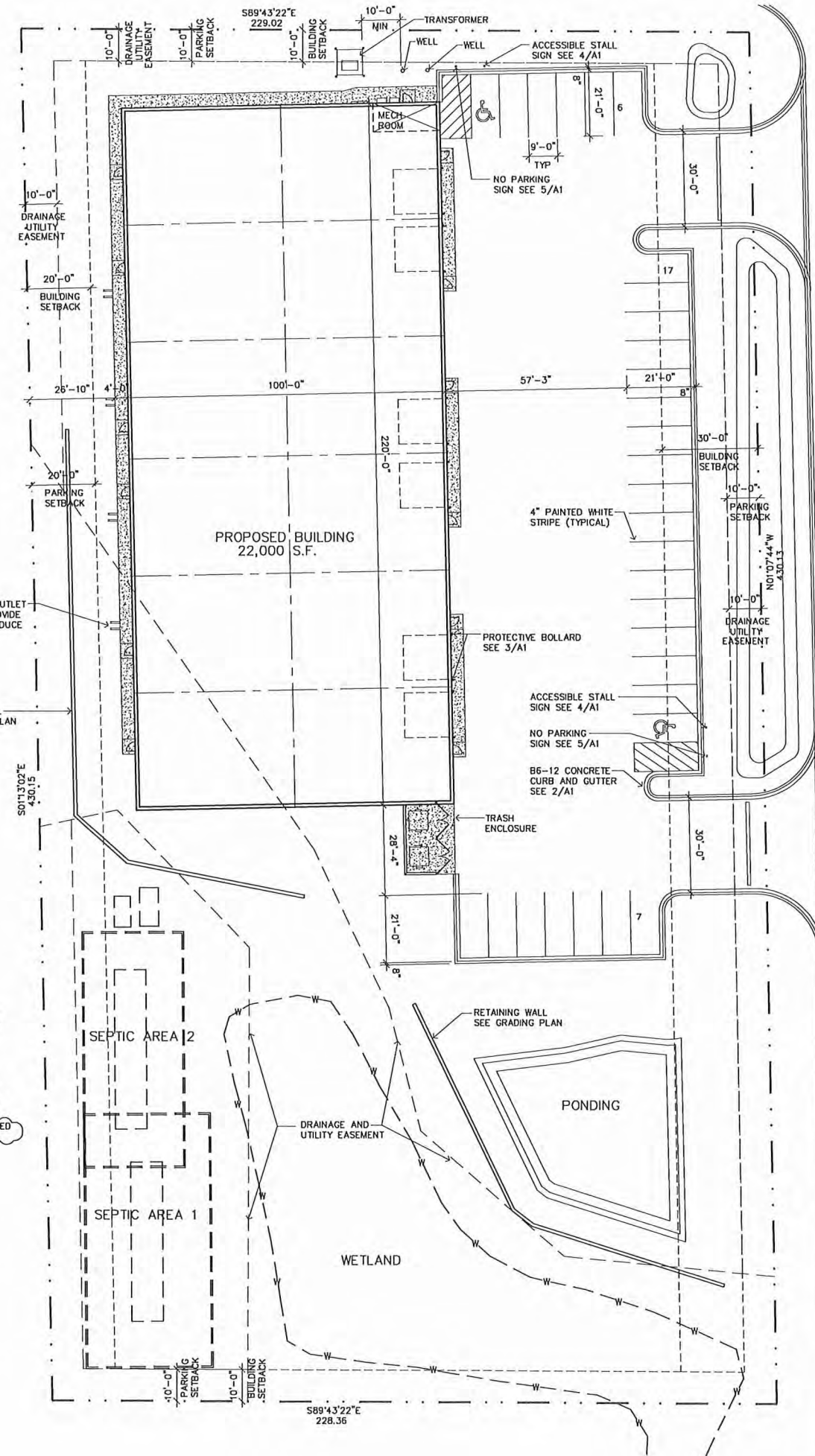
3 PROTECTIVE BOLLARD
A1 SCALE: 1/2" = 1'-0"



2 B6-12 CONCRETE CURB
A1 SCALE: 1/2" = 1'-0"

1 SITE PLAN
A1 SCALE: 1" = 20'-0"

- COORDINATION WITH CIVIL
- SEPTIC SYSTEM RELOCATED
- PONDING RELOCATED



LINCOLN STREET N.E.

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Signature: *Leonard Lampert*
 LEONARD LAMPERT
 PRINT NAME
 13669
 LICENSE NO.
 2/24/25
 DATE

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 3300 Rice Street Suite 100
 St. Paul, MN 55126

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 Ham Lake, Minnesota

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 Checked By: LL

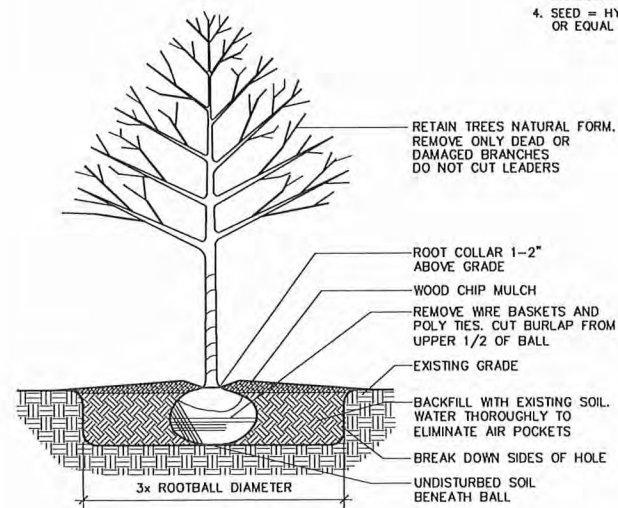
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9/3/24	ISSUE FOR PERMIT
9/9/24	REVISIONS
10/9/24	REVISIONS
2/24/25	REVISIONS

SITE PLAN
 Sheet Number
A1
 Project No. 230808-2

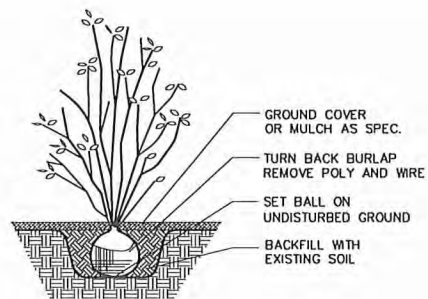
PLANTING SCHEDULE						
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	MTHD	REMARKS
2	SO	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	BB	
2	RS	RED SPLENDOR CRAB	MALUSxHYBRIDS 'RED SPLENDOR'	1.5" CAL.	BB	
5	RB	RIVER BIRCH	BETULA NIGRA	1.5" CAL.	BB	MULTIPLE TRUNKS
3	WP	WHITE PINE	PINUS STROBUS	6' TALL	BB	

LANDSCAPE NOTES:

- ROCK MULCH BED SEPARATED FROM SOD BY BLACK VINYL EDGER. ROCK MULCH TYPE TO BE DETERMINED BY OWNER AFTER BUILDING MATERIALS ARE SELECTED. ROCK MULCH DEPTH IS 3" MINIMUM PLACED OVER FIBER MAT TO CONTROL WEEDS
- PROVIDE UNDERGROUND IRRIGATION FOR ALL SODDED AT PLANTED AREAS. IRRIGATION DESIGN IS BY OTHERS. SOD TO BE PLACED OVER 4" MINIMUM TOPSOIL
- SOD = TRANSPLANTED PERENNIAL TURF GRASS OR EQUAL
- SEED = HYDRO SEED OR EQUAL

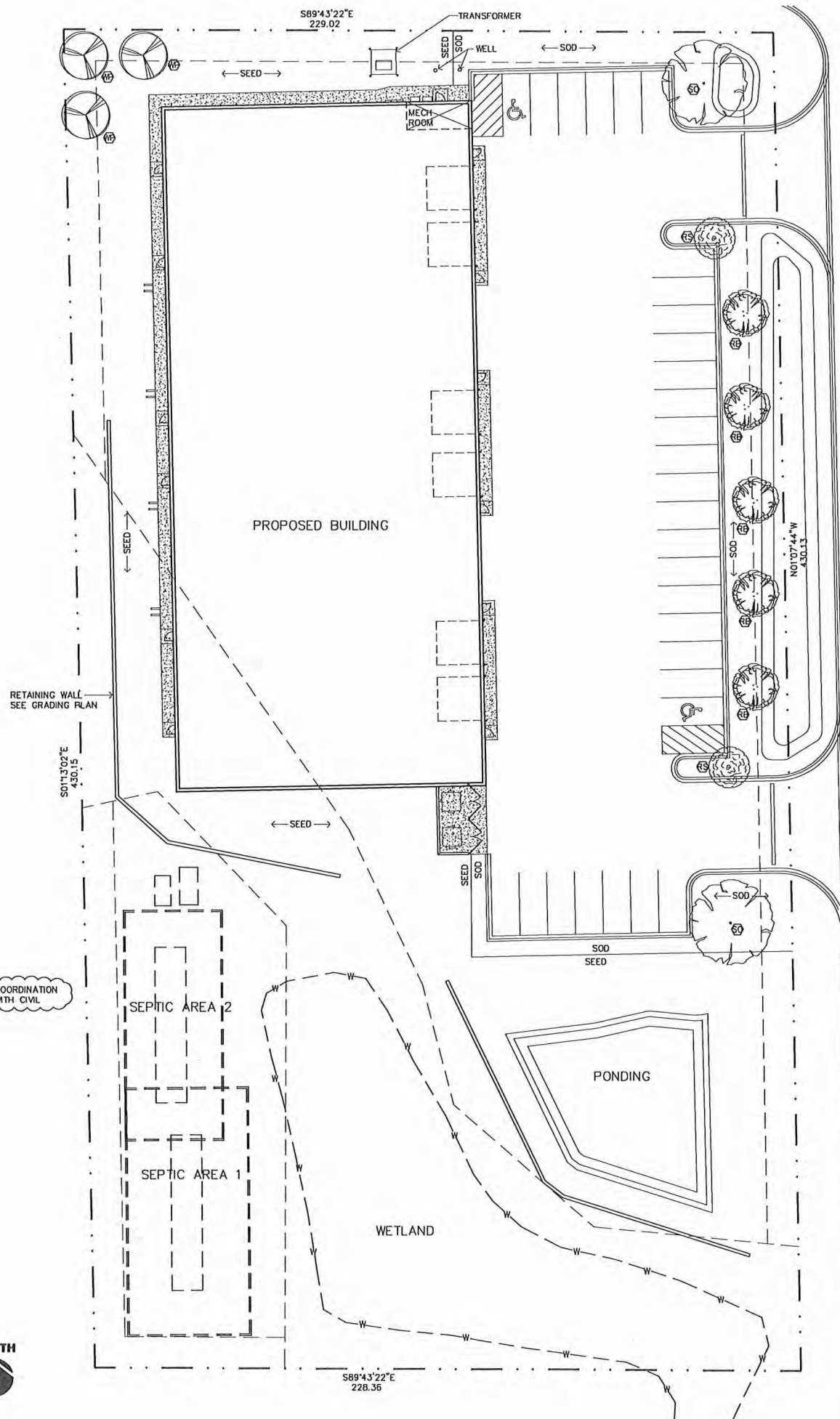


3 TREE PLANTING DETAIL
L1 SCALE: NOT TO SCALE



2 SHRUB PLANTING DETAIL
L1 SCALE: NOT TO SCALE

1 LANDSCAPE PLAN
L1 SCALE: 1" = 20'-0"



LINCOLN STREET N.E.



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Drawn By: JRB

Checked By: LL

Revisions

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8/21/24 FINAL REVIEW

9/3/24 ISSUE FOR PERMIT

9/9/24 REVISIONS

10/9/24 REVISIONS

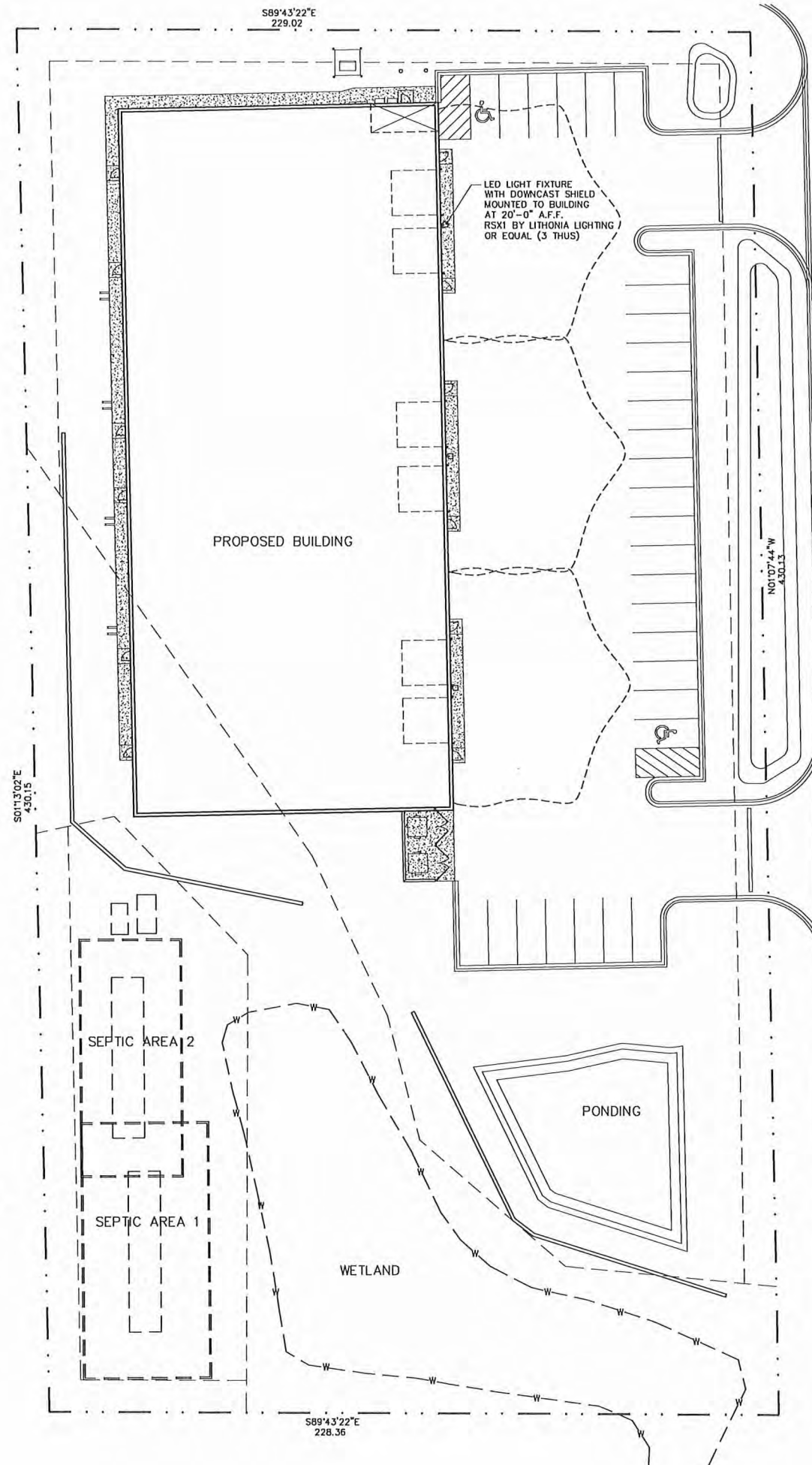
2/24/25 REVISIONS

LANDSCAPE PLAN

Sheet Number

L1

Project No. 230808-2



COORDINATION WITH CIVIL

PLAN NOTES:

1. LIGHTING SHOWN FOR SCHEMATIC PURPOSES ONLY. LIGHTING IS DESIGN-BUILD BY ELECTRICAL CONTRACTOR. VERIFY SIZE, STYLE, QUANTITY, AND LOCATION W/ OWNER AND CONTRACTOR. PROVIDE LIGHTING PHOTOMETRICS IF NECESSARY AT CITY'S REQUEST.
2. ALL LIGHTING IS TO BE SHIELDED/DIRECTED AWAY FROM ADJACENT PROPERTIES AND STREET RIGHT OF WAYS.
3. PROVIDE EMERGENCY EXIT LIGHTING AT ALL EXIT DOORS.

1 L2 SCHEMATIC SITE LIGHTING PLAN
SCALE: 1" = 20'-0"



LINCOLN STREET N.E.



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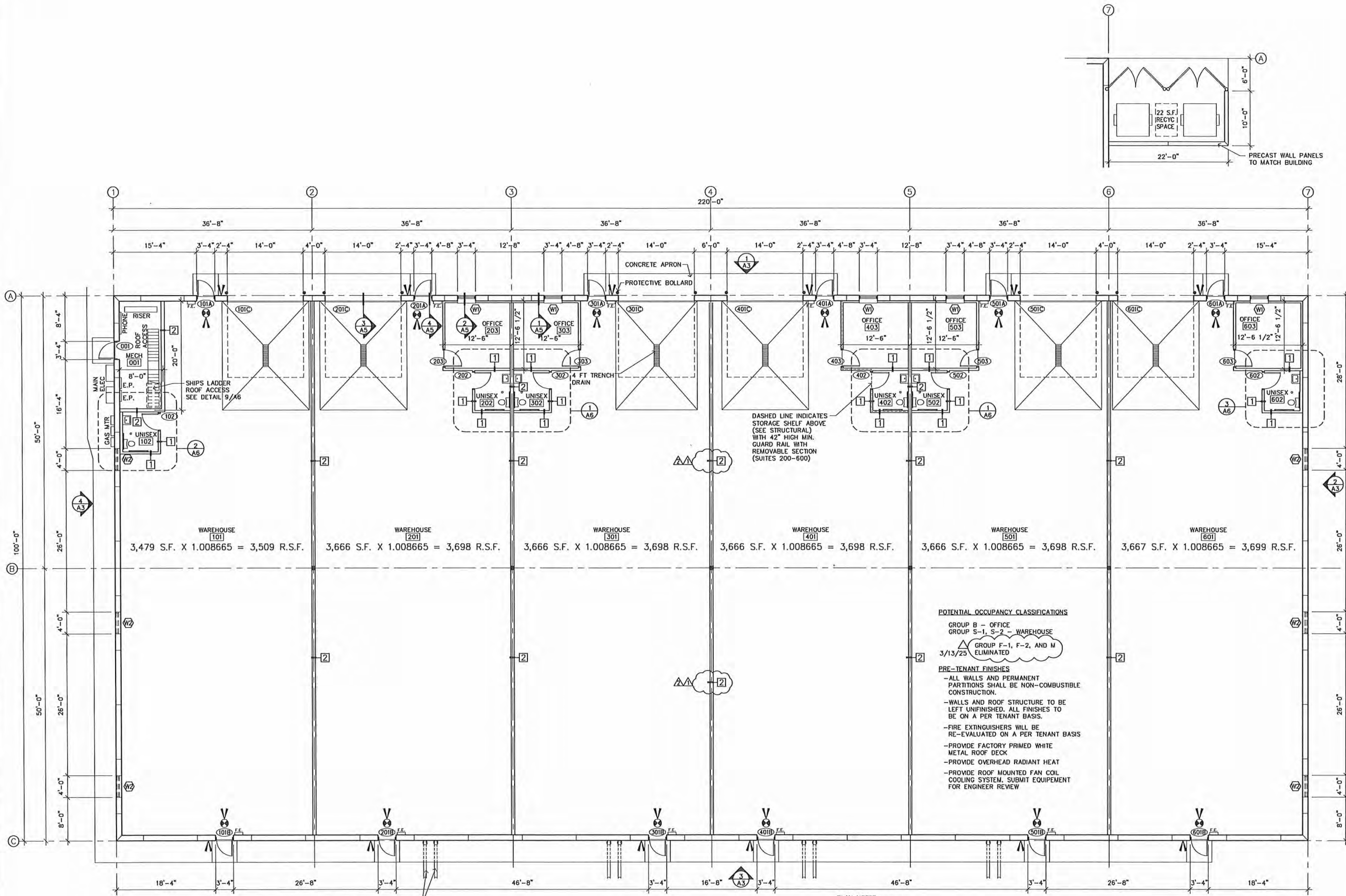
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2/24/25	REVISIONS

SCHEMATIC
SITE LIGHTING PLAN

Sheet Number

L2

Project No. 230808-2



POTENTIAL OCCUPANCY CLASSIFICATIONS
 GROUP B - OFFICE
 GROUP S-1, S-2 - WAREHOUSE
 3/13/25 GROUP F-1, F-2, AND M
 ELIMINATED

PRE-TENANT FINISHES
 -ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE CONSTRUCTION.
 -WALLS AND ROOF STRUCTURE TO BE LEFT UNFINISHED. ALL FINISHES TO BE ON A PER TENANT BASIS.
 -FIRE EXTINGUISHERS WILL BE RE-EVALUATED ON A PER TENANT BASIS
 -PROVIDE FACTORY PRIMED WHITE METAL ROOF DECK
 -PROVIDE OVERHEAD RADIANT HEAT
 -PROVIDE ROOF MOUNTED FAN COIL COOLING SYSTEM. SUBMIT EQUIPMENT FOR ENGINEER REVIEW

- PLAN NOTES**
- EXIT SIGNAGE. PROVIDE EMERGENCY BACK-UP POWER
 - EMERGENCY LIGHTING. PROVIDE EMERGENCY BACK-UP POWER AND (1) FOOT CANDLE AT THE WALKING SURFACE.
 - F.E. = FIRE EXTINGUISHER. VERIFY SIZE AND SPACING WITH BUILDING OFFICIAL.

USEABLE AREA - 21,811 S.F.
 MECH ROOM - 189 S.F.
 GROSS BUILDING - 22,000 S.F.
 COMMON AREA FACTOR
 22,000/21,811 = 1.008665

1 FLOOR PLAN
 A2 SCALE: 1/8" = 1'-0"



DOWNSPOUTS EMPTY INTO PIPE UNDER SIDEWALK PROVIDE EXTRUDED RIGID INSULATION OVER PIPES (4 LOCATIONS THUS)

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 lampert@lampert-arch.com

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Leonard Lampert
 SIGNATURE
 LEONARD LAMPERT
 PRINT NAME
 13669
 LICENSE NO.
 2/24/25
 DATE

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 St. Paul, MN 55126

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 Drawn By: JRB
 Checked By: LL

Revisions

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8/21/24	FINAL REVIEW
9/3/24	ISSUE FOR PERMIT
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FLOOR PLAN

Sheet Number

A2

Project No. 230808-2



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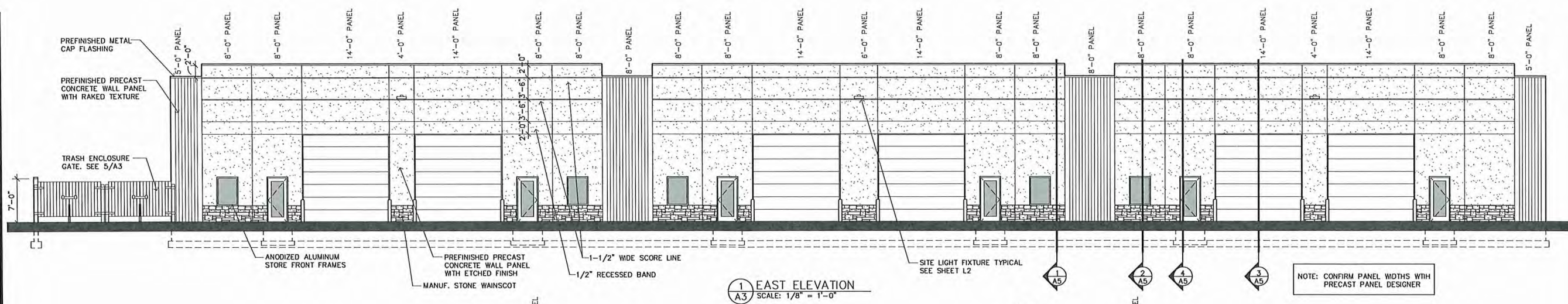
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BUILDING ELEVATIONS

Sheet Number

A3

Project No. 230808-2



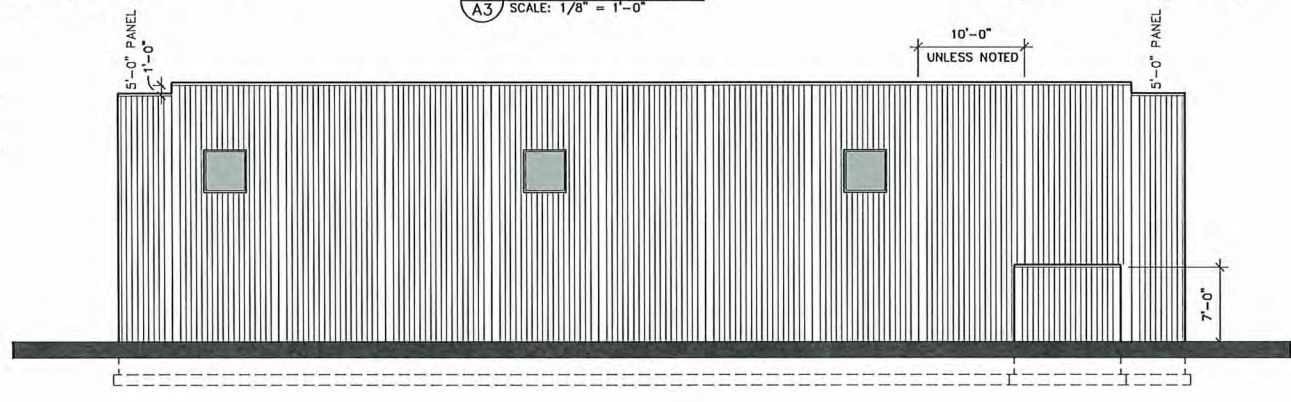
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

TO OF PRECAST
EL. = 123'-0"

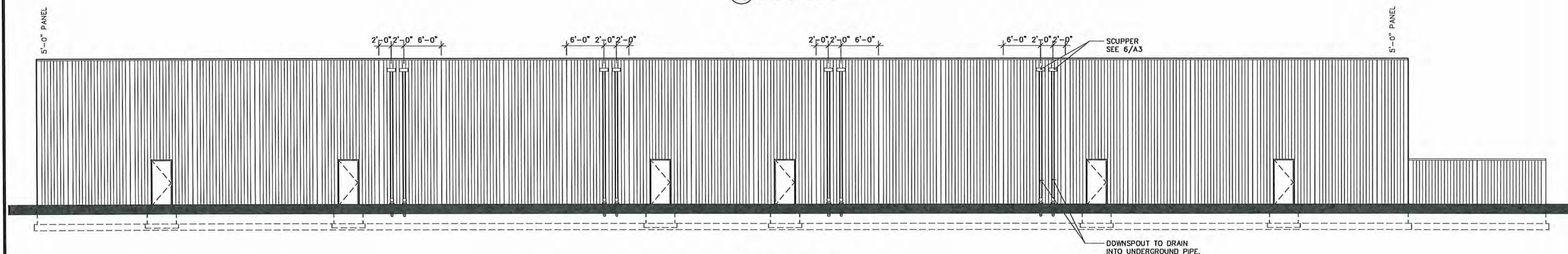
CLEAR HEIGHT
EL. = 118'-0"

FINISHED FLOOR
EL. = 100'-0"

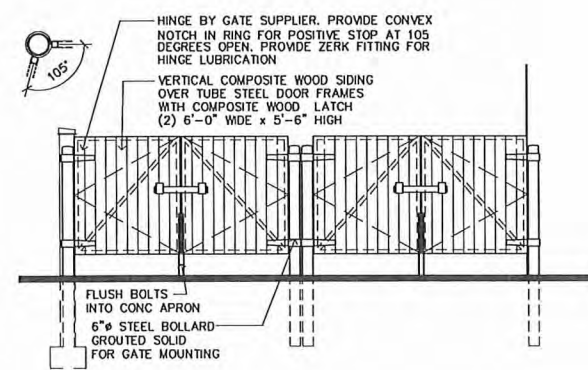
TOP OF FOOTING
EL. = 97'-0"



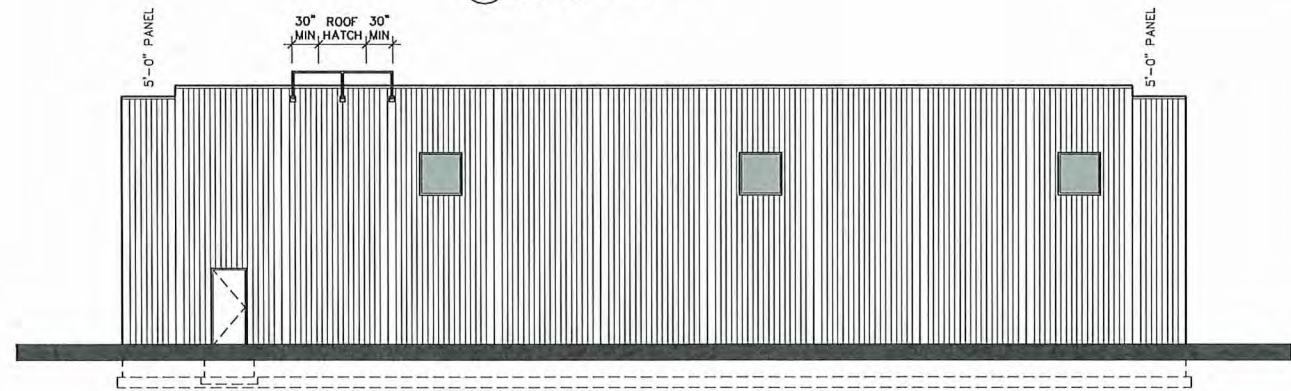
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



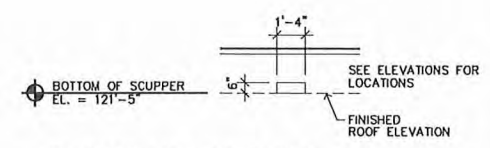
3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



5 TRASH ENCLOSURE GATE DETAIL
SCALE: 1/4" = 1'-0"



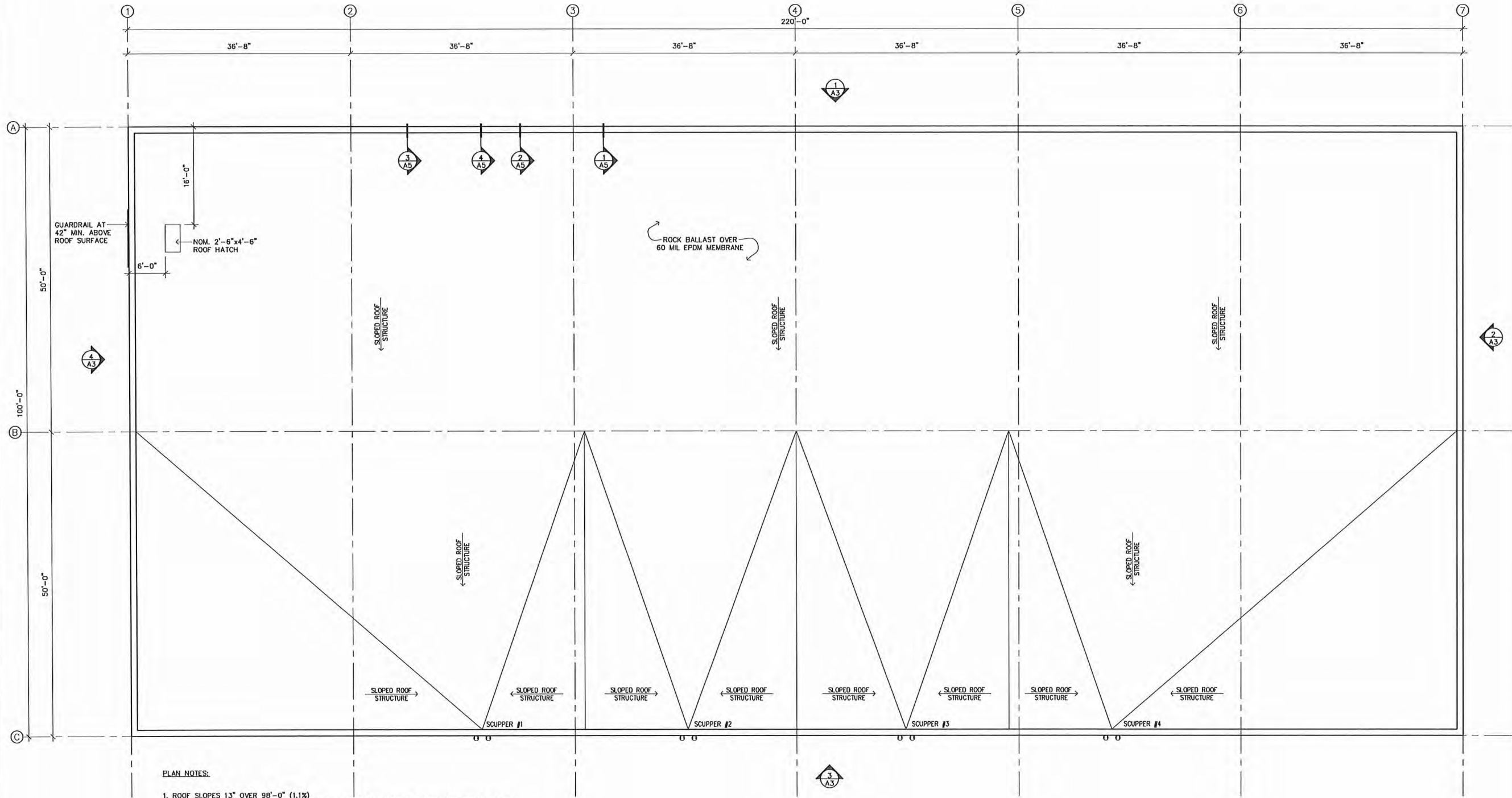
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



6 SCUPPER DETAIL
SCALE: 1/4" = 1'-0"

NOTE: SCUPPER IS SIZED ACCORDING TO IBC 1502.2.3
VERIFY WITH THE PLUMBING DESIGNER AND INT'L PLUMBING CODE

Filename: LINCOLN STREET BUSINESS CENTER-A3



PLAN NOTES:

1. ROOF SLOPES 13° OVER 98'-0" (1.1%)
2. ROOF TOP UNIT LOCATIONS MUST BE CONFIRMED WITH MECHANICAL DRAWINGS (DESIGN BUILD)
ROOF TOP UNITS TO BE LOCATED AWAY FROM THE PARAPET EDGE SO FAR AS POSSIBLE
TO MINIMIZE THEIR APPEARANCE FROM THE GROUND.
3. ROOF DRAIN AND DRAIN LEADER DESIGN IS BY PLUMBING CONTRACTOR
LEADERS TO BE TIED INTO ONSITE STORM DRAIN - SEE CIVIL PLAN FOR STUB LOCATION

AREA SERVED BY SCUPPER

ROOF DRAIN #1	ROOF DRAIN #2	ROOF DRAIN #3	ROOF DRAIN #4
± 7,252 S.F.	± 3,430 S.F.	± 3,430 S.F.	± 7,252 S.F.

1 ROOF PLAN
A4 SCALE: 1/8" = 1'-0"



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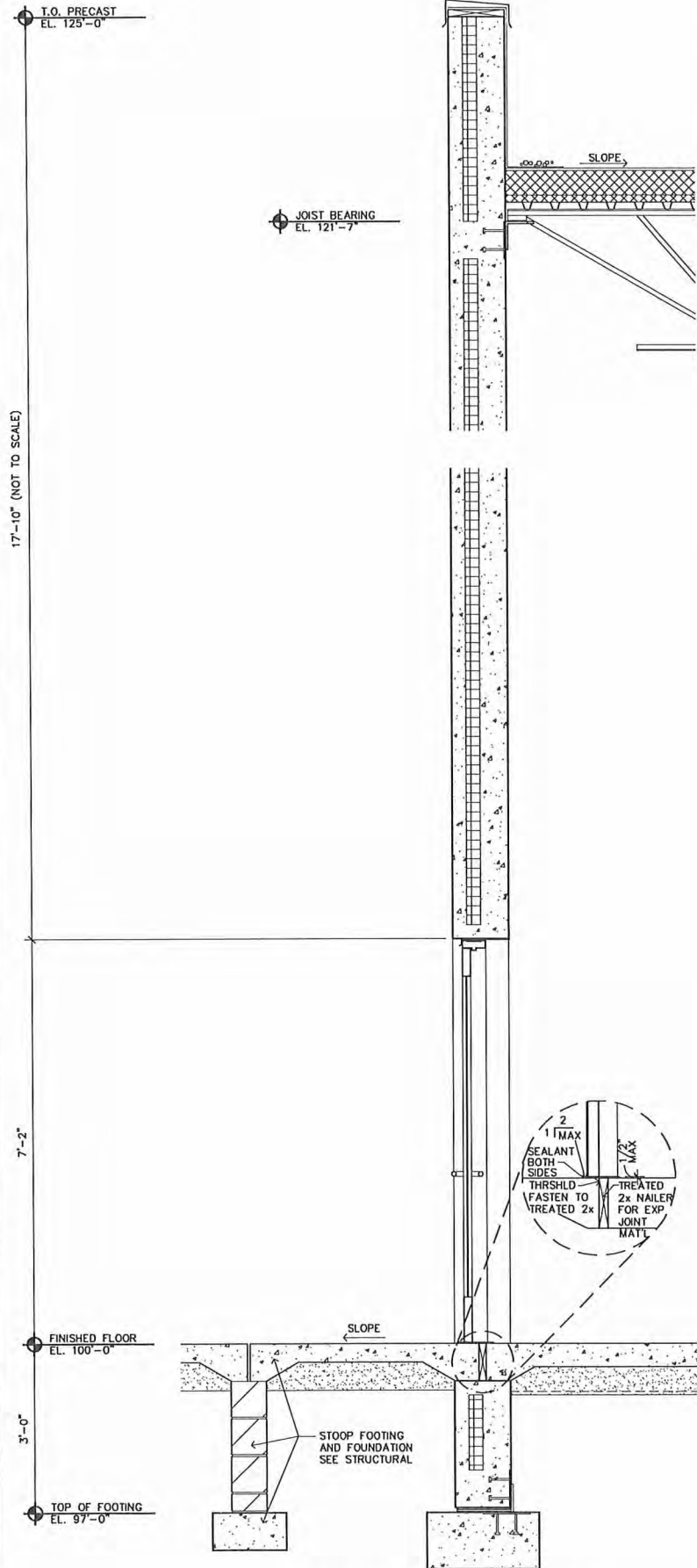
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ROOF PLAN

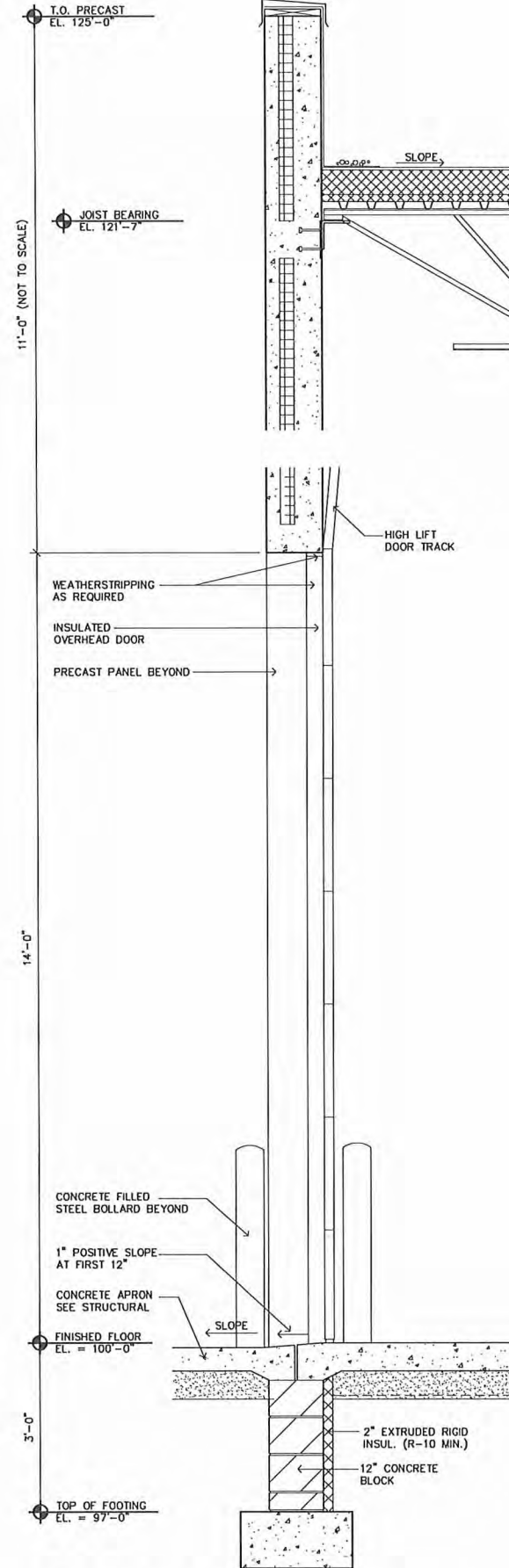
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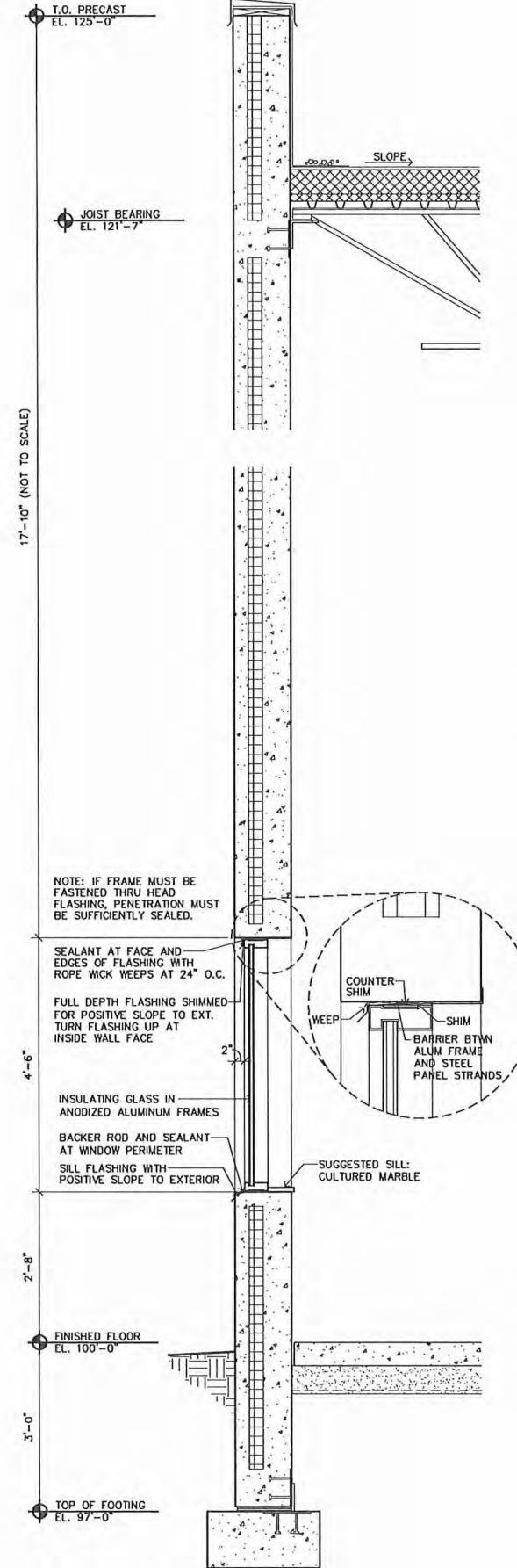
Project No. 230808-2



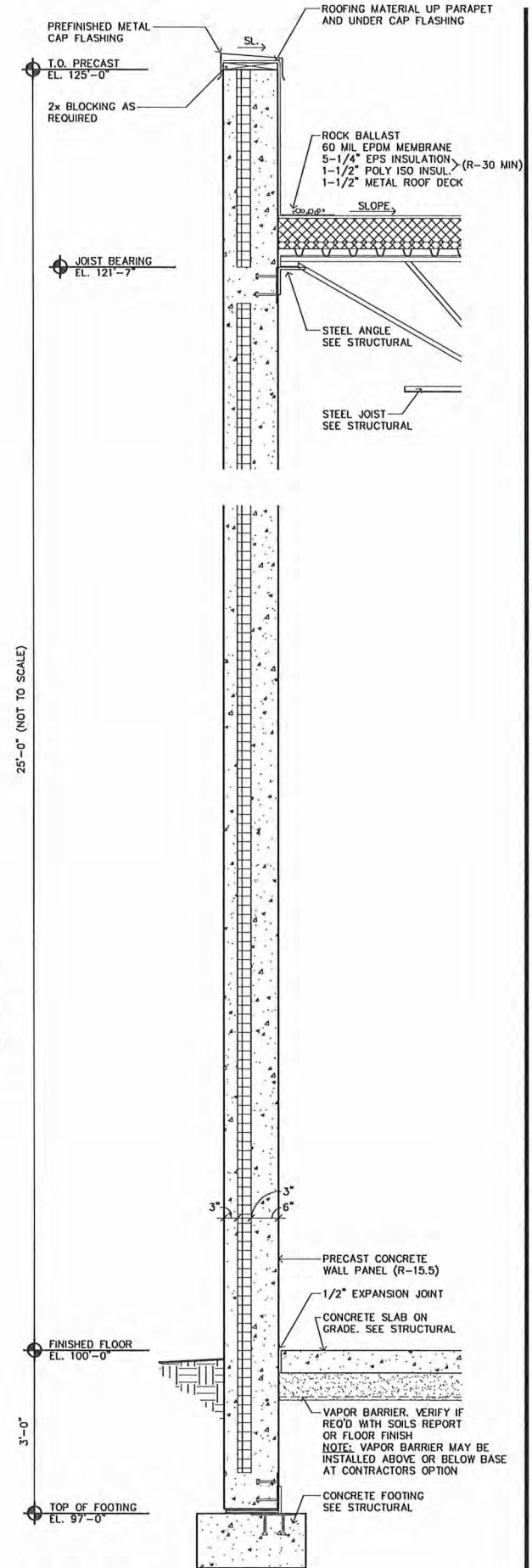
4 WALL SECTION AT ENTRY DOOR
A5 SCALE: 3/4" = 1'-0"



3 WALL SECTION AT DRIVE-IN DOOR
A5 SCALE: 3/4" = 1'-0"



2 WALL SECTION AT WINDOW
A5 SCALE: 3/4" = 1'-0"



1 TYPICAL WALL SECTION
A5 SCALE: 3/4" = 1'-0"



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WALL SECTIONS

Sheet Number

A5

Project No. 230808-2

DOOR & FRAME SCHEDULE

DR #	DOOR SIZE	THICK	DOOR	FRAME	REMARKS
001	3'-0"x7'-0"	1-3/4"	D2	F2	INSULATED
101A	3'-0"x7'-0"	1-3/4"	D1	F1	INSULATING GLASS
101B	3'-0"x7'-0"	1-3/4"	D2	F2	INSULATED
101C	14'-0"x14'-0"	2"	D3	-	INSULATED
102	3'-0"x7'-0"	1-3/4"	D2	F2	-
201A	3'-0"x7'-0"	1-3/4"	D1	F1	INSULATING GLASS
201B	3'-0"x7'-0"	1-3/4"	D2	F2	INSULATED
201C	14'-0"x14'-0"	2"	D3	-	INSULATED
202	3'-0"x7'-0"	1-3/4"	D2	F2	-
203	3'-0"x7'-0"	1-3/4"	D2	F2	-
301A	3'-0"x7'-0"	1-3/4"	D1	F1	INSULATING GLASS
301B	3'-0"x7'-0"	1-3/4"	D2	F2	INSULATED
301C	14'-0"x14'-0"	2"	D3	-	INSULATED
302	3'-0"x7'-0"	1-3/4"	D2	F2	-
303	3'-0"x7'-0"	1-3/4"	D2	F2	-
401A	3'-0"x7'-0"	1-3/4"	D1	F1	INSULATING GLASS
401B	3'-0"x7'-0"	1-3/4"	D2	F2	INSULATED
401C	14'-0"x14'-0"	2"	D3	-	INSULATED
402	3'-0"x7'-0"	1-3/4"	D2	F2	-
403	3'-0"x7'-0"	1-3/4"	D2	F2	-
501A	3'-0"x7'-0"	1-3/4"	D1	F1	INSULATING GLASS
501B	3'-0"x7'-0"	1-3/4"	D2	F2	INSULATED
501C	14'-0"x14'-0"	2"	D3	-	INSULATED
502	3'-0"x7'-0"	1-3/4"	D2	F2	-
503	3'-0"x7'-0"	1-3/4"	D2	F2	-
601A	3'-0"x7'-0"	1-3/4"	D1	F1	INSULATING GLASS
601B	3'-0"x7'-0"	1-3/4"	D2	F2	INSULATED
601C	14'-0"x14'-0"	2"	D3	-	INSULATED
602	3'-0"x7'-0"	1-3/4"	D2	F2	-
603	3'-0"x7'-0"	1-3/4"	D2	F2	-

- NOTES:**
- ALL DOOR HARDWARE TO BE SPECIFIED & PROVIDED BY CONTRACTOR
 - ALL EXIT HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. MOUNT HARDWARE BETWEEN 34"-48" (ANSI A117.1-404.2.6)
 - PROVIDE A KNOX BRAND FIRE DEPARTMENT KEY BOX AS SPECIFIED BY THE FIRE MARSHAL
 - THE MAIN EXIT IS ALLOWED TO HAVE A KEYED LOCK PROVIDED THAT THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED AND A SIGN WITH 1" CONTRASTING LETTERS IS POSTED ON THE EGRESS SIDE STATING: 'THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED'. (IBC 1010.1.9.4)

GRAB BARS

GRAB BARS SHALL BE 1 1/4"-2" IN DIAMETER. THE SPACE BETWEEN THE GRAB BAR AND THE WALL SHALL BE 1 1/2". A 1 1/2" MINIMUM CLEARANCE SHALL BE PROVIDED BELOW AND AT END OF THE GRAB BAR. A 12" MINIMUM CLEARANCE SHALL BE PROVIDED ABOVE THE GRAB BAR EXCEPT AT SHOWER CONTROLS. GRAB BARS SHALL NOT ROTATE IN THEIR FITTING AND SHALL SUPPORT 250 POUNDS MINIMUM.

FLUSH CONTROLS

FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED CONTROLS SHALL COMPLY WITH REQUIREMENTS FOR ACCESSIBLE OPERABLE PARTS. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET, EXCEPT IN AMBULATORY ACCESSIBLE COMPARTMENTS WHERE CONTROLS ARE PERMITTED ON EITHER SIDE OF THE WATER CLOSET.

ACCESSORIES

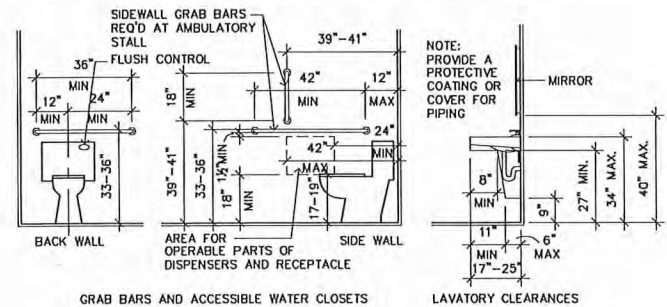
ALL WALL-MOUNTED DISPENSERS, WASTE DISPOSAL CONTAINERS, OR SIMILAR TOILET ACCESSORIES SHALL BE MOUNTED SO THAT THE OPERABLE PORTIONS OF SUCH ACCESSORIES COMPLY WITH AN UNOBSTRUCTED FRONT OR SIDE REACH. THE MAXIMUM UNOBSTRUCTED REACH RANGE IS BETWEEN 15" AND 48" ABOVE THE FINISHED FLOOR. OBSTRUCTIONS PROTRUDING 20-25 FROM A WALL SHALL LIMIT THE HIGH REACH TO 44" MAXIMUM ABOVE THE FINISHED FLOOR.

INTERIOR FINISHES

FLOORS IN TOILET, SHOWER, AND BATHING ROOMS ACCESSIBLE TO THE PUBLIC SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS CERAMIC TILE AND SHALL EXTEND UP THE WALLS AT LEAST 4". (IBC 1209.2.1) WALLS WITHIN 2 FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE, TO 4 FEET A.F.F. (IBC 1209.2.2) SHOWER COMPARTMENT AND BATHTUB WALLS WITH SHOWER HEADS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS CERAMIC TILE TO 72" ABOVE THE DRAIN. (IBC 1209.2.3)

SIGNAGE

IDENTIFICATION SIGNAGE SHALL BE PROVIDED AT TOILET ROOMS. THE SIGNAGE SHALL INCLUDE TACTILE LETTERS INDICATING THE NAME OF THE SPACE, THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, AND BRAILLE CHARACTERS ACCORDING TO CHAPTER 703. MOUNT THE SIGN CENTERED AT 9" FROM THE LATCH SIDE OF THE DOOR AND MOUNT THE SIGN 48"-60" ABOVE THE FINISHED FLOOR.

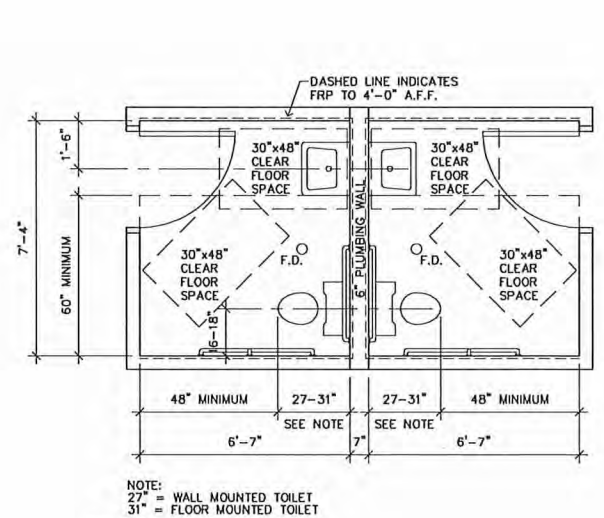
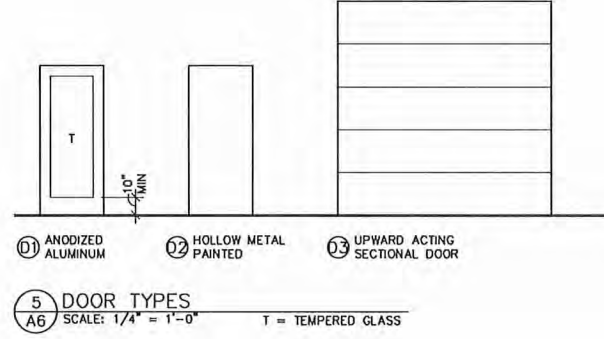
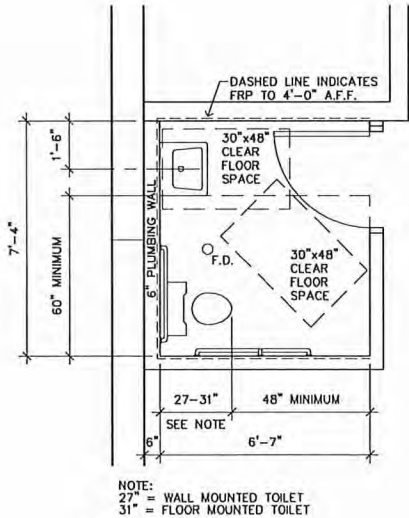
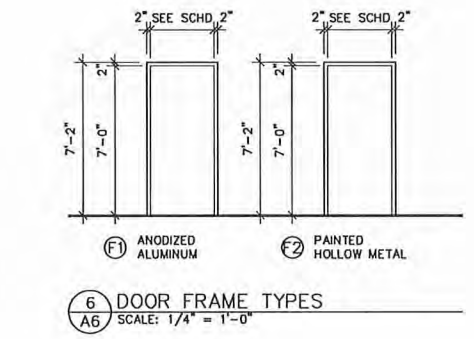
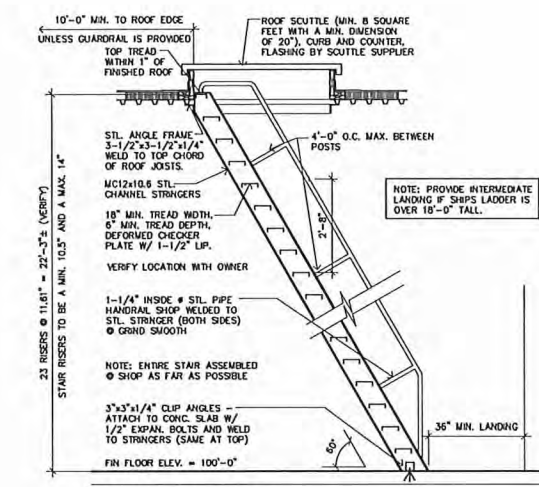
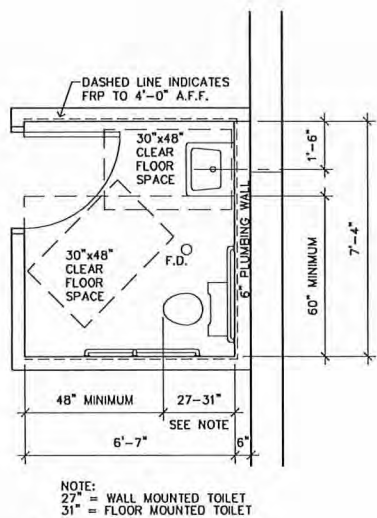
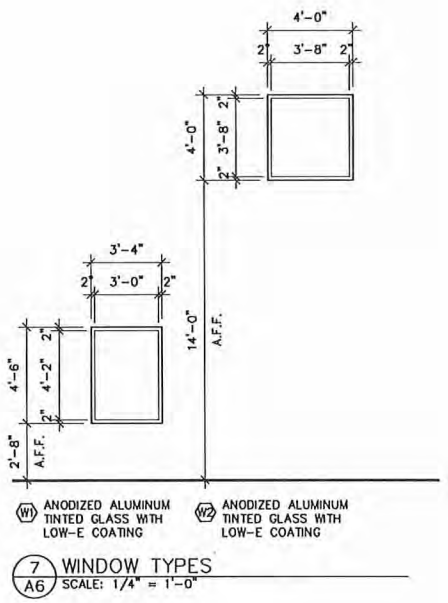


4 RESTROOM DETAILS & NOTES
SCALE: 3/8" = 1'-0"

ROOM FINISH SCHEDULE

RM#	DESCRIPTION	FLOOR	BASE	N.WALL	E.WALL	S.WALL	W.WALL	CLG.	HGHT	REMARKS
001	MECHANICAL ROOM	CONC	-	PRECAST	PRECAST	PT/GYP	PT/GYP	OPEN	VARIES	VINYL BASE ON PT/GYP ONLY
101	WAREHOUSE	CONC	-	PRECAST	PRECAST	PT/GYP	PRECAST	OPEN	VARIES	VINYL BASE ON PT/GYP ONLY
102	UNISEX	CONC	VNLY	FRP	-	SEE PLAN FOR LOCATION	PT/GYP	PT/GYP	8'-0"	-
201	WAREHOUSE	CONC	-	PT/GYP	PRECAST	OPEN	PRECAST	OPEN	VARIES	VINYL BASE ON PT/GYP ONLY
202	UNISEX	CONC	VNLY	FRP	-	SEE PLAN FOR LOCATION	PT/GYP	PT/GYP	8'-0"	-
203	OFFICE	CONC	VNLY	PT/GYP	PRECAST	PT/GYP	PT/GYP	PT/GYP	8'-0"	-
301	WAREHOUSE	CONC	-	OPEN	PRECAST	OPEN	PRECAST	OPEN	VARIES	VINYL BASE ON PT/GYP ONLY
302	UNISEX	CONC	VNLY	FRP	-	SEE PLAN FOR LOCATION	PT/GYP	PT/GYP	8'-0"	-
303	OFFICE	CONC	VNLY	PT/GYP	PRECAST	PT/GYP	PT/GYP	PT/GYP	8'-0"	-
401	WAREHOUSE	CONC	-	OPEN	PRECAST	OPEN	PRECAST	OPEN	VARIES	VINYL BASE ON PT/GYP ONLY
402	UNISEX	CONC	VNLY	FRP	-	SEE PLAN FOR LOCATION	PT/GYP	PT/GYP	8'-0"	-
403	OFFICE	CONC	VNLY	PT/GYP	PRECAST	PT/GYP	PT/GYP	PT/GYP	8'-0"	-
501	WAREHOUSE	CONC	-	OPEN	PRECAST	OPEN	PRECAST	OPEN	VARIES	VINYL BASE ON PT/GYP ONLY
502	UNISEX	CONC	VNLY	FRP	-	SEE PLAN FOR LOCATION	PT/GYP	PT/GYP	8'-0"	-
503	OFFICE	CONC	VNLY	PT/GYP	PRECAST	PT/GYP	PT/GYP	PT/GYP	8'-0"	-
601	WAREHOUSE	CONC	-	OPEN	PRECAST	PRECAST	PRECAST	OPEN	VARIES	VINYL BASE ON PT/GYP ONLY
602	UNISEX	CONC	VNLY	FRP	-	SEE PLAN FOR LOCATION	PT/GYP	PT/GYP	8'-0"	-
603	OFFICE	CONC	VNLY	PT/GYP	PRECAST	PRECAST	PT/GYP	PT/GYP	8'-0"	-

ABBREVIATIONS:
CONC - SEALED CONCRETE
FRP - FIBER REINFORCED PLASTIC PANEL
PT/GYP - PAINTED GYPSUM BOARD



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RESTROOM PLANS COMPONENT TYPES SCHEDULES

Sheet Number

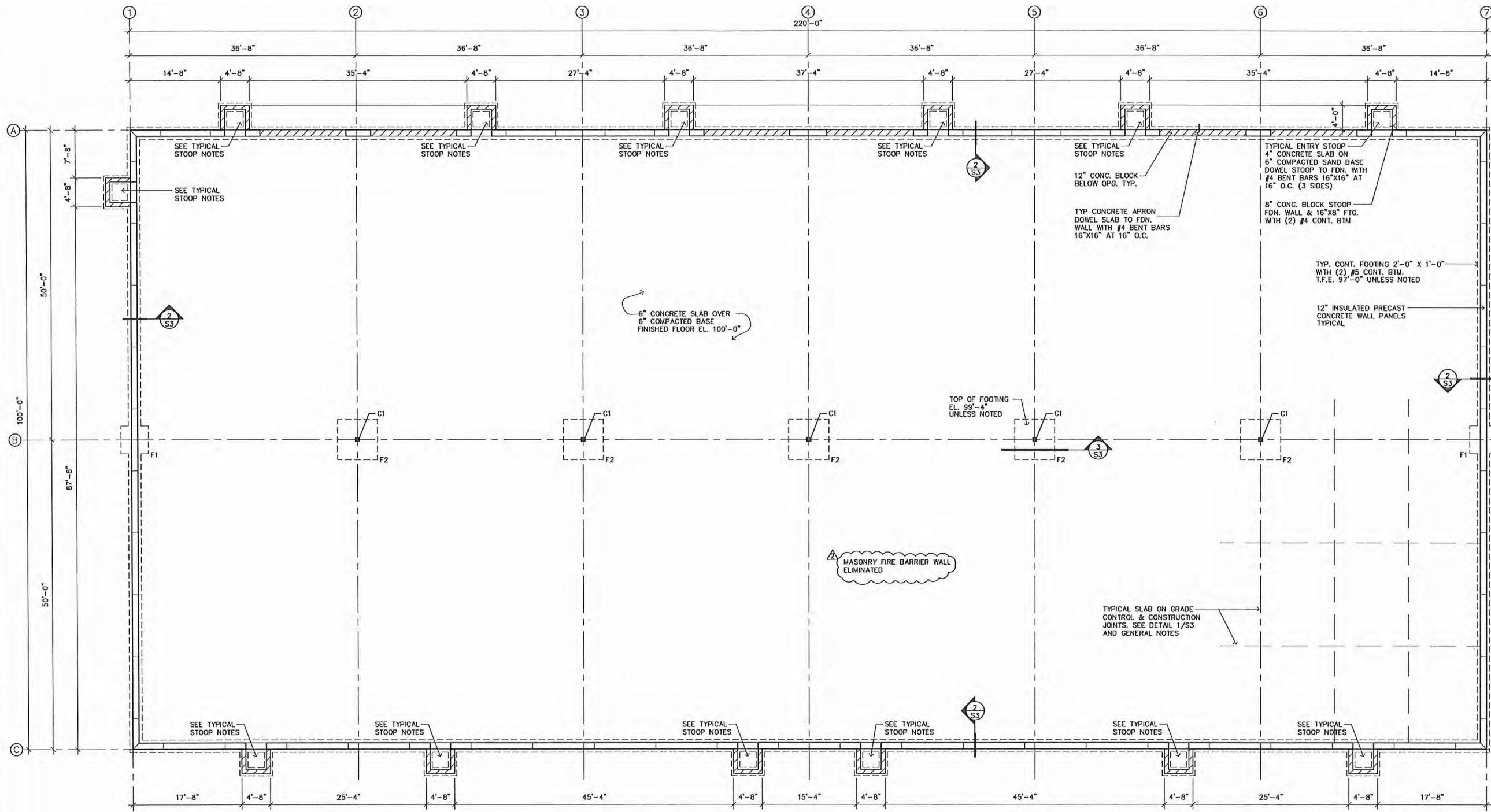
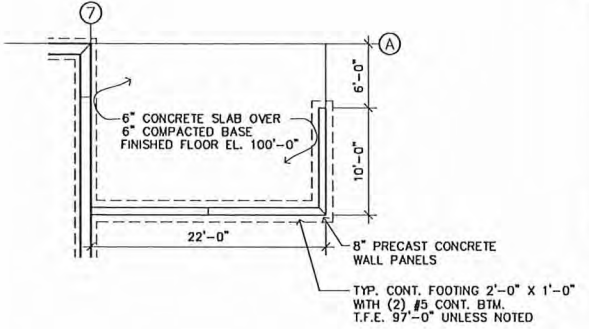
A6

Project No. 230808-2

STEEL COLUMN SCHEDULE			
MARK	SIZE	BASE PLATE	ANCHOR BOLT
C1	HSS 8x8x1/4	1"x16"x1'-4"	(4) 3/4" DIA BENT ANCHOR BOLTS

SPREAD FOOTING SCHEDULE		
MARK	SIZE	REINFORCING EACH WAY
F1	4'-6"x4'-6"x15"	(6) #5 EACH WAY BOTTOM
F2	6'-6"x6'-6"x16"	(7) #6 EACH WAY BOTTOM

FOOTINGS DESIGNED FOR MAXIMUM SOIL BEARING PRESSURE OF 3000 PSF PER GEOTECHNICAL REPORT RECOMMENDATION.



Stroh
ENGINEERING
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Junction, AZ 86331
PH: 928-463-2256

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B. Stroh
SIGNATURE
BERNIE STROH
PRINT NAME
14269
LICENSE NO.
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Ham Lake, Minnesota

Structural Engineer: B STROH
Drawn By: JRB
Checked By: BS
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**FOOTING AND
FOUNDATION PLAN**

Sheet Number

S1

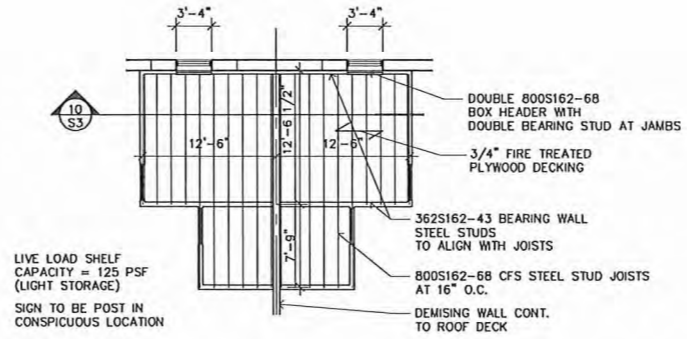
Project No. 230808-2

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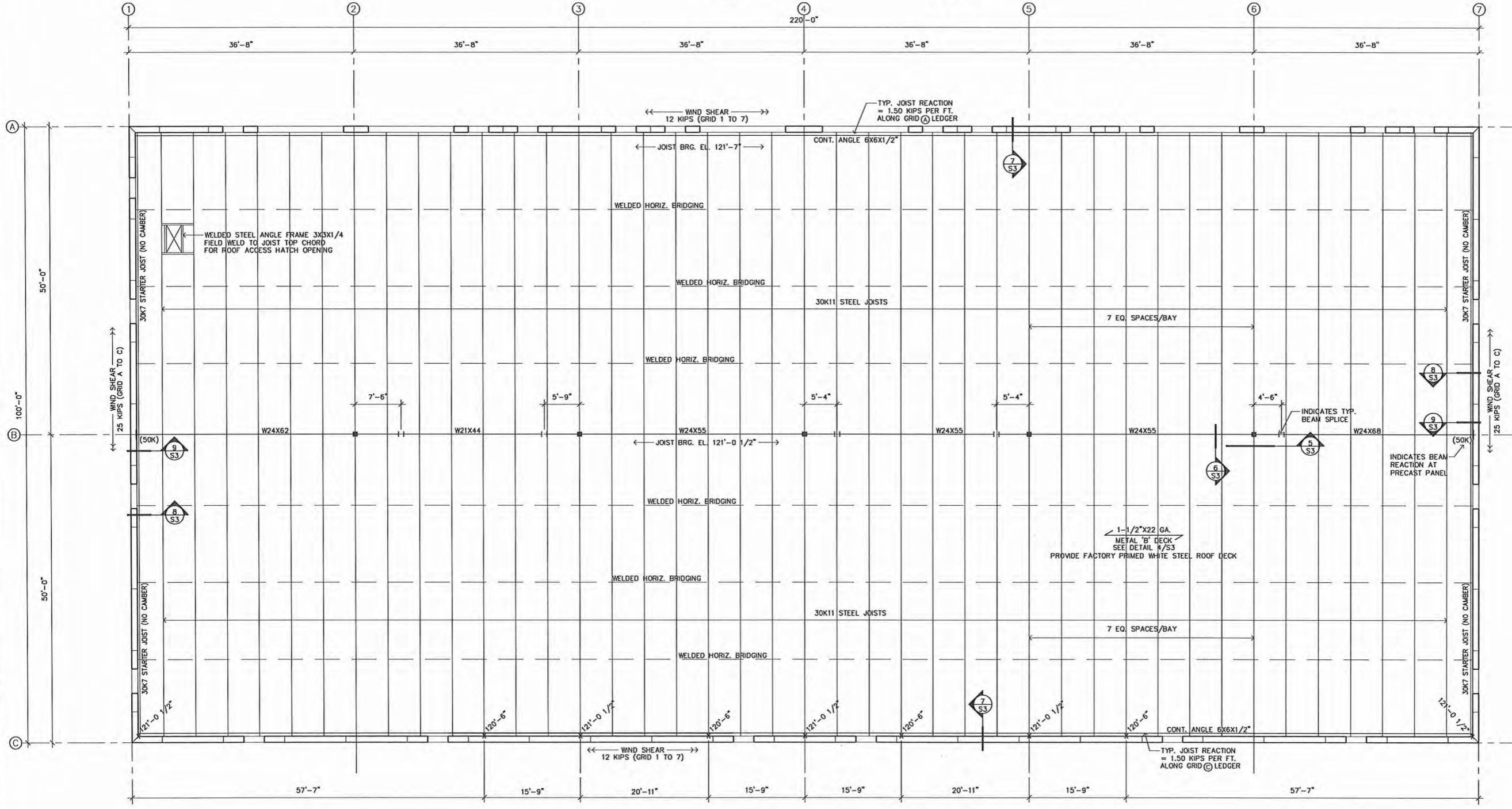
1 FOOTING AND FOUNDATION PLAN
S1 SCALE: 1/8" = 1'-0"



Filename: LINCOLN STREET BUSINESS CENTER\LINCOLN STREET BUSINESS CENTER-A2



2 TYPICAL SHELF FRAMING PLAN
SCALE: 1/8" = 1'-0"



1 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



ENGINEER CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *B. Strohm*
 SIGNATURE: BERNIE STROH
 PRINT NAME: BERNIE STROH
 LICENSE NO.: 14269
 LICENSE NO.: 2/24/25
 DATE:

NOTTINGHAM
CONSTRUCTION
3300 Rice Street Suite 100
St. Paul, MN 55126

**ALLSTATE DISTRIBUTIONS
COMMERCIAL BUILDING**
Ham Lake, Minnesota

Structural Engineer: B STROH
 Drawn By: JRB
 Checked By: BS
 Revisions

8/5/24	PRELIMINARY
8/21/24	FINAL REVIEW
9/3/24	ISSUE FOR PERMIT
9/9/24	REVISIONS
10/9/24	REVISIONS
2/24/25	REVISIONS

ROOF FRAMING PLAN

Sheet Number

S2

Project No. 230808-2

GENERAL STRUCTURAL NOTES:

1. BUILDING CODE:
STRUCTURAL DESIGN CONFORMS TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) & MINNESOTA STATE BLDG. CODE (MSBC 2020)
2. DESIGN LOADS:
WIND LOAD
BASIC WIND SPEED (3 SECOND GUST).....115 MPH (V_{ult} ultimate) (90 MPH SERVICE)
WIND IMPORTANCE FACTOR, I.....1.0
EXPOSURE.....B
INTERNAL PRESSURE COEFFICIENTS, GC.....±0.18 p_i
- ROOF LOAD
LIVE LOAD (L.L.).....35 PSF **
DEAD LOAD (DESIGN D.L.).....20 PSF
3. ROOF SNOW LOAD:
GROUND SNOW LOAD, P_g.....50 PSF
FLAT ROOF SNOW LOAD, P_f.....35 PSF
SNOW EXPOSURE FACTOR, C_e.....1.0
SNOW LOAD IMPORTANCE FACTOR, I.....1.0
THERMAL FACTOR, C_t.....1.0
- ** PLUS SNOW ACCUMULATION AS REQUIRED BY IBC, CHAPTER 16, SECTION 1608.

- COORDINATION:
1. STRUCTURAL MEMBERS INCLUDING SLABS, BEAMS, JOISTS, COLUMNS AND WALLS ARE DESIGNED FOR "IN PLACE LOADS" CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING, WITHOUT OVERSTRESSING, ALL STRUCTURAL ELEMENTS (AS REQUIRED AT ANY STAGE OF CONSTRUCTION) UNTIL COMPLETION OF THIS PROJECT.

- FOUNDATIONS:
1. FOOTINGS WERE DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 3000 PSF PER GEOTECHNICAL REPORT. SOIL BEARING PRESSURE SHALL BE VERIFIED PRIOR TO THE CONSTRUCTION OF THE FOOTINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER. LOWER THE FOOTING ELEVATIONS SHOWN IF NECESSARY TO OBTAIN THE REQUIRED BEARING PRESSURE.

- CONCRETE:
1. ALL CONCRETE SHALL BE NORMAL WEIGHT (150 PCF.) MINIMUM 28 DAY COMPRESSIVE STRENGTH, AS SPECIFIED BELOW:
FOOTINGS AND FOUNDATION WALLS.....3000 PSI
SLAB ON GRADE.....4000 PSI (MINIMUM)
2. PROVIDE 3" CLEAR COVER ON BOTTOM AND SIDES FOR FOOTING REINFORCING.
3. MAX. DISTANCE BETWEEN SLAB CONTROL OR CONSTRUCTION JOINTS SHALL NOT EXCEED 15'-0"
4. EXCEPT WHERE OTHERWISE SHOWN, SLABS ON GRADE SHALL BE REINFORCED WITH 6X6-10/10 WELDED WIRE MESH OR FIBERMESH.
5. EXCEPT WHERE OTHERWISE SHOWN, SLABS ON GRADE SHALL BE 6" THICK CONCRETE.
6. CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS. ALL SLAB CONCRETE SHALL BE 4000 PSI, W/ WATER CONTENT RATIO LESS THAN .50 AND PLASTERCIZOR ADDED AT JOB SITE.

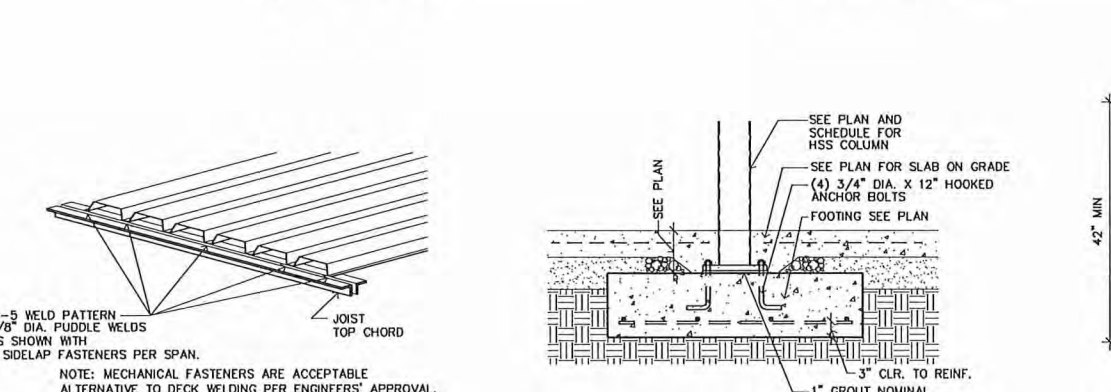
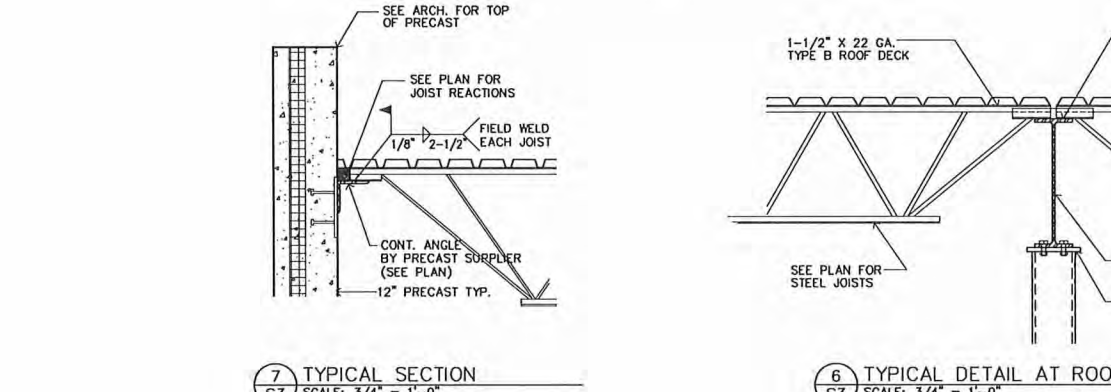
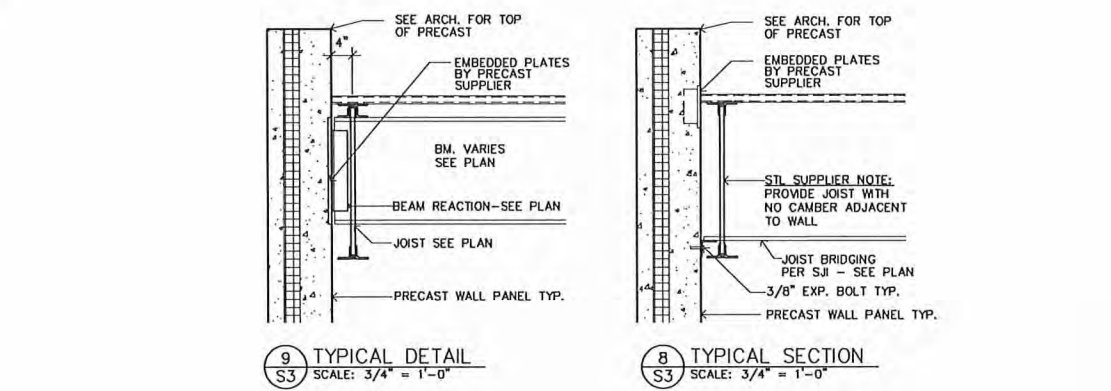
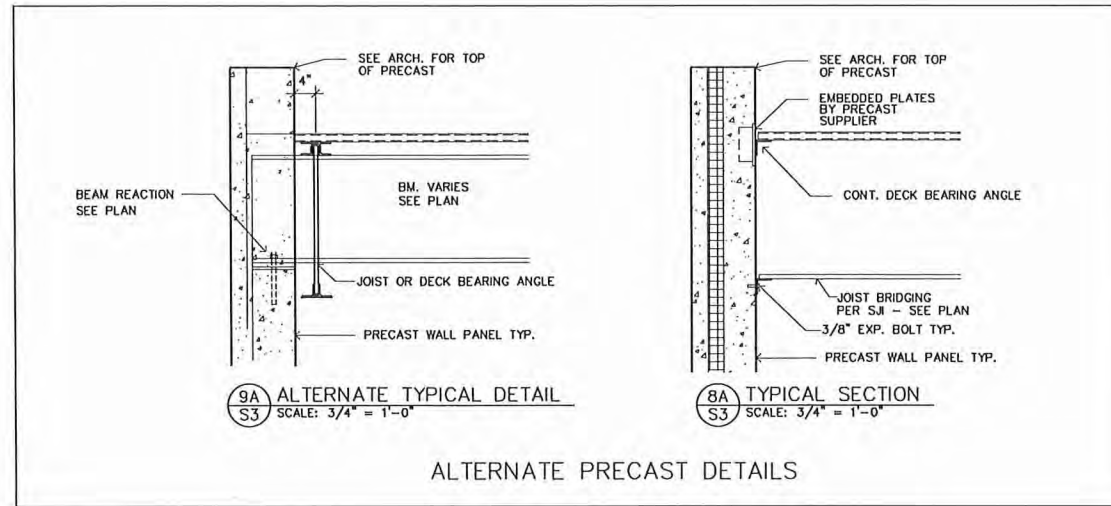
- STRUCTURAL PRECAST CONCRETE:
1. STRUCTURAL PRECAST CONCRETE MEMBERS AND THEIR CONNECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PCI HANDBOOK FOR PRECAST PRESTRESSED CONCRETE. PRESTRESSED UNITS SHALL BE DESIGNED TO SUPPORT THE DESIGN LOADS AS INDICATED
2. PRECAST CONCRETE FABRICATOR SHALL FURNISH ALL LOOSE CLIP ANGLES, INSERTS AND WELD PLATES IN PRECAST AS NECESSARY FOR THE PROPER INSTALLATION OF THE PRECAST MEMBERS.
3. ALL HEADERS AT OPENINGS IN PRECAST TO BE DESIGNED AND FURNISHED BY PRECAST SUPPLIER.

- REINFORCING STEEL:
1. REINFORCING STEEL SHALL CONFORM TO ASTM (GRADE 60).
2. WELDED WIRE FABRIC SHALL BE NEW BILLET STEEL, COLD DRAWN AND CONFORMING TO ASTM A185 AND A82.
3. BAR SUPPORTS, DESIGN, DETAILING, FABRICATION AND PLACING OF REINFORCING BARS AND MESH SHALL BE IN ACCORDANCE WITH THE ACI CODE AND DETAILING MANUAL.
4. UNLESS NOTED OTHERWISE, ALL REINFORCING LAP SPLICES SHALL BE 40 BAR DIAMETERS OR 12", WHICHEVER IS GREATER.
- STEEL JOISTS:
1. ALL JOISTS SHALL COMPLY WITH THE STEEL JOIST INSTITUTE RECOMMENDED "CODE OF STANDARD PRACTICE FOR STEEL JOISTS FOR FABRICATION AND ERECTION."
2. ALL K SERIES JOISTS SHALL HAVE HORIZONTAL WELDED BRIDGING AS SHOWN ON PLANS OR PER S4 RECOMMENDATIONS.
3. FOR DRAINAGE, STEEL JOISTS HAVE BEEN SIZED FOR PONDING CONSIDERATION PER IBC SEC. 1611

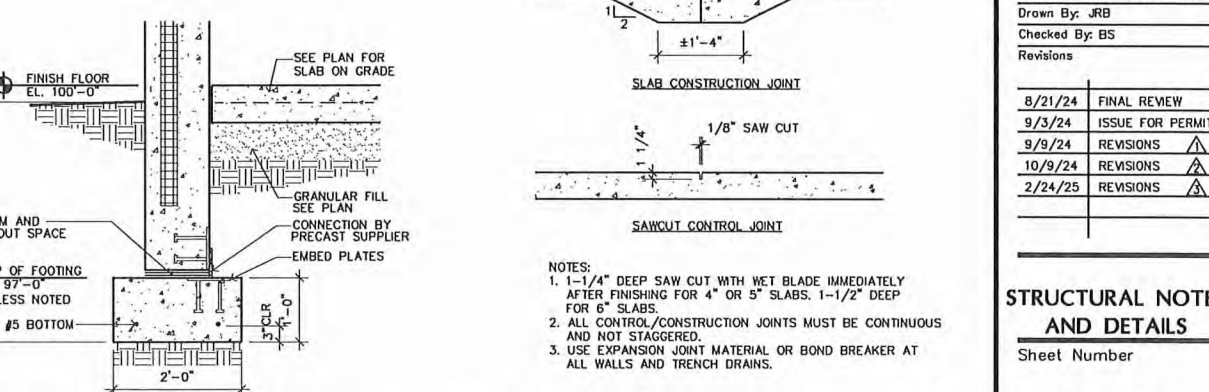
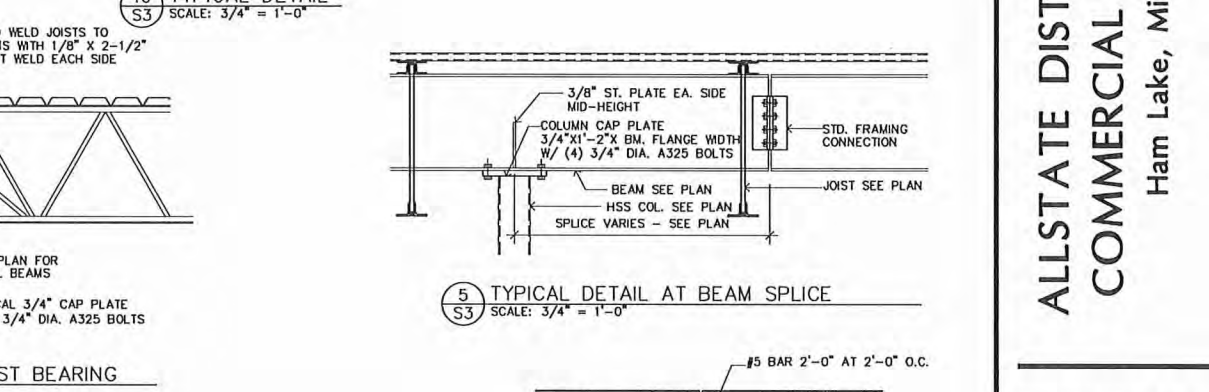
- STEEL DECK:
1. STEEL ROOF DECK SHALL BE 1-1/2" X 22 GA. "TYPE B-WIDE RIB DECK" MANUFACTURED AND ERECTED IN ACCORDANCE WITH THE STEEL DECK INSTITUTE.
2. STEEL DECK SHALL BE WELDED TO SUPPORTING MEMBERS WITH 5/8" DIA. PUDDLE WELDS AT 12" O.C. SIDELAP CONNECTIONS SHALL BE WELDED OR FASTENED WITH #12 TEK'S SELF-DRILLING, SELF-TAPPING SCREWS (2 FASTENERS MINIMUM EQUALLY SPACED PER SIDELAP BETWEEN JOISTS).

- MASONRY:
1. CONCRETE MASONRY UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C90.
2. MINIMUM COMPRESSIVE STRENGTH OF MSY, UNITS F'm 1500 PSI.
3. GROUT FOR HOLLOW MASONRY UNITS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. AND SHALL BE NORMAL WEIGHT PEA GRAVEL CONCRETE.
4. ALL MASONRY WALLS SHALL HAVE HORIZONTAL REINFORCING FABRICATED WITH 9 GAUGE SIDE RODS. THIS REINFORCING SHALL BE LOCATED AT EVERY OTHER COURSE.
5. ALL VERTICAL REINFORCING SHALL BE CONTINUOUS WITH 40 BAR DIAMETER LAPS AT SPLICES UNLESS NOTED.

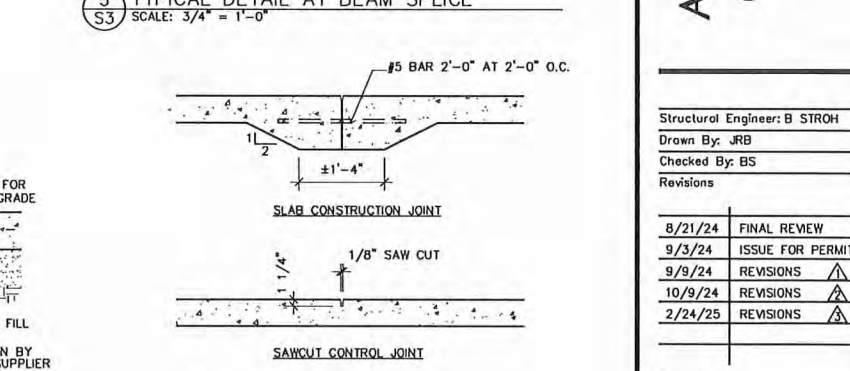
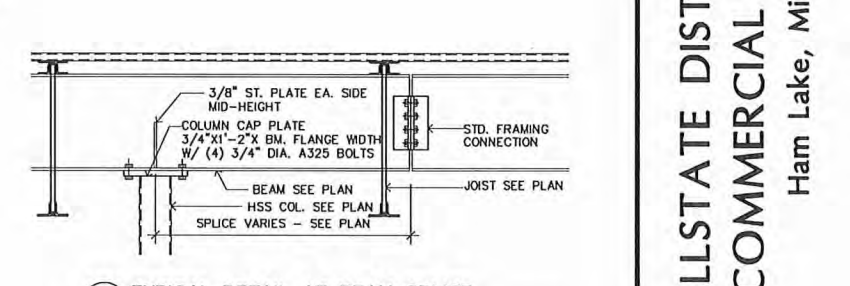
- STRUCTURAL STEEL:
1. DESIGN, DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AISC "MANUAL OF STEEL CONSTRUCTION"
2. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A572 OR A992. STEEL PIPE SHALL CONFORM TO ASTM A501 OR ASTM A53. STEEL TUBES SHALL CONFORM TO ASTM A500 - GRADE B.
3. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS USING E70XX ELECTRODES AND SHALL CONFORM TO AWS STANDARDS.
4. ALL BOLTS SHALL BE 3/4" DIAMETER, ASTM A325.



4 TYPICAL DECK FASTENING DETAIL
S3 SCALE: NOT TO SCALE



2 TYP. DETAIL AT PRECAST WALL FOOTING
S3 SCALE: 3/4\"/>



1 TYP. SLAB CONST./CONTROL JOINT DETAILS
S3 SCALE: 3/4\"/>

- NOTES:
1. 1-1/4" DEEP SAW CUT WITH WET BLADE IMMEDIATELY AFTER FINISHING FOR 4" OR 5" SLABS. 1-1/2" DEEP FOR 6" SLABS.
2. ALL CONTROL/CONSTRUCTION JOINTS MUST BE CONTINUOUS AND NOT STAGGERED.
3. USE EXPANSION JOINT MATERIAL OR BOND BREAKER AT ALL WALLS AND TRENCH DRAINS.



ENGINEER CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

Signature: *B. Stroh*
BERNIE STROH
14269
2/24/25
DATE

NOTTINGHAM CONSTRUCTION
3300 Rice Street Suite 100
St. Paul, MN 55126

ALLSTATE DISTRIBUTIONS
COMMERCIAL BUILDING
Ham Lake, Minnesota

Structural Engineer: B STROH	Drawn By: JRB
Checked By: BS	Revisions
8/21/24	FINAL REVIEW
9/3/24	ISSUE FOR PERMIT
9/9/24	REVISIONS
10/9/24	REVISIONS
2/24/25	REVISIONS

STRUCTURAL NOTES AND DETAILS
Sheet Number

S3
Project No. 230808-2

Minnesota Wetland Conservation Act Notice of Decision

Local Government Unit: Coon Creek Watershed District County: Anoka
Applicant Name: Jeff Entsminger – Entsminger Enterprises LLC
Applicant Representative: Wayne Jacobson – Jacobson Environmental LLC
Project Name: Allstate Distributions Delineation & No-Loss LGU Project No. (if any): W24-014
Date Complete Application Received by LGU: 5/06/2024 (Extension of a previous NOD)
Date of LGU Decision: 5/08/2024
Date this Notice was Sent: 5/08/2024

WCA Decision Type - check all that apply

<input checked="" type="checkbox"/> Wetland Boundary/Type <input type="checkbox"/> Sequencing <input type="checkbox"/> Replacement Plan <input type="checkbox"/> Bank Plan (not credit purchase)
<input checked="" type="checkbox"/> No-Loss (8420.0415) <input type="checkbox"/> Exemption (8420.0420)
Part: <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9

Replacement Plan Impacts (replacement plan decisions only)

Total WCA Wetland Impact Area:
Wetland Replacement Type: <input type="checkbox"/> Project Specific Credits: <input type="checkbox"/> Bank Credits:
Bank Account Number(s):

Technical Evaluation Panel Findings and Recommendations (attach if any)

<input checked="" type="checkbox"/> Approve <input type="checkbox"/> Approve w/Conditions <input type="checkbox"/> Deny <input type="checkbox"/> No TEP Recommendation
--

LGU Decision

<input type="checkbox"/> Approved with Conditions (specify below) ¹ <input checked="" type="checkbox"/> Approved ¹ <input type="checkbox"/> Denied List Conditions:
Decision-Maker for this Application: <input checked="" type="checkbox"/> Staff <input type="checkbox"/> Governing Board/Council <input type="checkbox"/> Other:
Decision is valid for: <input checked="" type="checkbox"/> 5 years (default) <input type="checkbox"/> Other (specify):

¹ *Wetland Replacement Plan approval is not valid until BWSR confirms the withdrawal of any required wetland bank credits. For project-specific replacement a financial assurance per MN Rule 8420.0522, Subp. 9 and evidence that all required forms have been recorded on the title of the property on which the replacement wetland is located must be provided to the LGU for the approval to be valid.*

LGU Findings – Attach document(s) and/or insert narrative providing the basis for the LGU decision¹.

<input checked="" type="checkbox"/> Attachment(s) (specify): Site Location, 19-097 NOD
<input checked="" type="checkbox"/> Summary: The site is located in Section 32, Township 32N, Range 23W in Ham Lake, Anoka County, Minnesota. The overall site is approximately 2.25 acres.
This site was previously delineated on April 26, 2019, by Jacobson Environmental and a Notice of Decision was distributed on July 12, 2019, approving the wetland boundary & type and no-loss application. The decision is expired, as it was valid for 3 years. This decision identified the following wetlands onsite: Basin 1: Type 5, 0.213 acres Basin 2: Type 1, 226 sf/0.0052 acres Basin 3: Type 1, 96 sf/0.0022 acres

Basin 4: Type 1, 383 sf/0.0088 acres

Sufficient evidence was provided to show that Basins 2, 3 and 4 were excavated in former upland and were, therefore, determined to be incidental.

The applicant has submitted an application to extend the previous NOD. The TEP agrees that there have been no changes in the landscape of the site after aerial review. This decision approves the extension of the wetland boundary & type and indicated no-loss decision for the site shown in the attached figures.

¹ Findings must consider any TEP recommendations.

Attached Project Documents

Site Location Map Project Plan(s)/Descriptions/Reports (specify):

Appeals of LGU Decisions

If you wish to appeal this decision, you must provide a written request within 30 calendar days of the date you received the notice. All appeals must be submitted to the Board of Water and Soil Resources Executive Director along with a check payable to BWSR for \$500 *unless* the LGU has adopted a local appeal process as identified below. The check must be sent by mail and the written request to appeal can be submitted by mail or e-mail. The appeal should include a copy of this notice, name and contact information of appellant(s) and their representatives (if applicable), a statement clarifying the intent to appeal and supporting information as to why the decision is in error. Send to:

Appeals & Regulatory Compliance Coordinator
Minnesota Board of Water & Soils Resources
520 Lafayette Road North
St. Paul, MN 55155
travis.germundson@state.mn.us

Does the LGU have a local appeal process applicable to this decision?

Yes¹ No

¹If yes, all appeals must first be considered via the local appeals process.

Local Appeals Submittal Requirements (LGU must describe how to appeal, submittal requirements, fees, etc. as applicable)

Notice Distribution (include name)

Required on all notices:

SWCD TEP Member: Becky Wozney (becky.wozney@anokaswcd.org)

BWSR TEP Member: Ben Meyer (ben.meyer@state.mn.us)

LGU TEP Member (if different than LGU contact):

DNR Representative: Melissa Collins (melissa.collins@state.mn.us);

Dustie Speldrich (dustie.speldrich@state.mn.us)

Watershed District or Watershed Mgmt. Org.:

Applicant: Jeff Entsminger (jeff@allseasonservices.com)

Agent/Consultant: Wayne Jacobson (jacobsonenv@msn.com)

Optional or As Applicable:

Corps of Engineers: usace_requests_mn@usace.army.mil

BWSR Wetland Mitigation Coordinator (required for bank plan applications only):

Members of the Public (notice only):

Other: City of Ham Lake

Signature:

Erin Margl

Date:

5/08/2024

This notice and accompanying application materials may be sent electronically or by mail. The LGU may opt to send a summary of the application to members of the public upon request per 8420.0255, Subp. 3.

Minnesota Wetland Conservation Act

Notice of Decision

Local Government Unit (LGU) Coon Creek Watershed District (CCWD)	Address 12301 Central Avenue NE, Suite 100 Blaine, MN 55434
--	---

1. PROJECT INFORMATION

Applicant Name Andrey Radysyuk, Voice of Hope Church	Project Name Voice of Hope Church Expansion	Date of Application 5/1/2019	Application Number 19-097
<input checked="" type="checkbox"/> Attach site locator map.			

Type of Decision:

<input checked="" type="checkbox"/> Wetland Boundary or Type	<input checked="" type="checkbox"/> No-Loss	<input type="checkbox"/> Exemption	<input type="checkbox"/> Sequencing
<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Banking Plan		

Technical Evaluation Panel Findings and Recommendation (if any):

<input type="checkbox"/> Approve	<input checked="" type="checkbox"/> Approve with conditions	<input type="checkbox"/> Deny
Summary (or attach):		

2. LOCAL GOVERNMENT UNIT DECISION

Date of Decision: 6/30/2019		
<input type="checkbox"/> Approved	<input checked="" type="checkbox"/> Approved with conditions (include below)	<input checked="" type="checkbox"/> Denied

LGU Findings and Conclusions (attach additional sheets as necessary):

The site is located immediately north of 13850 Lincoln St. NE, Ham Lake, Section 32, Township 32N, Range 23W, and covers Anoka County parcel number 32-32-23-21-0009. According to the application, the area reviewed covered approximately 2.25 acres.

On April 26, 2019, a field investigation was conducted. The wetland delineation identified the following wetlands on site.

Basin 1: Type 5, 0.213 acres
 Basin 2: Type 1, 226 sf/0.0052 acres
 Basin 3: Type 1, 96 sf/0.0022 acres
 Basin 4: Type 1, 383 sf/0.0088 acres

The Applicant is requesting three decisions. Boundary/Type, No Loss concurrence for Pond 1(Basin 1) and Exemption concurrence – de minimis for 705 square feet of proposed impact to Basins 2-4. Historical aerial analysis indicates that Pond 1 (Basin 1) was excavated in former wetland and is therefore considered jurisdictional to WCA and a No Loss does not apply. Basins 2-4 appear to be excavated in former upland and therefore are considered incidental and not regulated under WCA.

This decision approves the wetland boundaries and types as shown in the delineation report (Figure 5) received 5/1/2019. This decision approves Basins 2, 3 and 4 as incidental. This decision denies that Pond 1(Basin 1) is incidental under WCA.

Conditions:

1. Provide GIS/CADD file of wetland boundaries
2. Provide Grading and Development Permit application if grading is proposed in or adjacent to wetlands.

For Replacement Plans using credits from the State Wetland Bank:

Bank Account #	Bank Service Area	County	Credits Approved for Withdrawal (sq. ft. or nearest .01 acre)


Replacement Plan Approval Conditions. In addition to any conditions specified by the LGU, the approval of a Wetland Replacement Plan is conditional upon the following:

- Financial Assurance:** For project-specific replacement that is not in-advance, a financial assurance specified by the LGU must be submitted to the LGU in accordance with MN Rule 8420.0522, Subp. 9 (List amount and type in LGU Findings).
- Deed Recording:** For project-specific replacement, evidence must be provided to the LGU that the BWSR "Declaration of Restrictions and Covenants" and "Consent to Replacement Wetland" forms have been filed with the county recorder's office in which the replacement wetland is located.
- Credit Withdrawal:** For replacement consisting of wetland bank credits, confirmation that BWSR has withdrawn the credits from the state wetland bank as specified in the approved replacement plan.

Wetlands may not be impacted until all applicable conditions have been met!

LGU Authorized Signature:

Signing and mailing of this completed form to the appropriate recipients in accordance with 8420.0255, Subp. 5 provides notice that a decision was made by the LGU under the Wetland Conservation Act as specified above. If additional details on the decision exist, they have been provided to the landowner and are available from the LGU upon request.

Name Matt Danzl	Title Water Resource Regulation Coordinator	
Signature: 	Date 7/12/2019	Phone Number and E-mail 763-755-0975 Mdanzl@cooncreekwd.org

THIS DECISION ONLY APPLIES TO THE MINNESOTA WETLAND CONSERVATION ACT. Additional approvals or permits from local, state, and federal agencies may be required. Check with all appropriate authorities before commencing work in or near wetlands.

Applicants proceed at their own risk if work authorized by this decision is started before the time period for appeal (30 days) has expired. If this decision is reversed or revised under appeal, the applicant may be responsible for restoring or replacing all wetland impacts.

This decision is valid for three years from the date of decision unless a longer period is advised by the TEP and specified in this notice of decision.

3. APPEAL OF THIS DECISION

Pursuant to MN Rule 8420.0905, any appeal of this decision can only be commenced by mailing a petition for appeal, including applicable fee, within thirty (30) calendar days of the date of the mailing of this Notice to the following as indicated:

Check one:

<input type="checkbox"/> Appeal of an LGU staff decision. Send petition and \$ _____ fee (if applicable) to:	<input checked="" type="checkbox"/> Appeal of LGU governing body decision. Send petition and \$500 filing fee to:
--	---

Executive Director
Minnesota Board of Water and Soil Resources
520 Lafayette Road North
St. Paul, MN 55155

4. LIST OF ADDRESSEES

- SWCD TEP member: **Becky Wozney (becky.wozney@anokaswcd.org)**
- BWSR TEP member: **Ben Meyer (ben.meyer@state.mn.us)**
- LGU TEP member (if different than LGU Contact):
- DNR TEP member: **Becky Horton (Becky.Horton@state.mn.us)**
- DNR Regional Office (if different than DNR TEP member)
- DNR WREO: **Julie Siems (Julie.Siems@state.mn.us)**
- WD or WMO (if applicable):
- Applicant (notice only) and Landowner (if different): **Andrey Radysyuk – andrey.radysyuk@gmail.com**
- Members of the public who requested notice (notice only): **Consultant: Jacobson Environmental – Wayne Jacobson (jacobsonenv@msn.com)**
- Corps of Engineers Project Manager (notice only) **Melissa Jenny (Melissa.M.Jenny@usace.army.mil)**
- BWSR Wetland Bank Coordinator (wetland bank plan applications only)

5. MAILING INFORMATION

- For a list of BWSR TEP representatives: www.bwsr.state.mn.us/aboutbwsr/workareas/WCA_areas.pdf
- For a list of DNR TEP representatives: www.bwsr.state.mn.us/wetlands/wca/DNR_TEP_contacts.pdf
- Department of Natural Resources Regional Offices:

<u>NW Region:</u>	<u>NE Region:</u>	<u>Central Region:</u>	<u>Southern Region:</u>
Reg. Env. Assess. Ecol. Div. Ecol. Resources 2115 Birchmont Beach Rd. NE Bemidji, MN 56601	Reg. Env. Assess. Ecol. Div. Ecol. Resources 1201 E. Hwy. 2 Grand Rapids, MN 55744	Reg. Env. Assess. Ecol. Div. Ecol. Resources 1200 Warner Road St. Paul, MN 55106	Reg. Env. Assess. Ecol. Div. Ecol. Resources 261 Hwy. 15 South New Ulm, MN 56073

For a map of DNR Administrative Regions, see: http://files.dnr.state.mn.us/aboutdnr/dnr_regions.pdf

- For a list of Corps of Project Managers: www.mvp.usace.army.mil/regulatory/default.asp?pageid=687 or send to:

US Army Corps of Engineers
St. Paul District, ATTN: OP-R
180 Fifth St. East, Suite 700
St. Paul, MN 55101-1678

- For Wetland Bank Plan applications, also send a copy of the application to:
Minnesota Board of Water and Soil Resources
Wetland Bank Coordinator
520 Lafayette Road North
St. Paul, MN 55155

6. ATTACHMENTS

In addition to the site locator map, list any other attachments:

- Figure 5 – Delineated Wetlands**
-
-
-



13850 Lincoln St NE

Figure 1 Site Location Map

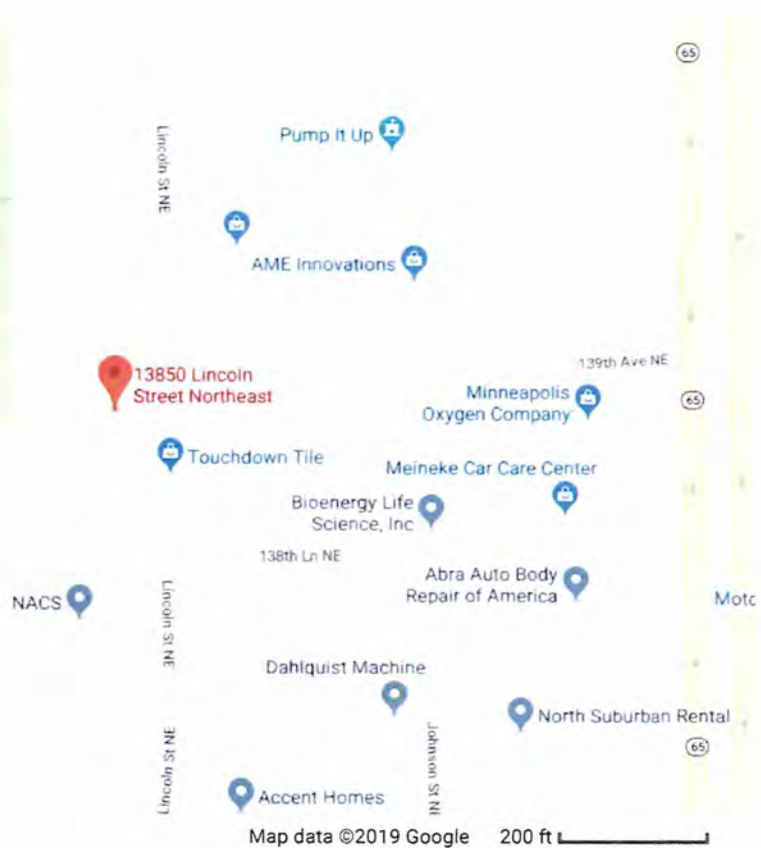
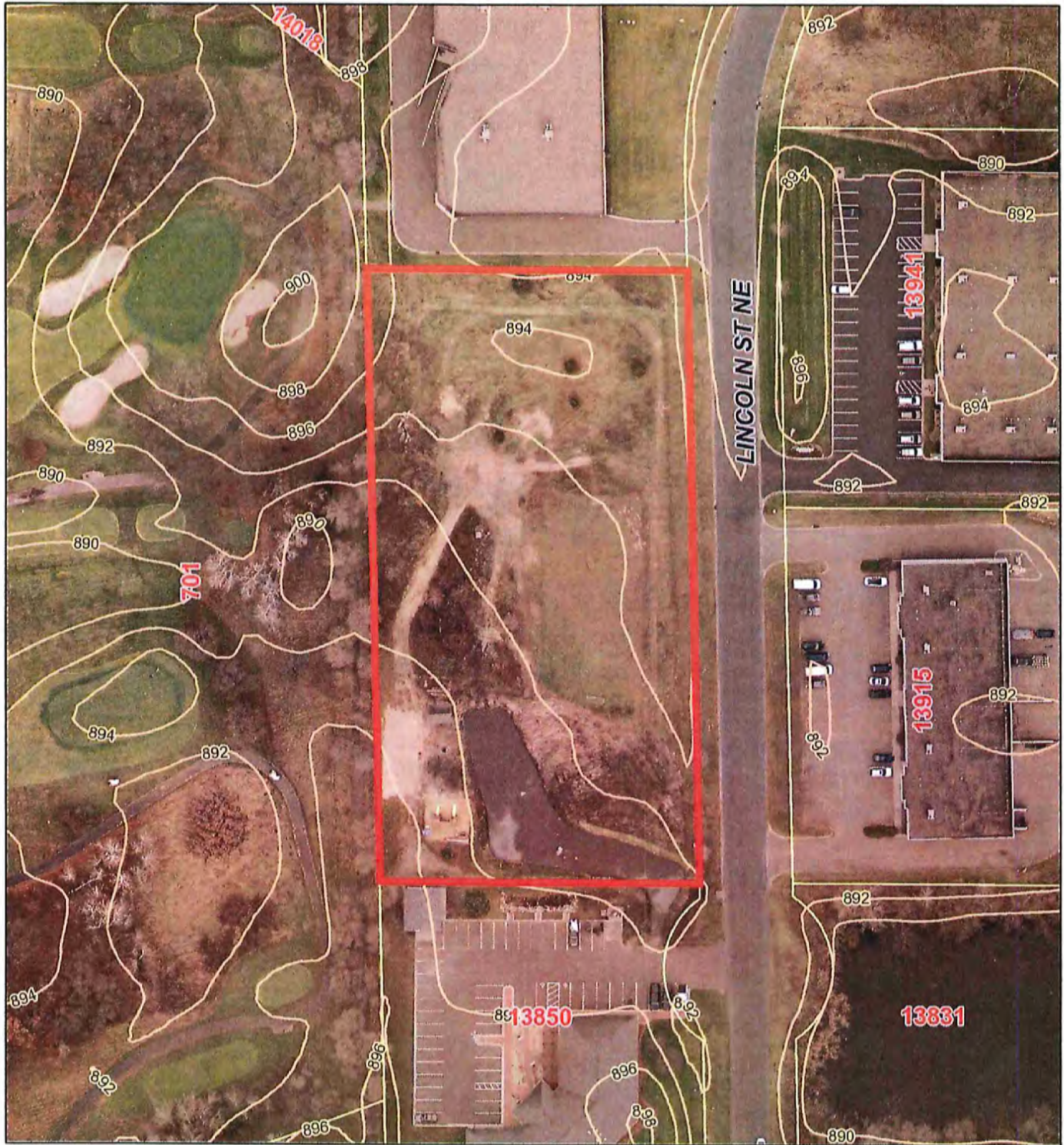


Figure 6 Site Map



April 23, 2019

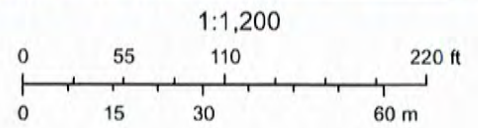
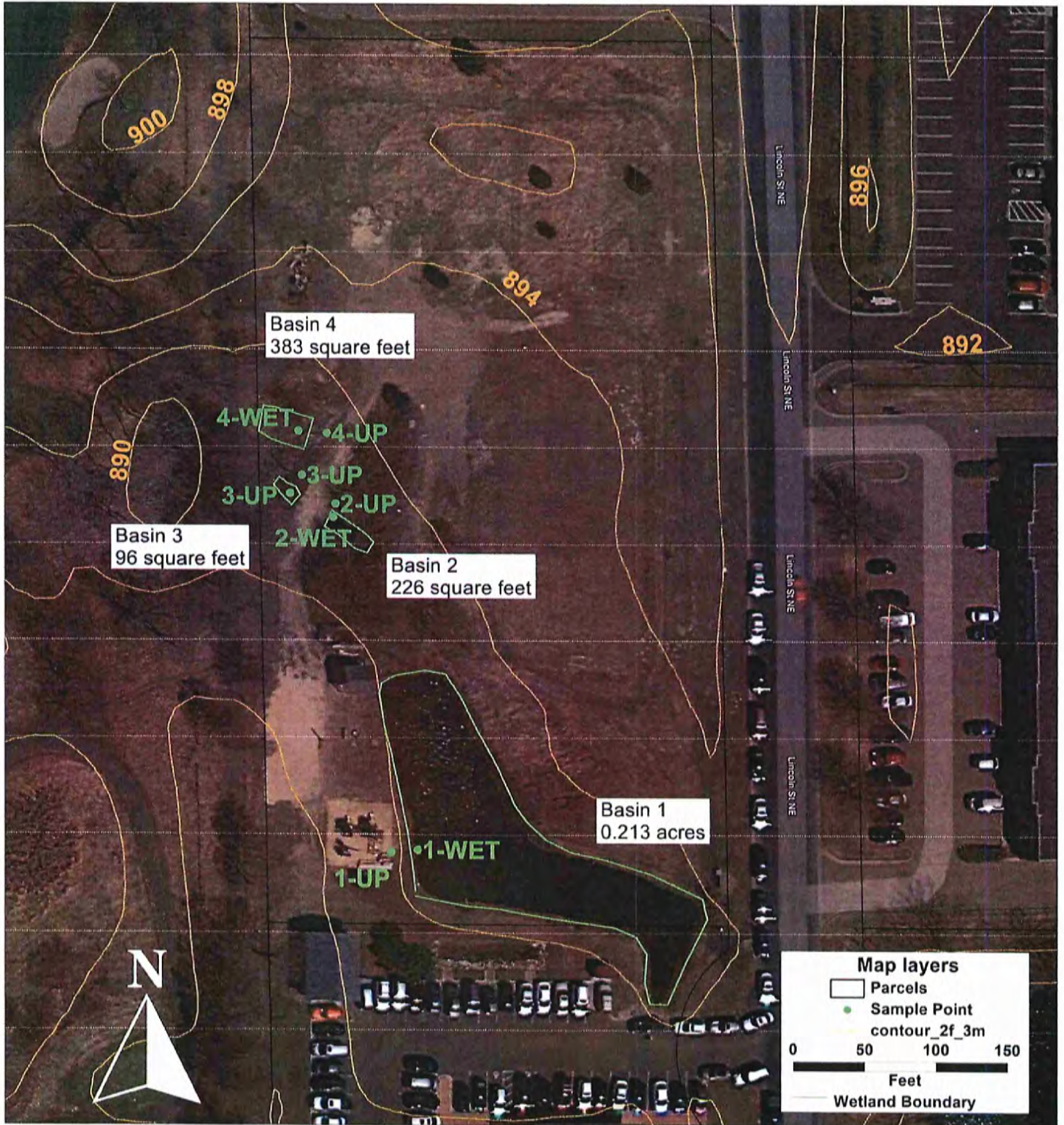


Figure 5 Delineation Map



- E. Other areas where other than natural wooded vegetation is to be used as ground cover, identifying the ground cover to be used;
- F. Locations, trunk size, height and species of all trees to be planted;
- G. Locations where existing natural wooded vegetation will remain undisturbed;
- H. All other landscaping features to be used.

11-1850 MINIMUM LANDSCAPING REQUIREMENTS

11-1851 Paved Surfaces All surfaces upon which motor vehicles will be parked or driven, and all areas in which pedestrians will be walking from point to point shall be surfaced with asphalt or concrete, to specifications established by the City's engineer.

11-1852 Ground Cover On any side of a lot which abuts a public road, the area from the road right-of-way to the nearest building side shall be entirely covered with ground cover consisting of pavement, decorative rock bordered with edging, lawn grass intended for regular mowing, mulch, bark, wood chips or other commonly used landscaping ground cover. Shingles, aggregate and clay mixtures such as Class V material, recycled concrete or asphalt, and other non-conventional ground covers shall not be permitted. Loose ground cover shall be installed to a depth of at least three inches. Any area which is covered by landscaping ground cover (not lawn or pavement) shall also include one decorative shrub for each ten square feet of ground cover.

Side yards and rear yards which do not contain existing natural wooded vegetation shall either be covered with ground cover in the manner stated above for front yards, or shall be planted so as to encourage the emergence of natural wooded vegetation, through the planting of tree species expected to reach a height of at least twenty five feet. Areas so prepared shall not be required to have mown lawn areas, but may be allowed to return to a natural state.

11-1853 Tree Plantings Trees which are planted outside of areas intended to return to a natural wooded state shall be of a variety indigenous to the local climate. Deciduous trees shall, when planted, have a trunk size of at least one and one half inches at a height of four feet from ground level. Conifers shall have a height of at least five feet. Tree locations are subject to review and approval of the City in the landscaping plan review process, and while no specific number of trees are required, the following general principles shall be observed;

- A. Where property lines are adjacent to residential areas, a planting screen of conifers shall be required, of sufficient size and proximity to provide an intermingled screen within five years;
- B. Decorative trees shall be planted along the right of way lines of adjacent public roadways;

- C. The use of conifers shall be encouraged and preferred.
- D. Whenever possible, an attempt will be made to preserve stands of existing vegetation, particularly treed or wooded areas.

11-1860 Case by Case Evaluation

Recognizing that the City contains a wide variety of commercial land, the landscape approval process shall be on a case by case basis. Where wetlands are present, or where large distances separate a commercial lot from adjacent lands, for example, strict adherence to screening requirements may be unnecessary. Likewise, strict adherence to the remaining provisions of Article 11-1800 may be unnecessary where size, spatial relationships, topography or other physical features render a given landscaping plan aesthetically acceptable, and departures from the strict observance of the elements of Article 11-1800 shall not be considered variances requiring a showing of physical hardship. Conversely, an applicant shall be expected to meet the general spirit of this article in establishing an aesthetically pleasing landscaping plan.

11-1900 ILLICIT DISCHARGES AND CONNECTIONS TO STORM DRAINAGE SYSTEM

The purpose of this ordinance is to provide for the health, safety, and general welfare of the citizens of Ham Lake through the regulation of non-storm water discharges to the storm sewer drainage system to the maximum extent practicable as required by federal and state law. This ordinance establishes methods for controlling the introduction of pollutants into the Municipal Separate Storm Sewer System (MS4) in order to comply with requirements of the National Pollutant Discharge Elimination System (NPDES) permit process. The objectives of this ordinance are:

1. To regulate and minimize the contribution of pollutants to the municipal separate storm sewer system (MS4) by stormwater discharges by any user.
2. To prohibit Illicit Connections and Discharges to the municipal separate storm sewer system.
3. To establish legal authority to carry out all inspection, surveillance and monitoring procedures necessary to ensure compliance with this ordinance.

11-1900.10 DEFINITIONS

For the purposes of this Code, the following shall mean:

- a) Authorized Enforcement Agency:** employees or designees of the Administrator of the City of Ham Lake designated to enforce this Ordinance.
- b) Best Management Practices (BMPs):** schedules of activities, prohibitions of practices, general good house keeping practices, pollution prevention and educational practices, maintenance procedures and other management practices to prevent or reduce the

NOTICE OF PERMIT APPLICATION STATUS

Project: Allstate Distributions Commercial Building

Date: March 3, 2025

Applicant: Glen Harstad
14152 Terrace Blvd
Ham Lake, MN 55304

Permit Application#: P-24-026

Purpose: construct commercial building, drive-in doors, and parking with associated stormwater treatment feature

Location: Parcel North of 13850 Lincoln Street NE, Ham Lake

At their meeting on 06/17/2024 the Board of Managers of the Coon Creek Watershed District **Approved with Conditions** the above referenced project with 3 conditions and 2 stipulations. **This is NOT a permit.**

Since the last submittal on 02/27/2025, the following conditions remain which must be addressed before permit issuance.

1. Provide proof of recording of a fully executed Operations and Maintenance Agreement for the perpetual inspection and maintenance of all proposed stormwater management practices after review and approval by the District.
2. Submittal of a performance escrow in the amount of \$3,050.00.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rules. If you have any questions, please call 763-755-0975.

Sincerely,



Erin Margl
Watershed Development Coordinator

cc: File P24-026
Eileen Weigel, Stantec
Dave Krugler, RFC Engineering



CITY OF HAM LAKE

PLANNING REQUEST

15544 Central Avenue NE

Ham Lake, MN 55304

Phone (763) 434-9555 Fax (763) 235-1697

Date of Application 03/03/2025

Date of Receipt 3-4-2025

Receipt # 101690 Amount \$ 10,000

Meeting Appearance Dates:

Planning Commission 3-24-2025

City Council _____

Please check request(s):

- Metes & Bounds Conveyance
- Sketch Plan
- Preliminary Plat Approval*
- Final Plat Approval
- Rezoning*
- Multiple Dog License*

- Commercial Building Permit
- Certificate of Occupancy
- Home Occupation Permit
- Conditional Use Permit (New)*
- Conditional Use Permit (Renewal)
- Other _____

***NOTE: Advisory Signage is required for land use alterations and future road connections. This application also requires a Public Hearing. Such fees shall be deducted from deposit.**

Development/Business Name: JD Ham Lake Holdings, LLC "KOHLER FARMS"

Address/Location of property: 4 Parcels, only one address- 15946 LEXINGTON AVE NE, Ham Lake, MN 55304

Legal Description of property: THE NE1/4 OF SW1/4 OF SEC 13 TWP 32 RGE 23 EX THE S 667 FT OF THE E 670 FT THEREOF, EX RD SUBJ TO EASE OF REC, HAM LAKE TWP NW 1/4 OF SW 1/4 13 32 23, HAM LAKE TWP SW 1/4 OF SW 1/4 13 32 23, THE S 667 FT OF E 670 FT OF THE NE1/4 OF SW1/4 OF SEC 13 TWP 32 RGE 23 EX RD SUBJ TO EASE OF REC

PIN # #13-32-23-31-0002, #13-32-23-32-0001, #13-32-23-33-0001, #13-32-23-31-0003 Current Zoning RA Proposed Zoning R-1

Notes: An attached Narrative and Comment Response Letter had been provided as part of this application.

Applicant's Name: Darren Lazan

Business Name: Landform Professional Services, LLC DEVELOPER = JD HAM LAKE HOLDINGS, JASON OSBERG (612) 205-1220

Address 105 5th Ave S, Suite 513

City Minneapolis State MN Zip Code 55401

Phone 612-638-0250 Cell Phone 612-221-8143 Fax _____

Email address dlazan@landform.net

You are advised that the 60-day review period required by Minnesota Statutes Chapter 15.99 does not begin to run until all of the required items have been received by the City of Ham Lake.

SIGNATURE [Signature] DATE 3/3/25

- FOR STAFF USE ONLY -

ACTION BY: Planning Commission _____
City Council _____

PROPERTY TAXES CURRENT YES NO
Any Active/Deferred Assessments YES NO

Memorandum

Date: March 19, 2025
To: Planning Commissioners
From: David A. Krugler, City Engineer
Subject: Kohler Farms Sketch Plan



Introduction:

The proposed 39 lot residential development is located on the 113.08-acre parcels 13-32-23-31-0002, 13-32-23-32-0001, 13-32-23-33-0001 and a portion of 13-32-23-31-0003 (15946 Lexington Avenue). The existing zoning is Rural Single Family Residential (R-A) and the proposed zoning is Single Family Residential (R-1). A 500-scale zoning map, 600-scale aerial map and a 200-scale half-section map are attached. The plat excludes the southeast portion of the 10.1-acre parcel.

Discussion:

Three access points to the plat are proposed at Hupp Street, 158th Avenue and 159th Avenue. The proposed connection to Hupp Street will result in a roadway length exceeding the maximum of 1,100 feet as stipulated in Article 10-430(K). The developer has presented two alternative proposals, both of which require additional access points to Lexington Avenue through either a roadway extension or three new driveway accesses. Both alternatives present challenges in meeting county and municipal roadway standards.

Lexington Avenue falls under the jurisdiction of the Anoka County Highway Department (ACHD). The proposed alternatives do not meet the required minimum spacing from 161st Avenue or Constance Boulevard. Lexington Avenue's classification as an A Minor Arterial: Expander with a speed limit of 55 mph requires access spacing be 2,640 feet for full access and 1,320 feet for right-in/right-out access. The proposed spacing is only 620 feet from 161st Avenue, which would not comply with the requirement. Per Anoka County Highway Development (ACHD) standards, driveways must connect to local streets and existing driveways must be relocated away from major arterials. Currently, there are no existing driveways within the parcels under review that connect to Lexington Avenue. The 2027 Lexington Avenue improvement plans include a raised median along the 30-acre parcel, which may further impact access feasibility. If alternative 1 or Alternative 2 is chosen, ACHD approval is required.

Per the attached Proposed Municipal Bike Trail System exhibit, Lexington Avenue is identified as a proposed bike path. Because the future bike route is anticipated to be on the west side of Lexington Avenue, a 20-foot-wide easement is recommended for a future bike path. A bike trail easement is shown on the development sketch.

According to Public Works Superintendent Witkowski, if the final design does not establish a connection between Hupp Street/160th Avenue and 159th Avenue/158th Avenue, a bike trail is

recommended to ensure neighborhood connectivity, including access to the Enchanted Estates subdivision and Enchanted Estates Park. Instead of dedicating parkland, the developer will be required to pay parkland dedication fees, with credit given for land dedicated for the trail easements within the plat.

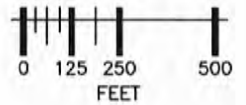
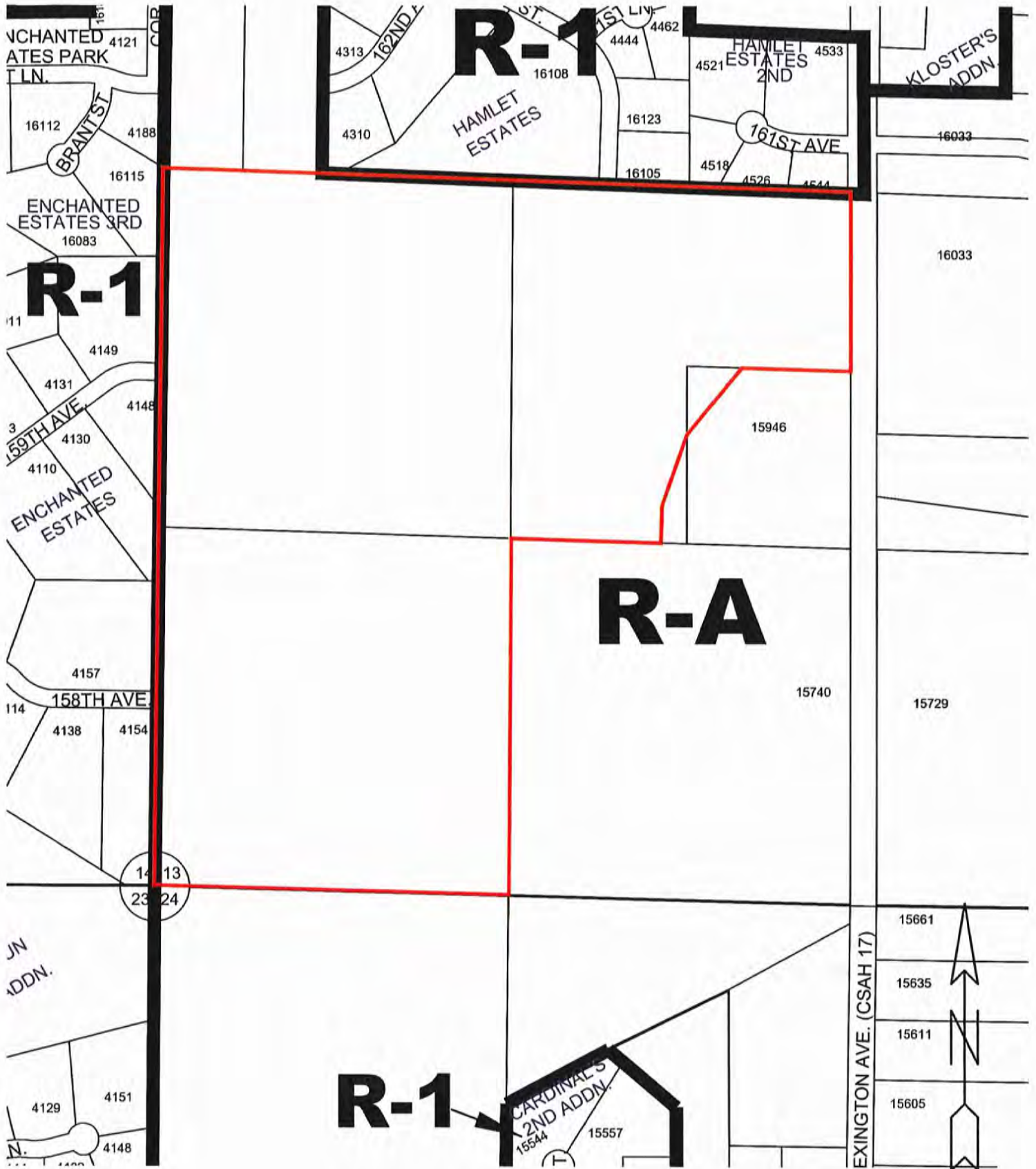
A potential pedestrian trail could also serve a second purpose, as the trail could provide emergency access to Hupp Street/160th Avenue thereby resolving the need to obtain a variance to allow the roadway beyond the 1,100-foot maximum cul-de-sac length. The City has another restricted access at 133rd Lane between Jefferson Oaks Estates and Majestic Oaks 4th Addition. A paved trail would also be a credit toward the parkland development fees required for the development.

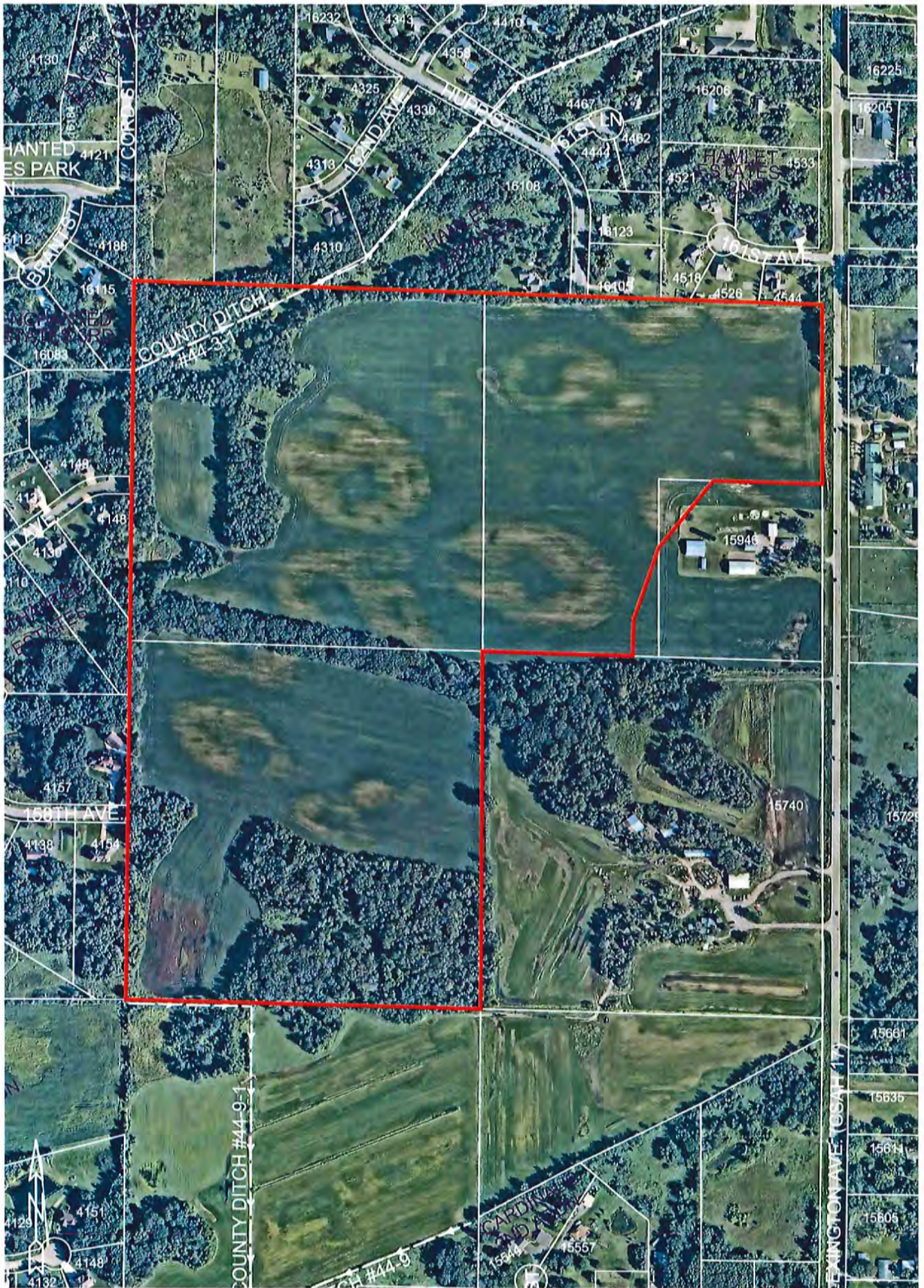
In order to provide viable septic fields for lots 6 and 7, the developer is proposing a lot line with the 15946 Lexington Avenue parcel. A septic compliance inspection, that includes soil borings confirming a secondary septic system location must be completed and certified. The filing of the lot line adjustment with Anoka County must be completed prior to preliminary plat approval. The required dedicated trail easement along Lexington Avenue on the 15946 Lexington Avenue parcel will not be credited toward the parkland dedication fees required for the plat.

Coon Creek Watershed District approval is required. A review by the Minnesota Department of Natural Resources' Natural Heritage Information System is necessary to determine the presence of state-protected species within the plat boundary. A wetland delineation is required. The parcels do not fall within any of the 20 natural resource clusters identified in the Anoka Conservation District's April 2008 Natural Resources Inventory and Assessment (NRIA), which is referenced in Appendix K of the Storm Water Pollution Prevention Plan. No portion of the development falls within FEMA Zone A 100-year flood boundary.

Recommendations:

It is recommended that the Sketch Plan of Kohler Farms be recommended for approval.



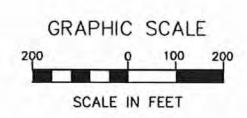


S 1/2 SECTION 13, T. 32, R. 23

CITY OF HAM LAKE



28



ANOKA COUNTY
SURVEYOR'S OFFICE
ROOM 224
2100 3RD AVENUE
ANOKA, MN 55303
(763) 324-3200

QUARTER QUARTER INDEX

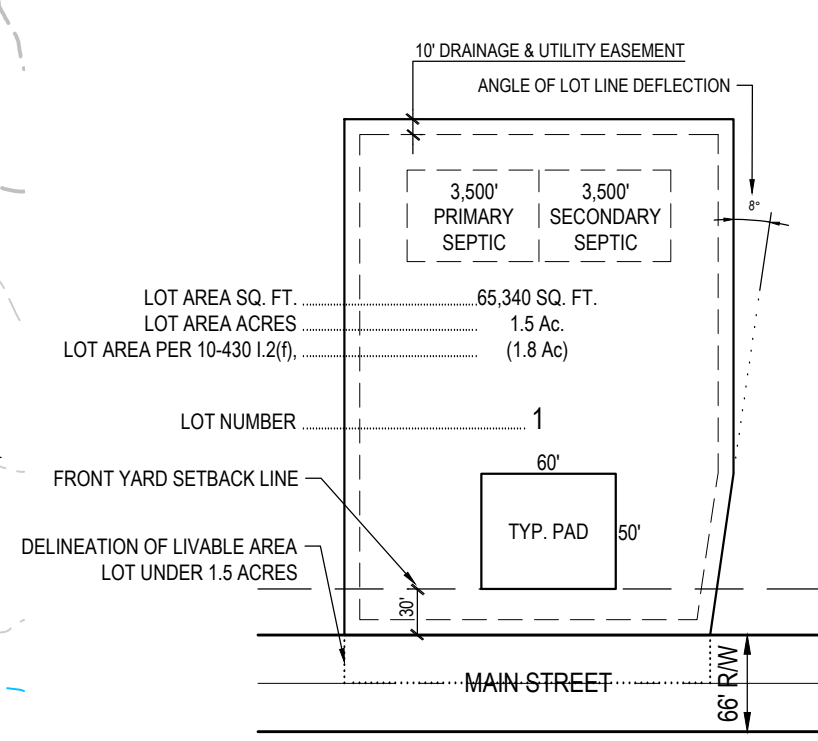
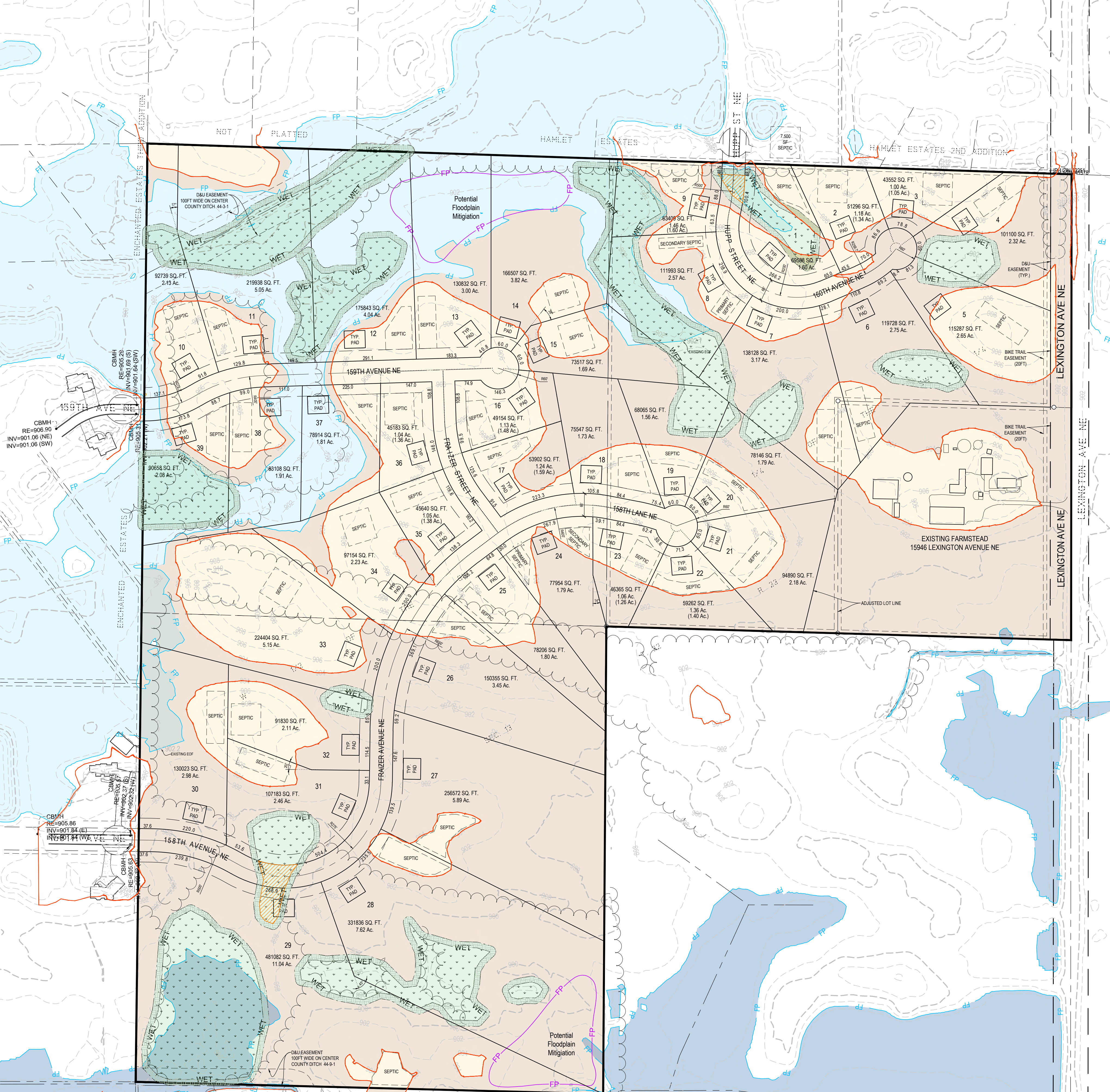
22	21	12	11	NORTH HALF OF SECTION
23	24	13	14	
32	31	42	41	SOUTH HALF OF SECTION
33	34	43	44	

PROPERTY IDENTIFICATION NUMBER

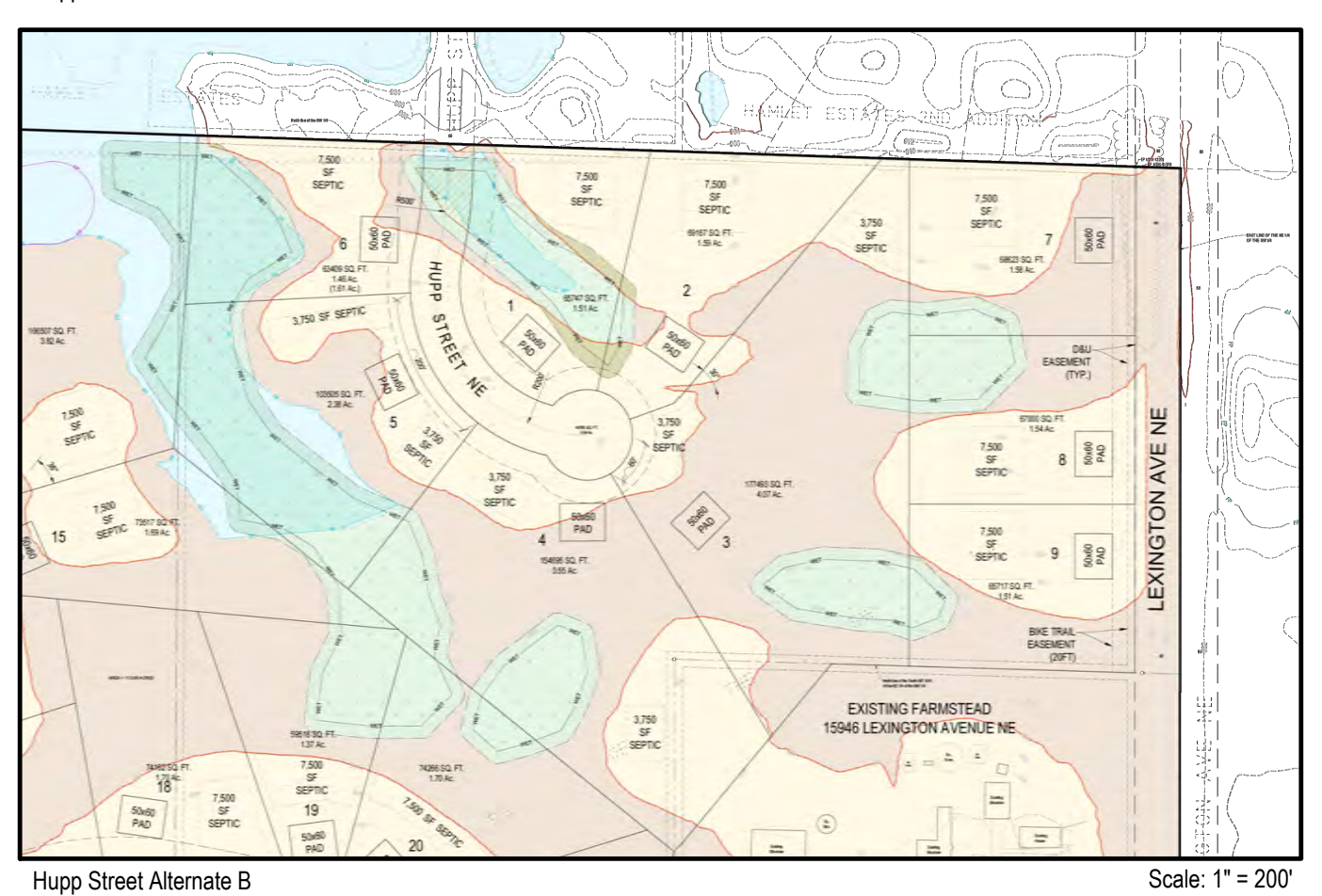
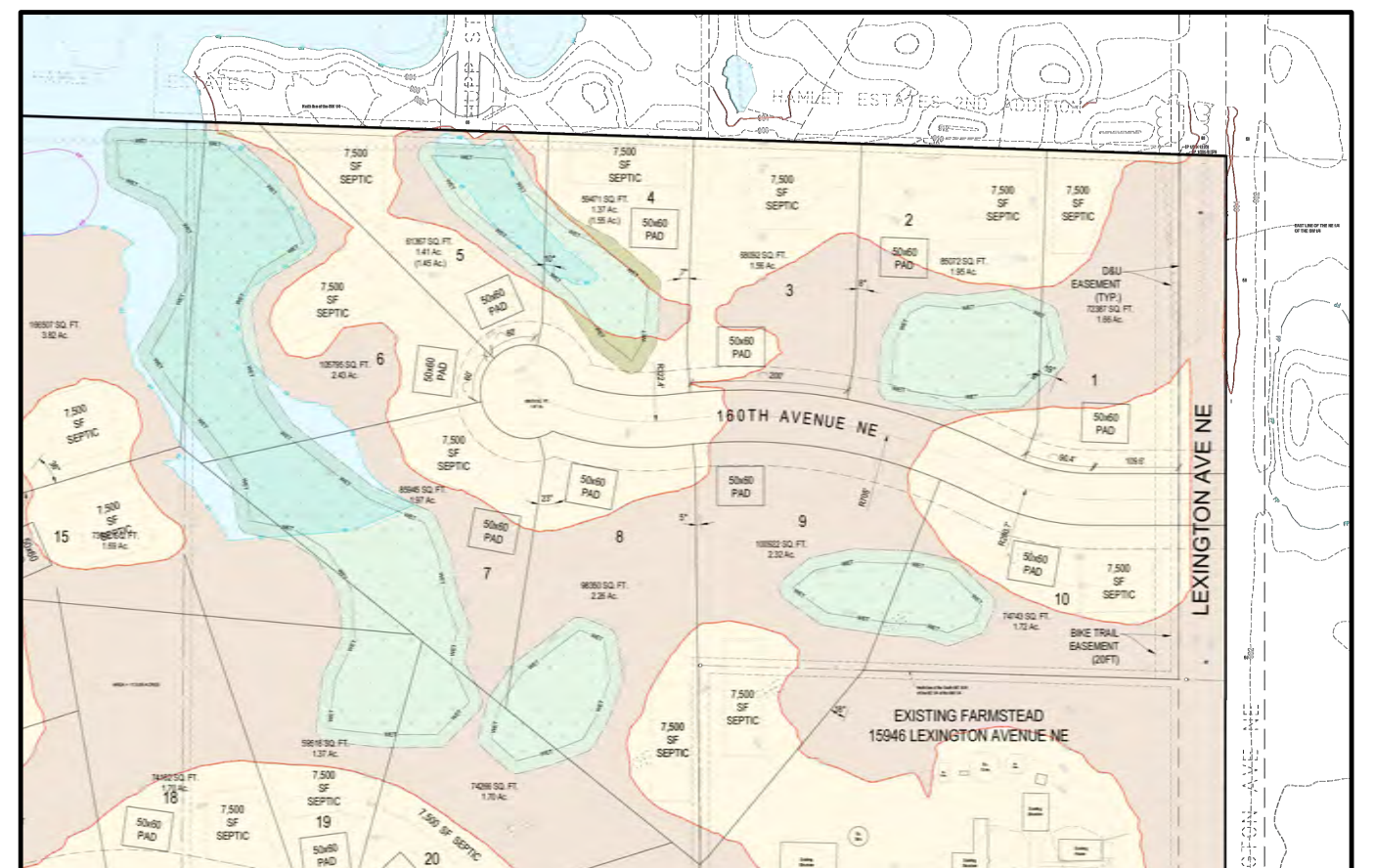
Section Number	Township Number	Range Number	Quarter Number	Specific Parcel
XX	XX	XX	XX	XXXX

SPECIFIC PARCEL NUMBERS ARE IN BRACKETS: [1]
EXAMPLE OF PIN NUMBER: 13-32-23-43-0001

THIS IS A COMPILATION OF RECORDS AS THEY APPEAR IN THE ANOKA COUNTY OFFICES AFFECTING THE AREA SHOWN. THIS DRAWING IS TO BE USED ONLY FOR REFERENCE PURPOSES AND THE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN CONTAINED.



Typical Lot Detail - No Scale



Wetland Impacts: 14,725 SF, 0.34 Ac.

LEGEND

	House Pad
	Septic Field
	Floodplain, Elev.: 902.8 (CCWD Map TA24-052)
	Floodplain, Elev.: 896.8 (CCWD Map TA24-052)
	Wetland (Subject to Final Approval)
	Wetland Buffer
	Potential Wetland Impacts
	904 Contour
	Developable but Unsuitable Septic Area
	Upland Suitable Septic Area
	Floodplain Mitigation
	Existing Trees
	County Ditches

Concept 8.2
HAM LAKE RESIDENTIAL • Ham Lake, MN
Residential Lot Layout • 03.17.2025

AREA SUMMARY

- Gross Project Area = 113.08 Ac.
- Net Developable Area = 52.62 Ac. (Less Wetlands & Floodplain)
- Net Septic Buildable Area = 36.14 Ac. (Above 904.0 Contour)

ZONING SUMMARY

- Current Zoning = R-A (Residential Rural Single Family)
- Proposed Zoning = R-1 (Single Family Residential)
- Front yard setback = 30 ft
- Side yard setback (interior) = 10 ft
- Side yard setback (corner) = 30 ft
- Rear yard setback = 50 ft
- Min. lot area = 1 Acre
- Required Min. lot frontage = 200 ft
- Required Min. cul-de-sac lot frontage = 200 ft
- Required Min. cul-de-sac lot frontage = 60 ft
- R.O.W. width (Local Road) = 66 ft
- Wetland buffer setback = 16.5 ft

YIELD

- Total Lots = 39

LANDFORM
From Site to Finish

f) Computation of Lot Size In calculating the square footage of any lot in any existing subdivision, any future subdivision, or any lot that has been or will be subdivided by means other than traditional platting, the computation shall include the square footage of the land lying between the centerline of any adjacent public road and the nearest lot line of the lot in question, up to a maximum 33 feet width of such road right of way or easement.

J. Avoidance of ISTS Areas At the earliest practical time in the platting process, the developer shall stake and fence the ISTS area for each lot, posting each such area with appropriate signage to warn the operators of motor vehicles or construction equipment to avoid driving over the ISTS area. The staking, fencing and signage may be of such quality as the developer deems appropriate, but in the event that any subsequent inspection by the City reveals that a portion of the ISTS area has been disturbed or compacted, the City may decline to issue a building permit or a Certificate of Occupancy for such lot. Following occupancy, the lot owner shall refrain from compacting or disturbing that portion of the ISTS area which is reserved for the backup ISTS.

K. Streets Specific design standards for streets and roads shall be established from time to time by Resolution of the City Council, upon recommendation of the City Engineer. The following general conditions will be met:

- i) All streets will be paved with concrete or bituminous surfacing, and shall have concrete curb and gutter;
- ii) Where it is likely that a street will extend into adjacent lands, the street will be paved to the property line and temporary cul-de-sacs established; at the time that the temporary cul-de-sac is vacated, the responsibility for removal of paving and restoration of the vacated area shall not be that of the City.
- iii) Cul-de-sac or "dead end" streets shall not exceed 1,100 feet in length unless a substantial probability exists that the street will someday be extended to provide a second outlet for the subdivision.
- iv) Street signs will be erected to the specifications of the City Engineer.
- v) The minimum allowable cul-de-sac will be 175 feet. If a subdivision contains a temporary cul-de-sac or other street that is intended to be extended in the future, a sign reading as follows shall be posted in a conspicuous place at the temporary terminus of the street:

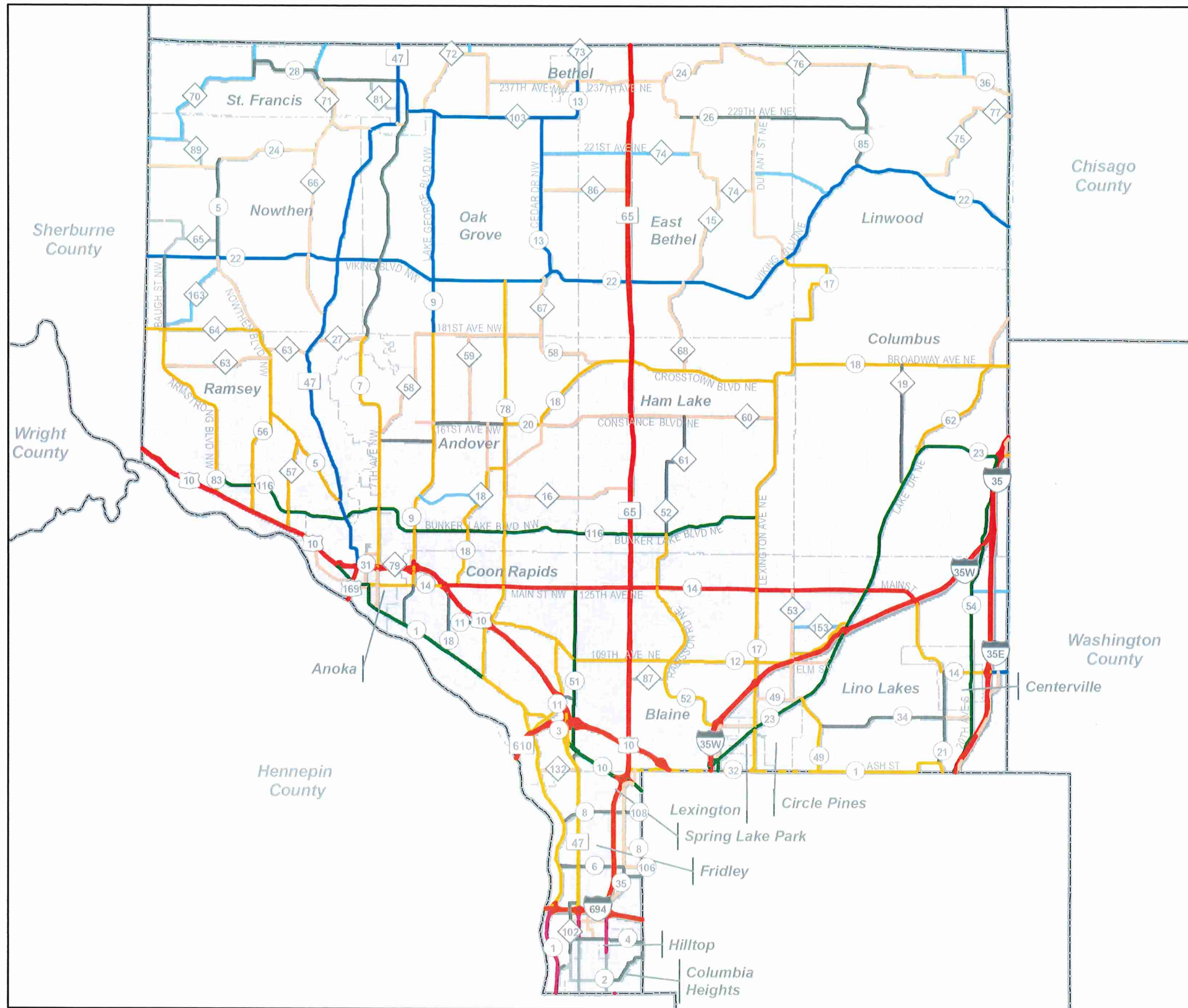
NOTICE

THIS STREET MAY BE EXTENDED BEYOND THIS POINT IN THE FUTURE. FURTHER INFORMATION MAY BE OBTAINED

**Anoka County Highway Department
Access Spacing Guidelines**

Roadway Type	Route Speed (MPH)	Intersection Spacing (Nominal ⁽⁴⁾)		Signal Spacing	Private Access ⁽¹⁾	
		Full Movement Intersection	Conditional Secondary Intersection ⁽²⁾			
Principal Arterial	50 - 55	1 mi.	1/2 mi.	1 mi.	Subject to conditions for all roadway types and speeds	
	40 - 45	1/2 mi.	1/4 mi.	1/2 mi.		
	< 40	1/8 mi.	300 - 660 feet ⁽³⁾	1/4 mi.		
Arterial Expressway	50 - 55	1 mi.	1/2 mi.	1 mi.		
Minor Arterial	50 - 55	1/2 mi.	1/4 mi.	1/2 mi.		
	40 - 45	1/4 mi.	1/8 mi.	1/4 mi.		
	<40	1/8 mi.	300 - 660 feet ⁽³⁾	1/4 mi.		
Collector and Local	50 - 55	1/2 mi.	1/4 mi.	1/2 mi.		
	40 - 45	1/8 mi.	N/A	1/4 mi.		
	<40	1/8 mi.	300 - 660 feet ⁽³⁾	1/8 mi.		
Specific Access Plan		By adopted plan/agreement/covenant on land				

- (1) Private access refers to residential, commercial, industrial and institutional driveways. Reference Anoka County's Development Review Manual for specifics on private access.
- (2) Conditional secondary access is defined as right-in/out.
- (3) Access spacing may be determined by planning documents approved by the county (e.g., Lino Lakes I-35E AUAR)
- (4) Any spacing deviations shall have a detailed traffic study completed by the requesting agency, AND approved by the County Engineer.



Legend

- Principal Arterial
- A Minor Arterial: Augmentor
- A Minor Arterial: Reliever
- A Minor Arterial: Expander
- A Minor Arterial: Connector
- B Minor
- Major Collector
- Minor Collector
- Interstates
- US Highways
- State Highways
- County State Aid Highways (CSAH)
- County Roads
- Local Roads

N

0 1.5 3 6 Miles

1 inch = 3 miles

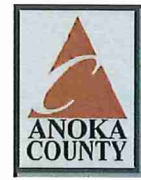


Figure 3-3
Functionally Classified Roadways

PRESIDENTS

CITIES

BATTLES

AUTOMOBILES

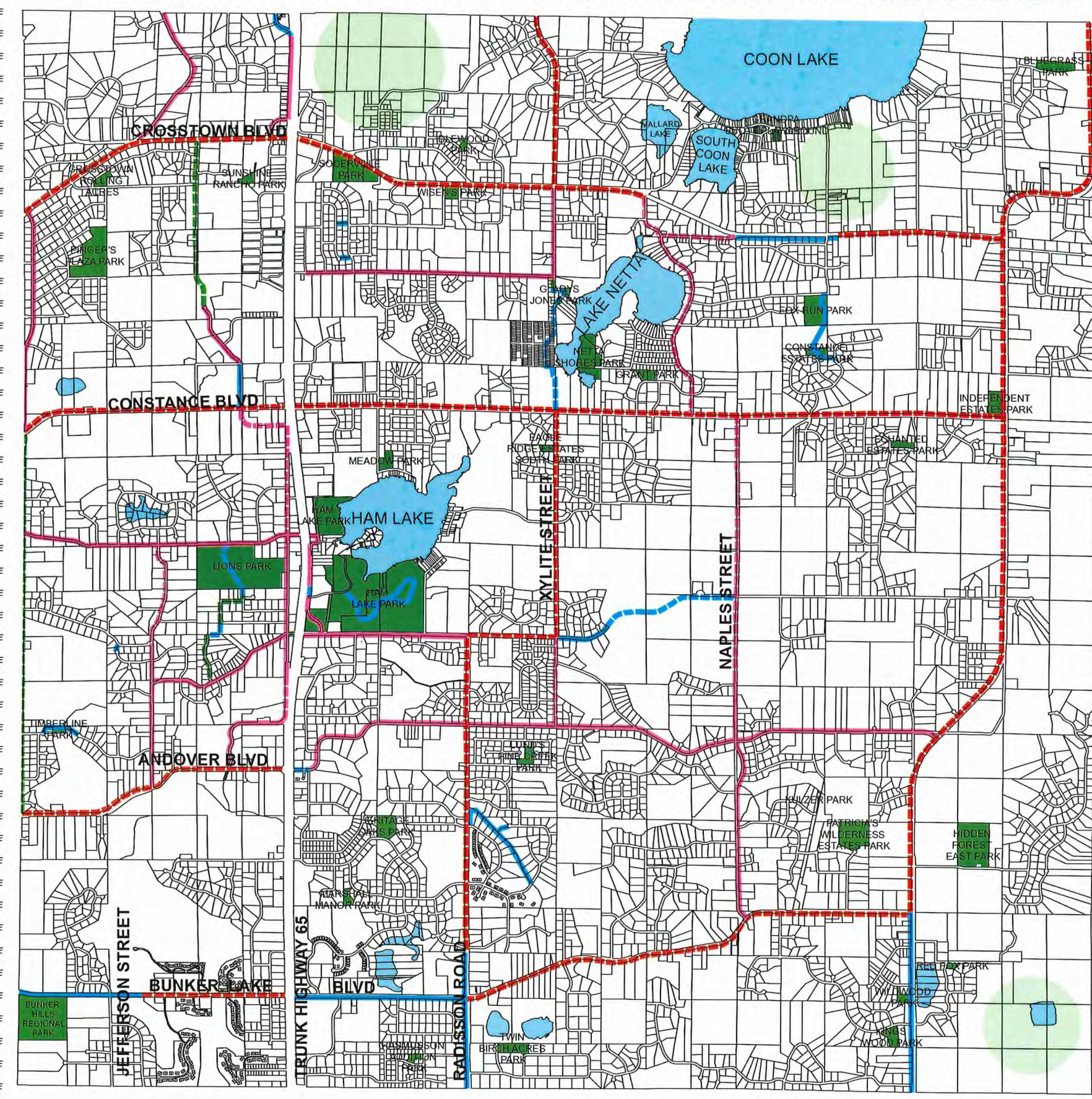


HAM LAKE, MINNESOTA

BIKE FACILITIES MAP

- UNIVERSITY AVENUE
- 3RD STREET
- 4TH STREET
- 5TH STREET
- 6TH STREET
- 7TH STREET
- TERRACE ROAD
- WASHINGTON STREET
- JEFFERSON STREET
- MADISON STREET
- MONROE STREET
- QUINCY STREET
- JACKSON STREET
- VAN BUREN STREET
- ABLE STREET
- TYLER STREET
- POLK STREET
- TAYLOR STREET
- FILLMORE STREET
- PIERCE STREET
- BUCHANAN STREET
- LINCOLN STREET
- JOHNSON STREET
- LYLITES STREET
- CENTRAL AVENUE
- ABERDEEN STREET
- BALTIMORE STREET
- CHISHOLM STREET
- DAVENPORT STREET
- EVELETH STREET
- FERGUS STREET
- GOODHUE STREET
- HASTINGS STREET
- ISANTI STREET
- JENKINS STREET
- KENYON STREET
- LONDON STREET
- MANKATO STREET
- MASSAU STREET
- OWATONNA STREET
- PALISADE STREET
- QUAMBA STREET
- ROCHESTER STREET
- STAPLES STREET
- TACONITE STREET
- URBANK STREET
- VERMILION STREET
- WACONIA STREET
- XYLITE STREET
- YANCT STREET
- ZUMBROTA STREET
- ALAMO STREET
- BATAVN STREET
- CORAL SEA STREET
- DUNKIRK STREET
- EDISON STREET
- FLANDERS STREET
- GUADALCANAL STREET
- HARPERS STREET
- IWO JIMA STREET
- JAMESTOWN STREET
- KISKA STREET
- LEYTE STREET
- MIDWAY STREET
- NAPLES STREET
- OKANAWA STREET
- PETERSBURG STREET
- QUOMOY STREET
- RENDOVAH STREET
- TIPPECANOE STREET
- URAL STREET
- VICKERS STREET
- WAKE STREET
- XEBEC STREET
- YALTA STREET
- ZEST STREET
- AUSTIN STREET
- BRANT STREET
- CORD STREET
- DURANT STREET
- ERSKIN STREET
- FRAZER STREET
- GHAIA STREET
- HUPP STREET
- ISETTA STREET
- JEWELL STREET
- KISSEL STREET
- LEVER STREET
- MARMON STREET
- NATIONAL STREET
- OPAL STREET
- PACKARD STREET
- QUITO STREET
- ROCKNEY STREET
- STUTZ STREET
- TUCKER STREET

- 181ST AVENUE
- 180TH AVENUE
- 179TH AVENUE
- 178TH AVENUE
- 177TH AVENUE
- 176TH AVENUE
- 175TH AVENUE
- 174TH AVENUE
- 173RD AVENUE
- 172ND AVENUE
- 171ST AVENUE
- 170TH AVENUE
- 169TH AVENUE
- 168TH AVENUE
- 167TH AVENUE
- 166TH AVENUE
- 165TH AVENUE
- 164TH AVENUE
- 163RD AVENUE
- 162ND AVENUE
- 161ST AVENUE
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- 147TH AVENUE
- 146TH AVENUE
- 145TH AVENUE
- 144TH AVENUE
- 143RD AVENUE
- 142ND AVENUE
- 141ST AVENUE
- 140TH AVENUE
- 139TH AVENUE
- 138TH AVENUE
- 137TH AVENUE
- 136TH AVENUE
- 135TH AVENUE
- 134TH AVENUE
- 133RD AVENUE



Legend

- Potential Future Park
- Existing Bike Lane
- Existing Bike Path
- Proposed County Bike Path
- Proposed Bike Lane/Path
- Proposed Bike Lane
- Proposed Bike Path
- Existing Park



MAP DATE:

2/3/2025



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